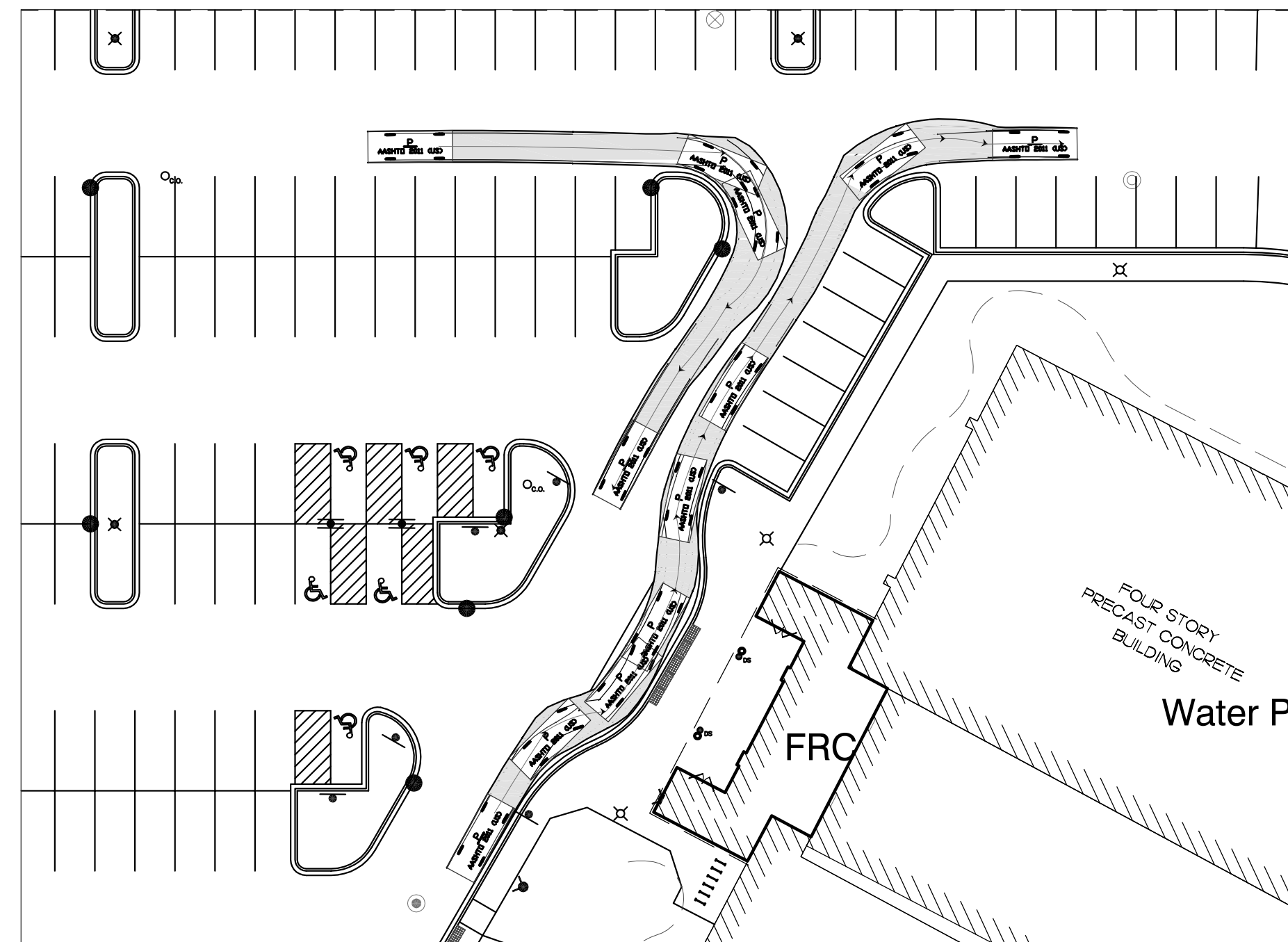
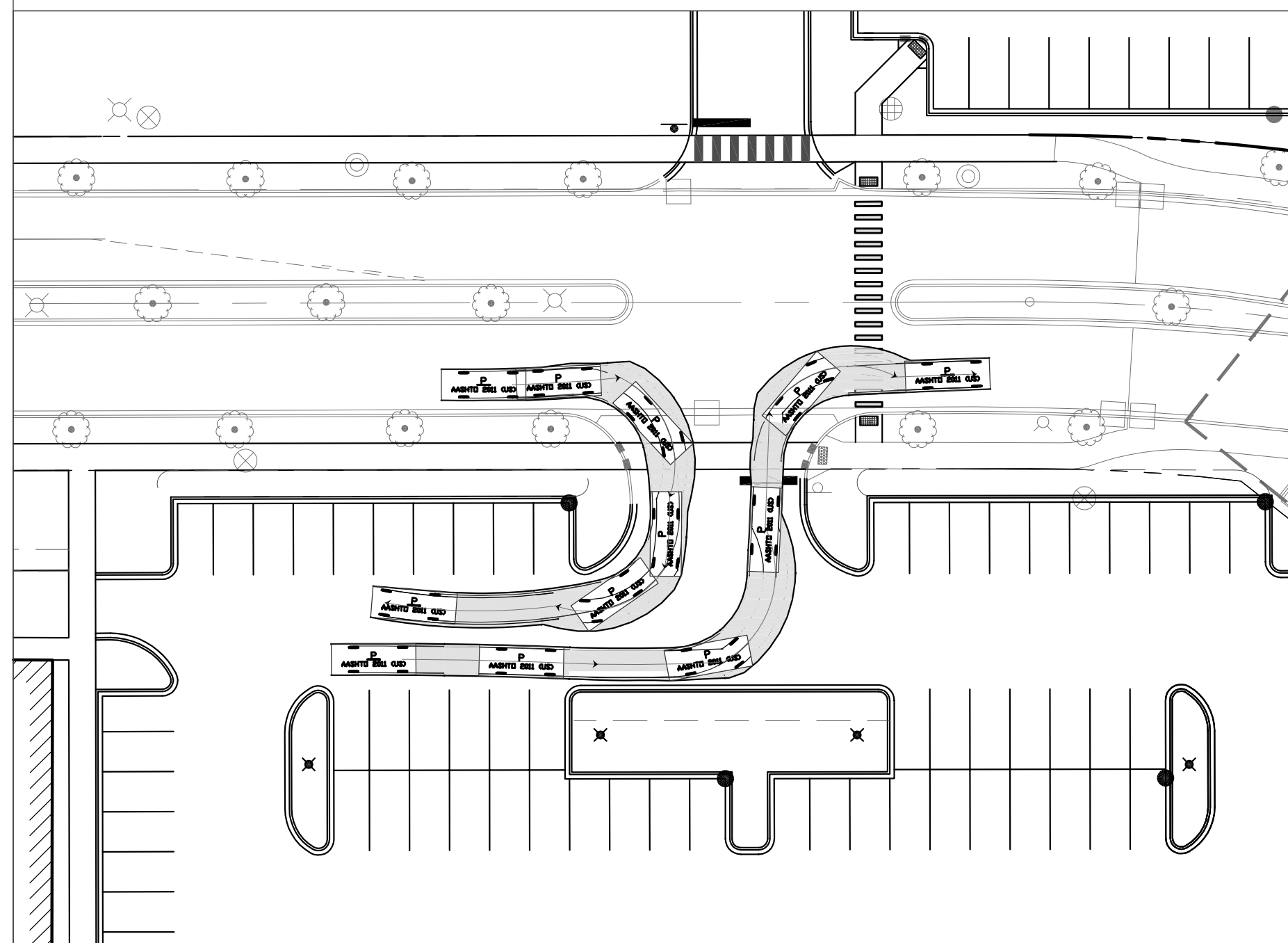


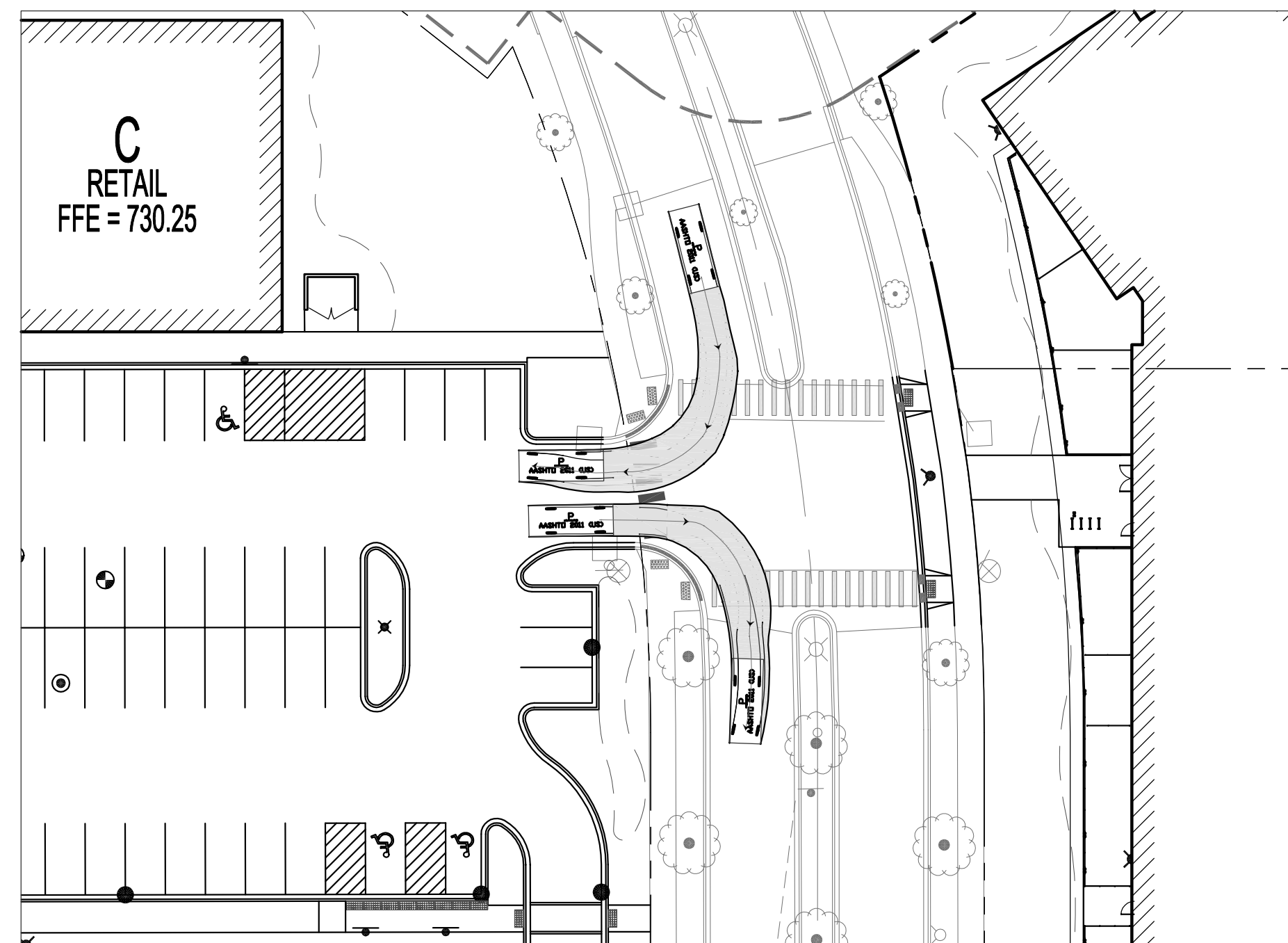
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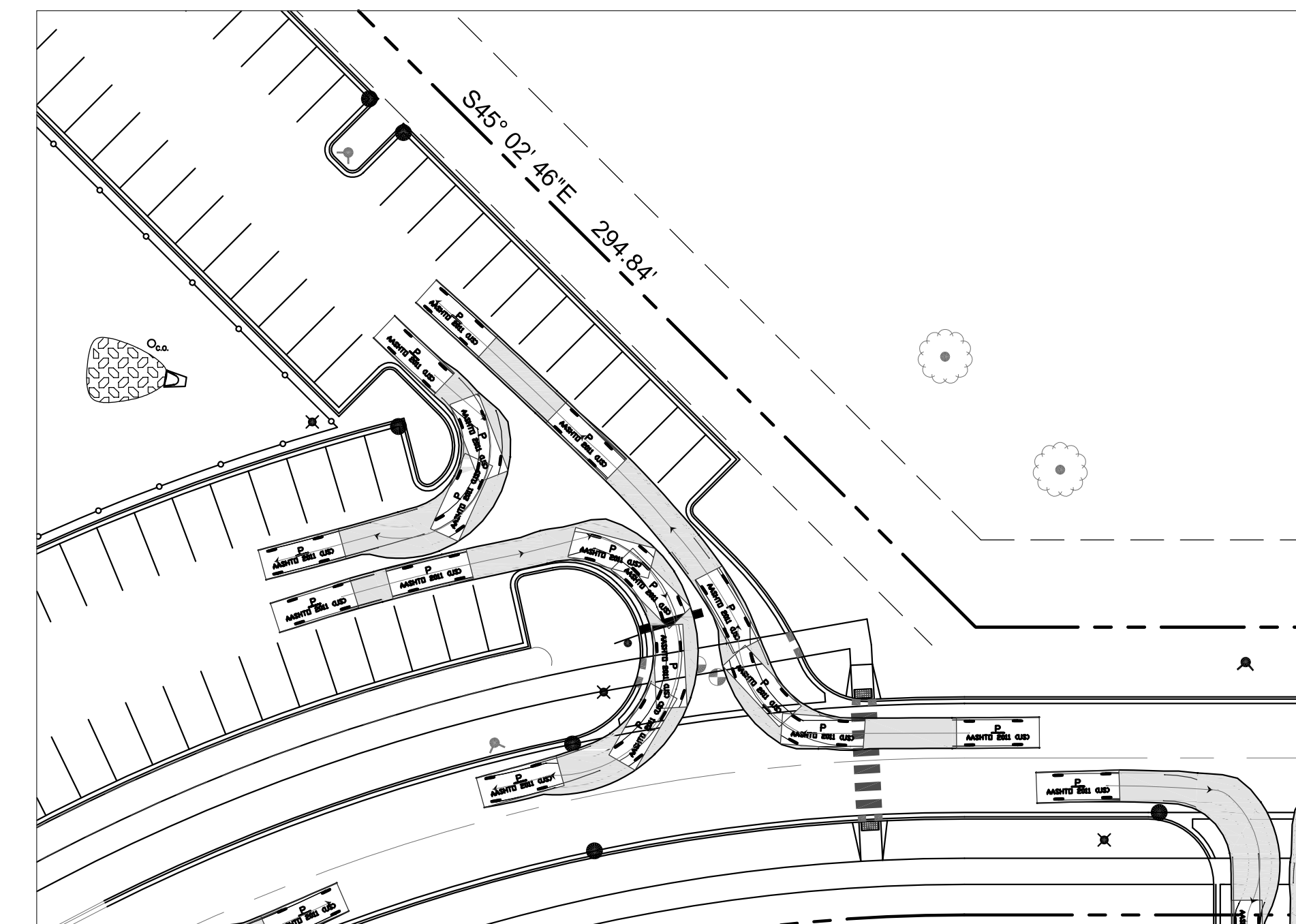
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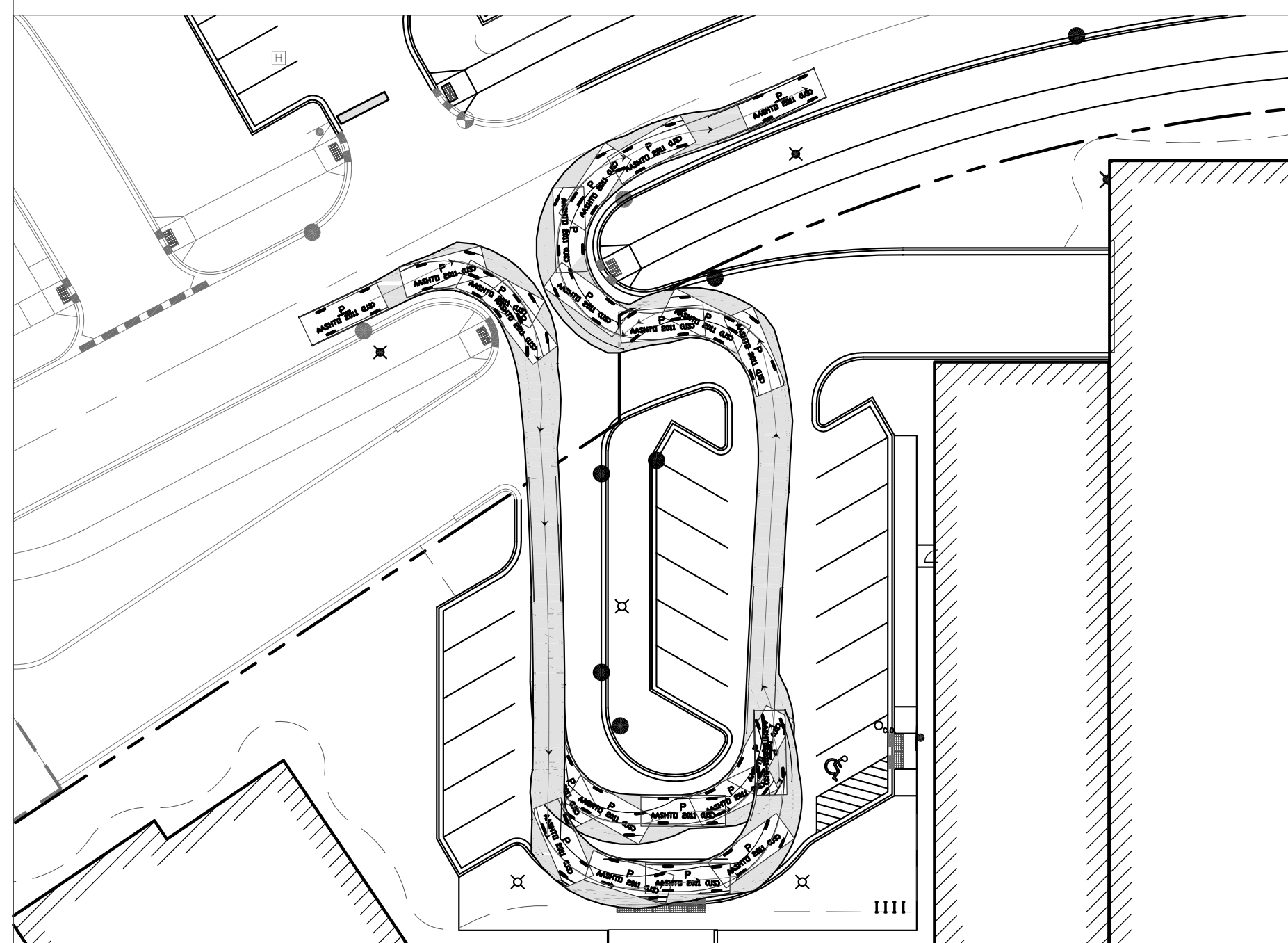
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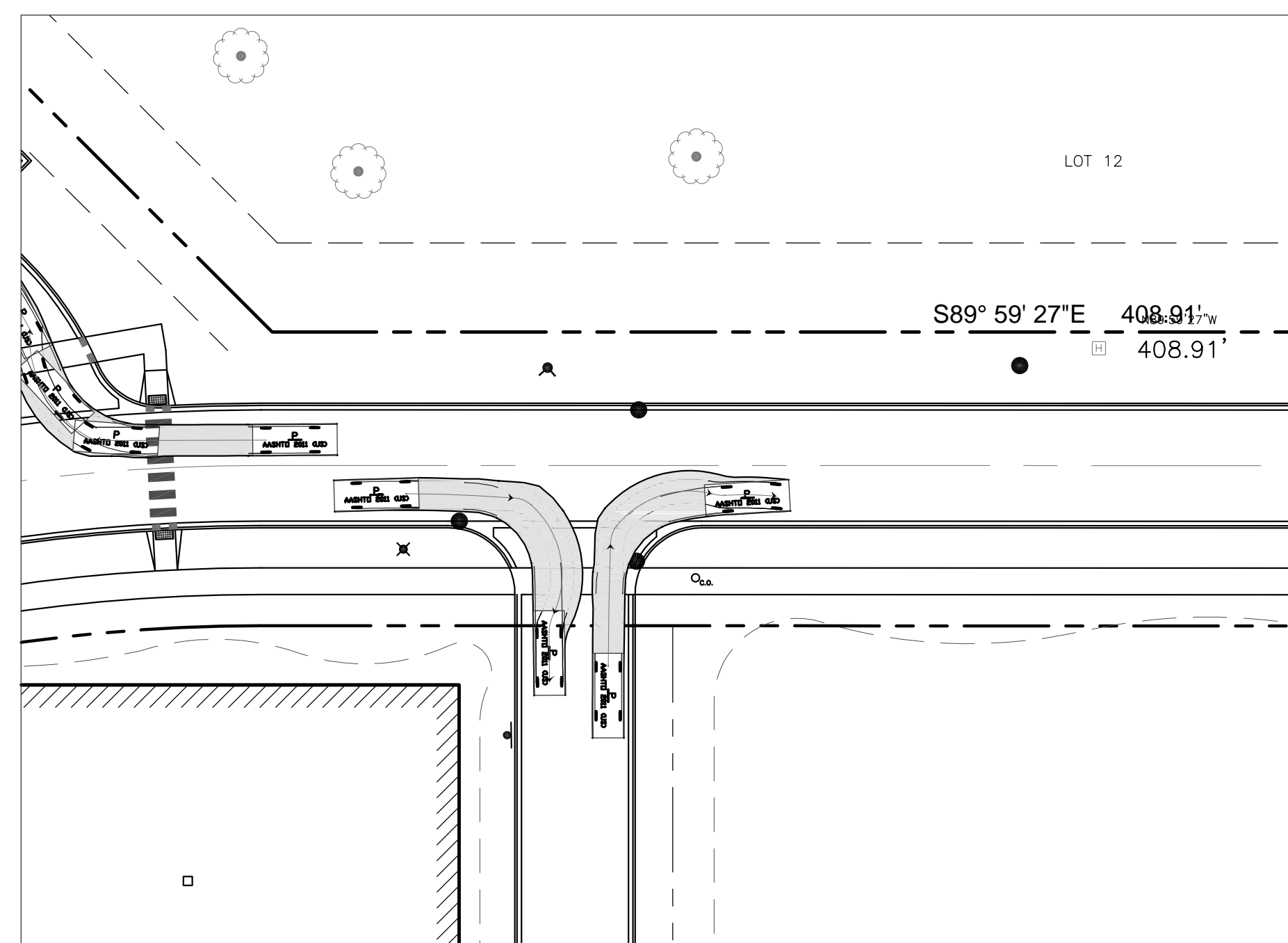
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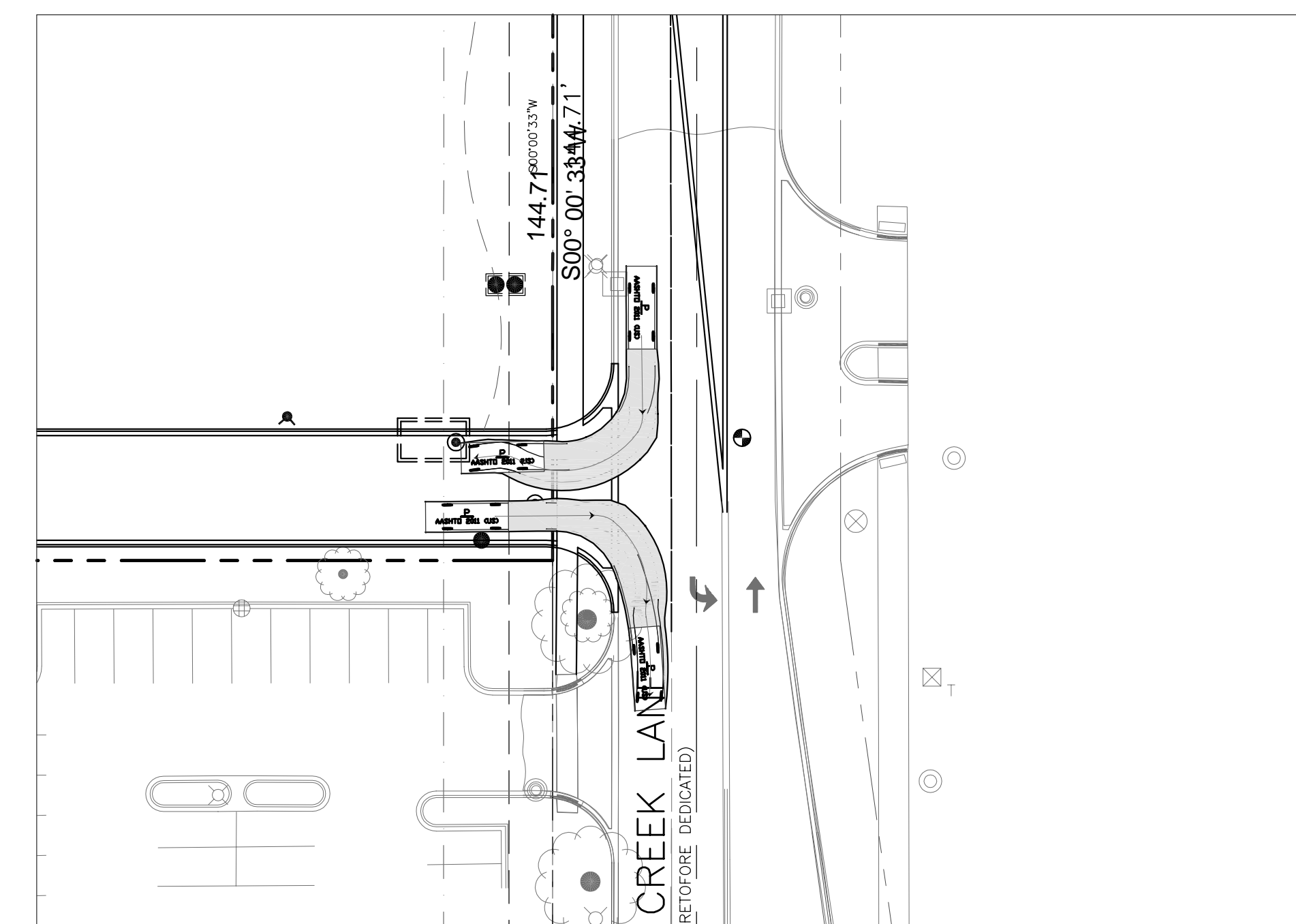
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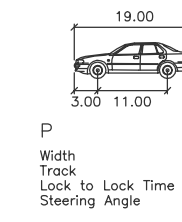
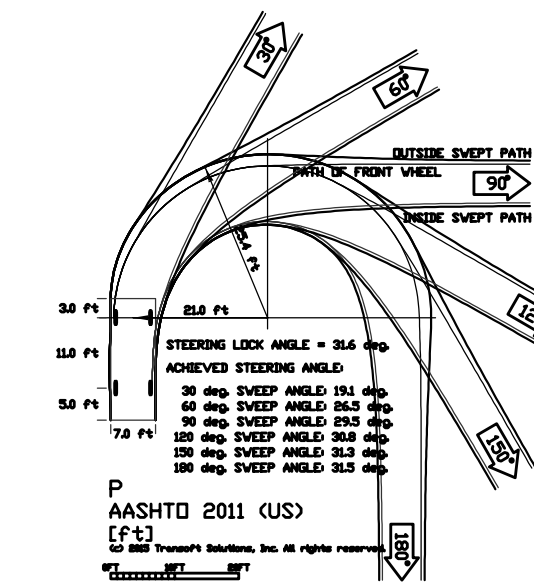
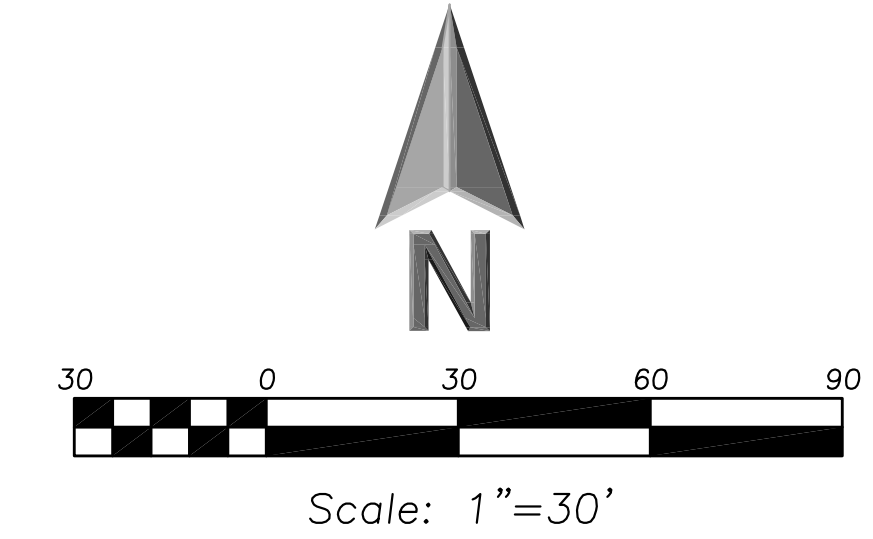
PASSENGER - ADR II - ENTRY



PASSENGER - ZONE C - NORTH



PASSENGER - ZONE C - EAST



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2019

ARLINGTON DOWNS
PHASE 2 CONSTRUCTION
 3400 W Euclid Avenue
 Arlington Heights, Illinois

Reserved for Seal:

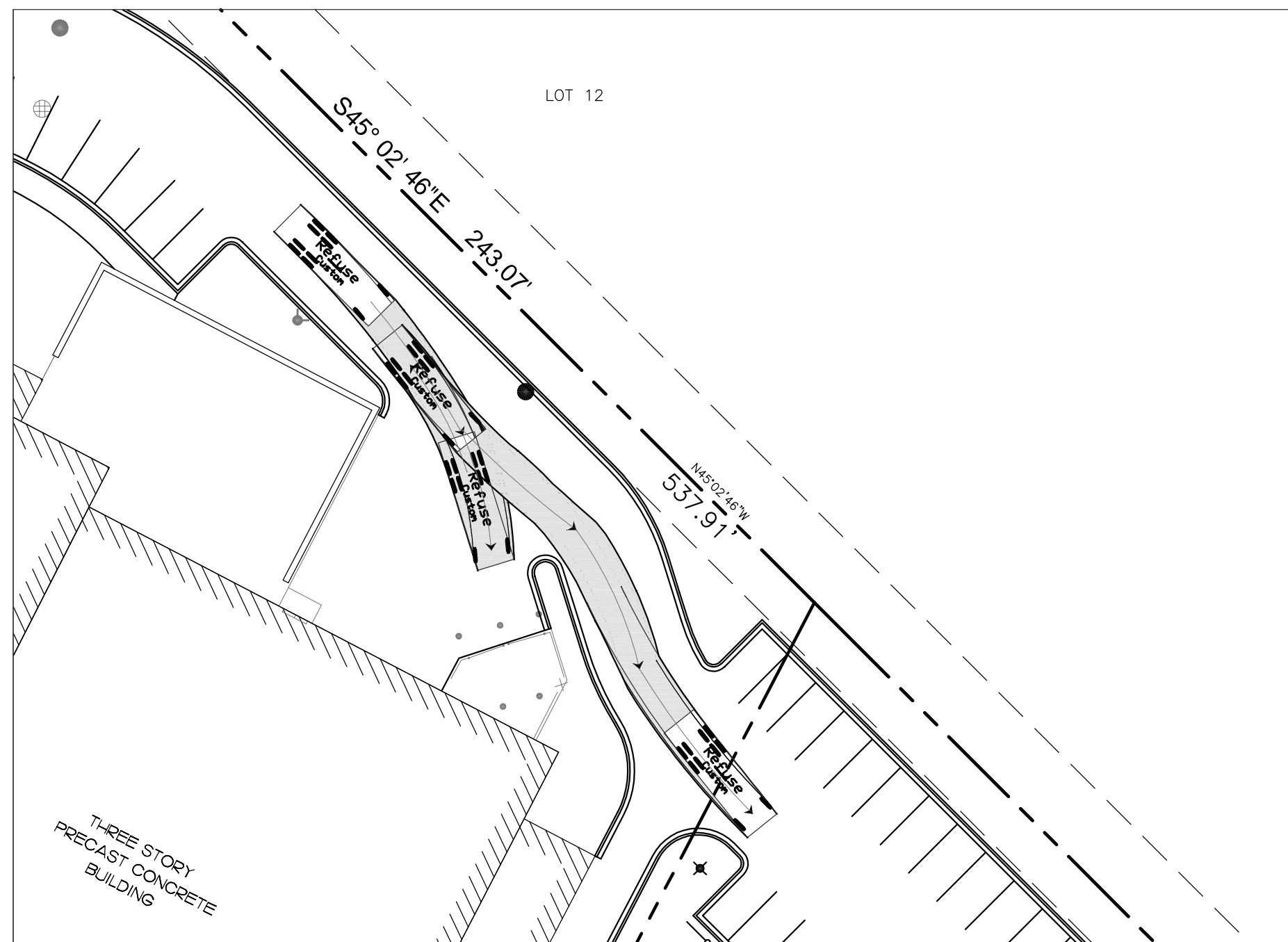
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No.	Date	Description
	04/04/18	Issued For PUD Amendment
	05/08/18	Revised Per Village
	06/22/18	Revised Per Village

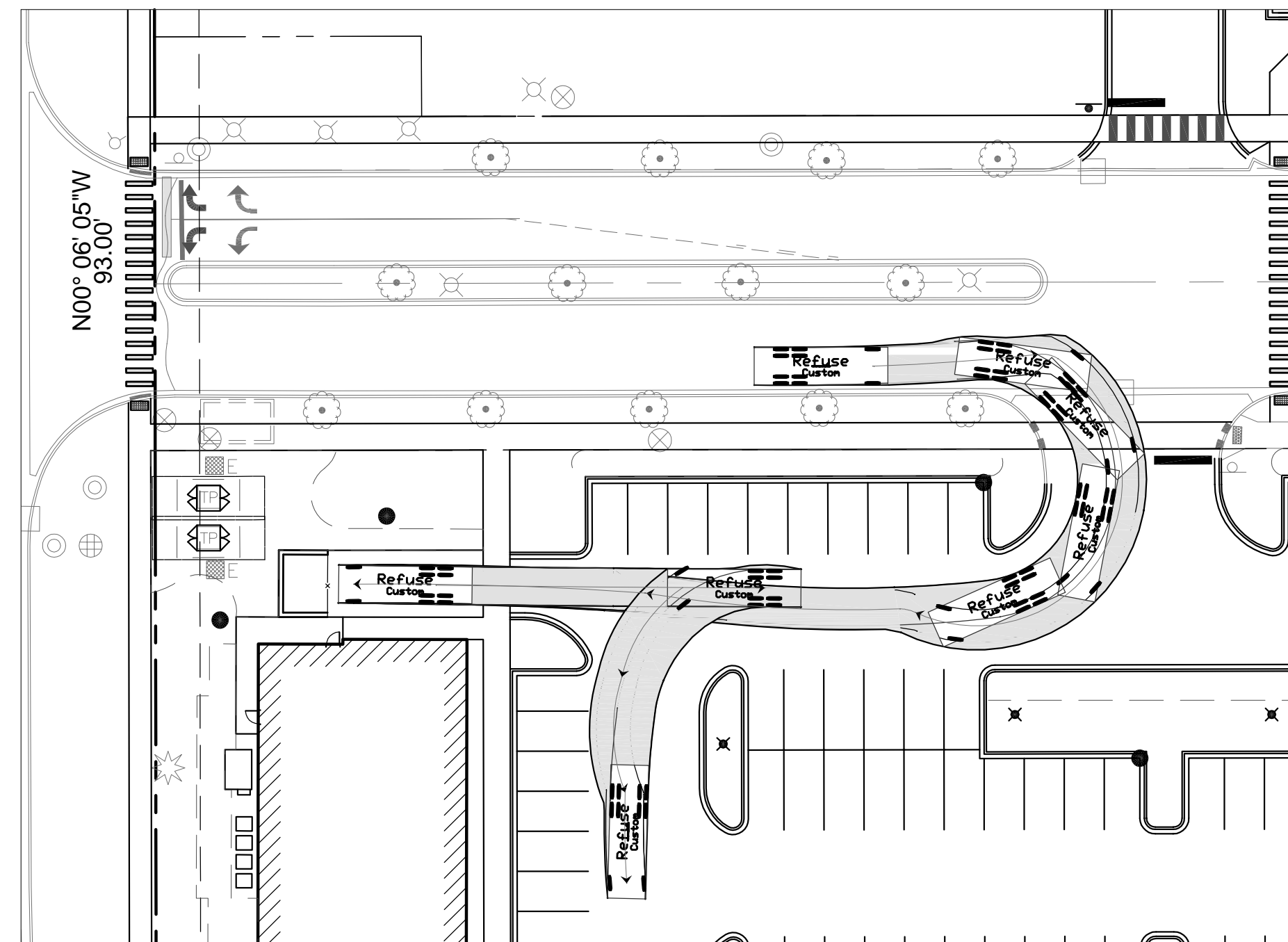
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Design By:	PD
Date:	04/04/18
Approved By:	Project No.

Sheet Title:
**AUTOTURN EXHIBIT
 PASSENGER**

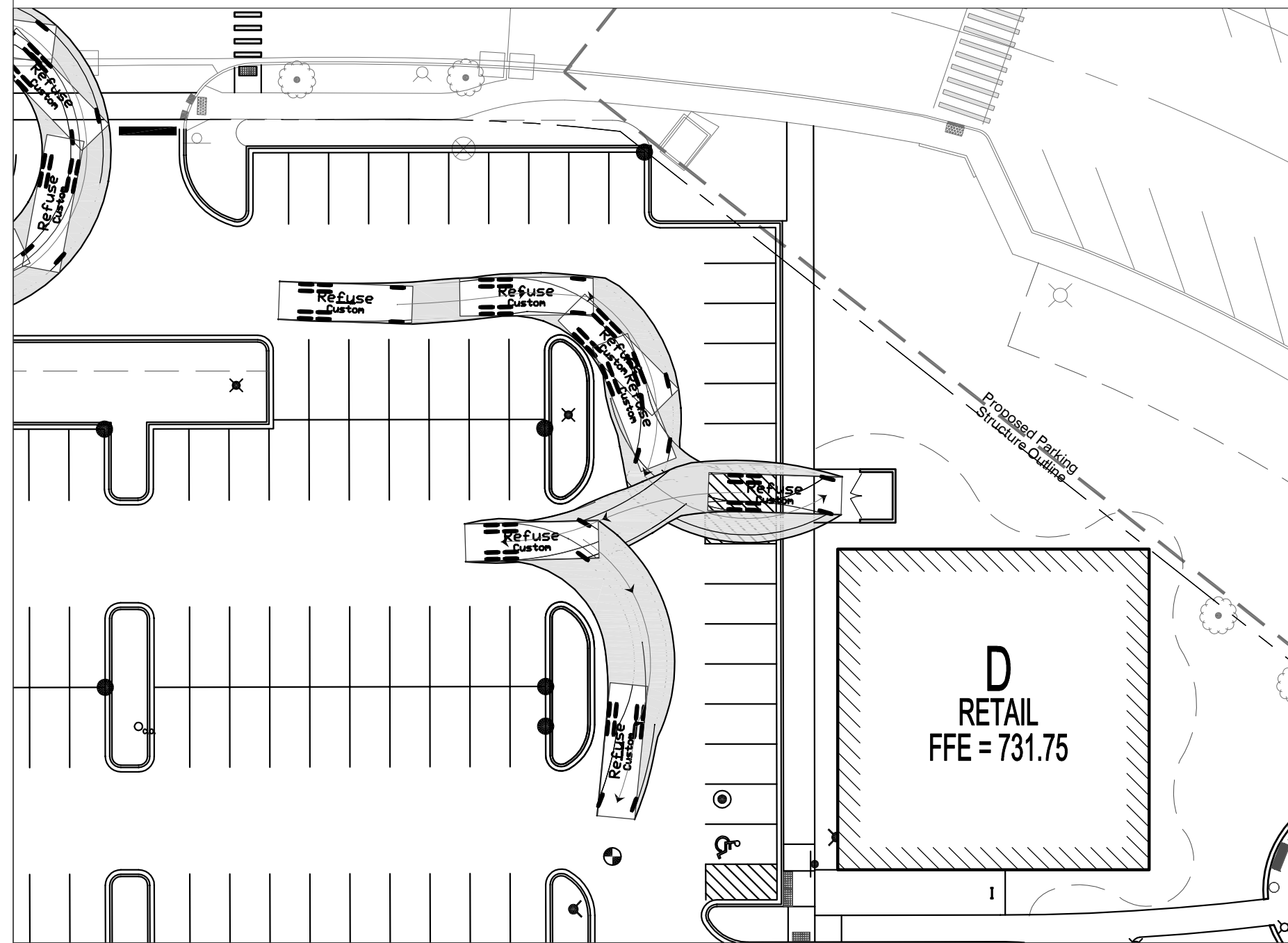
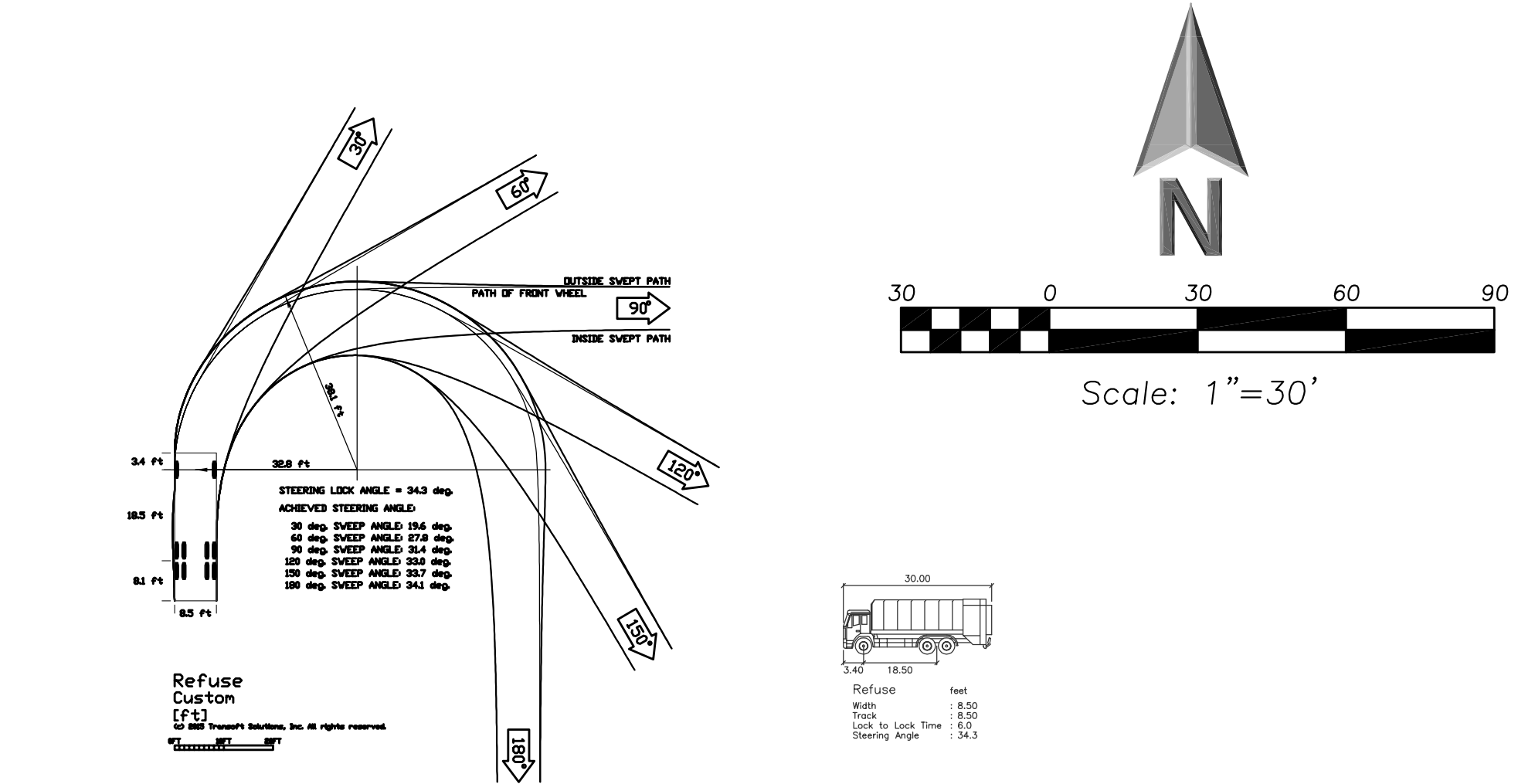
Sheet No:
C6.05



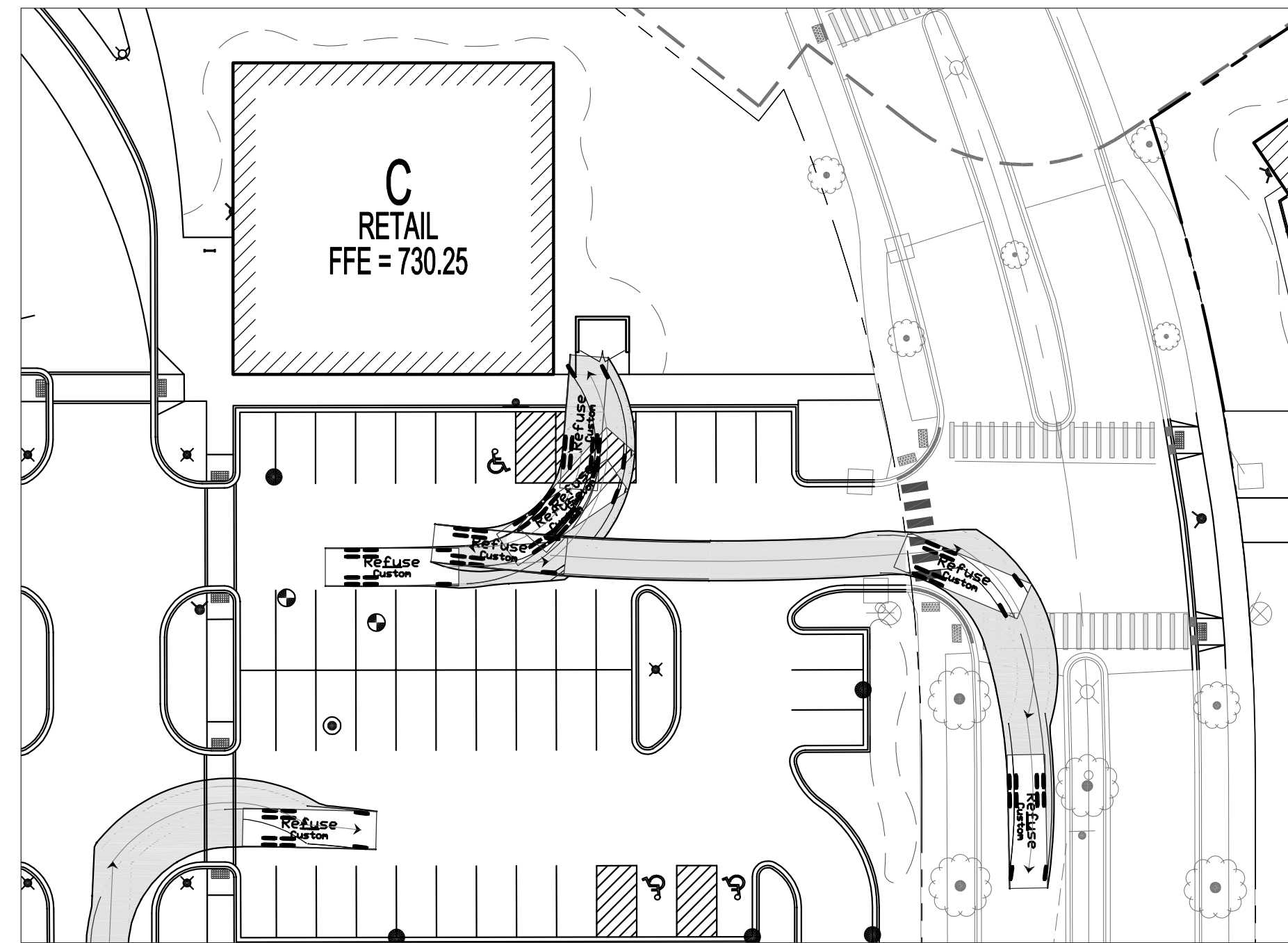
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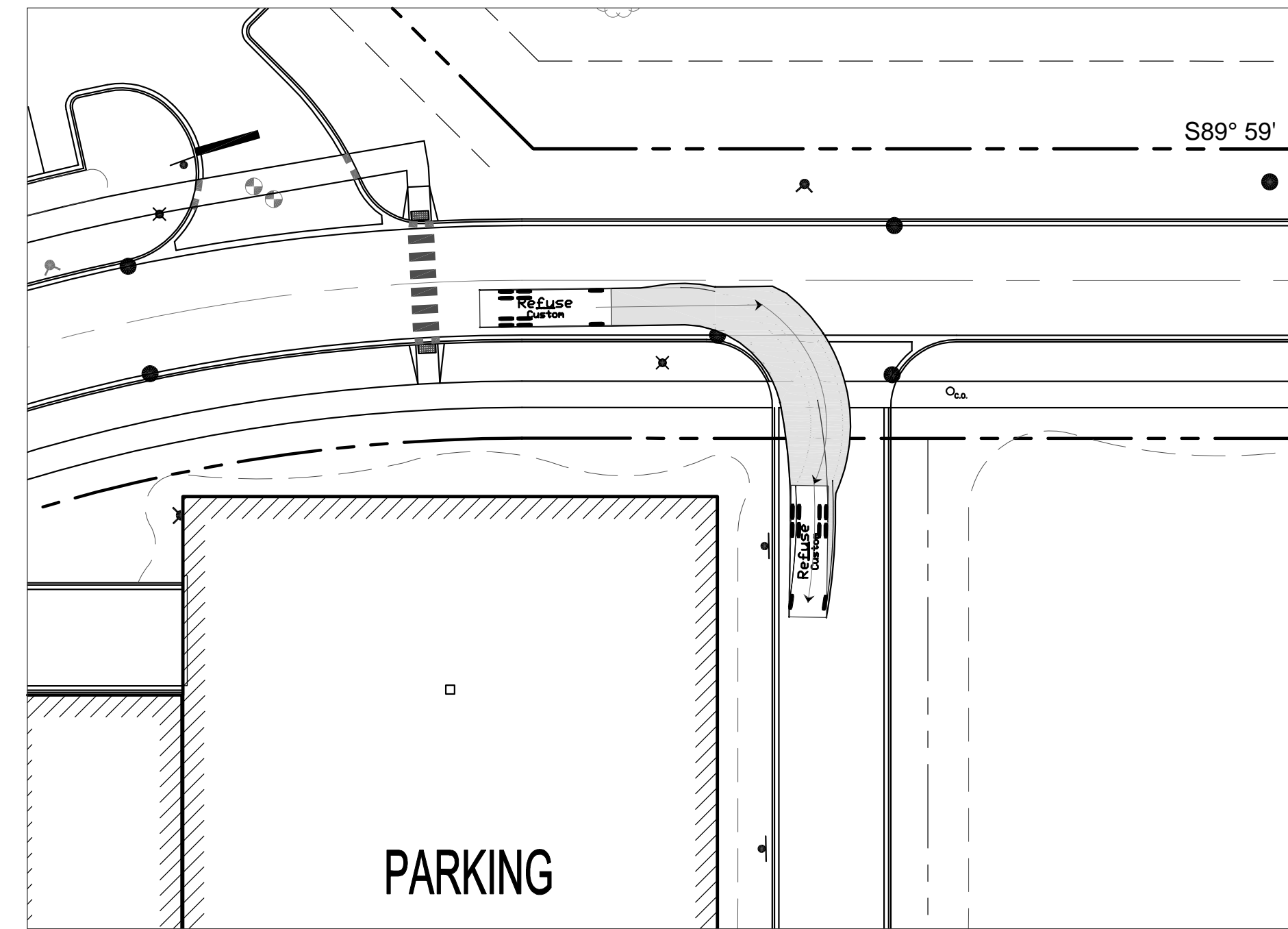
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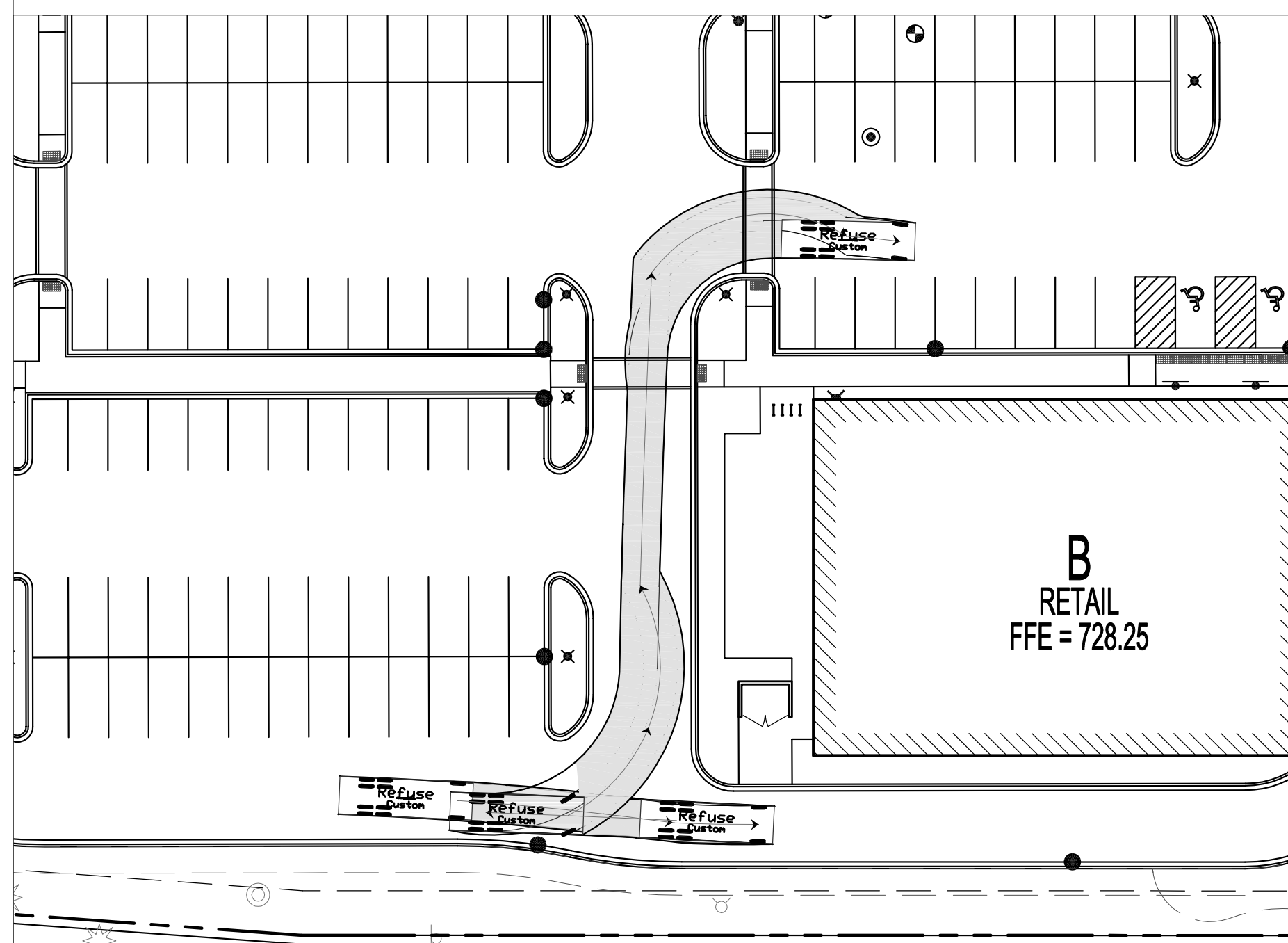
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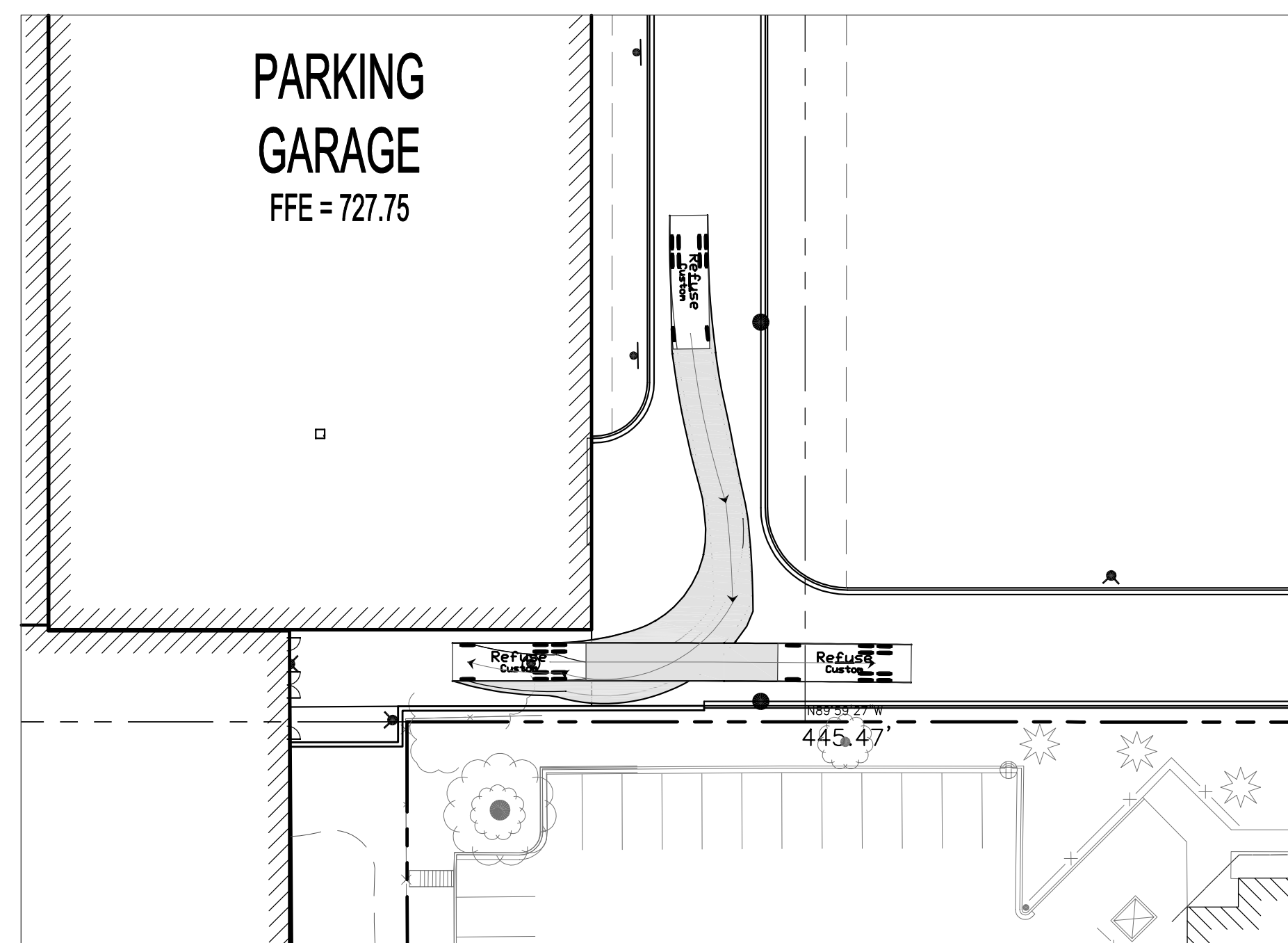
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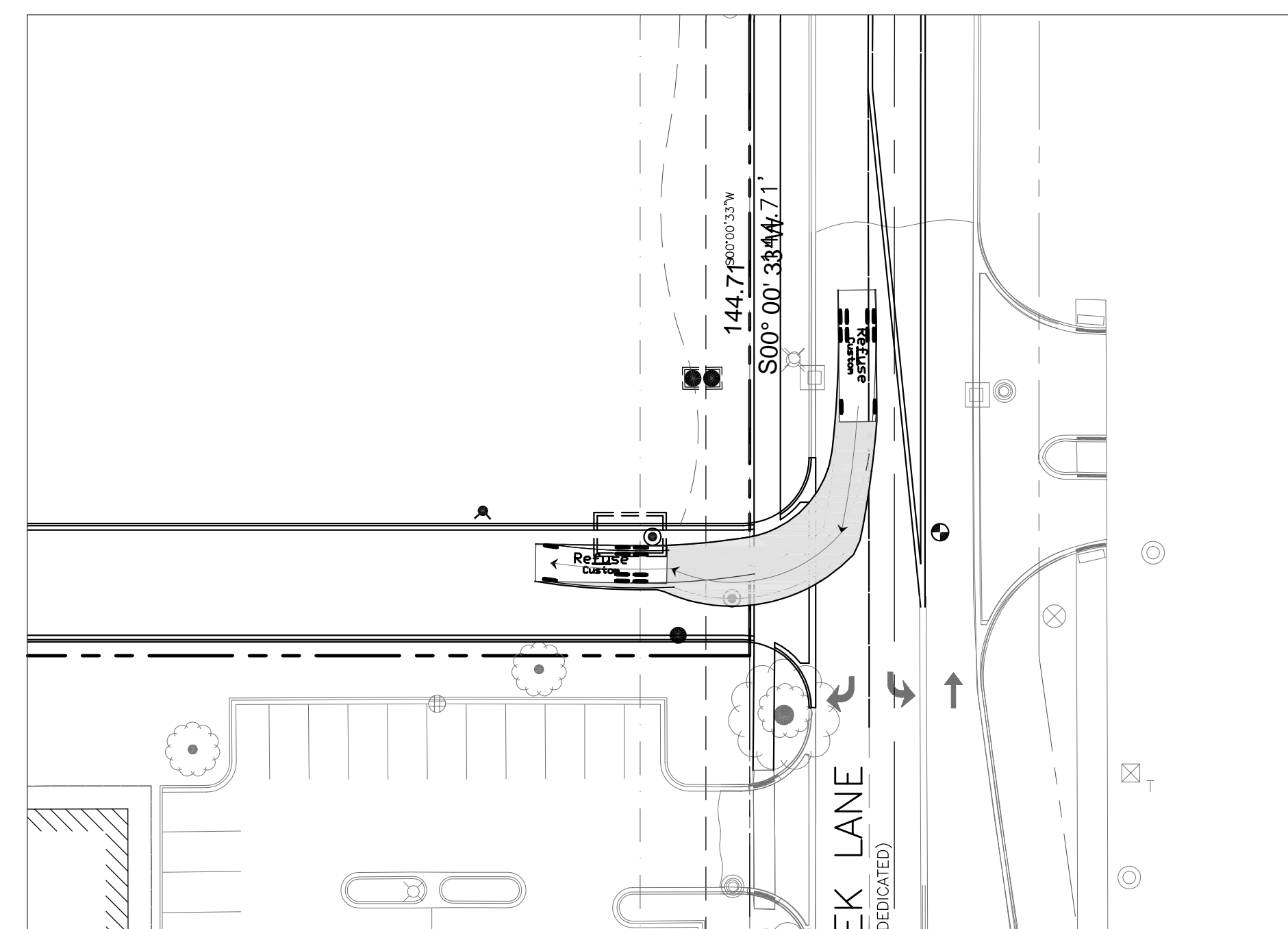
REFUSE - ZONE C



REFUSE - RETAIL B



REFUSE - ZONE C



REFUSE - ZONE C

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GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
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EXPIRES: 04/30/2019

ARLINGTON DOWNS
PHASE 2 CONSTRUCTION
3400 W Euclid Avenue
Arlington Heights, Illinois

Reserved for Seal:

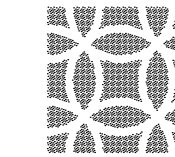
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No.	Date	Description
	04/04/18	Issued For PUD Amendment
	05/08/18	Revised Per Village
	06/22/18	Revised Per Village

Design By:	PD	Date:	04/04/18
Approved By:		Project No.:	

Sheet Title:
**AUTOTURN EXHIBIT
REFUSE**

Sheet No:
C6.06



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Landscape Architects

53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dwpltd.com

Revisions	
8.	
7.	
6.	
5.	
4.	
3.	PLAN COMMISSION REVISION 6/22/18
2.	PLAN COMMISSION REVISION 5/09/18
1.	ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

Project
**ARLINGTON
DOWNS
PUD REVISION**
EUCLID AVE AND ROHLWING RD
ARLINGTON HEIGHTS, IL

Sheet Title

**TREE
SURVEY**

Date 4/07/18	Project No. DWP 18-120
Scale 1" = 60'-0"	Sheet No. L-1.0
Drawn By FERGUSON	Approved

TREE PRESERVATION / REMOVALS CHART

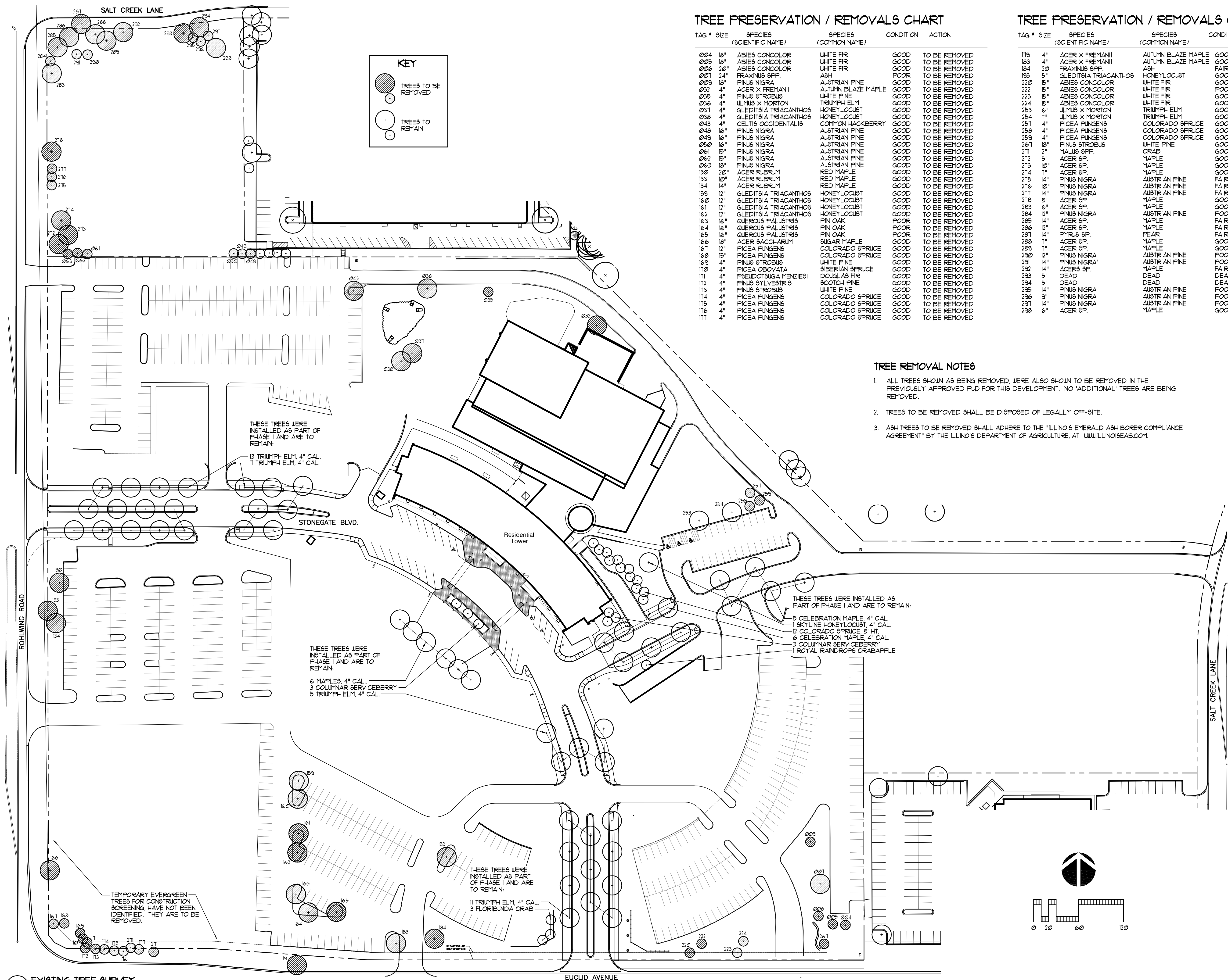
TAG #	SIZE	SPECIES (SCIENTIFIC NAME)	SPECIES (COMMON NAME)	CONDITION	ACTION
004	18"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
005	18"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
006	20"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
007	24"	FRAXINUS SPP.	ASH	POOR	TO BE REMOVED
009	18"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
022	4"	ACER X FREMANII	AUTUMN BLAZE MAPLE	GOOD	TO BE REMOVED
025	4"	FINUS STROBUS	WHITE PINE	GOOD	TO BE REMOVED
026	4"	ULMUS X MORTON	TRIUMPH ELM	GOOD	TO BE REMOVED
031	4"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
038	4"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
043	4"	CELTIS OCCIDENTALIS	COMMON HACKBERRY	GOOD	TO BE REMOVED
048	16"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
049	16"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
050	16"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
061	15"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
062	15"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
063	18"	FINUS NIGRA	AUSTRIAN PINE	GOOD	TO BE REMOVED
130	20"	ACER RUBRUM	RED MAPLE	GOOD	TO BE REMOVED
133	10"	ACER RUBRUM	RED MAPLE	GOOD	TO BE REMOVED
134	14"	ACER RUBRUM	RED MAPLE	GOOD	TO BE REMOVED
159	12"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
160	12"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
161	12"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
162	12"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
163	16"	QUERCUS PALUSTRIS	PIN OAK	POOR	TO BE REMOVED
164	16"	QUERCUS PALUSTRIS	PIN OAK	POOR	TO BE REMOVED
165	16"	QUERCUS PALUSTRIS	PIN OAK	POOR	TO BE REMOVED
166	18"	ACER SACCHARUM	SUGAR MAPLE	GOOD	TO BE REMOVED
167	12"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
168	15"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
169	4"	FINUS STROBUS	WHITE PINE	GOOD	TO BE REMOVED
170	4"	PICEA OBOVATA	SIBERIAN SPRUCE	GOOD	TO BE REMOVED
171	4"	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	GOOD	TO BE REMOVED
172	4"	FINUS STROBUS	WHITE PINE	GOOD	TO BE REMOVED
173	4"	FINUS STROBUS	WHITE PINE	GOOD	TO BE REMOVED
174	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
175	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
176	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
177	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED

TREE PRESERVATION / REMOVALS CHART

TAG #	SIZE	SPECIES (SCIENTIFIC NAME)	SPECIES (COMMON NAME)	CONDITION	ACTION
178	4"	ACER X FREMANII	AUTUMN BLAZE MAPLE	GOOD	TO BE REMOVED
183	4"	ACER X FREMANII	AUTUMN BLAZE MAPLE	GOOD	TO BE REMOVED
184	20"	FRAXINUS SPP.	ASH	FAIR	TO BE REMOVED
193	5"	GLEDITSIA TRIACANTHOS	HONEYLOCUST	GOOD	TO BE REMOVED
220	15"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
222	15"	ABIES CONCOLOR	WHITE FIR	POOR	TO BE REMOVED
223	15"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
224	15"	ABIES CONCOLOR	WHITE FIR	GOOD	TO BE REMOVED
253	6"	ULMUS X MORTON	TRIUMPH ELM	GOOD	TO REMAIN
254	7"	ULMUS X MORTON	TRIUMPH ELM	GOOD	TO REMAIN
257	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
258	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
259	4"	PICEA FUNGENS	COLORADO SPRUCE	GOOD	TO BE REMOVED
261	18"	FINUS STROBUS	WHITE PINE	GOOD	TO BE REMOVED
271	2"	MALUS SPP.	CRAB	GOOD	TO BE REMOVED
272	5"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
273	10"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
274	7"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
275	14"	FINUS NIGRA	AUSTRIAN PINE	FAIR	TO BE REMOVED
276	10"	FINUS NIGRA	AUSTRIAN PINE	FAIR	TO BE REMOVED
277	14"	FINUS NIGRA	AUSTRIAN PINE	FAIR	TO BE REMOVED
278	8"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
283	6"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
284	12"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
285	14"	ACER SPP.	MAPLE	FAIR	TO BE REMOVED
286	12"	ACER SPP.	MAPLE	FAIR	TO BE REMOVED
287	14"	PYRUS SPP.	PEAR	FAIR	TO BE REMOVED
288	7"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
289	7"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED
290	12"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
291	14"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
292	14"	ACERS SPP.	MAPLE	FAIR	TO BE REMOVED
293	5"	DEAD	DEAD	DEAD	TO BE REMOVED
294	5"	DEAD	DEAD	DEAD	TO BE REMOVED
295	14"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
296	9"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
297	14"	FINUS NIGRA	AUSTRIAN PINE	POOR	TO BE REMOVED
298	6"	ACER SPP.	MAPLE	GOOD	TO BE REMOVED

TREE REMOVAL NOTES

- ALL TREES SHOWN AS BEING REMOVED, WERE ALSO SHOWN TO BE REMOVED IN THE PREVIOUSLY APPROVED PUD FOR THIS DEVELOPMENT. NO 'ADDITIONAL' TREES ARE BEING REMOVED.
- TREES TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE.
- ASH TREES TO BE REMOVED SHALL ADHERE TO THE "ILLINOIS EMERALD ASH BORER COMPLIANCE AGREEMENT" BY THE ILLINOIS DEPARTMENT OF AGRICULTURE, AT WWW.ILLINOISEAB.COM.



THESE TREES WERE INSTALLED AS PART OF PHASE I AND ARE TO REMAIN:
13 TRIUMPH ELM, 4" CAL.
1 TRIUMPH ELM, 4" CAL.

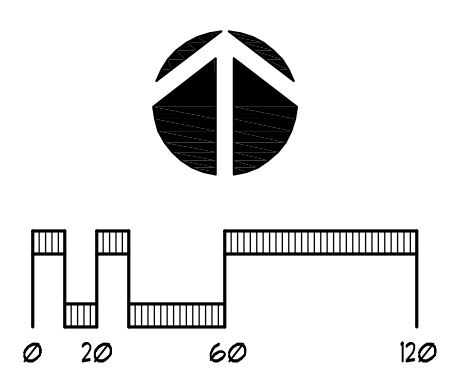
THESE TREES WERE INSTALLED AS PART OF PHASE I AND ARE TO REMAIN:
6 MAPLES, 4" CAL.
3 COLUMNAR SERVICEBERRY
5 TRIUMPH ELM, 4" CAL.

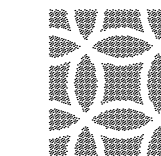
THESE TREES WERE INSTALLED AS PART OF PHASE I AND ARE TO REMAIN:
5 CELEBRATION MAPLE, 4" CAL.
1 SKYLINE HONEYLOCUST, 4" CAL.
12 COLORADO SPRUCE, 8" HT.
6 CELEBRATION MAPLE, 4" CAL.
3 COLUMNAR SERVICEBERRY
1 ROYAL RANDROFS CRABAPPLE

THESE TREES WERE INSTALLED AS PART OF PHASE I AND ARE TO REMAIN:
11 TRIUMPH ELM, 4" CAL.
3 FLORINDA CRAB

TEMPORARY EVERGREEN TREES FOR CONSTRUCTION SCREENING, HAVE NOT BEEN IDENTIFIED. THEY ARE TO BE REMOVED.

EXISTING TREE SURVEY
1" = 60'-0"





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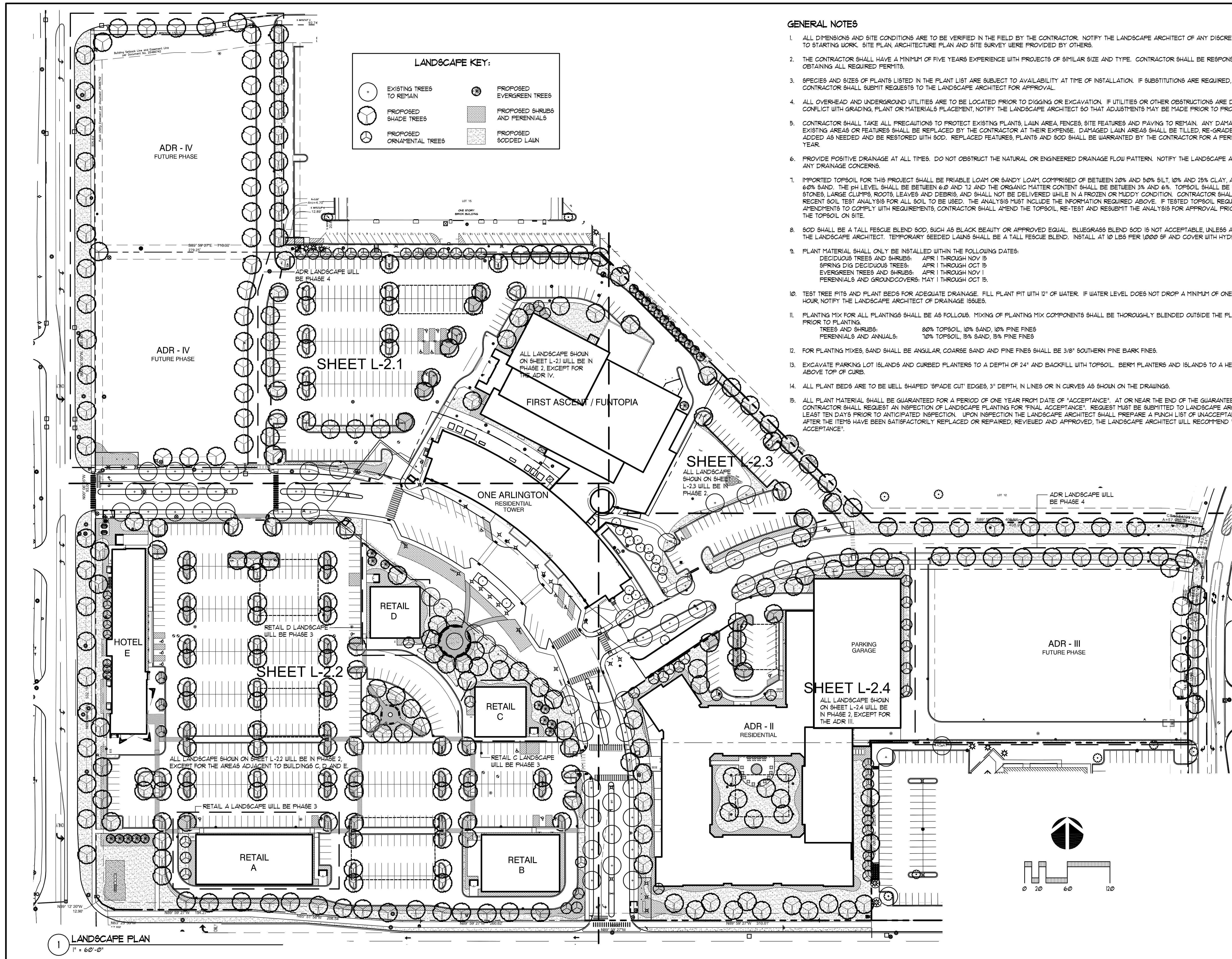
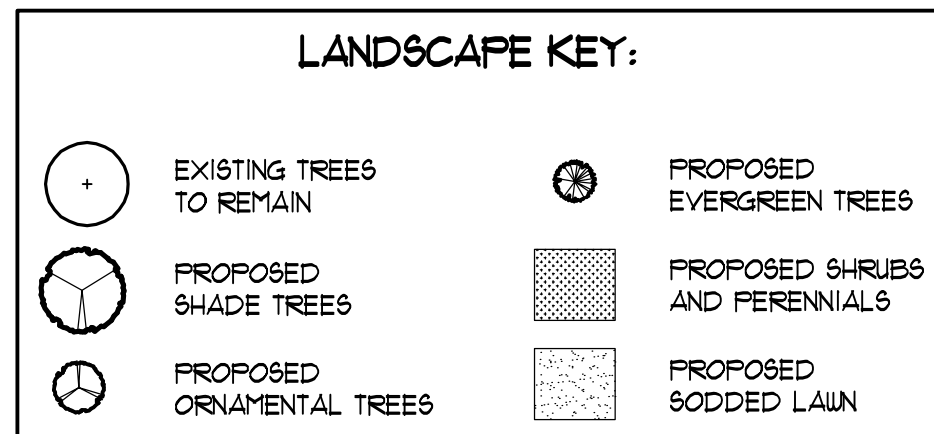
Landscape Architects

53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dwpitd.com

GENERAL NOTES

- ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. SITE PLAN, ARCHITECTURE PLAN AND SITE SURVEY WERE PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREA, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. DAMAGED LAWN AREAS SHALL BE TILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE RESTORED WITH SOD. REPLACED FEATURES, PLANTS AND SOD SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
- IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRIABLE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 20% AND 50% SILT, 10% AND 25% CLAY, AND 30% AND 60% SAND. THE pH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL AMEND THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.
- SOD SHALL BE A TALL FESCUE BLEND SOD, SUCH AS BLACK BEAUTY OR APPROVED EQUAL. BLUEGRASS BLEND SOD IS NOT ACCEPTABLE, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. TEMPORARY SEEDED LAWNS SHALL BE A TALL FESCUE BLEND. INSTALL AT 10 LBS PER 1000 SF AND COVER WITH HYDROMULCH.
- PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
SPRING DIG DECIDUOUS TREES: APR 1 THROUGH OCT 15
EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1
PERENNIALS AND GROUNDCOVERS: MAY 1 THROUGH OCT 15.
- TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
- PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.
TREES AND SHRUBS: 80% TOPSOIL, 10% SAND, 10% FINE FINES
PERENNIALS AND ANNUALS: 70% TOPSOIL, 15% SAND, 15% FINE FINES
- FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
- EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 24" AND BACKFILL WITH TOPSOIL. BERM PLANTERS AND ISLANDS TO A HEIGHT OF 6" ABOVE TOP OF CURB.
- ALL PLANT BEDS ARE TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".



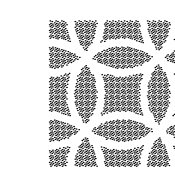
Revisions	
8.	
7.	
6.	
5.	
4.	
3.	PLAN COMMISSION REVISION 6/22/18
2.	PLAN COMMISSION REVISION 5/09/18
1.	ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

Project
ARLINGTON DOWNS PUD REVISION
EUCLID AVE AND ROHLWING RD
ARLINGTON HEIGHTS, IL

Sheet Title
OVERALL LANDSCAPE PLAN

Date 4/07/18	Project No. DWP 18-120
Scale 1" = 60'-0"	Sheet No. L-2.0
Drawn By FERGUSON	
Approved	

LANDSCAPE PLAN
1" = 60'-0"



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53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

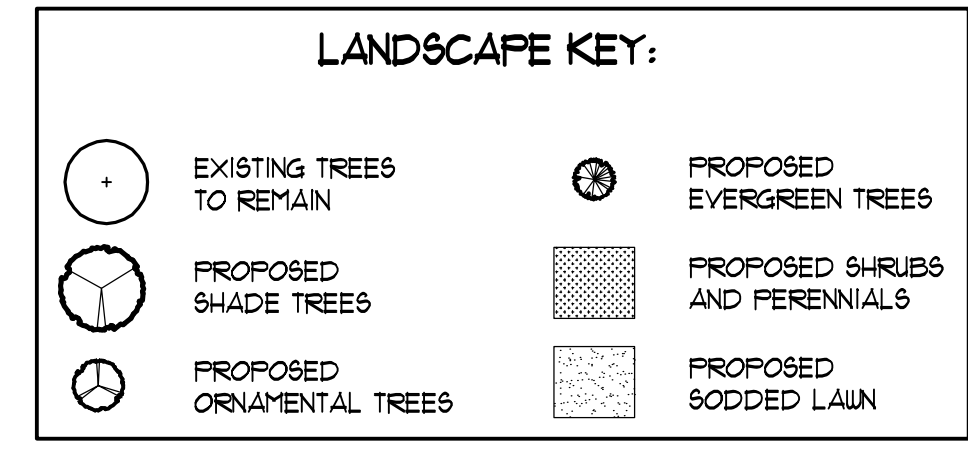
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PLANT LIST FOR TREES

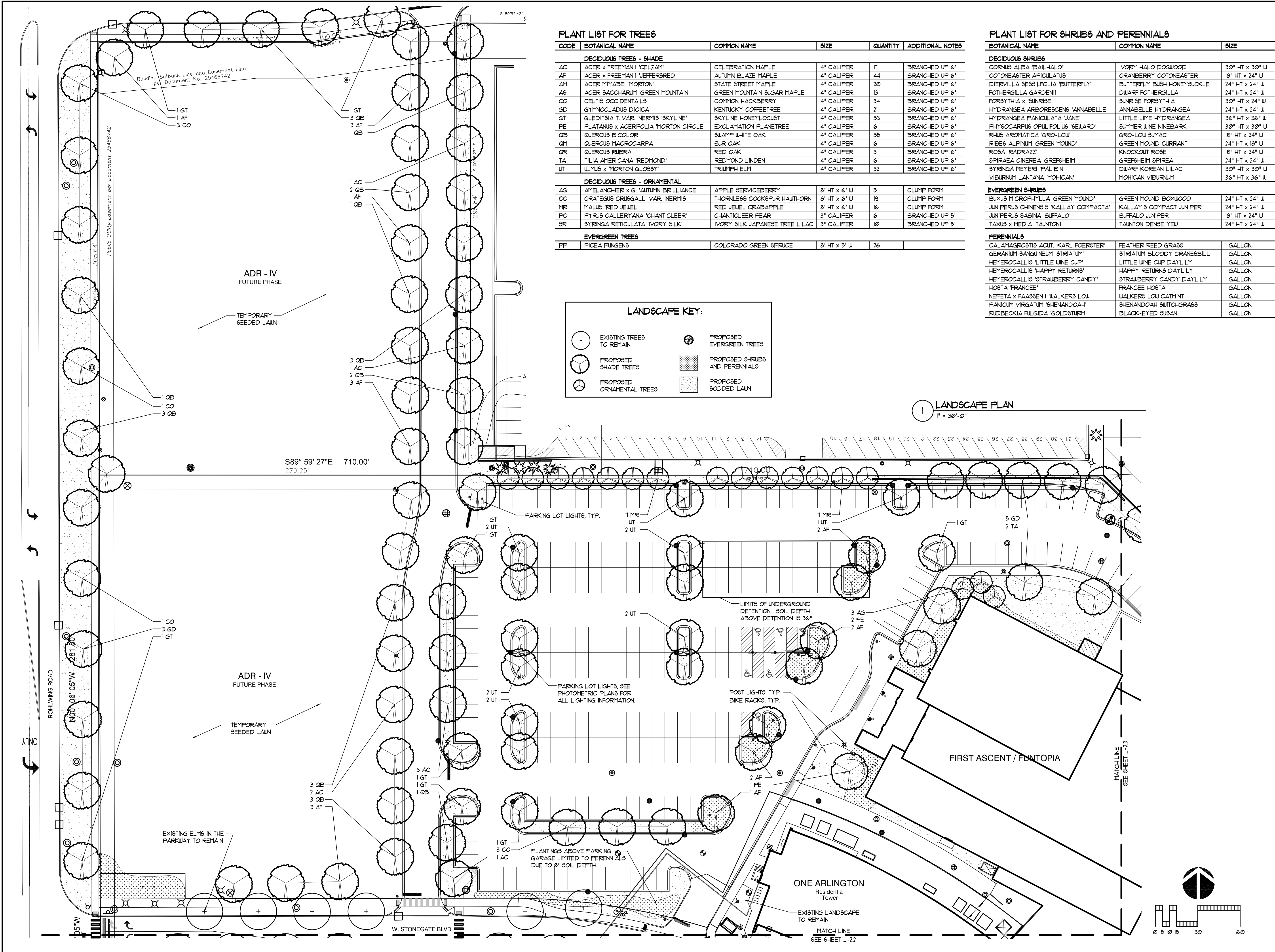
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	ADDITIONAL NOTES
DECIDUOUS TREES - SHADE					
AC	ACER x FREEMANII 'CELZAM'	CELEBRATION MAPLE	4" CALIFER	11	BRANCHED UP 6'
AF	ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	4" CALIFER	44	BRANCHED UP 6'
AM	ACER MIYABEI 'MORTON'	STATE STREET MAPLE	4" CALIFER	20	BRANCHED UP 6'
AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	4" CALIFER	13	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	4" CALIFER	34	BRANCHED UP 6'
GD	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	4" CALIFER	21	BRANCHED UP 6'
GT	GLEDITSIA T. VAR. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	4" CALIFER	53	BRANCHED UP 6'
PE	PLATANUS x ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION PLANTREE	4" CALIFER	6	BRANCHED UP 6'
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	4" CALIFER	55	BRANCHED UP 6'
QM	QUERCUS MACROCARPA	BUR OAK	4" CALIFER	6	BRANCHED UP 6'
QR	QUERCUS RUBRA	RED OAK	4" CALIFER	3	BRANCHED UP 6'
TA	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	4" CALIFER	6	BRANCHED UP 6'
UT	ULMUS x 'MORTON GLOSSY'	TRIUMPH ELM	4" CALIFER	32	BRANCHED UP 6'
DECIDUOUS TREES - ORNAMENTAL					
AG	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	8' HT x 6' W	5	CLUMP FORM
CC	CRATAEGUS CRUGALLI VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN	8' HT x 6' W	19	CLUMP FORM
MR	MALLUS 'RED JEWEL'	RED JEWEL CRABAPPLE	8' HT x 6' W	16	CLUMP FORM
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3" CALIFER	6	BRANCHED UP 5'
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CALIFER	10	BRANCHED UP 5'
EVERGREEN TREES					
PP	PICEA PUNGENS	COLORADO GREEN SPRUCE	8' HT x 5' W	26	

PLANT LIST FOR SHRUBS AND PERENNIALS

BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS SHRUBS		
CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	30" HT x 30" W
COTONEASTER APICULATUS	CRANBERRY COTONEASTER	18" HT x 24" W
DIERVILLA BISSULFOLIA 'BUTTERFLY'	BUTTERFLY BUSH HONEYSUCKLE	24" HT x 24" W
FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" HT x 24" W
FORSYTHIA x 'SUNRISE'	SUNRISE FORSYTHIA	30" HT x 24" W
HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24" HT x 24" W
HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	36" HT x 36" W
PHYSOCARPUS OPULIFOLIUS 'BEWARD'	SUMMER WINE NINEBARK	30" HT x 30" W
RIBES ALPIMUM 'GRO-LOW'	GRO-LOW SUMAC	18" HT x 24" W
RIBES ALPIMUM 'GREEN MOUND'	GREEN MOUND CURRRANT	24" HT x 18" W
ROSA 'RADRAZZ'	KNOCKOUT ROSE	18" HT x 24" W
SPIRAEA CINEREA 'GREFSHEIM'	GREFSHEIM SPIREA	24" HT x 24" W
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	30" HT x 30" W
VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	36" HT x 36" W
EVERGREEN SHRUBS		
BUXUS MICROPHYLLA 'GREEN MOUND'	GREEN MOUND BOXWOOD	24" HT x 24" W
JUNIPERUS CHINENSIS 'KALLAY COMPACTA'	KALLAY'S COMPACT JUNIFER	24" HT x 24" W
JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIFER	18" HT x 24" W
TAXUS x MEDIA 'TAUNTON'	TAUNTON DENSE YEW	24" HT x 24" W
PERENNIALS		
CALAMAGROSTIS ACUT. KARL FOERSTER'	FEATHER REED GRASS	1 GALLON
GERANIUM SANGUINEUM 'STRIATUM'	STRIATUM BLOODY CRANESBILL	1 GALLON
HEMEROCALLIS 'LITTLE WINE CUP'	LITTLE WINE CUP DAYLILY	1 GALLON
HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GALLON
HEMEROCALLIS 'STRAWBERRY CANDY'	STRAWBERRY CANDY DAYLILY	1 GALLON
HOSTA 'FRANCEE'	FRANCEE HOSTA	1 GALLON
NEPETA x FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	1 GALLON
PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	1 GALLON
RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	1 GALLON



LANDSCAPE PLAN
1" = 30'-0"



Revisions

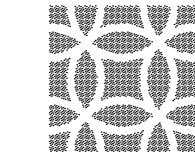
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3. PLAN COMMISSION REVISION 6/22/18
2. PLAN COMMISSION REVISION 5/09/18
1. ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

ARLINGTON DOWNS PUD REVISION

EUCLID AVE AND ROHLWING RD
ARLINGTON HEIGHTS, IL

LANDSCAPE PLAN - NW

Date 4/07/18	Project No. DWP 18-120
Scale 1" = 30'-0"	Sheet No. L-2.1
Drawn By FERGUSON	Approved

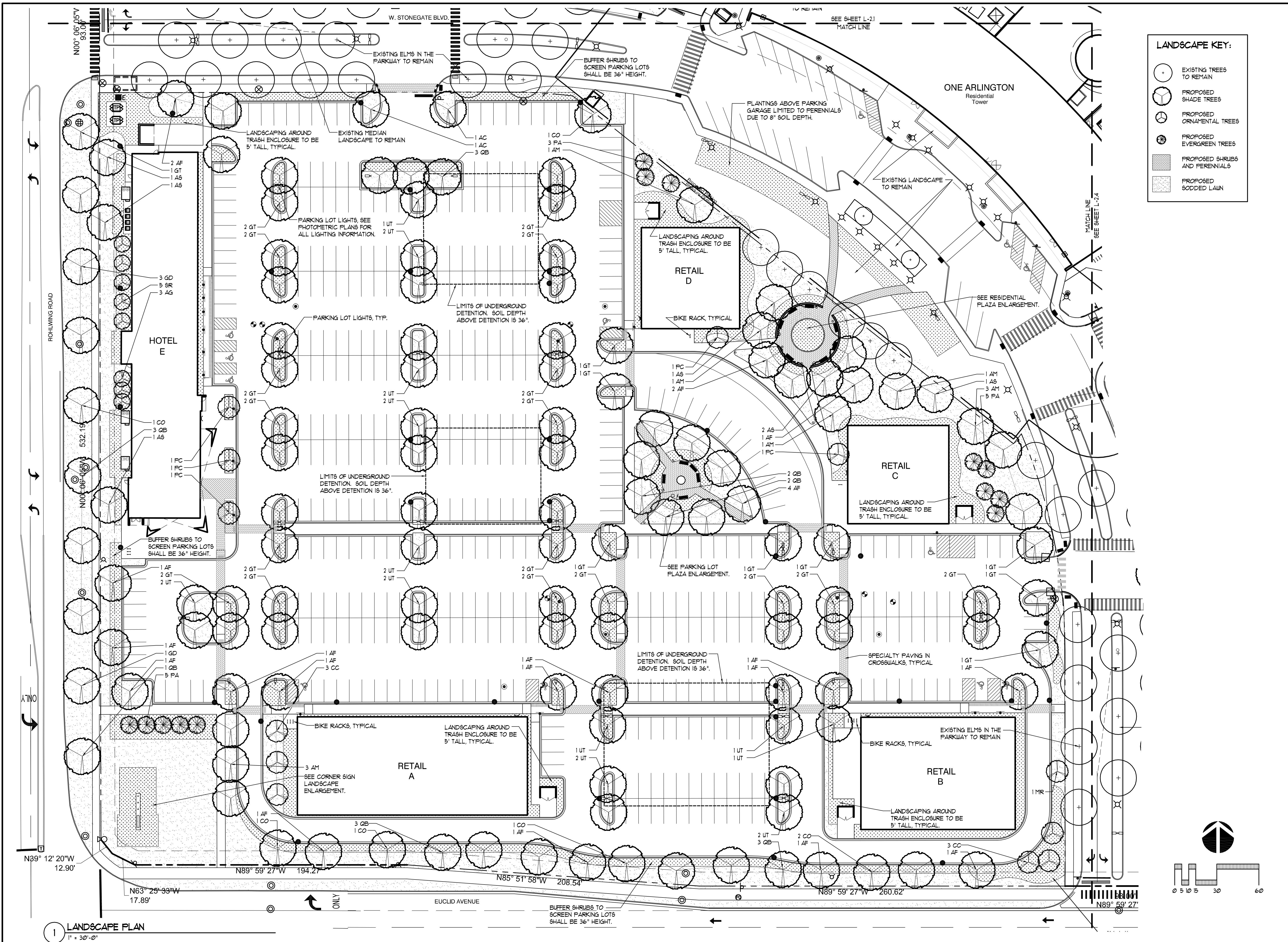


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LANDSCAPE KEY:

- EXISTING TREES TO REMAIN
- PROPOSED SHADE TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS AND PERENNIALS
- PROPOSED SODDED LAWN



Revisions

8.	
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3.	PLAN COMMISSION REVISION 6/22/18
2.	PLAN COMMISSION REVISION 5/09/18
1.	ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

Project

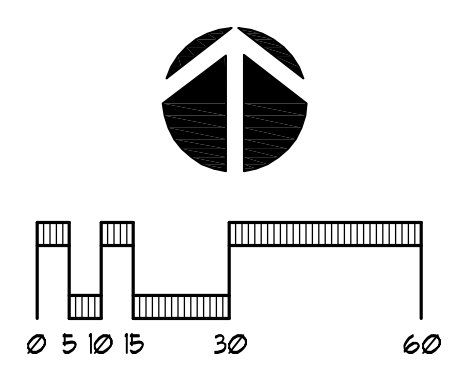
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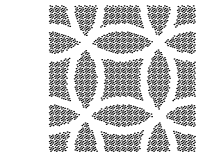
Sheet Title

**LANDSCAPE
PLAN - SW**

Date	4/07/18	Project No.	DWP 18-120
Scale	1" = 30'-0"	Sheet No.	L-2.2
Drawn By	FERGUSON	Approved	



LANDSCAPE PLAN
1" = 30'-0"

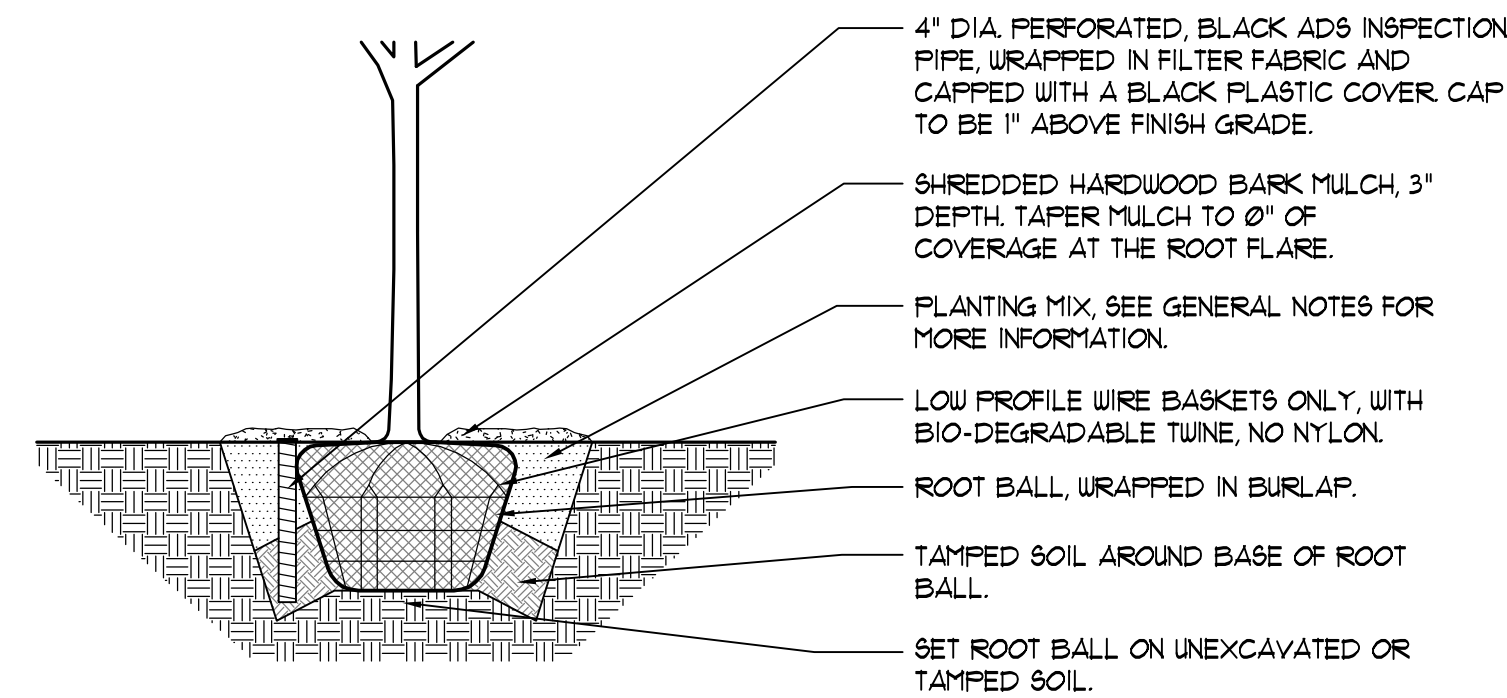


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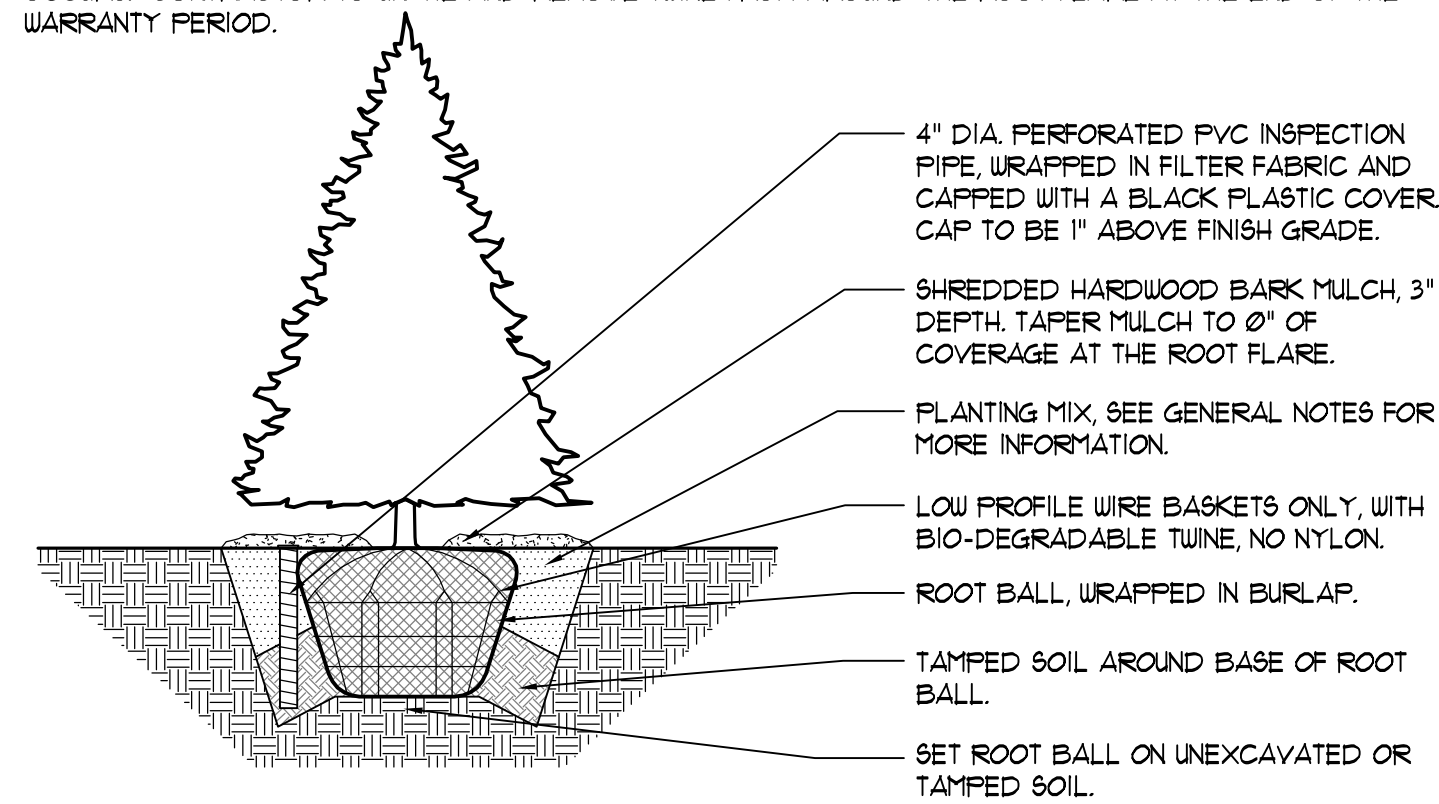
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LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 5% - 10% OF THE OVERALL BRANCHING. FOR TREES OVER 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 15% - 20% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TWINE FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



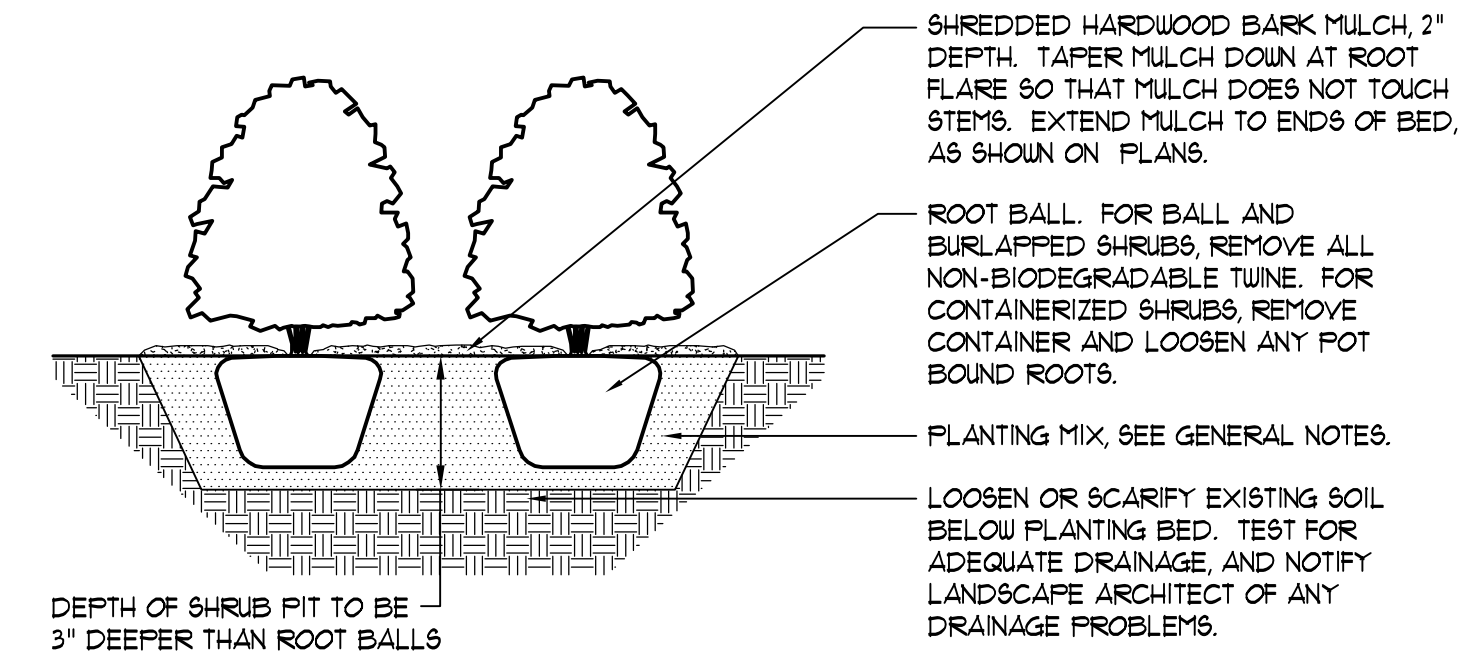
2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND REMOVE ANY DOUBLE LEADERS. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TWINE FROM AROUND THE ROOT FLARE AT THE END OF THE WARRANTY PERIOD.

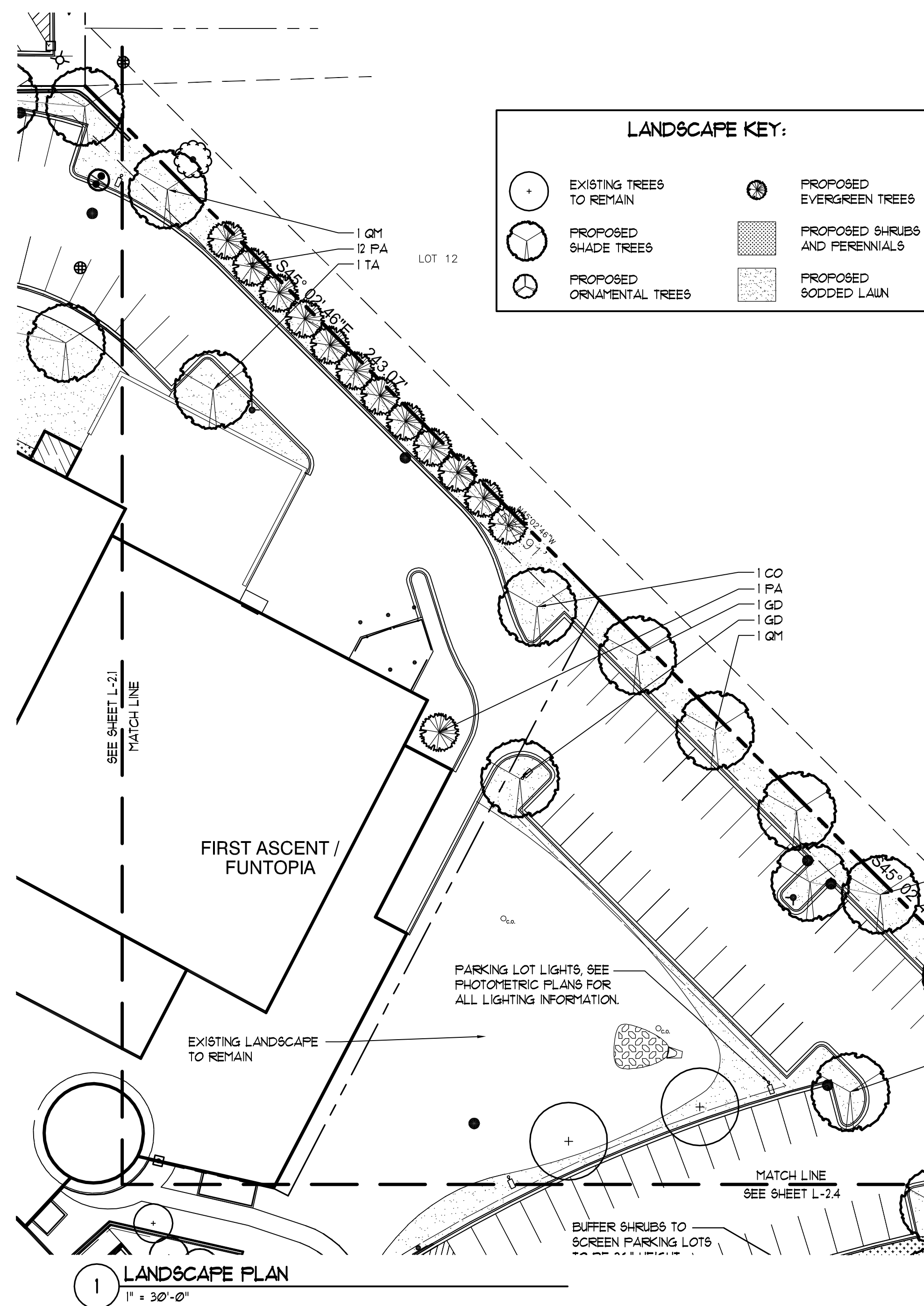


3 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PLANTING. SHRUBS BEDS ARE TO BE EXCAVATED AS A SINGLE SHRUB PIT. EXTEND SHRUB PIT WIDTH TO EDGES OF PLANT BED AS SHOWN ON THE LANDSCAPE PLAN. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE TWINE FROM ROOT FLARE. BACKFILL AND WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. MULCH LIMITS FOR SHRUBS SHALL EXTEND TO ALL OUTER EDGES OF PLANTING BEDS, SEE LANDSCAPE PLAN FOR BED LAYOUTS.

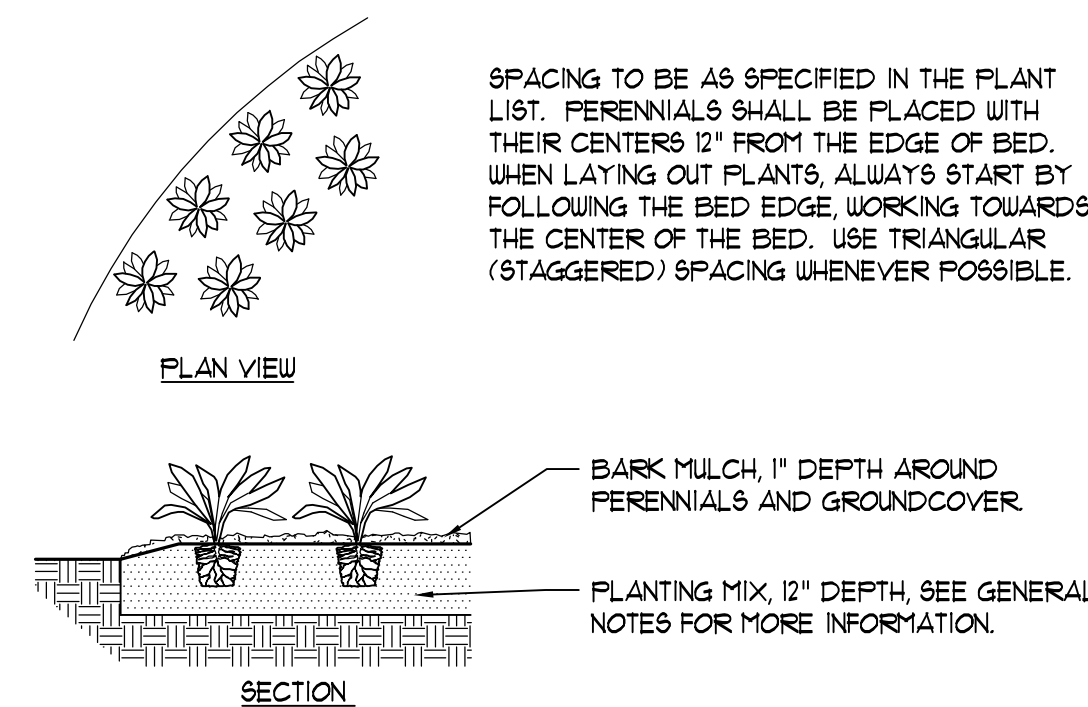


4 SHRUB PLANTING DETAIL
NOT TO SCALE



1 LANDSCAPE PLAN
1" = 30'-0"

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



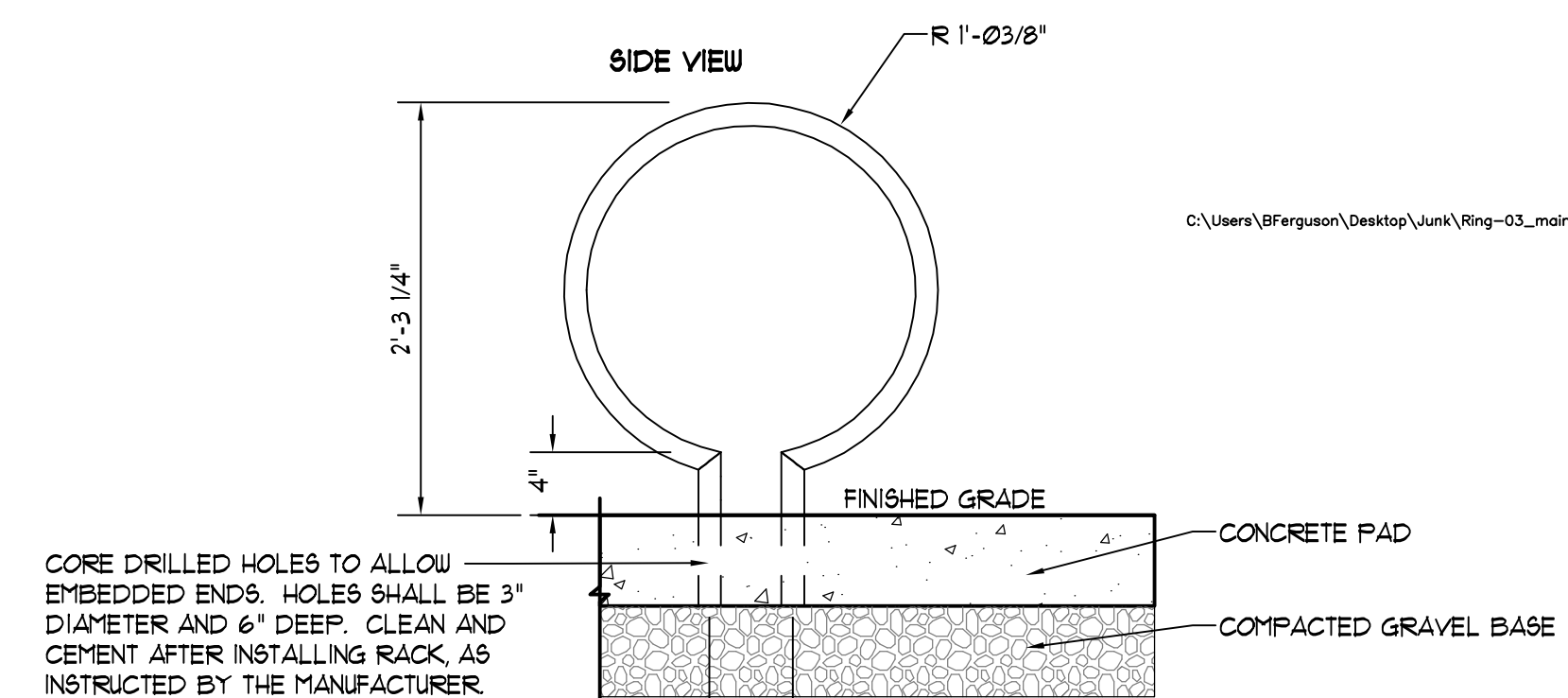
5 PERENNIAL PLANTING DETAIL
NOT TO SCALE

BENCHES TO BE MODEL 160-60, 6' LENGTH BENCH BY DUMOR SITE FURNISHINGS. BENCHES ARE TO HAVE END ARM RESTS. LITTER RECEPTACLES ARE TO BE MODEL 281-50 AND LINER CONCEALED SHIELDING. BENCHES AND LITTER RECEPTACLES TO HAVE BLACK POWDERCOAT FINISH AND ARE TO BE SURFACE MOUNTED. INSTALL AS RECOMMENDED BY THE MANUFACTURER, DUMOR.COM.



6 BENCHES AND LITTER RECEPTACLES
NOT TO SCALE

BIKE RACKS SHALL BE 'RING' RACK, AVAILABLE FROM LANDSCAPE FORMS, KALAMAZOO, MI, (800) 521-2546. RACKS SHALL BE EMBEDDED INTO THE CONCRETE PAVING AND SHALL HAVE A STAINLESS STEEL FINISH. THERE ARE 8 RACKS TOTAL, SPACED 30' ON CENTER. INSTALL BIKE RACKS PER MANUFACTURER'S RECOMMENDATIONS.



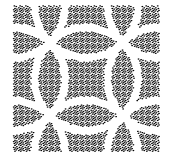
7 BIKE RACK DETAIL
NOT TO SCALE

Revisions	
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3.	PLAN COMMISSION REVISION 6/22/18
2.	PLAN COMMISSION REVISION 5/09/18
1.	ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

Project
**ARLINGTON
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EUCLID AVE AND ROHLWING RD
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Sheet Title
**LANDSCAPE
PLAN - NE**

Date 4/07/18	Project No. DWP 18-120
Scale 1" = 30'-0"	Sheet No. L-2.3
Drawn By FERGUSON	
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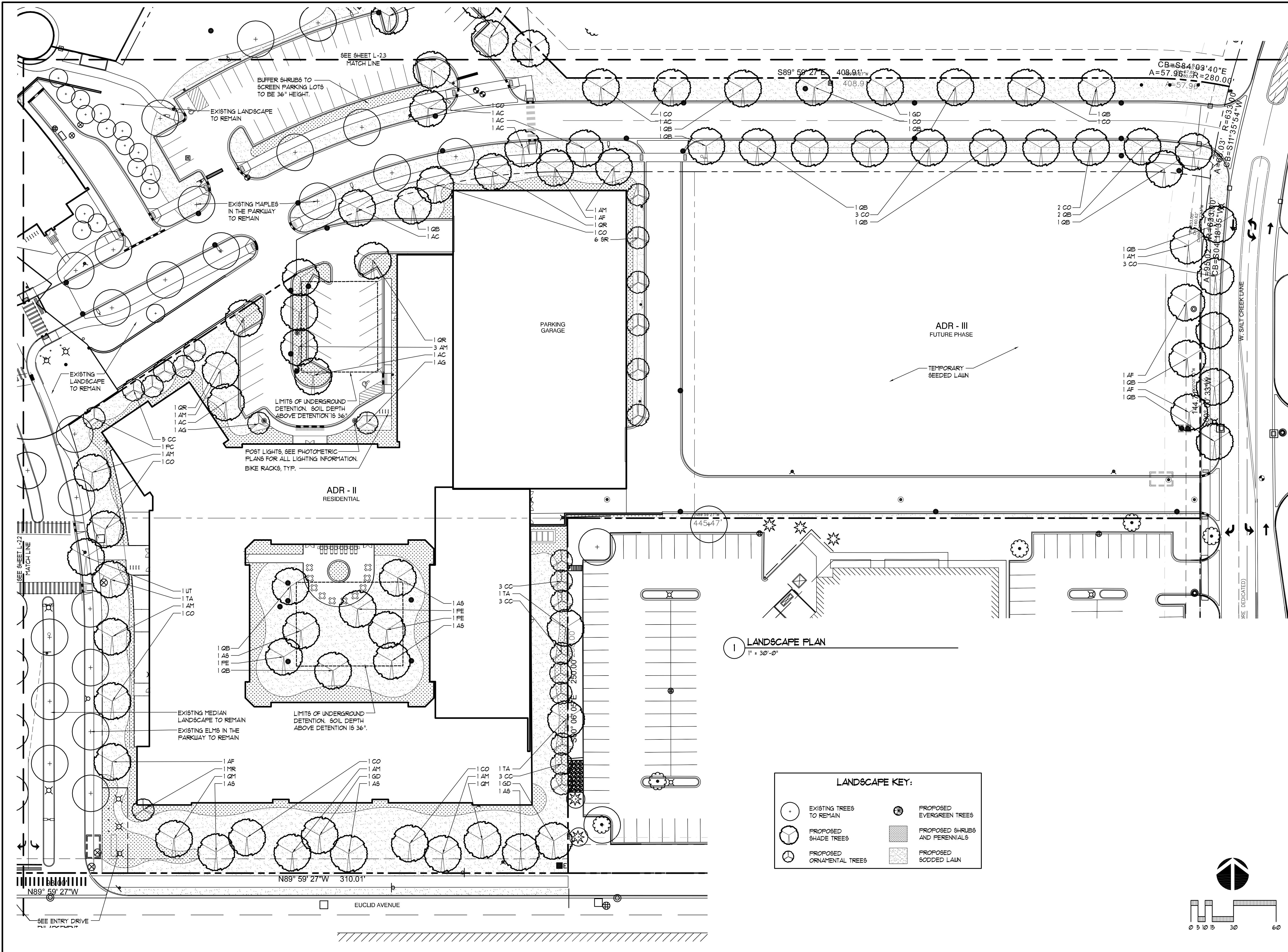
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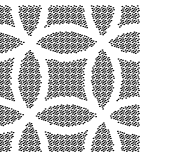
Revisions	
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Project
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EUCLID AVE AND ROHLWING RD
ARLINGTON HEIGHTS, IL

Sheet Title
**LANDSCAPE
PLAN - SE**

Date 4/07/18	Project No. DWP 18-120
Scale 1" = 30'-0"	Sheet No. L-2.4
Drawn By FERGUSON	Approved

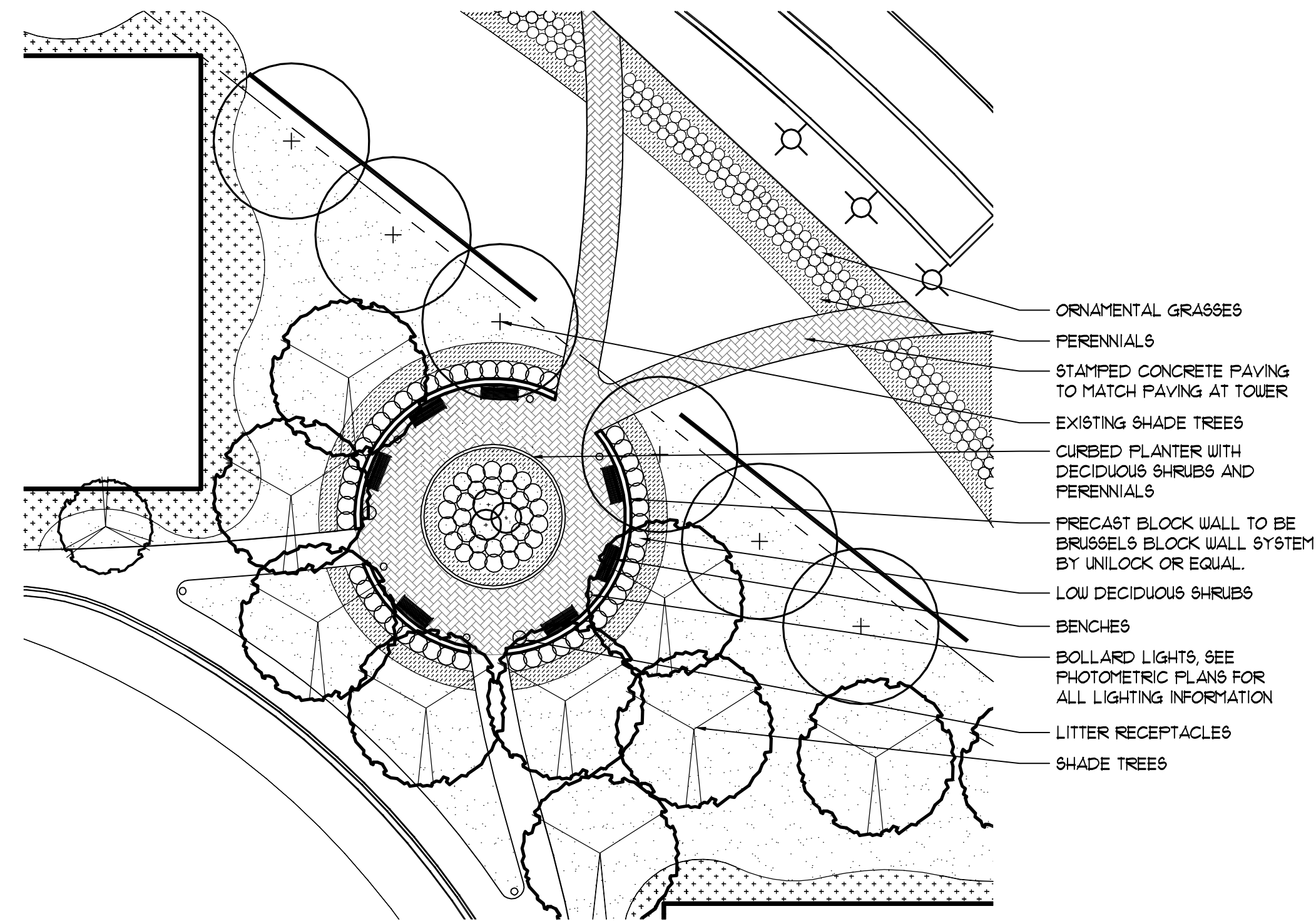




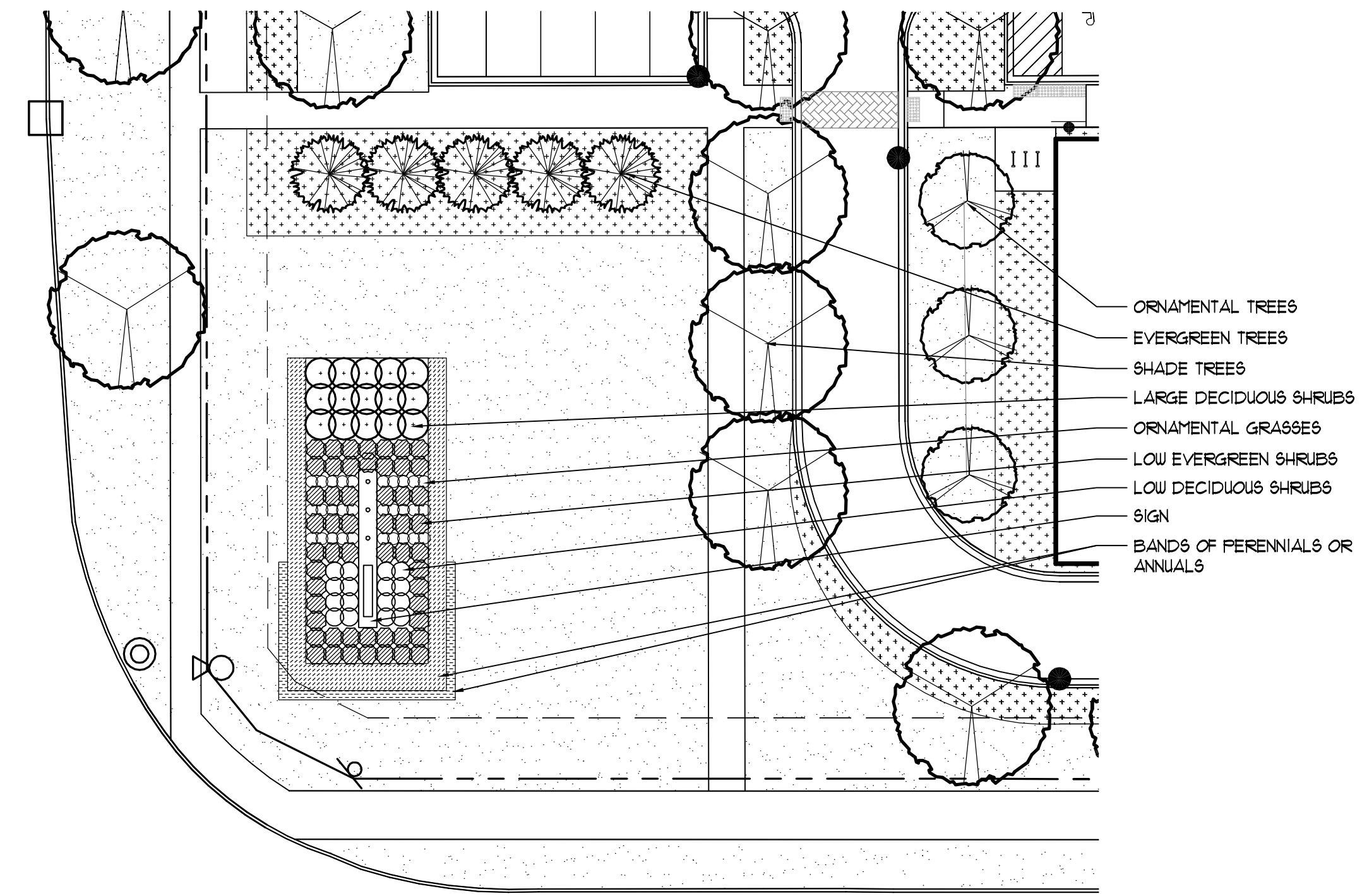
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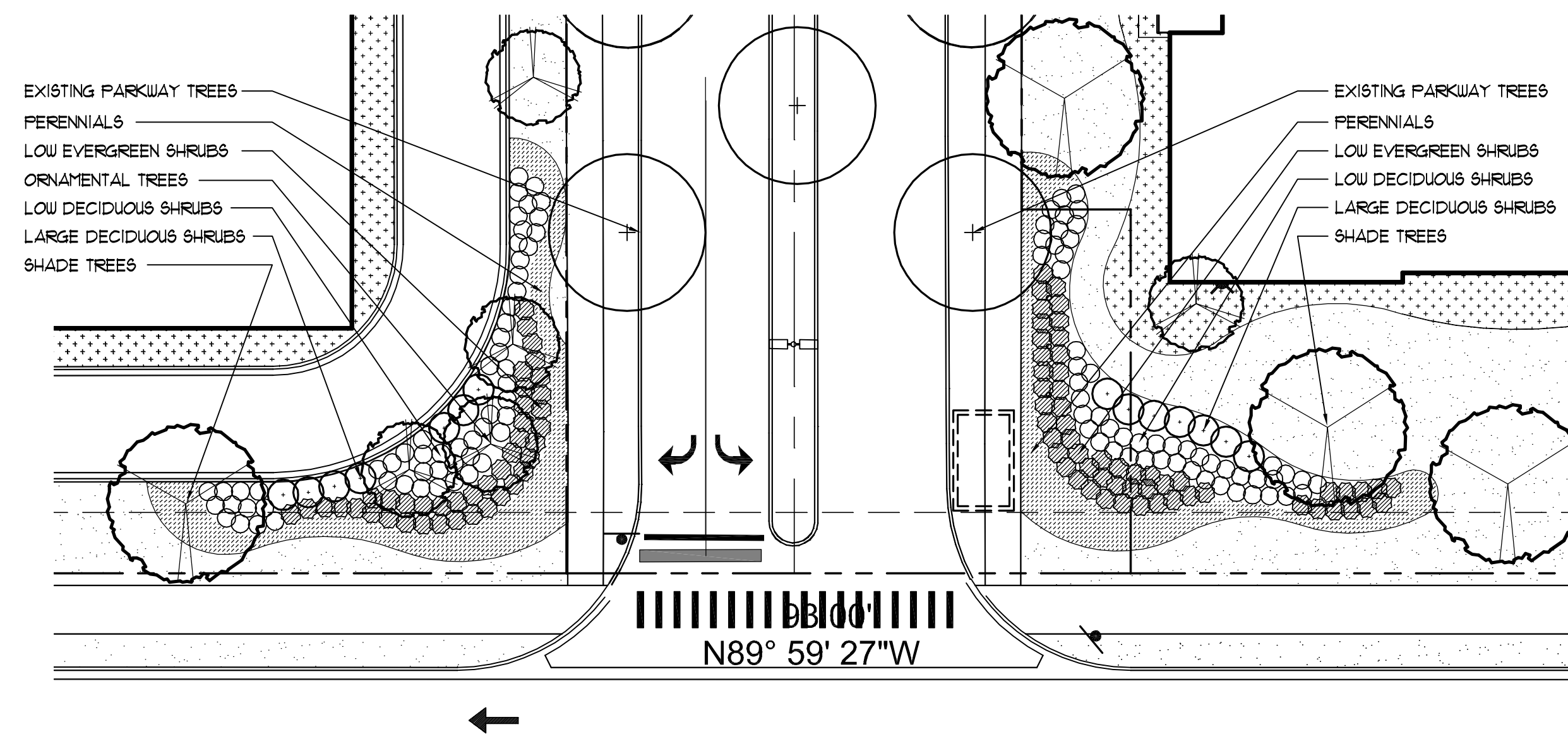
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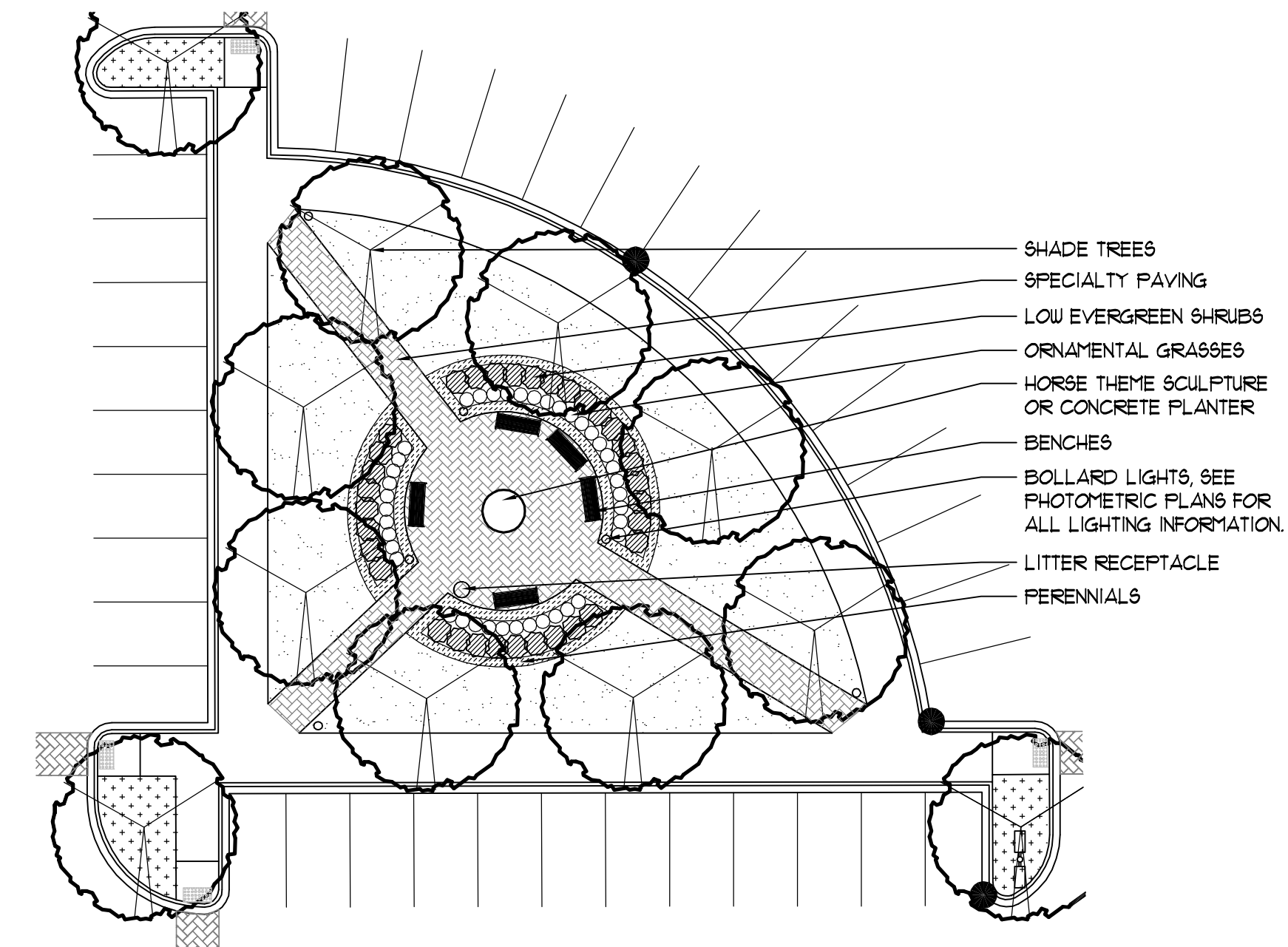
1 RESIDENTIAL PLAZA
1" = 20'-0"



2 CORNER SIGN LANDSCAPE
1" = 20'-0"



3 ENTRANCE LANDSCAPE
1" = 20'-0"



4 PARKING LOT PLAZA
1" = 20'-0"

Revisions	
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3.	PLAN COMMISSION REVISION 6/22/18
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1.	ISSUED FOR PLANNING COMMISSION REVIEW 4/04/18

Project

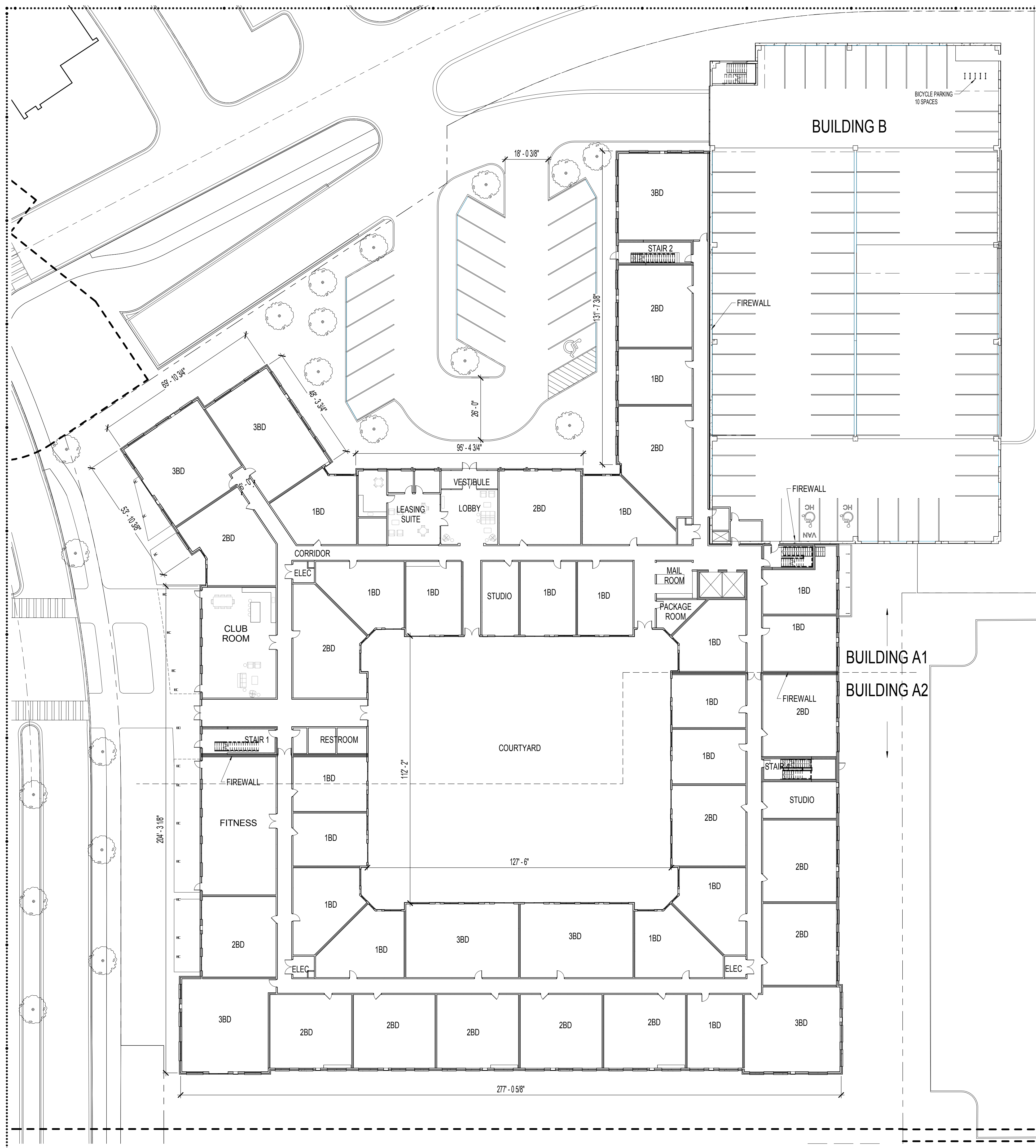
**ARLINGTON
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ARLINGTON HEIGHTS, IL

Sheet Title

**LANDSCAPE
ENLARGEMENTS**

Date 5/09/18	Project No. DWP 18-120
Scale 1" = 20'-0"	Sheet No. L-3.0
Drawn By FERGUSON	
Approved	



2009 INTERNATIONAL BUILDING CODE
 WITH APPLICABLE VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS / ORDINANCES

CONSTRUCTION CLASSIFICATION
 AREA MODIFICATIONS (SECTION 506) AUTOMATIC SPRINKLER INCREASE

1. - TYPE IIIA CONSTRUCTION (TABLE 503)
 - TYPE IIB CONSTRUCTION (OPEN PARKING GARAGE, TABLE 406.3.5)
2. ALLOWABLE FLOOR AREA (TABLE 503) & (TABLE 406.3.5)
 - ASSEMBLY (A3) = 14,000 SF/FLOOR
 - RESIDENTIAL (R2) = 24,000 SF/FLOOR
 - STORAGE (S2) = 50,000 SF/FLOOR
3. AUTOMATIC SPRINKLER SYSTEM INCREASE (504.2)
 - BUILDINGS EQUIPPED WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM MAY INCREASE THE MAXIMUM HEIGHT SPECIFIED IN TABLE 503 BY 20'-0" AND THE MAXIMUM NUMBER OF STORIES BY 1 AND FLOOR AREA BY FORMULA FOR SPRINKLER INCREASE
 - ASSEMBLY (A3) = 14,000 + 14,000 = 28,000 SF/FLOOR
 - RESIDENTIAL (R2) = 24,000 + 24,000 = 48,000 SF/FLOOR

BUILDING SEPARATION
 FIRE WALLS COMPLYING WITH SECTION 706 WILL BE USED TO SEPARATE THE BUILDING
 - GROUP R2 = 3 HOUR

BUILDING TOTAL AREAS
 BUILDING A TOTAL AREA = 153,675 SF
 BUILDING B TOTAL AREA = 135,385 SF
 BUILDING C TOTAL AREA = 120,375 SF

BUILDING HEIGHT REQUIREMENT			
ALLOWABLE HEIGHT	SPRINKLER INCREASE	MAXIMUM MODIFIED ALLOWABLE HEIGHT	ACTUAL HEIGHT
55'-0"	20'-0"	75'-0"	56'-0"

NUMBER OF FLOOR REQUIREMENT			
ALLOWABLE FLOORS	SPRINKLER INCREASE	MAXIMUM MODIFIED ALLOWABLE FLOORS	ACTUAL FLOORS
4	1	5	5

NUMBER OF GARAGE TIERS REQUIREMENT			
ALLOWABLE FLOORS	SPRINKLER INCREASE	MAXIMUM MODIFIED ALLOWABLE FLOORS	ACTUAL FLOORS
8	N/A	8	5

NOT FOR CONSTRUCTION

PLANNING COMMISSION REVISION	2018.06.22
PLANNING COMMISSION REVISION	2018.05.09
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NO.:	DATE



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 Chicago, IL 60661
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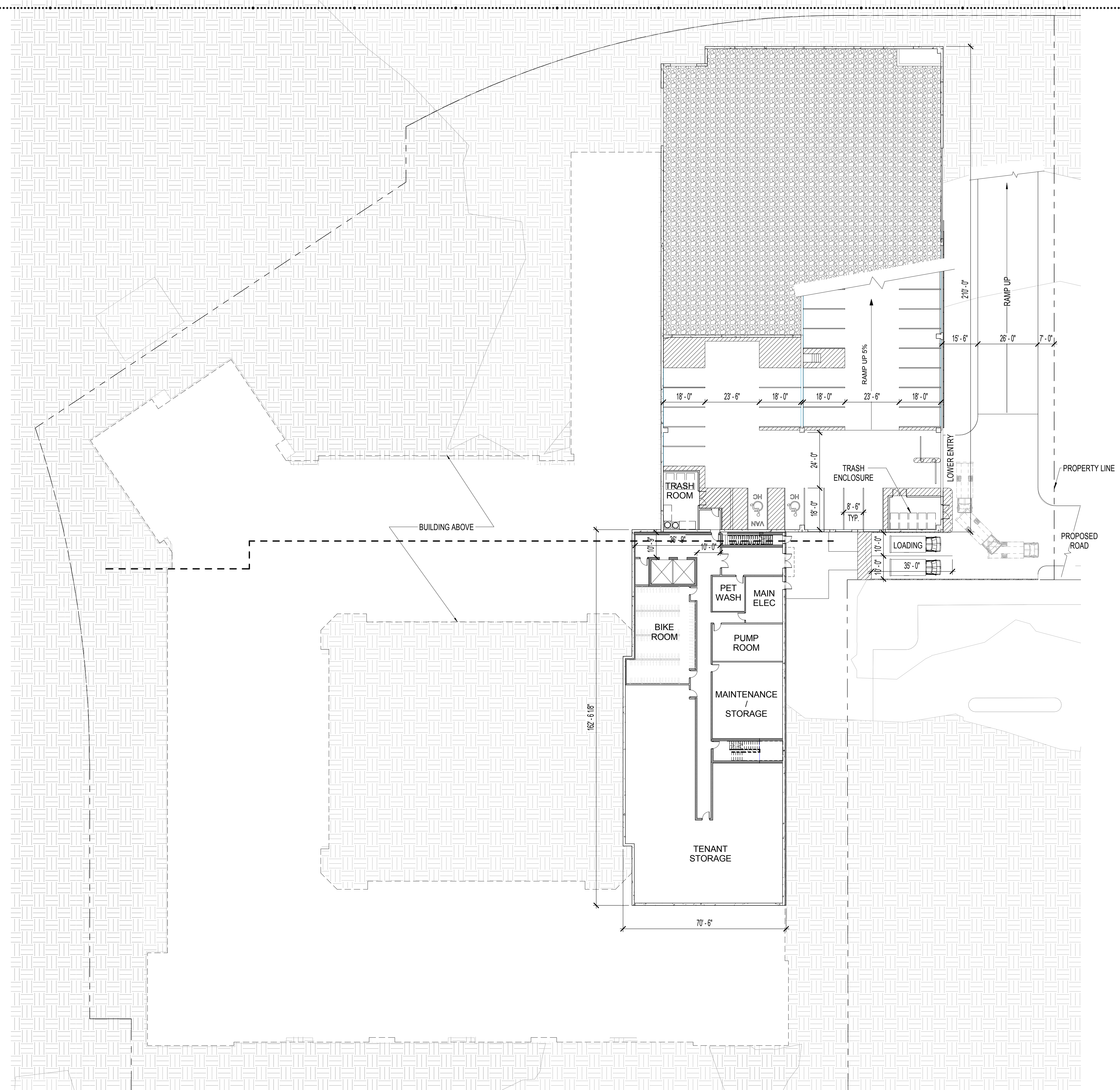
ARLINGTON DOWNS
 RESIDENTIAL BUILDING II

GROUND FLOOR PLAN

2 ADR II - LEVEL 1
 SCALE: 3/8" = 1'-0"

DRAWN BY: _____ CHECKED: _____
 DATE: _____ SHEET NO.: _____
 PROJ. NO.: 16093
A100

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1 ADR II - LEVEL B1 - DC
 A101 SCALE: 3/64" = 1'-0"

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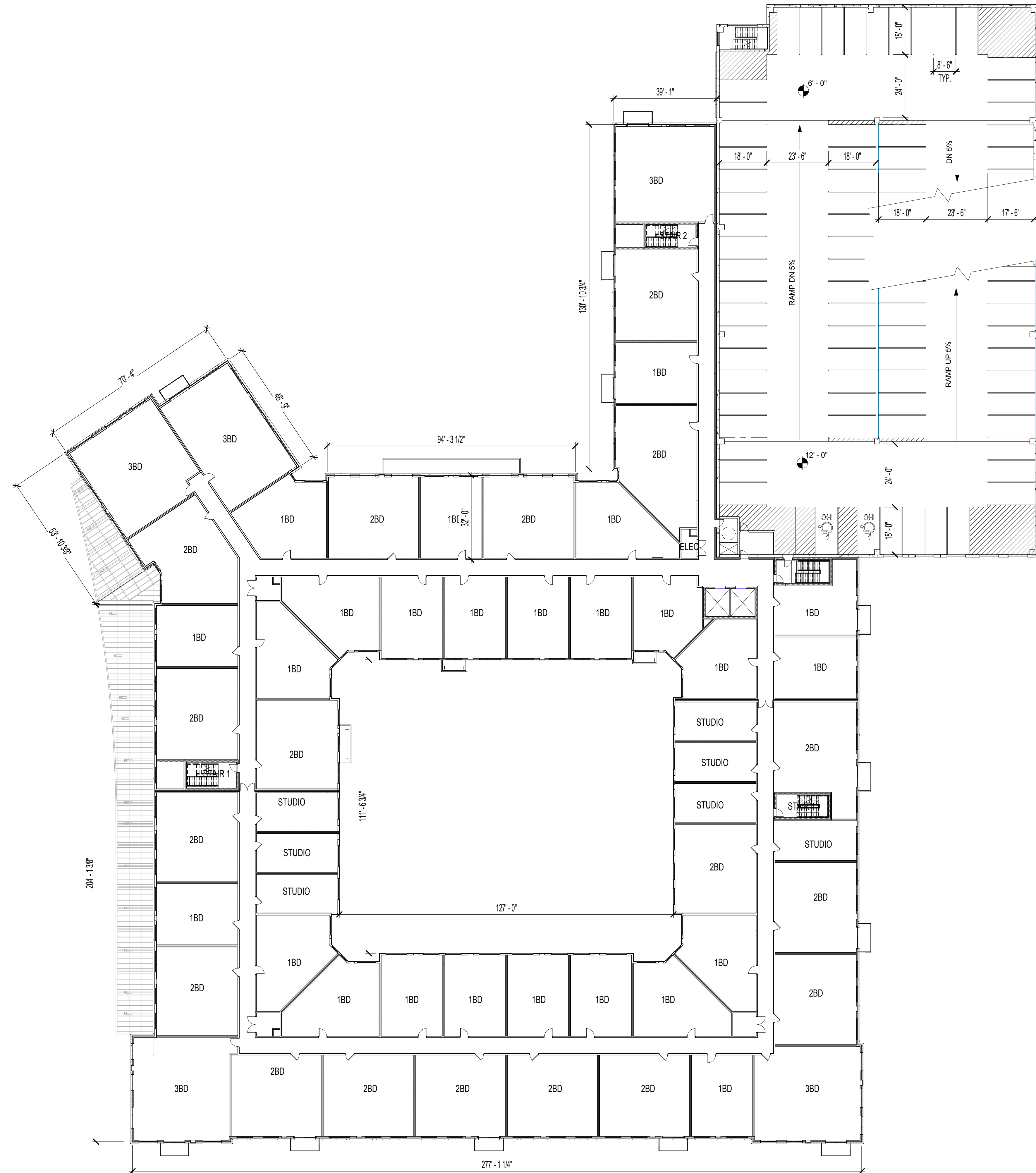
BASEMENT PLAN

DRAWN BY: _____ CHECKED: _____

DATE: _____ SHEET NO.:
 Issue Date: _____
 PROJ. NO.: _____
 16093

A101

OKW ARCHITECTS



1 ADR II - LEVEL 2 - DC
 A102 SCALE: 3/8" = 1'-0"

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2ND-5TH FLOOR PLAN

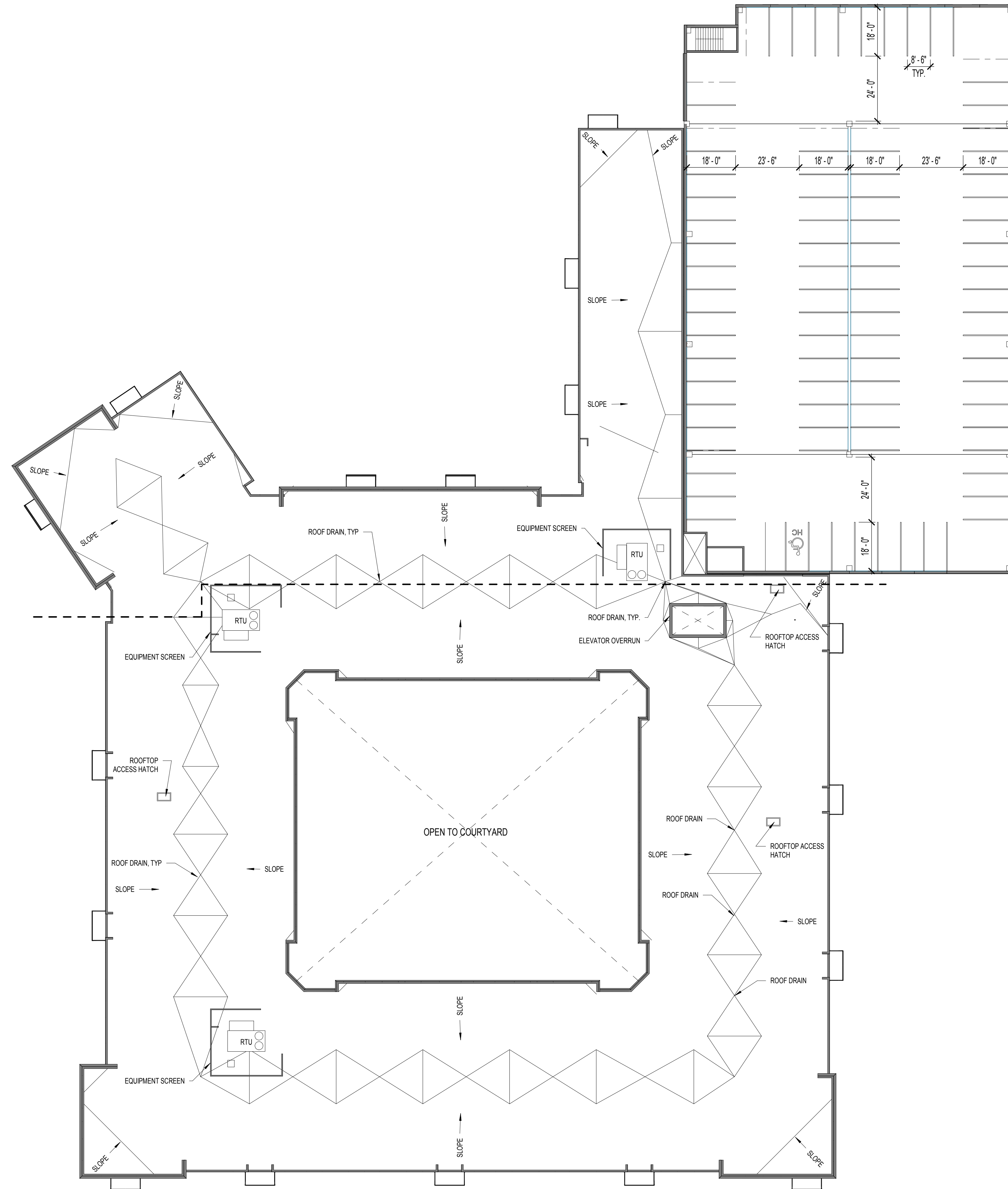
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DATE:
 Issue Date
 PROJ. NO.:
 16093

SHEET NO.:

A102

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1 ADR II - ROOF - DC
 A103 SCALE: 3/64" = 1'-0"

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NO.	ISSUED FOR: DATE



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ROOF PLAN

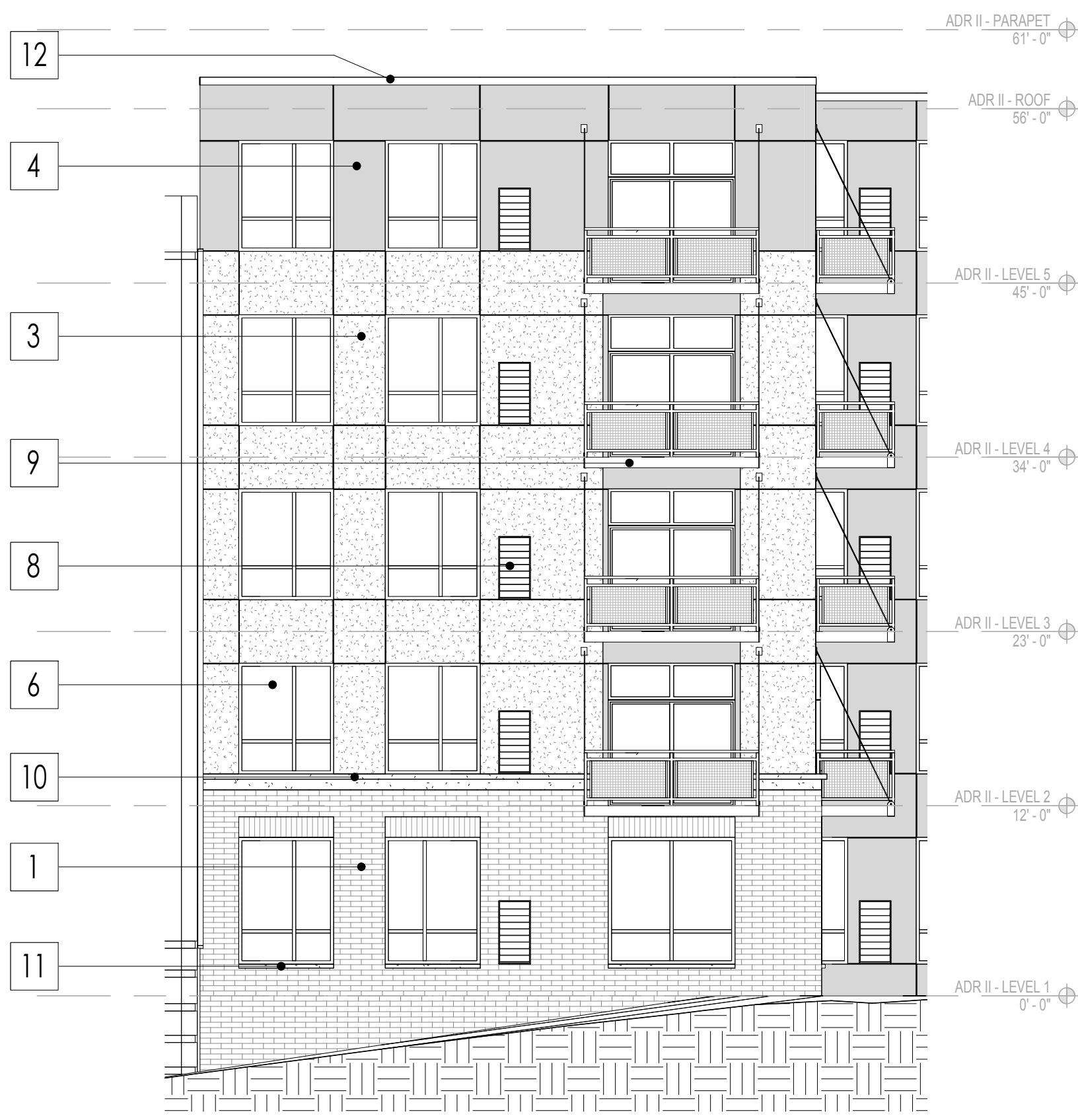
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DATE:
 Issue Date:
 PROJ. NO.:
 16093

SHEET NO.:

A103

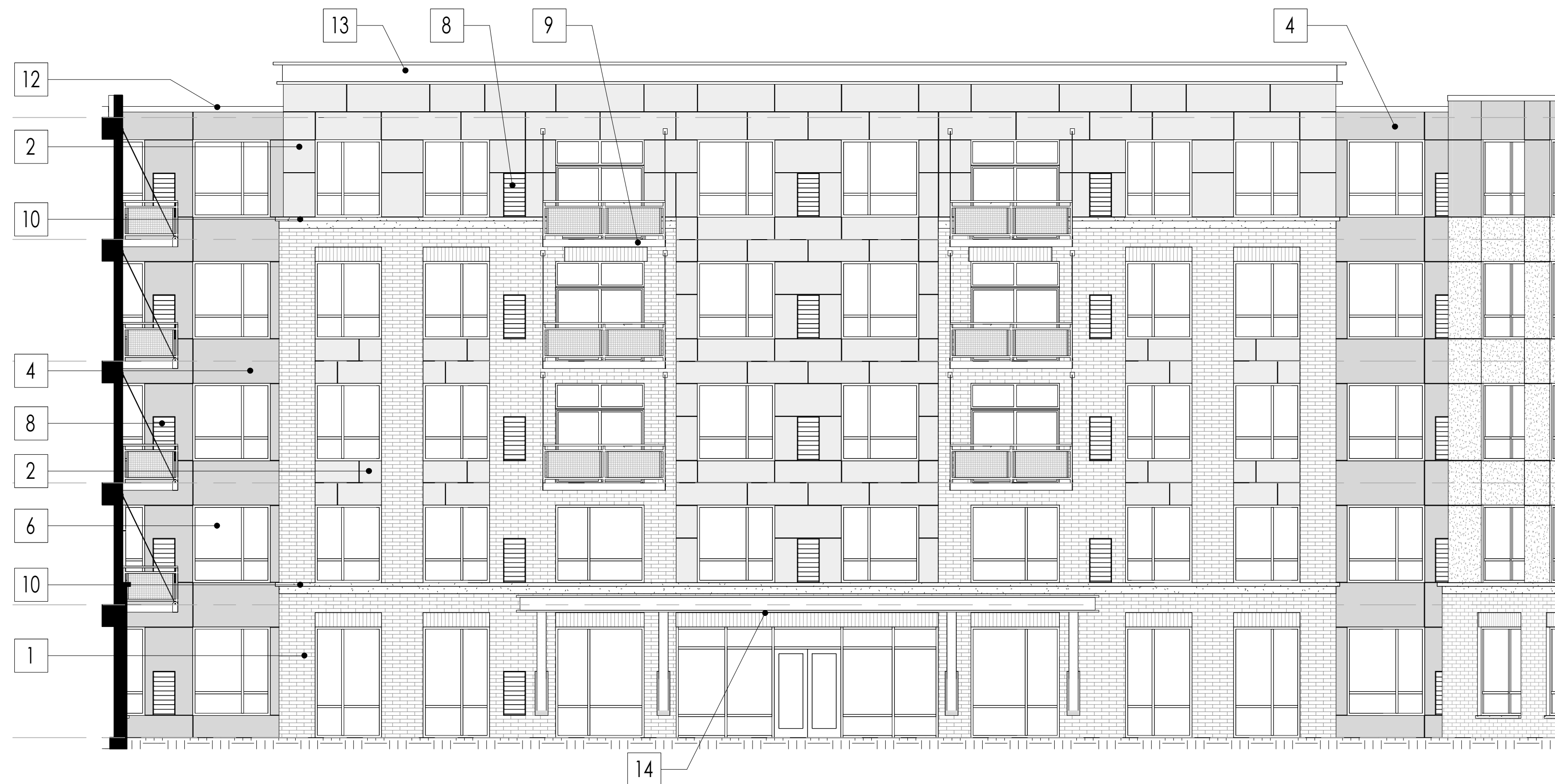
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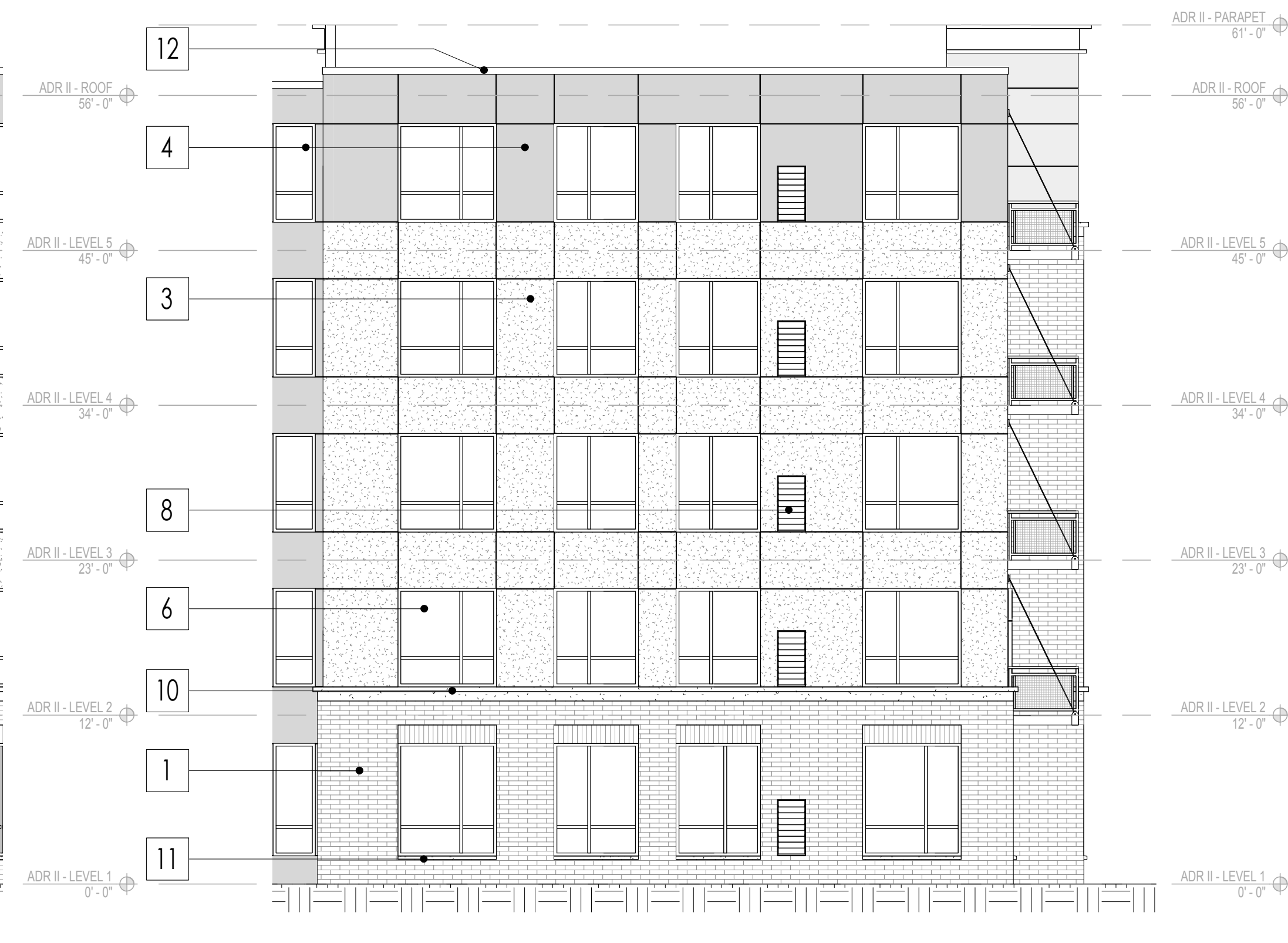
1 NORTH ELEVATION - DC
SCALE: 1/8" = 1'-0"



2 EAST ENTRY ELEVATION - DC
SCALE: 1/8" = 1'-0"



3 NORTH ENTRY ELEVATION - DC
SCALE: 1/8" = 1'-0"



4 NORTHEAST ENTRY ELEVATION - DC
SCALE: 1/8" = 1'-0"

LEGEND * MATERIAL SAMPLES AND MATERIALS BOARD WILL BE PRESENT AT MEETING

- | | | | | |
|--------------------|--------------------|---------------------|----------------------|--------------------------|
| 1 MASONRY - 1 | 4 FIBER CEMENT - 3 | 7 STOREFRONT SYSTEM | 10 CAST STONE - BAND | 13 METAL WRAPPED CORNICE |
| 2 FIBER CEMENT - 1 | 5 NOT USED | 8 VTAC LOUVERS | 11 CAST STONE - SILL | 14 PREFAB METAL CANOPY |
| 3 FIBER CEMENT - 2 | 6 VINYL WINDOWS | 9 PREFAB BALCONY | 12 METAL COPING | 15 METAL PERGOLA |

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ELEVATIONS

DRAWN BY: _____ CHECKED: _____
DATE: _____ ISSUE DATE: _____ SHEET NO.: _____
PROJ. NO.: 16093
A-104



1 NORTHWEST ENTRY ELEVATION - DC
 A204 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION @ CRANK - DC
 A204 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION - DC
 A204 SCALE: 1/8" = 1'-0"

LEGEND

* MATERIAL SAMPLES AND MATERIALS BOARD WILL BE PRESENT AT MEETING

- | | | | | |
|--------------------|--------------------|---------------------|----------------------|--------------------------|
| 1 MASONRY - 1 | 4 FIBER CEMENT - 3 | 7 STOREFRONT SYSTEM | 10 CAST STONE - BAND | 13 METAL WRAPPED CORNICE |
| 2 FIBER CEMENT - 1 | 5 NOT USED | 8 VTAC LOUVERS | 11 CAST STONE - SILL | 14 PREFAB METAL CANOPY |
| 3 FIBER CEMENT - 2 | 6 VINYL WINDOWS | 9 PREFAB BALCONY | 12 METAL COPING | 15 METAL PERGOLA |

NOT FOR CONSTRUCTION

PLANNING COMMISSION REVISION	2018.08.22
PLANNING COMMISSION REVISIONS	2018.05.09
ISSUED FOR PLANNING COMMISSION	2018.04.04
NO:	DATE



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 Chicago, IL 60661
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 F 312.788.7777
 www.okwarchitects.com

ARLINGTON DOWNS
 RESIDENTIAL BUILDING II

ELEVATIONS

DRAWN BY: _____ CHECKED: _____

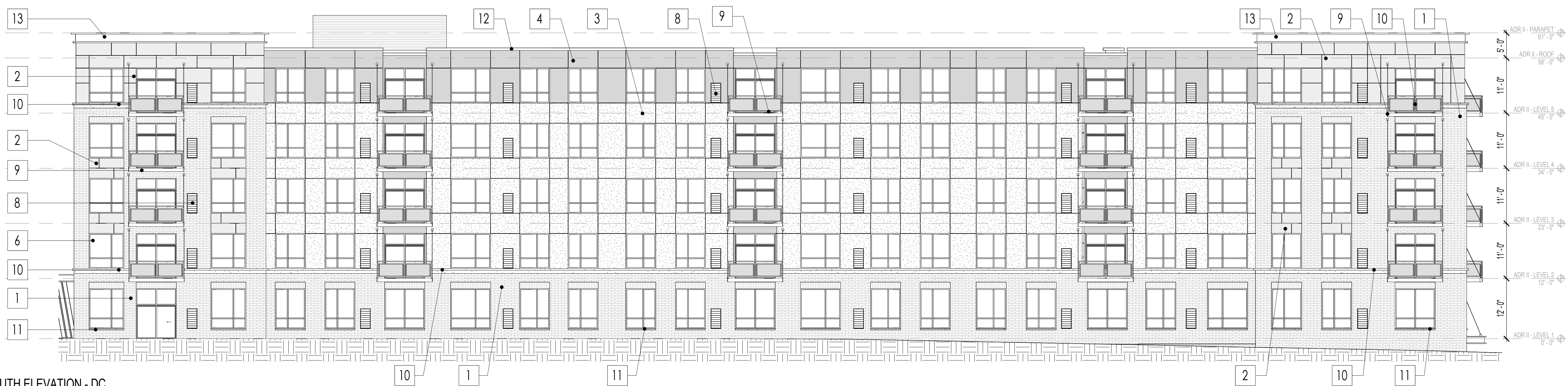
DATE: _____
 Issue Date

SHEET NO.:

PROJ. NO.:
 16093

A-105

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1 SOUTH ELEVATION - DC
 A205 SCALE: 3/32" = 1'-0"



2 EAST ELEVATION - DC
 A205 SCALE: 1/8" = 1'-0"

LEGEND * MATERIAL SAMPLES AND MATERIALS BOARD WILL BE PRESENT AT MEETING

- | | | | | |
|--------------------|--------------------|---------------------|----------------------|--------------------------|
| 1 MASONRY - 1 | 4 FIBER CEMENT - 3 | 7 STOREFRONT SYSTEM | 10 CAST STONE - BAND | 13 METAL WRAPPED CORNICE |
| 2 FIBER CEMENT - 1 | 5 NOT USED | 8 VTAC LOUVERS | 11 CAST STONE - SILL | 14 PREFAB METAL CANOPY |
| 3 FIBER CEMENT - 2 | 6 VINYL WINDOWS | 9 PREFAB BALCONY | 12 METAL COPING | 15 METAL PERGOLA |

NOT FOR CONSTRUCTION

PLANNING COMMISSION REVISION	2018.08.22
PLANNING COMMISSION REVISIONS	2018.05.09
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NO:	DATE

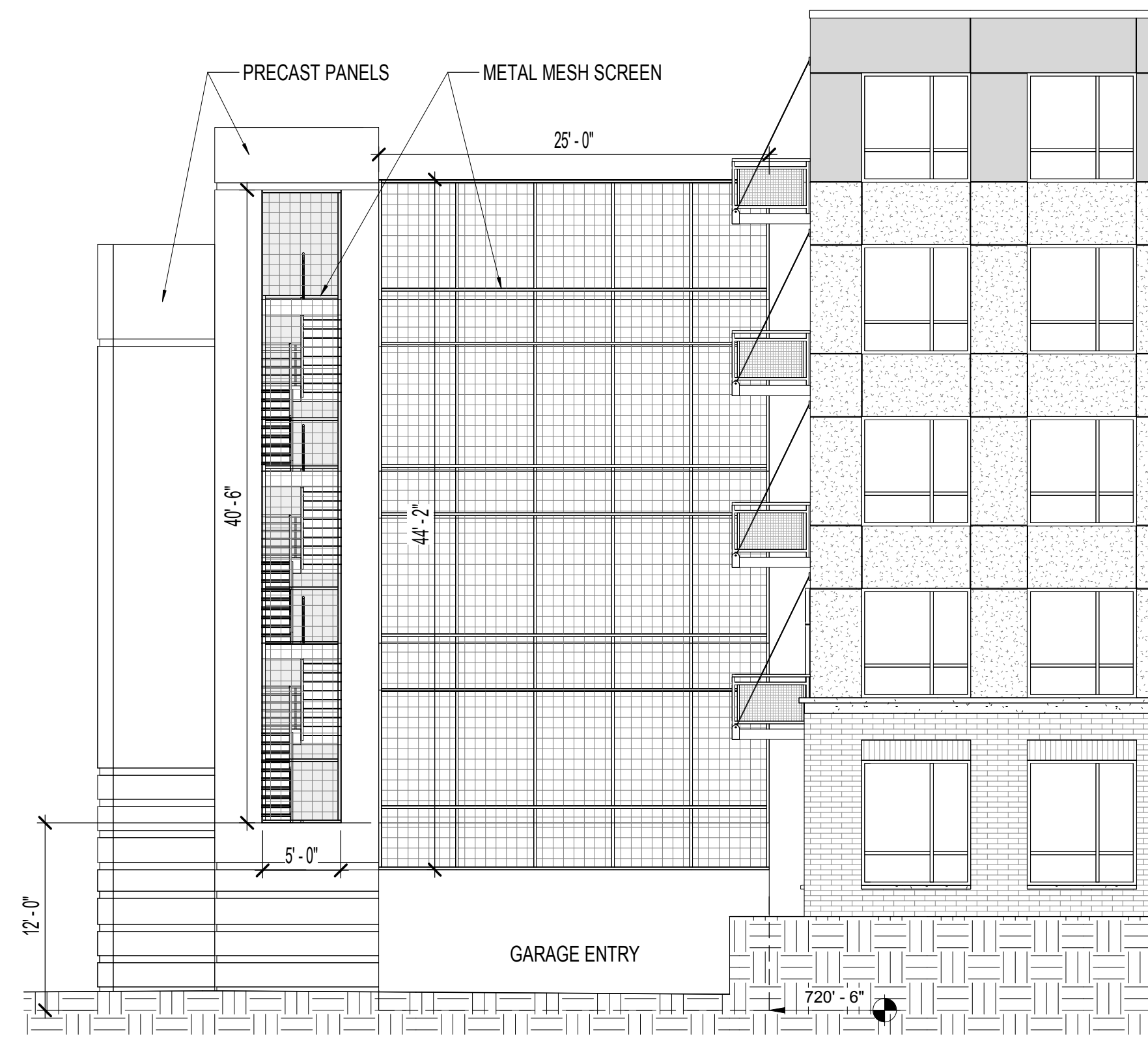


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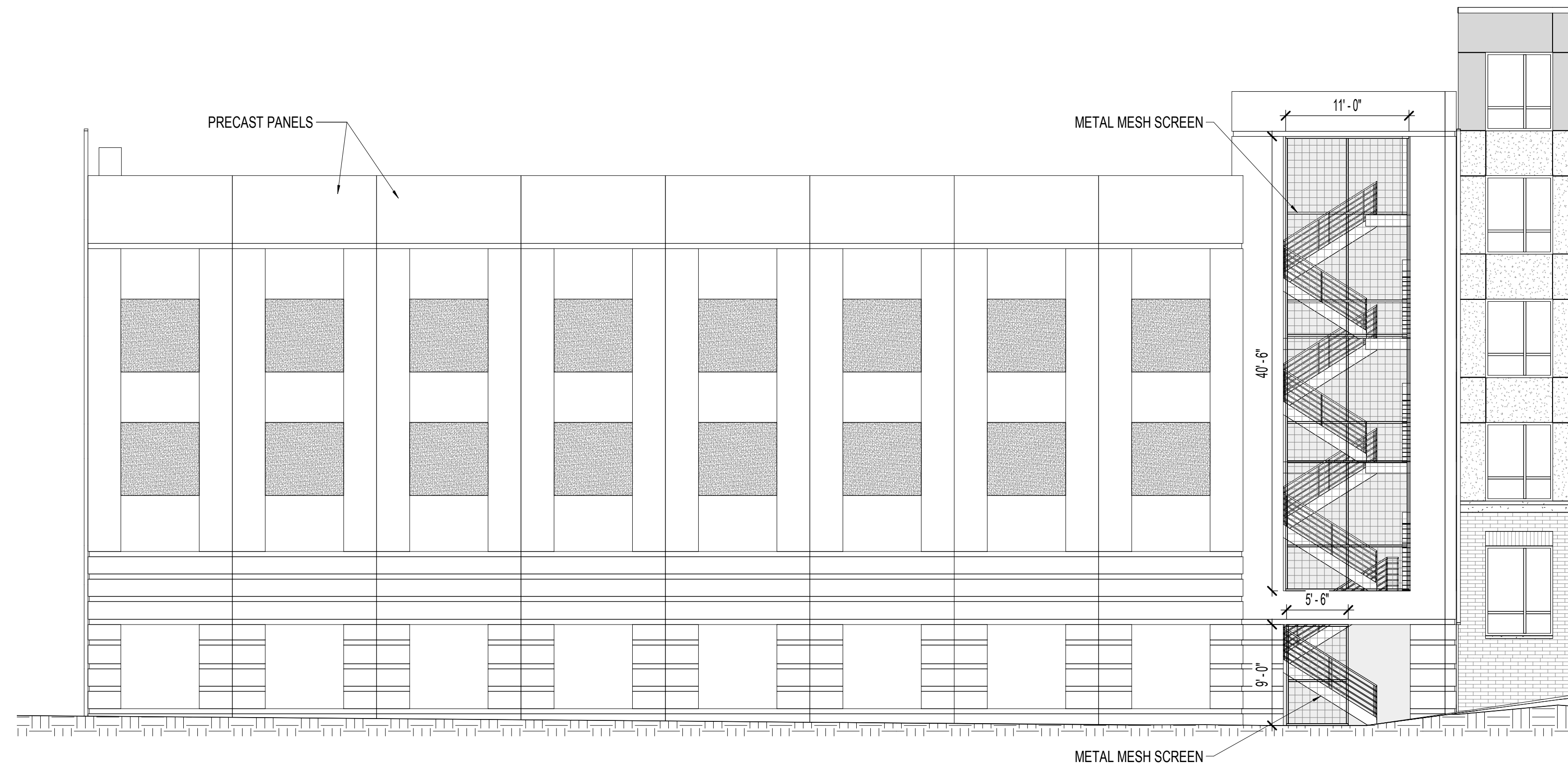
ARLINGTON DOWNS
 RESIDENTIAL BUILDING II

ELEVATIONS

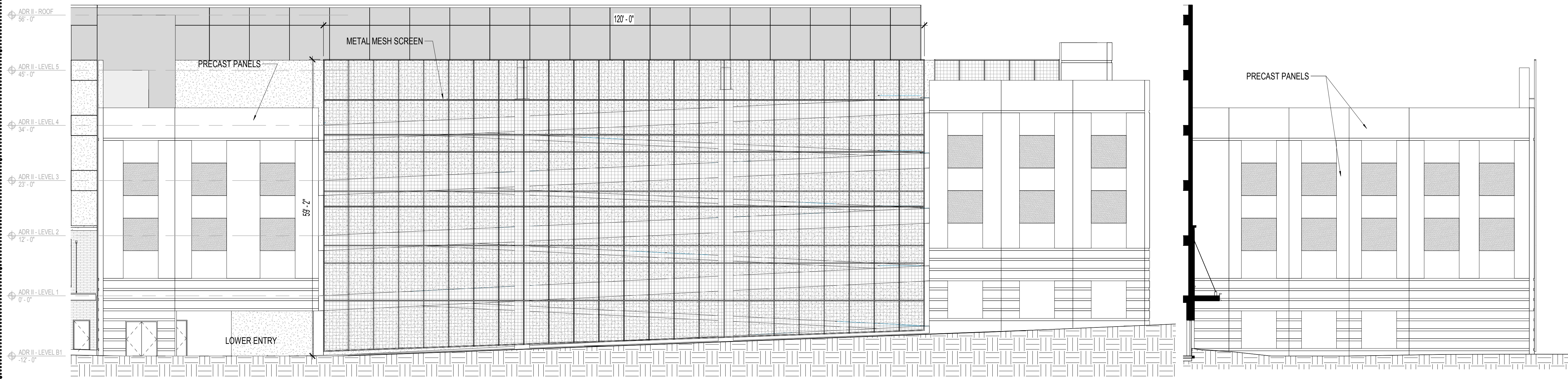
DRAWN BY: _____ CHECKED: _____
 DATE: Issue Date SHEET NO.:
 PROJ. NO.:
 16093 A-106



4 WEST ELEVATION @ GARAGE - DC
A206 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION @ GARAGE - DC
A206 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION @ GARAGE - DC
A206 SCALE: 3/32" = 1'-0"

3 SOUTH ELEVATION @ GARAGE - DC
A206 SCALE: 3/32" = 1'-0"

LEGEND * MATERIAL SAMPLES AND MATERIALS BOARD WILL BE PRESENT AT MEETING

- | | | | | |
|--------------------|--------------------|---------------------|----------------------|--------------------------|
| 1 MASONRY - 1 | 4 FIBER CEMENT - 3 | 7 STOREFRONT SYSTEM | 10 CAST STONE - BAND | 13 METAL WRAPPED CORNICE |
| 2 FIBER CEMENT - 1 | 5 NOT USED | 8 VTAC LOUVERS | 11 CAST STONE - SILL | 14 PREFAB METAL CANOPY |
| 3 FIBER CEMENT - 2 | 6 VINYL WINDOWS | 9 PREFAB BALCONY | 12 METAL COPING | 15 METAL PERGOLA |

NOT FOR CONSTRUCTION

PLANNING COMMISSION REVISION	2018.08.22
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ARLINGTON DOWNS
RESIDENTIAL BUILDING II

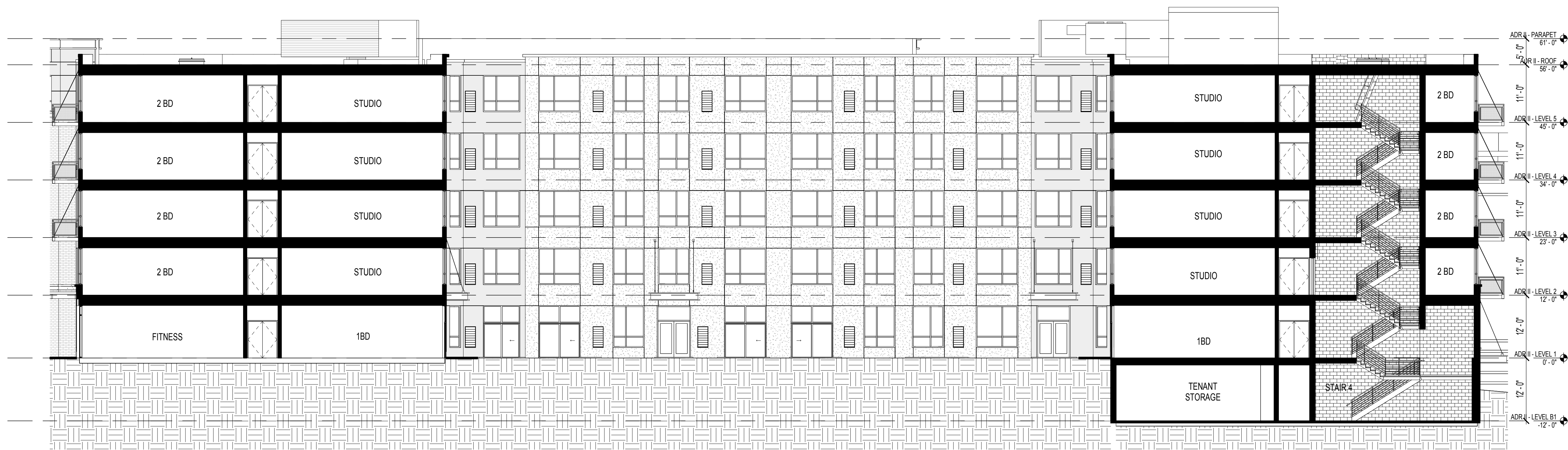
ELEVATIONS

DRAWN BY: _____ CHECKED: _____

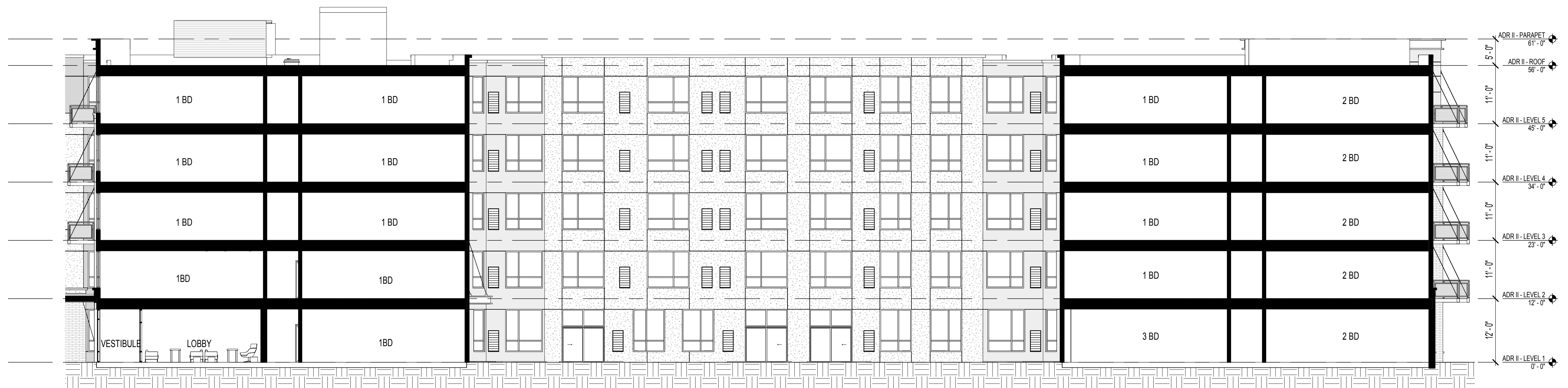
DATE:
Issue Date
PROJ. NO.:
16093

SHEET NO.:
A-107

OKW ARCHITECTS



2 SECTION 1 - DC
A210 SCALE: 3/32" = 1'-0"



1 SECTION 2 - DC
A210 SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

NO.	ISSUED FOR:	DATE
PLANNING COMMISSION REVISION		2018.08.22
PLANNING COMMISSION REVISION		2018.05.09
ISSUED FOR PLANNING COMMISSION		2018.04.04



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ARLINGTON DOWNS
RESIDENTIAL BUILDING II

BUILDING SECTIONS

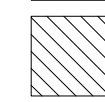
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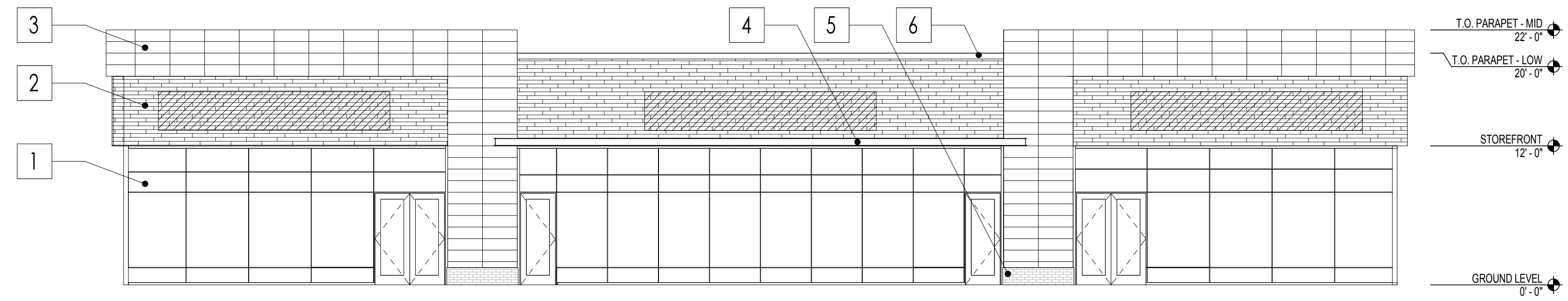
DATE:
Issue Date
PROJ. NO.:
16093

SHEET NO.:
A-108

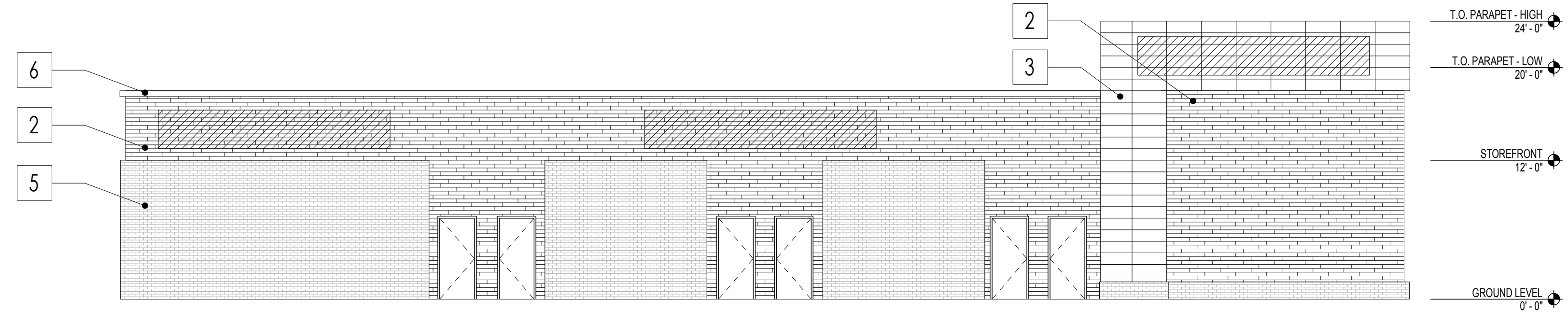
OKW ARCHITECTS

LEGEND * MATERIAL SAMPLES AND MATERIALS BOARD WILL BE PRESENT AT MEETING

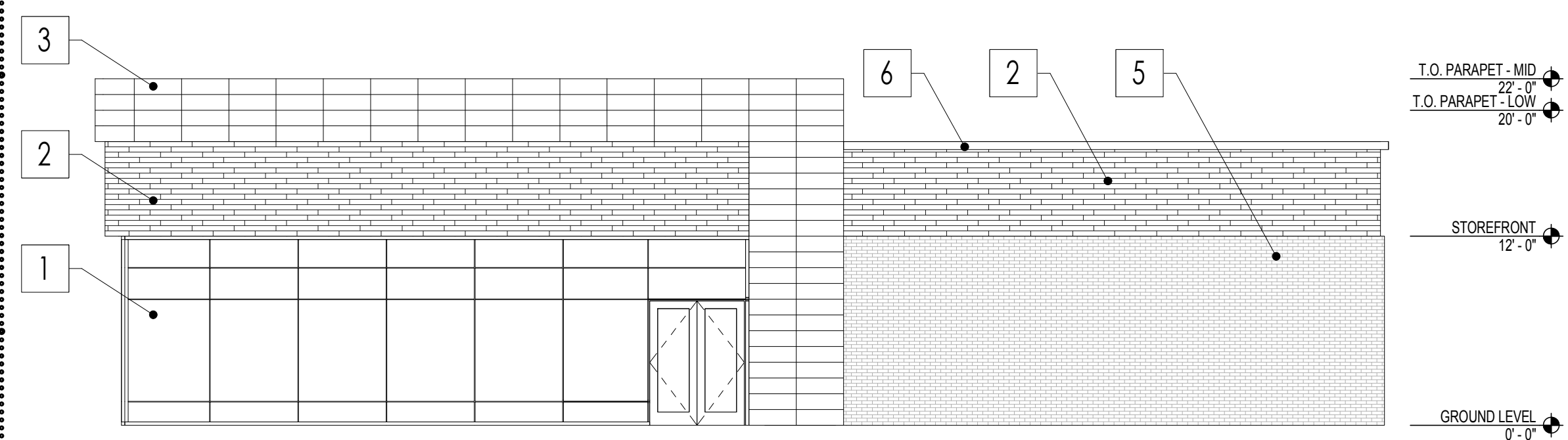
- | | |
|---|-----------------|
| 1 STOREFRONT SYSTEM | 4 PREFAB CANOPY |
| 2 FIBER CEMENT PANEL | 5 MASONRY |
| 3 METAL PANEL | 6 METAL COPING |
|  SIGNAGE LOCATIONS | |



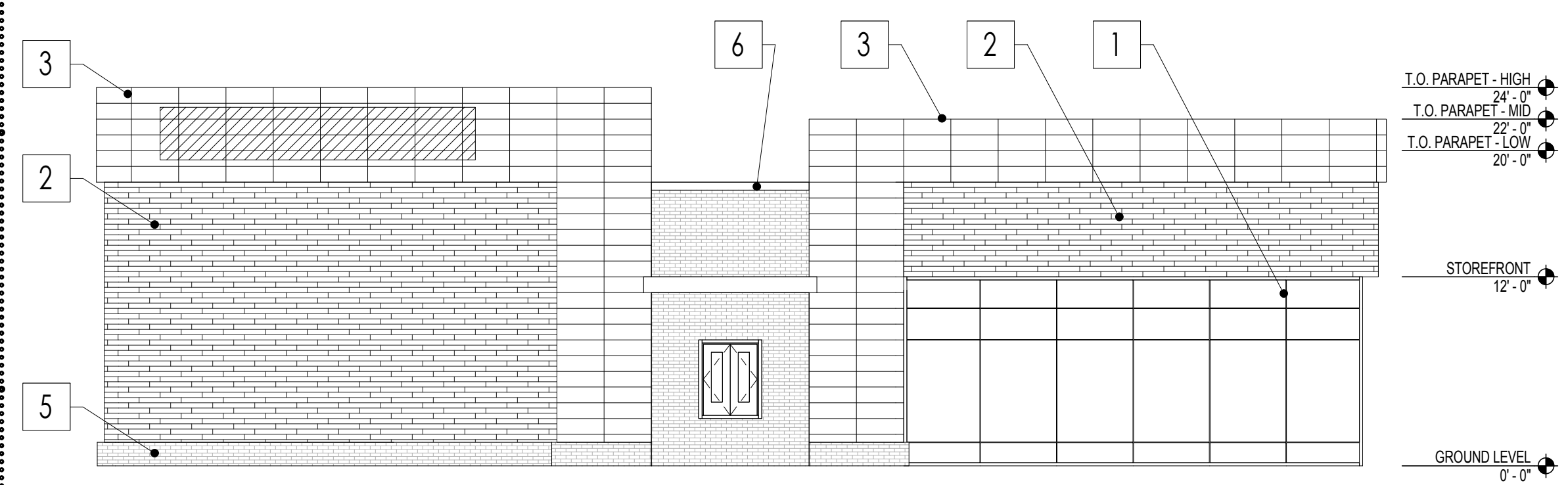
3 Retail B North Elevation
SCALE: 1/8" = 1'-0"



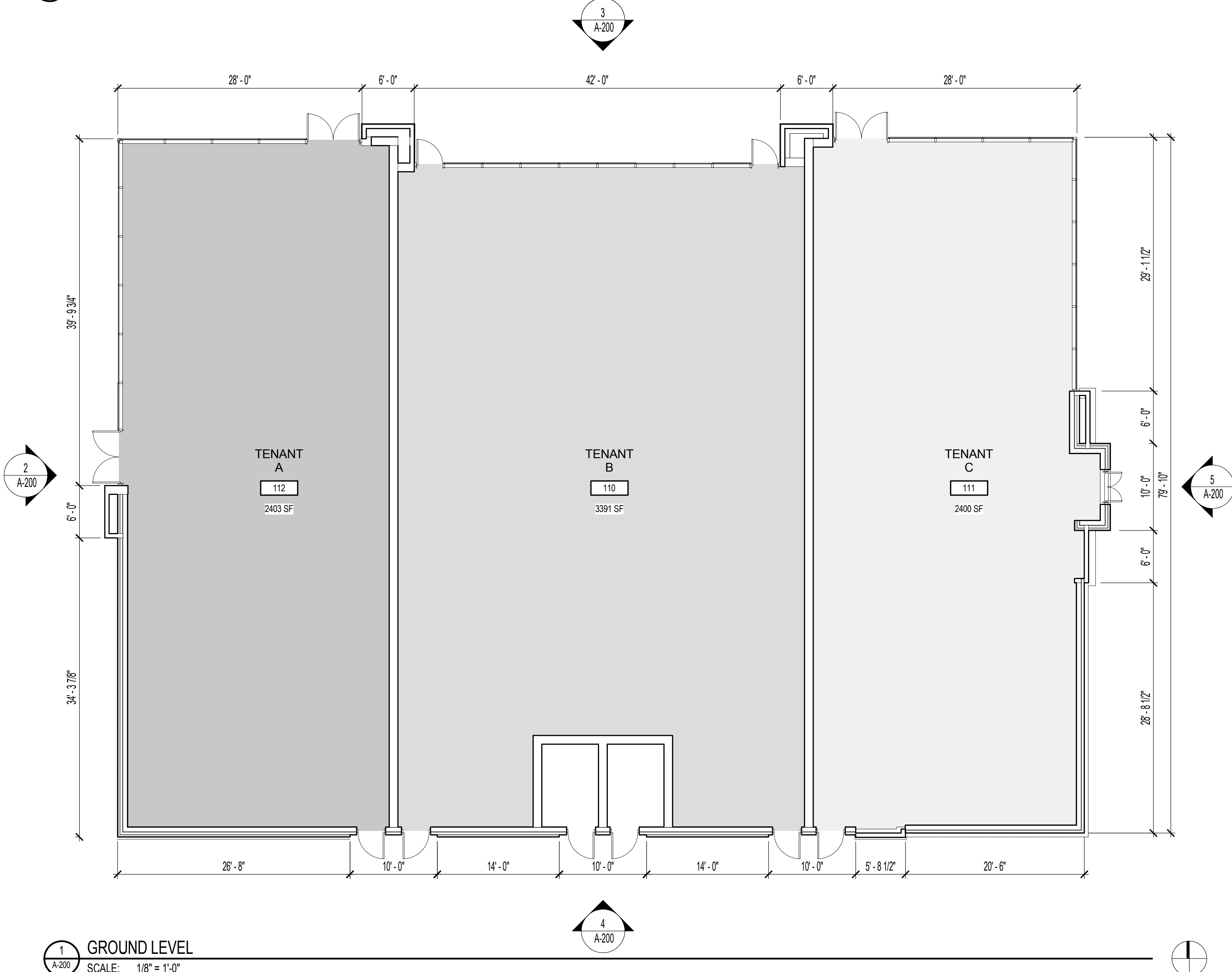
4 Retail B South Elevation
SCALE: 1/8" = 1'-0"






2 Retail B West Elevation
SCALE: 1/8" = 1'-0"



5 Retail B East Elevation
SCALE: 1/8" = 1'-0"



1 GROUND LEVEL
SCALE: 1/8" = 1'-0"

- Room Legend
-  TENANT A
 -  TENANT B
 -  TENANT C

NOT FOR CONSTRUCTION

4	PLANNING COMMISSION REVISIONS	2018.08.22
3	PLANNING COMMISSION REVISIONS	2018.05.09
2	PLANNING COMMISSION	2018.04.04
NO.	ISSUED FOR:	DATE



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PROJECT NAME

PROJECT ADDRESS

BUILDING B

DRAWN BY: _____ CHECKED: _____
DATE: _____ ISSUE DATE: _____
PROJ. NO.: 16093
SHEET NO.: **A-200**

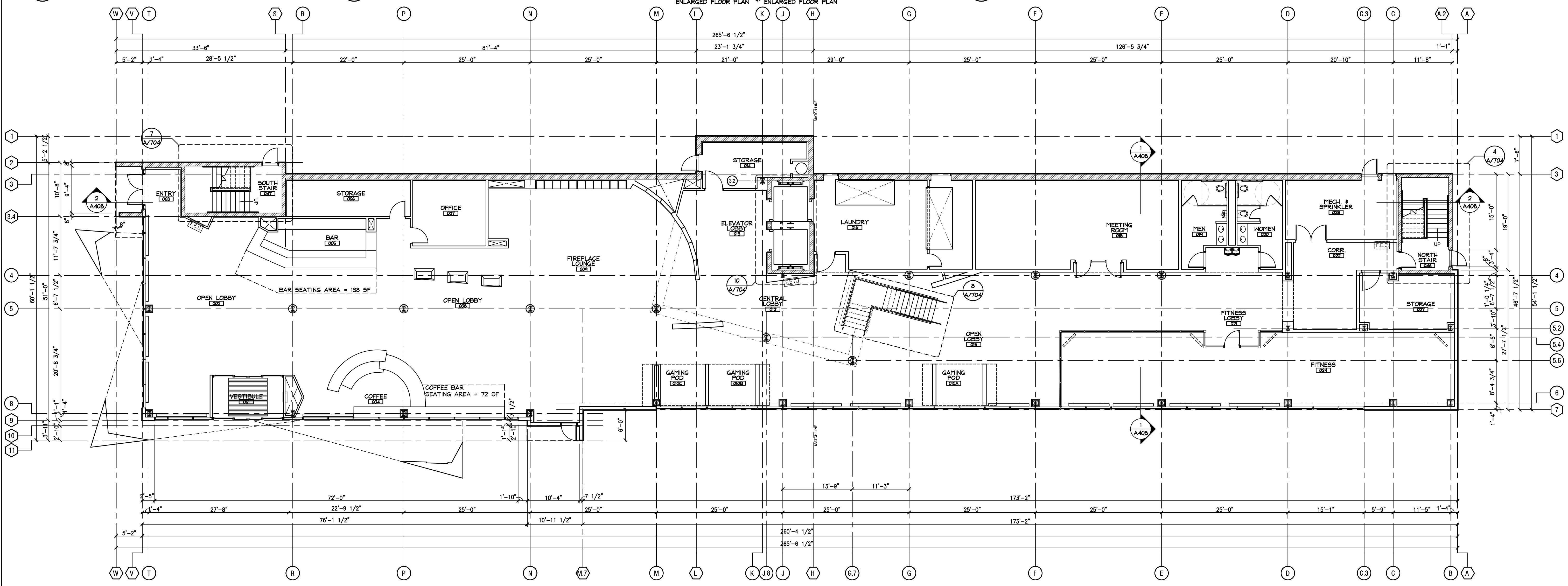
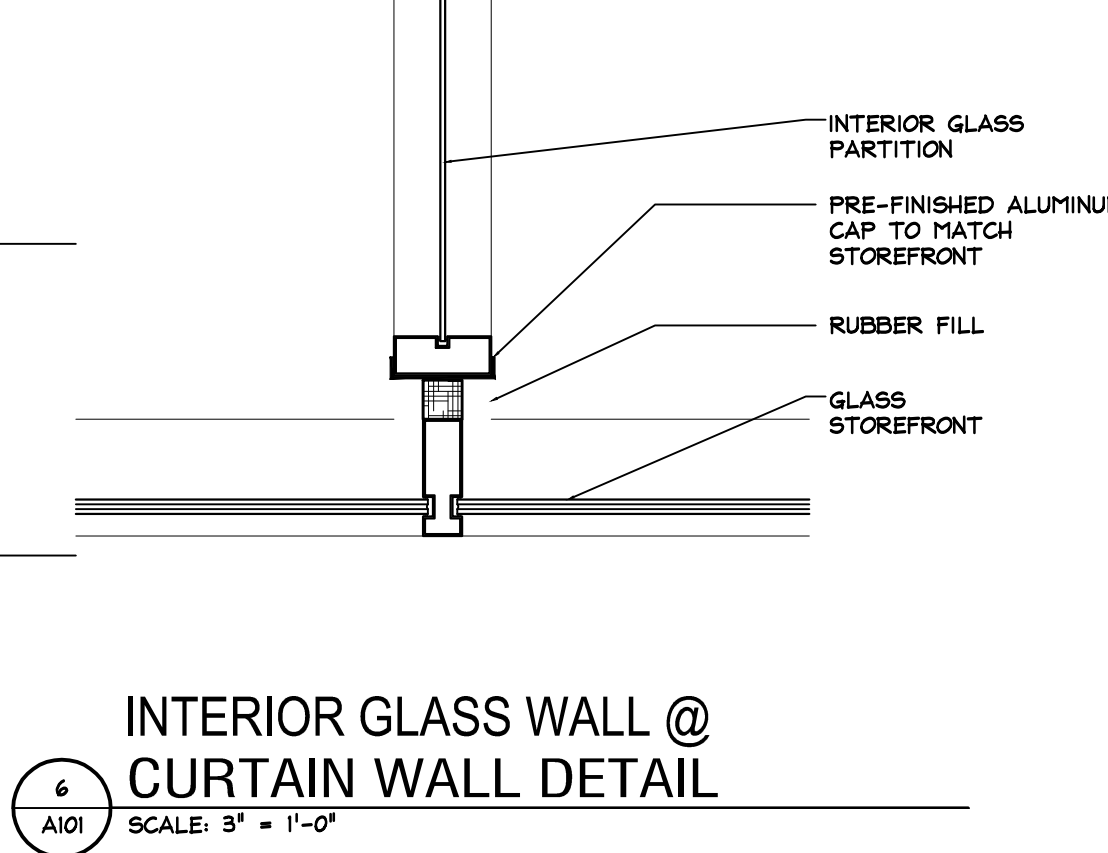
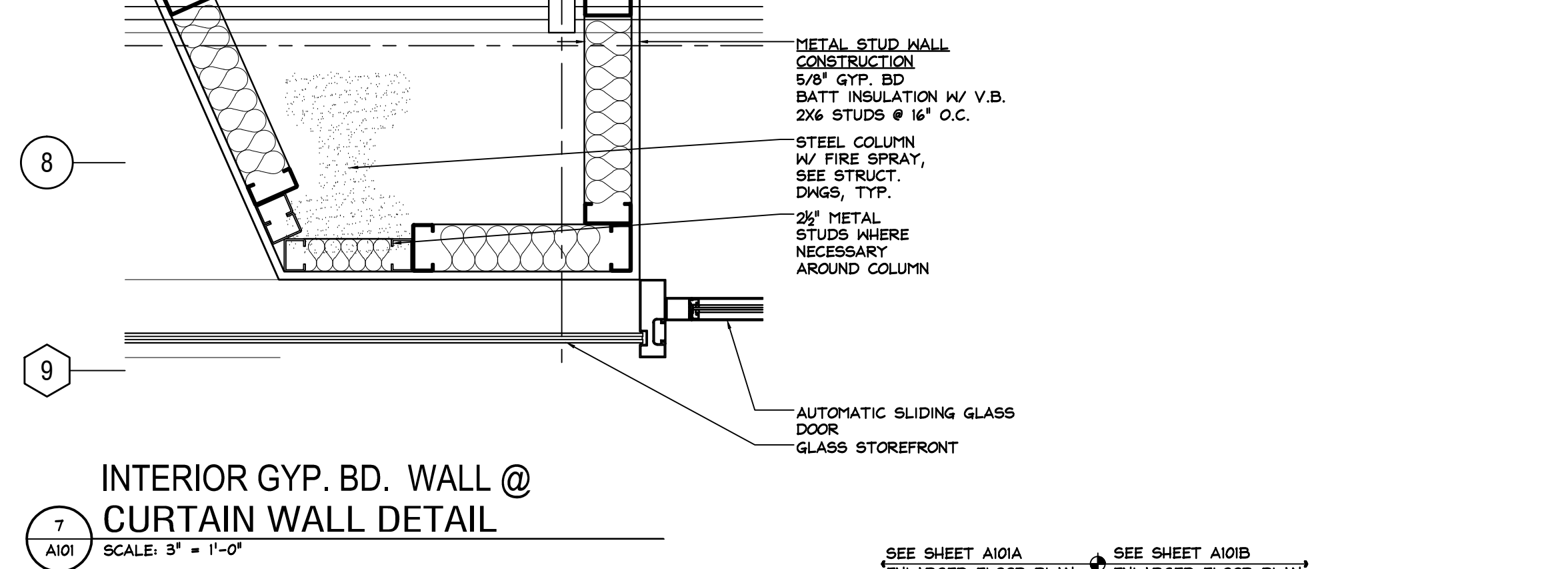
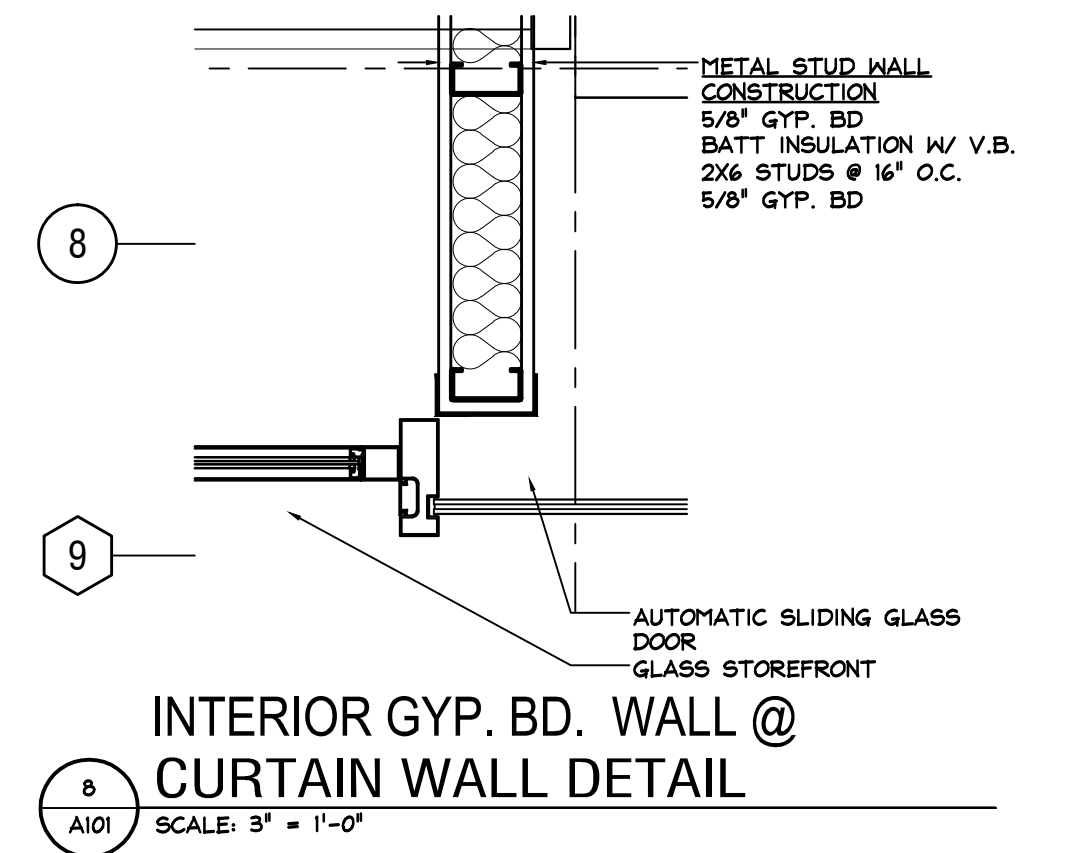
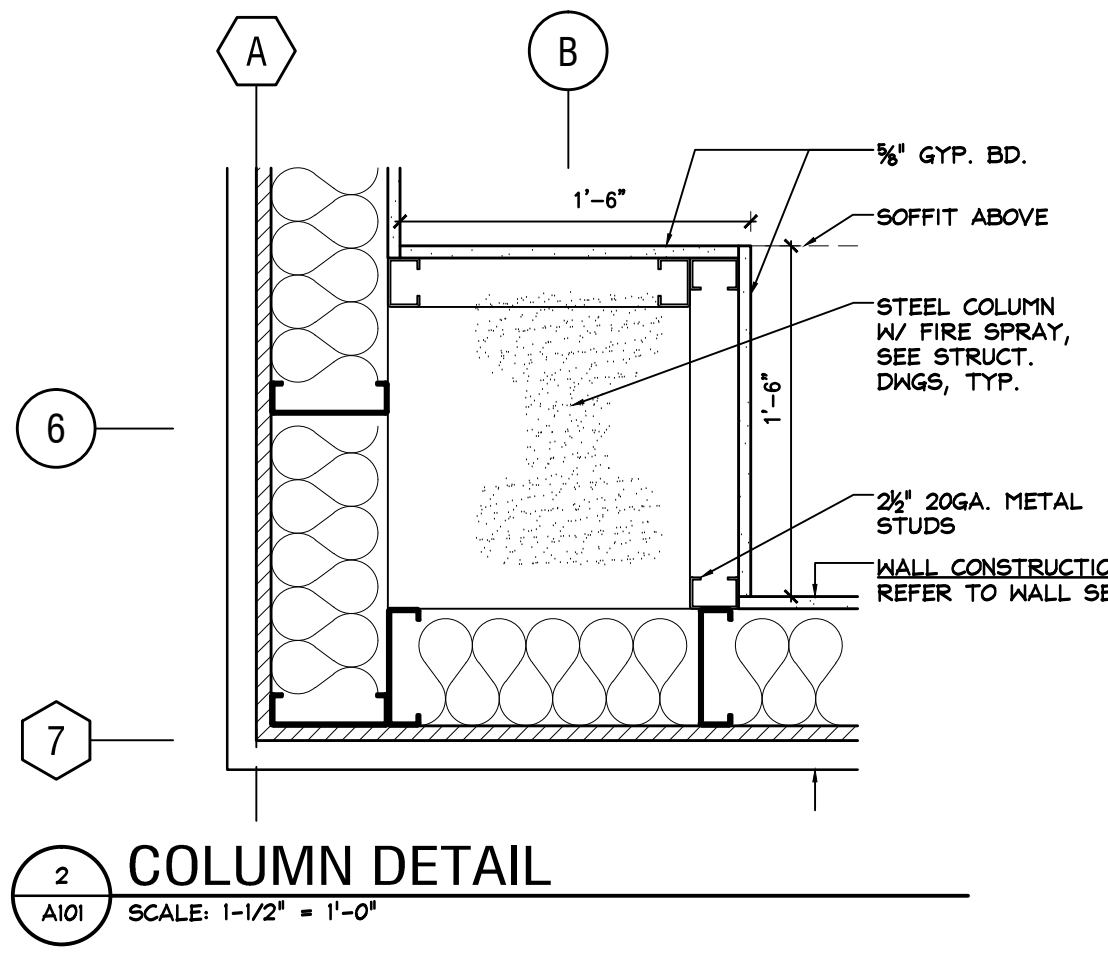
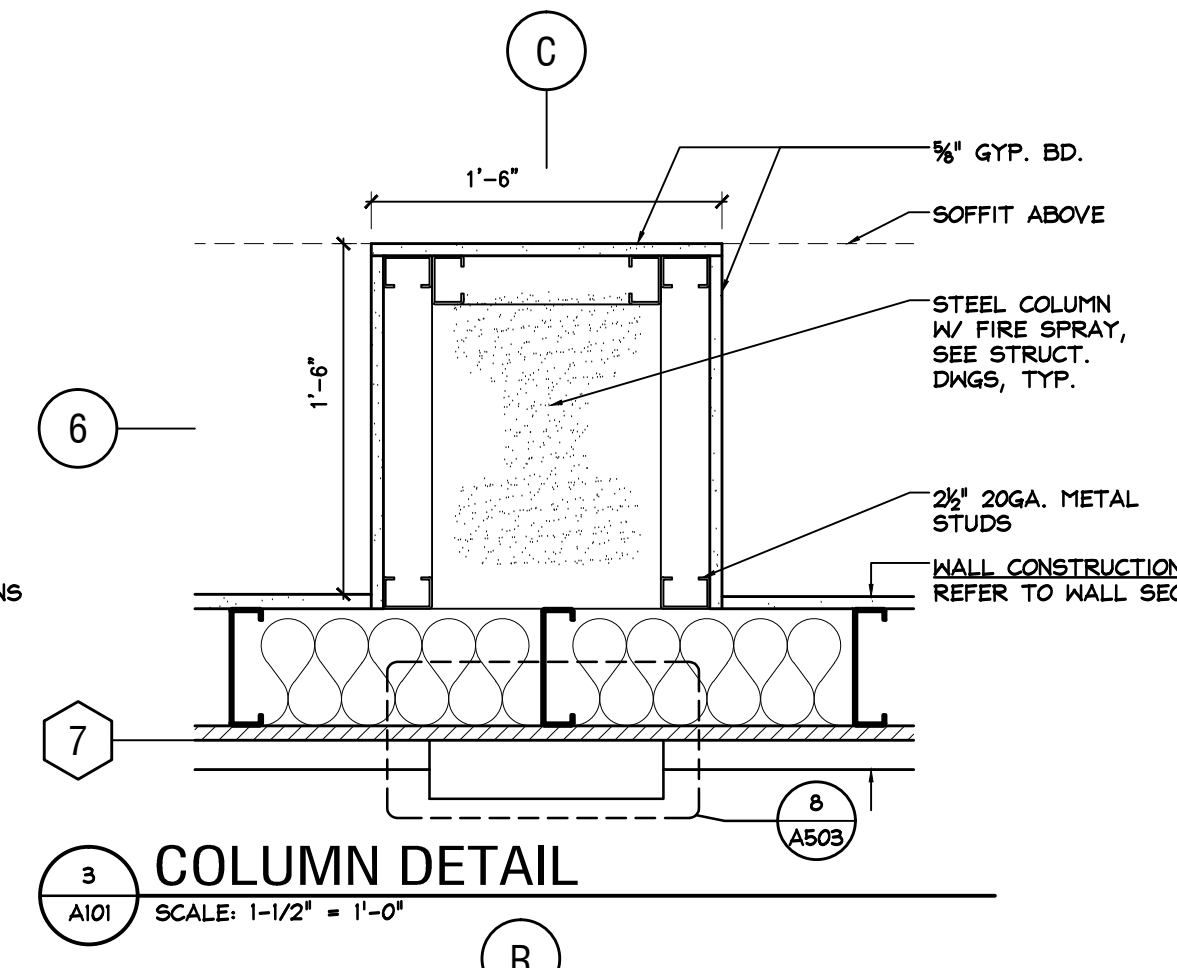
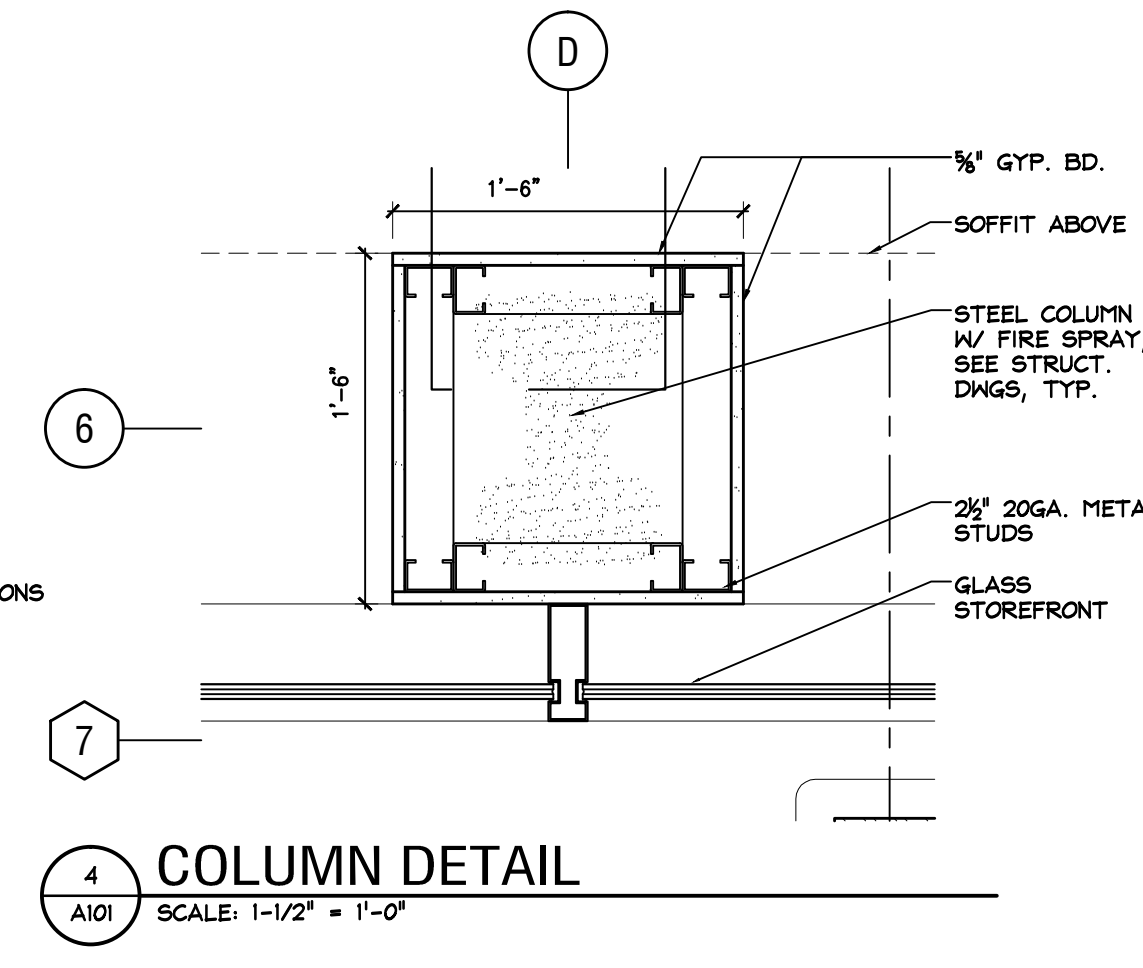
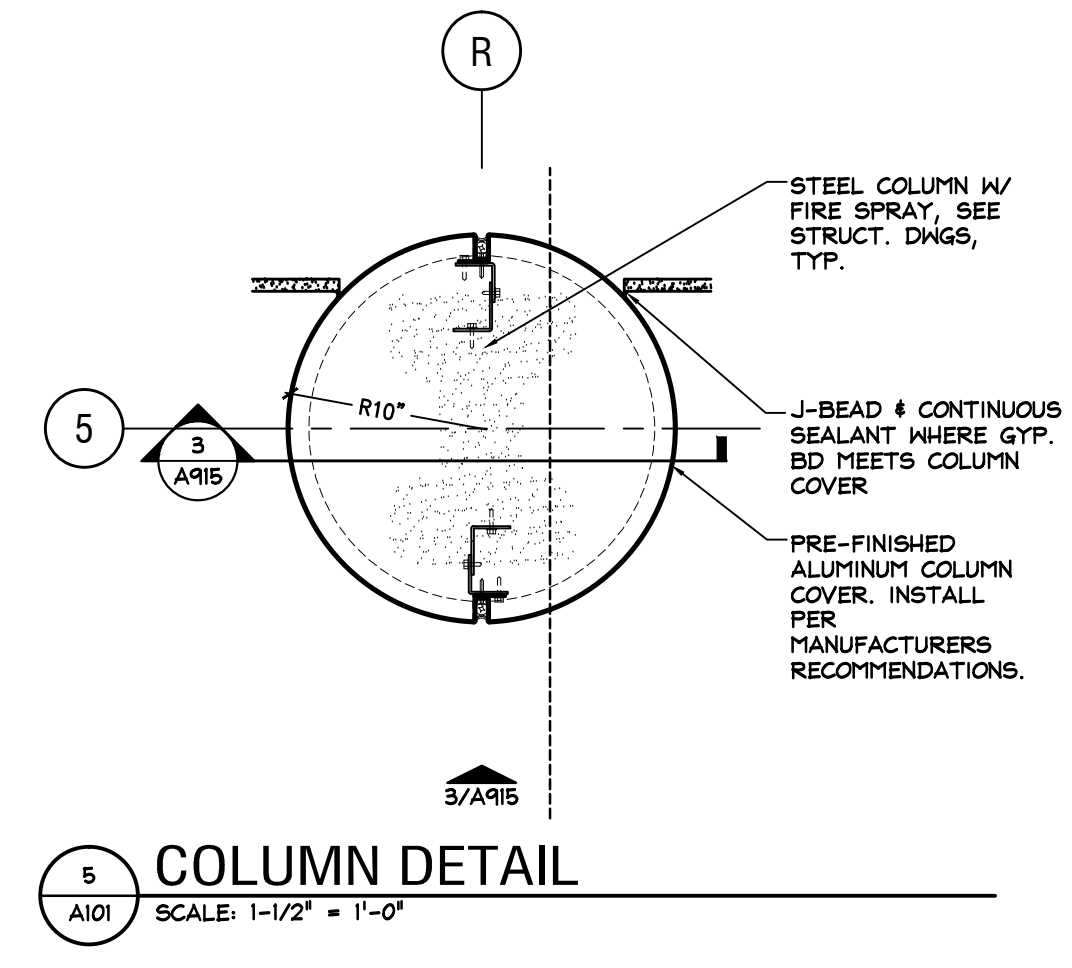
Date	Description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

FLOOR PLAN NOTES:

- REFER TO ENLARGED PLANS FOR: PARTITION TYPES, INTERIOR DIMENSIONS, DOOR AND WINDOW TAGS, OTHER FLOOR PLAN INFORMATION.
- REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- REFER TO FINISH SCHEDULE FOR FINISH INFORMATION.
- FIELD VERIFY DIMENSIONS OF ALL MILLWORK AREAS PRIOR TO FABRICATION. REFER TO ENLARGED UNIT SHEETS FOR UNIT REFLECTED CEILING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR SITE INFORMATION.
- ALL EXPOSED CONCRETE WALLS IN PUBLIC AREAS SHALL RECEIVE 1/2" FURRING CHANNELS WITH 1/2" THICK GYPSUM WALL BOARD (GWB) AND THE PROPER CORNER BEADS AND GYPSUM 90 DEGREE ANGLES.
- REFER TO ENLARGED STAIR PLANS FOR PARTITION TYPE INFORMATION.
- ALL UNIT DEMISING PARTITIONS SHALL BE () UNLESS OTHERWISE NOTED.

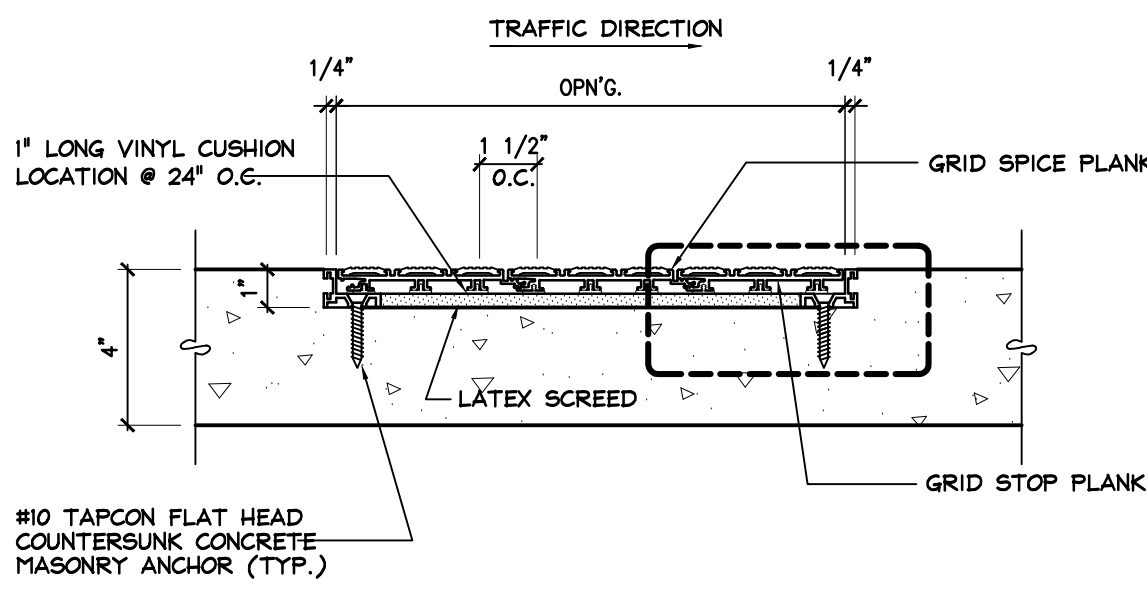
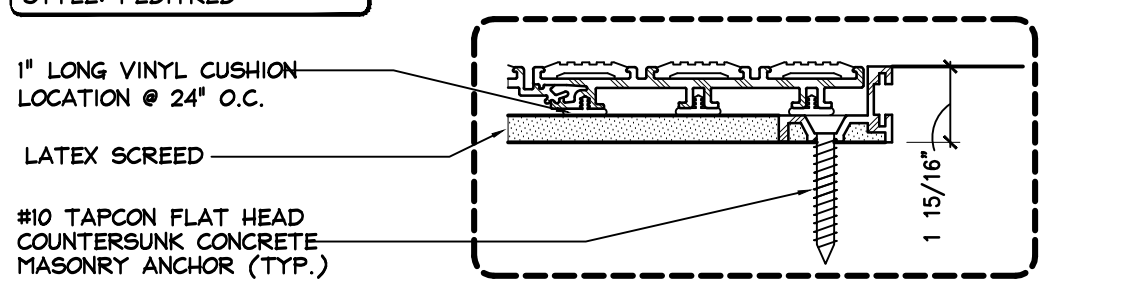
FLOOR AREA

FIRST FLOOR	12,560 SF
MEZZANINE LEVEL	4,238 SF
SECOND FLOOR	12,600 SF
THIRD FLOOR	12,600 SF
FOURTH FLOOR	12,600 SF
TOTAL	54,598 SF



DESIGN STANDARD
CONSTRUCTION SPECIALTIES
66% ROUTE 405 HIGHWAY
MUNICIPALITY, PA 17756
(700)253-3493
STYLE: PEDITRED

RUBBER
(BLACK)
INSERT STYLE



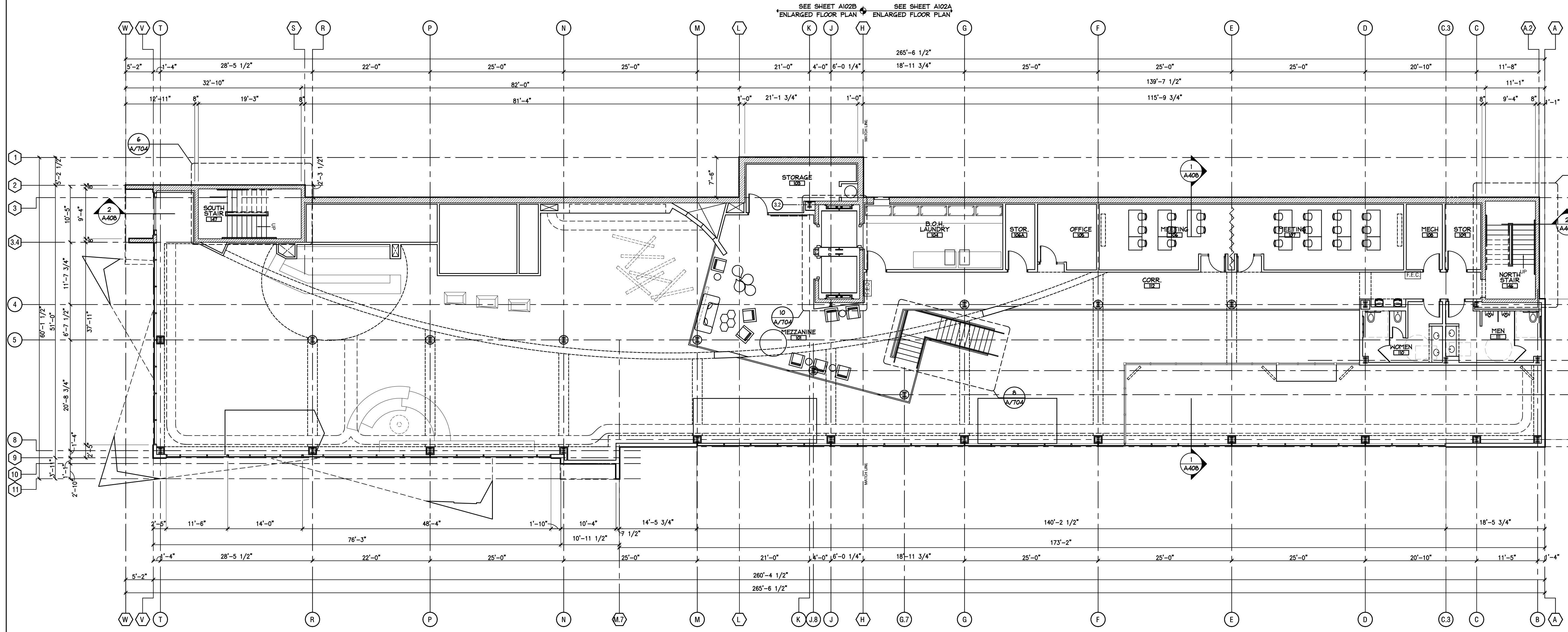
2 RECESSED ENTRY MAT
SCALE: 3" = 1'-0"

3 LOUVRE DETAIL
SCALE: 1 1/2" = 1'-0"

FLOOR PLAN NOTES:

- REFER TO ENLARGED PLANS FOR:
PARTITION TYPES
INTERIOR DIMENSIONS
DOOR AND WINDOW TAGS
OTHER FLOOR PLAN INFORMATION
- REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- REFER TO FINISH SCHEDULE FOR FINISH INFORMATION.
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- REFER TO LANDSCAPE DRAWINGS FOR SITE INFORMATION.
- ALL EXPOSED CONCRETE WALLS IN PUBLIC AREAS SHALL RECEIVE 1/2" FURRING CHANNELS WITH 1/2" THICK GYPSUM WALL BOARD (GWB) AND THE PROPER CORNER BEADS AND GYPSUM 90 DEGREE ANGLES.
- REFER TO ENLARGED STAIR PLANS FOR PARTITION TYPE INFORMATION.
- ALL UNIT DEMISING PARTITIONS SHALL BE () UNLESS OTHERWISE NOTED.

FLOOR AREA	
FIRST FLOOR	12,560 SF
MEZZANINE LEVEL	4,238 SF
SECOND FLOOR	12,600 SF
THIRD FLOOR	12,600 SF
FOURTH FLOOR	12,600 SF
TOTAL	54,598 SF



1 COMPOSITE MEZZANINE FLOOR PLAN
SCALE: 1/8" = 1'-0"

Description

9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

MEZZANINE FLOOR PLAN

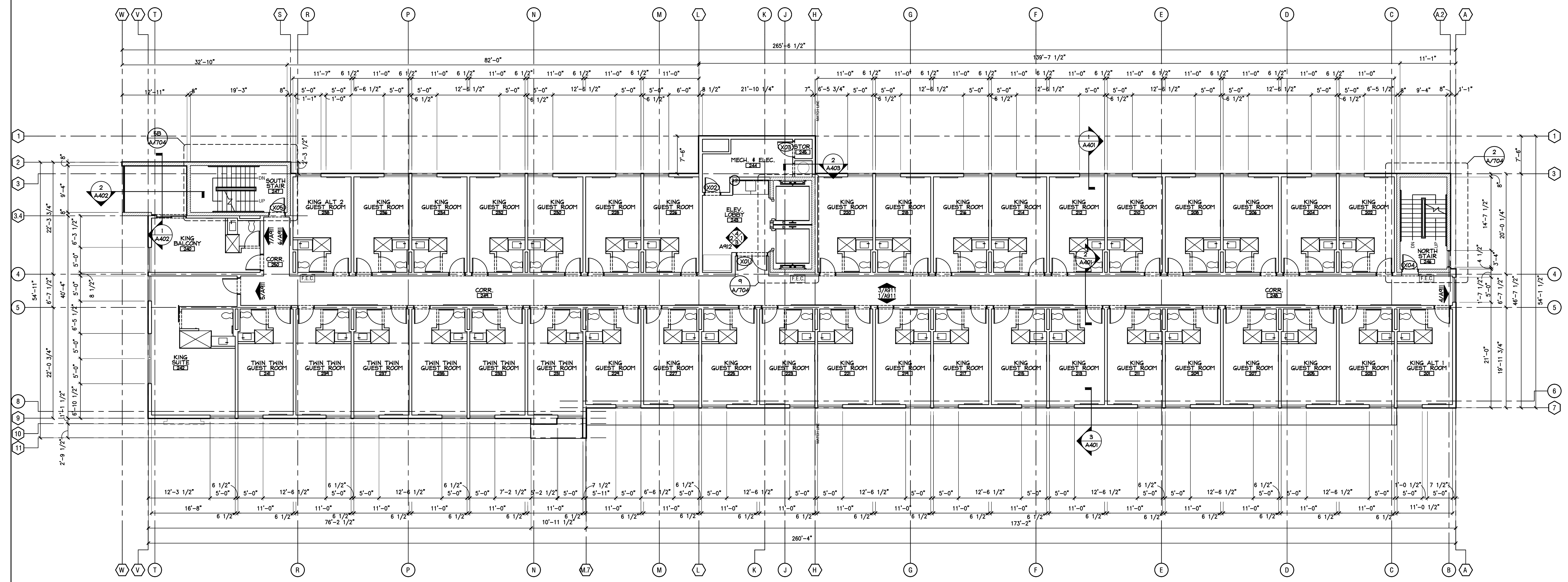
Date	Description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

SECOND FLOOR PLAN

FLOOR PLAN NOTES:

- REFER TO ENLARGED PLANS FOR: PARTITION TYPES, INTERIOR DIMENSIONS, DOOR AND WINDOW TAGS, OTHER FLOOR PLAN INFORMATION.
- REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- REFER TO FINISH SCHEDULE FOR FINISH INFORMATION.
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- REFER TO ENLARGED STAIR PLANS FOR PARTITION TYPE INFORMATION.
- ALL UNIT DEMISING PARTITIONS SHALL BE () UNLESS OTHERWISE NOTED.

ROOM TYPE	#	W	R	SUB TOTAL	SEE SHEET
KING	30	--	--	30	A701
KING ALT 1	1	--	--	1	A703
KING ALT 2	1	--	--	1	A703
KING (ADA)	--	--	--	--	--
KING SUITE	1	--	--	1	A701
KING SUITE (ADA)	--	--	--	--	--
KING BALCONY	1	--	--	1	A701
KING PARLOR	--	--	--	--	--
TWIN	6	--	--	6	A702
TWIN (ADA)	--	--	--	--	--
FLOOR TOTAL				40	
AREA THIS FLOOR				12,605 SF	



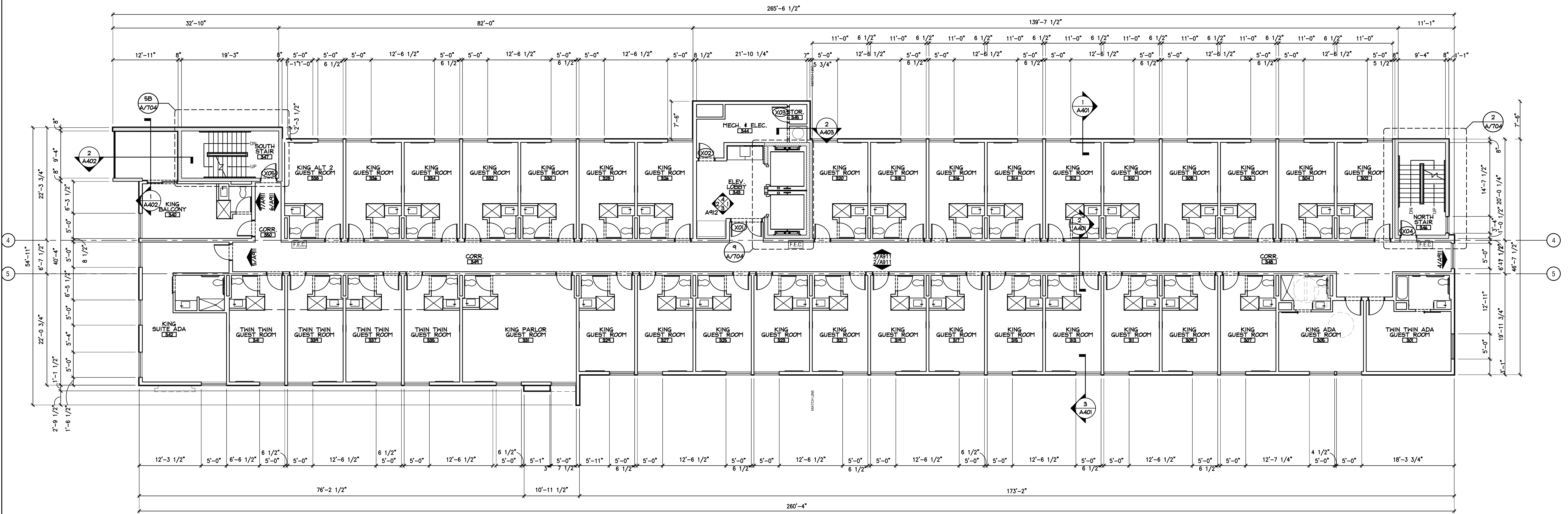
COMPOSITE
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES:

- REFER TO ENLARGED PLANS FOR :
PARTITION TYPES
INTERIOR DIMENSIONS
DOOR AND WINDOW TAGS
OTHER FLOOR PLAN INFORMATION
- REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
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- REFER TO ENLARGED STAIR PLANS FOR PARTITION TYPE INFORMATION.
- ALL UNIT DEMISING PARTITIONS SHALL BE () UNLESS OTHERWISE NOTED.

ROOM TYPE	#	W	R	SUB TOTAL	SEE SHEET
KING	28	--	--	28	A701
KING ALT 1	--	--	--	--	--
KING ALT 2	1	--	--	1	A703
KING (ADA)	--	1	--	1	A703
KING SUITE	--	--	--	--	--
KING SUITE (ADA)	--	1	--	1	A702
KING BALCONY	1	--	--	1	A701
KING PARLOR	1	--	--	1	A702
TWIN	4	--	--	4	A702
TWIN (ADA)	--	1	--	1	A703
FLOOR TOTAL				38	
AREA THIS FLOOR				12,605 SF	



1
A104
COMPOSITE
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

date description
9.15.2017 ISSUED FOR PERMIT
5.3.2018 ISSUED FOR PUD AMENDMENT
6.20.2018 REVISED FOR PUD AMENDMENT

THIRD FLOOR PLAN

A303

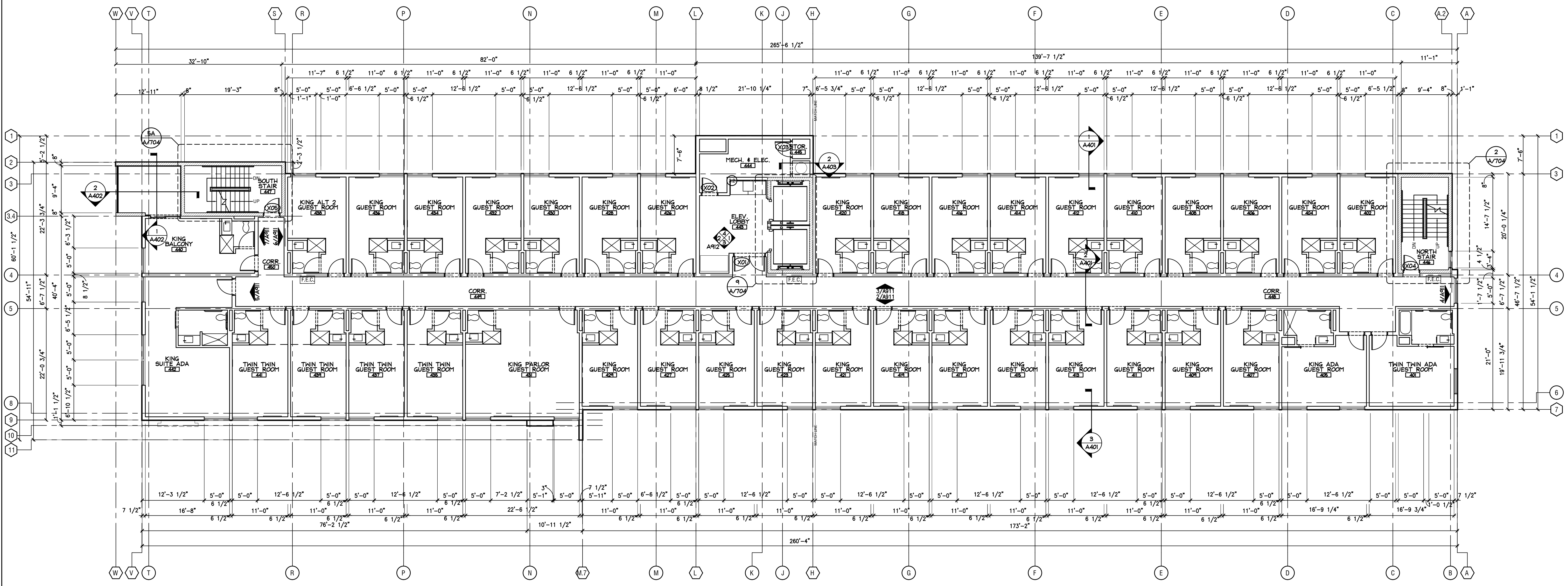
date	description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

FLOOR PLAN NOTES:

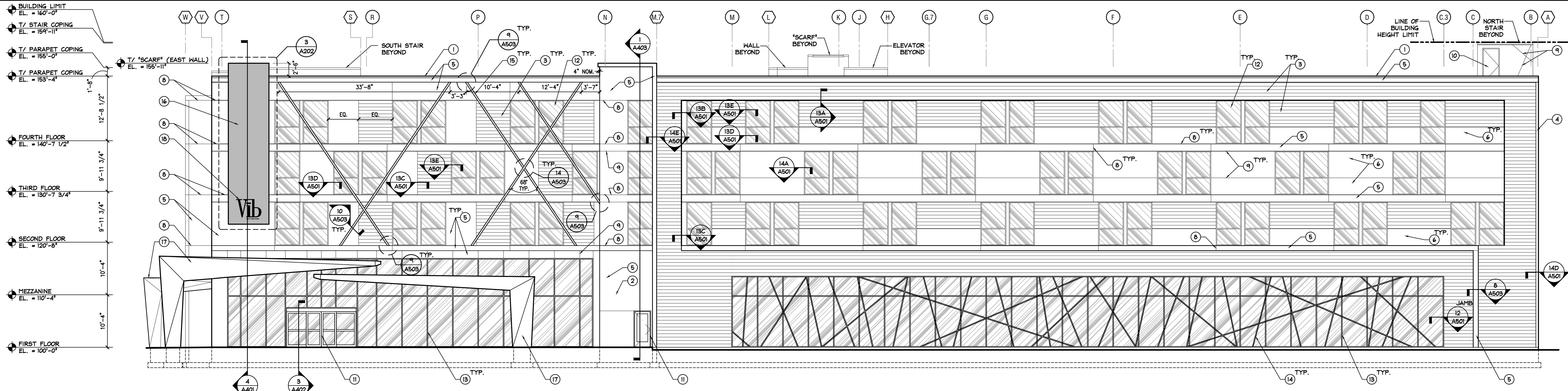
- REFER TO ENLARGED PLANS FOR: PARTITION TYPES, INTERIOR DIMENSIONS, DOOR AND WINDOW TAGS, OTHER FLOOR PLAN INFORMATION.
- REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- REFER TO FINISH SCHEDULE FOR FINISH INFORMATION.
- FIELD VERIFY DIMENSIONS OF ALL MILLWORK AREAS PRIOR TO FABRICATION. REFER TO ENLARGED UNIT SHEETS FOR UNIT REFLECTED CEILING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR SITE INFORMATION.
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- REFER TO ENLARGED STAIR PLANS FOR PARTITION TYPE INFORMATION.
- ALL UNIT DEMISING PARTITIONS SHALL BE () UNLESS OTHERWISE NOTED.

4th FLOOR

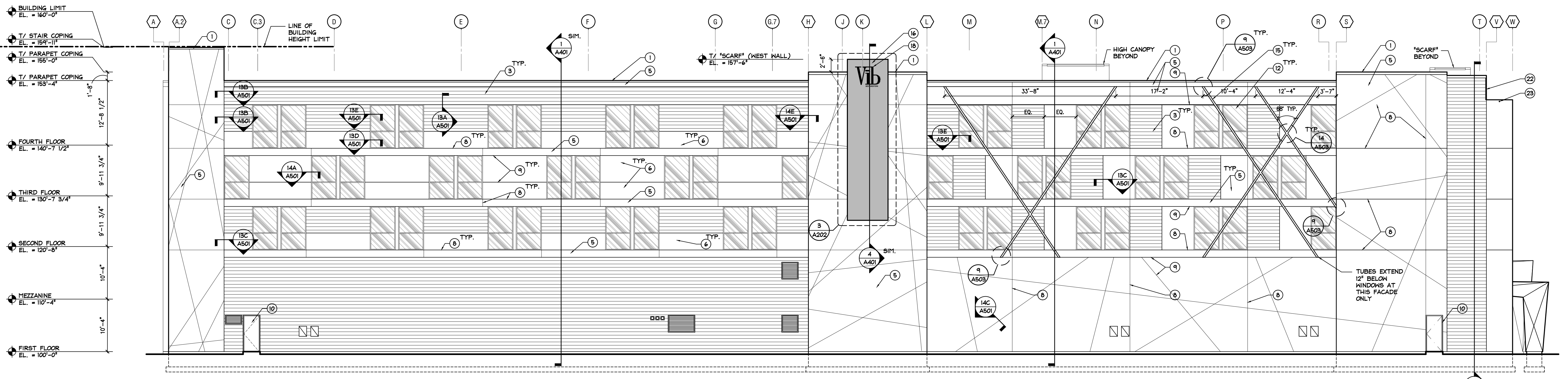
ROOM TYPE	#	W	R	SB	SEE
		TOTAL			SHEET
KING	28	--	--	28	A701
KING ALT 1	--	--	--	--	--
KING ALT 2	1	--	--	1	A703
KING (ADA)	--	1	--	1	A703
KING SUITE	--	--	--	--	--
KING SUITE (ADA)	--	1	--	1	A702
KING BALCONY	1	--	--	1	A701
KING PARLOR	1	--	--	1	A702
TWIN	4	--	--	4	A702
TWIN (ADA)	--	1	--	1	A703
FLOOR TOTAL					38
AREA THIS FLOOR					12,605 SF



COMPOSITE
FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

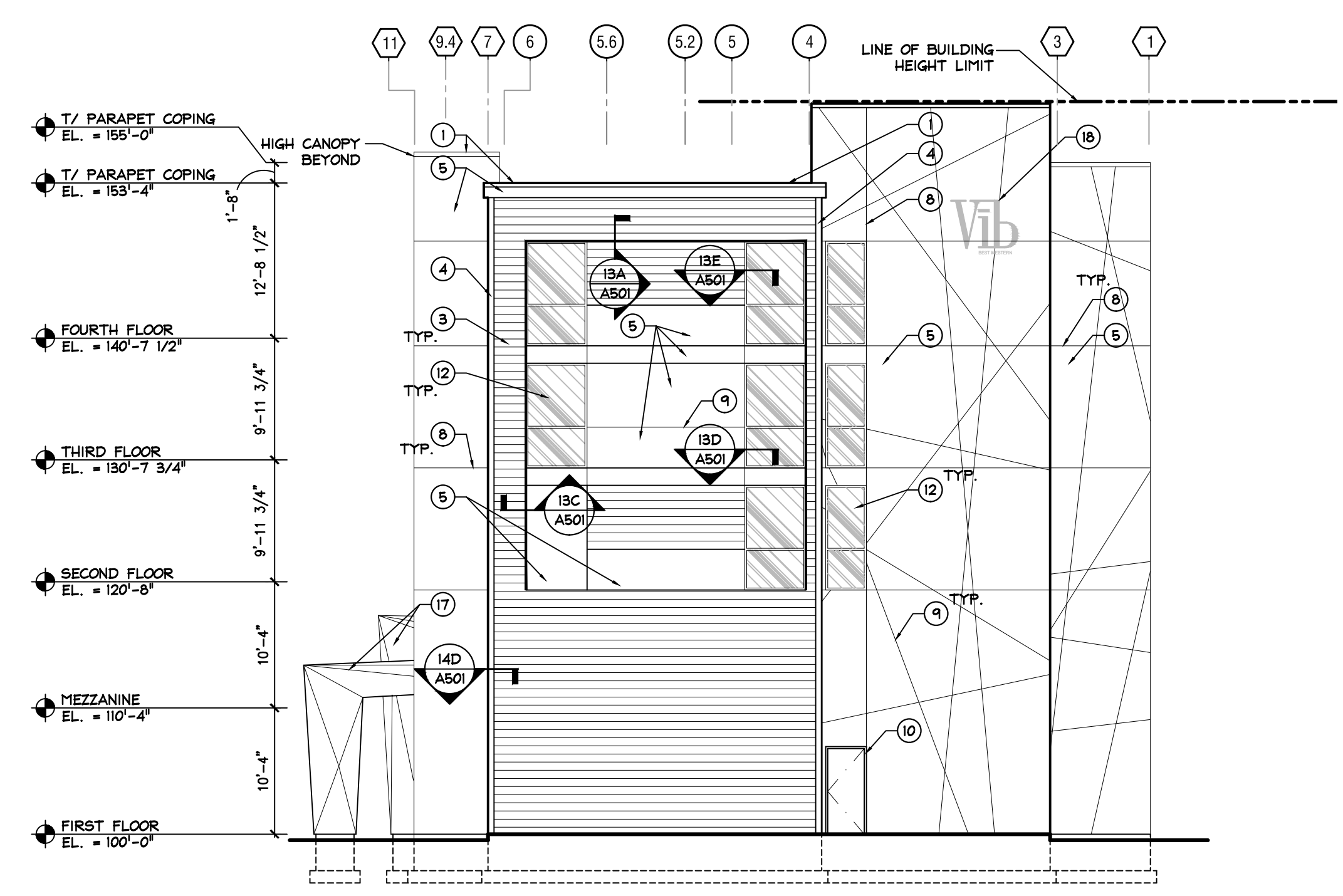
TAG	ITEM	MANUF.	MODEL	COLOR	REMARK
1	METAL COPING	PETERSON ALUMINUM	PAC-CONTINUOUS CLEAT	---	---
2	METAL ROOF EDGE	PETERSON ALUMINUM	---	---	---
3	8' LAP SIDING (COLOR 1)	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
4	6' CORNER BOARD	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
5	EIFS-1*	DRYVIT	---	PPG PAINTS: ASH PPG1076-2	MEDIUM SAND TEXTURE
6	EIFS-2*	DRYVIT	---	PPG PAINTS: STONE'S THROW PPG1008-7	MEDIUM SAND TEXTURE
7	NOT USED	---	---	---	---
8	CONTROL JOINT (EIFS)	DRYVIT	---	(MATCH WALL)	SEE DETAIL 12/A502
9	REVEAL (EIFS)	DRYVIT	---	BENJAMINE MOORE	SEE DETAIL 14C/A501
10	HOLLOW METAL DOOR/FRAME	---	---	(MATCH WALL)	---
11	ALUM. DOOR/FRAME	KAWNEER	---	---	---
12	ALUM. STOREFRONT	KAWNEER	TRIFAB 451T CENTER SET-OUTSIDE 1" GLAZING	(ALUM. CLEAR ANOD.) (GLASS: CLEAR)	1" INSUL GLASS TEMP. (MAXIMUM SHGC < 0.40)
13	ALUM. CURTAINWALL	KAWNEER	1620 CURTAIN WALL 6" SYSTEM 1" GLAZING	(ALUM. CLEAR ANOD.) (GLASS: LIGHT GREY TINT)	1" INSUL GLASS TEMP. (MAXIMUM SHGC < 0.40)
14	DECORATIVE ALUM. TUBE 2"	---	---	BRONZE	---
15	DECORATIVE ALUM. TUBE 4"	---	2" X 4" TUBE, 1/4" THK.	BRONZE	---
16	FIBER CEMENT PANELS	NICHIHA	ILLUMINATION SERIES	VIB RED	---

*NOTE: EIFS AT HIGH IMPACT ZONES TO BE REINFORCED PER MFR RECOMMENDATIONS. A HIGH IMPACT ZONE IS AN 8'-0" RADIUS FROM THE DOOR FRAME AT GRADE TO A HEIGHT OF 6'-0", AND 6'-0" HIGH AT WALKS ABUTTED AGAINST EIFS.

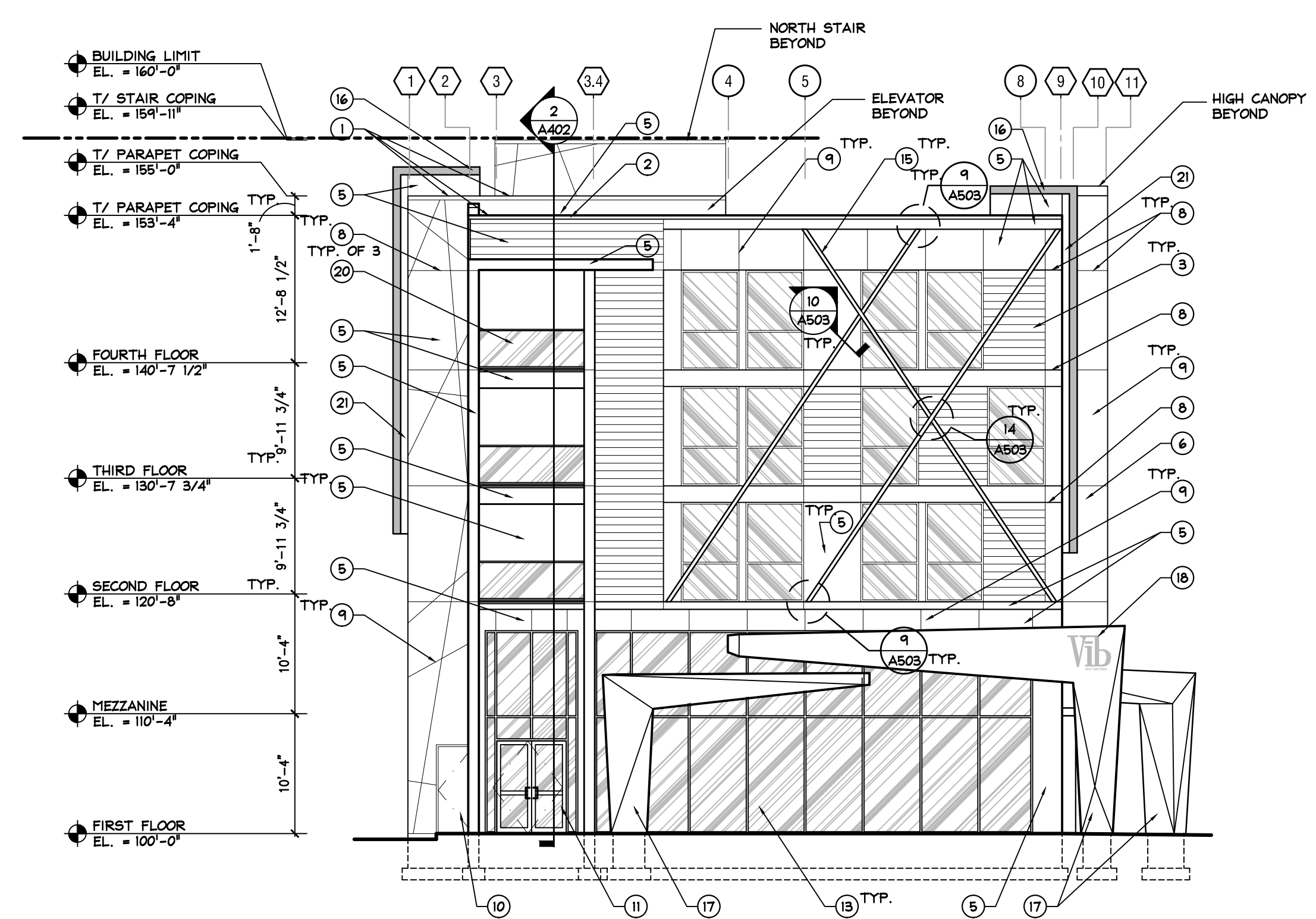
MATERIAL LEGEND

TAG	ITEM	MANUF.	MODEL	COLOR	REMARK
17	PREFINISHED ALUM. SHEET MTL	PETERSON ALUMINUM	---	PLATINUM	ALUM. COATING TO BE SELF-CLEANING
18	VIB SIGN	---	---	---	---
19	NOT USED	---	---	---	---
20	GLASS GUARDRAIL	DURARAIL	COMPONENT GLASS	---	1/4" TEMPERED GLASS, SEE 11/A502
21	PREFINISHED ALUM. SHEET MTL	PETERSON ALUMINUM	---	---	---
22	2" CORNER BOARD	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
23	SPOUT	---	---	---	SEE DETAIL 1/A504
24	---	---	---	---	---
25	---	---	---	---	---
26	---	---	---	---	---
27	---	---	---	---	---
28	---	---	---	---	---
29	---	---	---	---	---
30	---	---	---	---	---
31	---	---	---	---	---
32	---	---	---	---	---

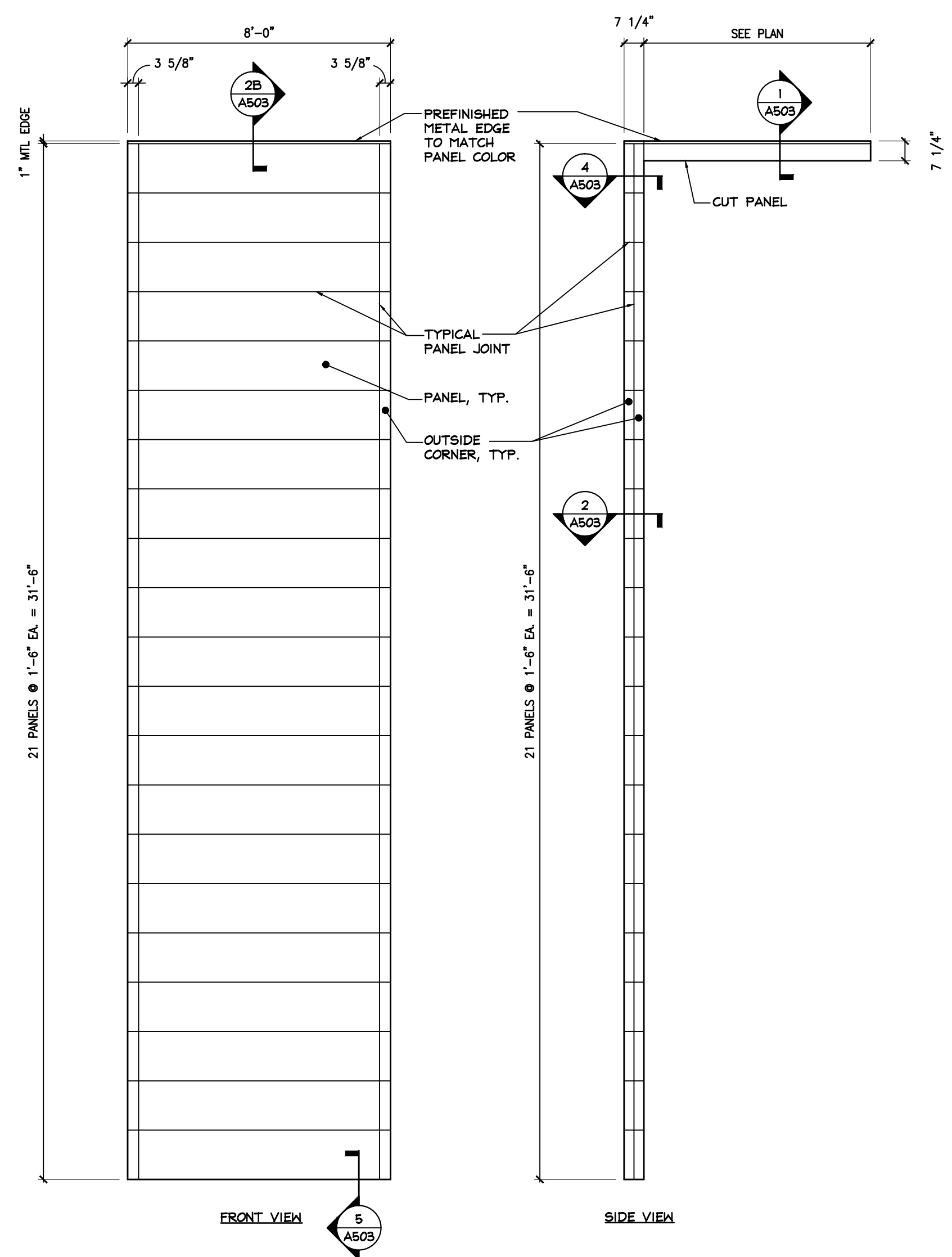
Date	Description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



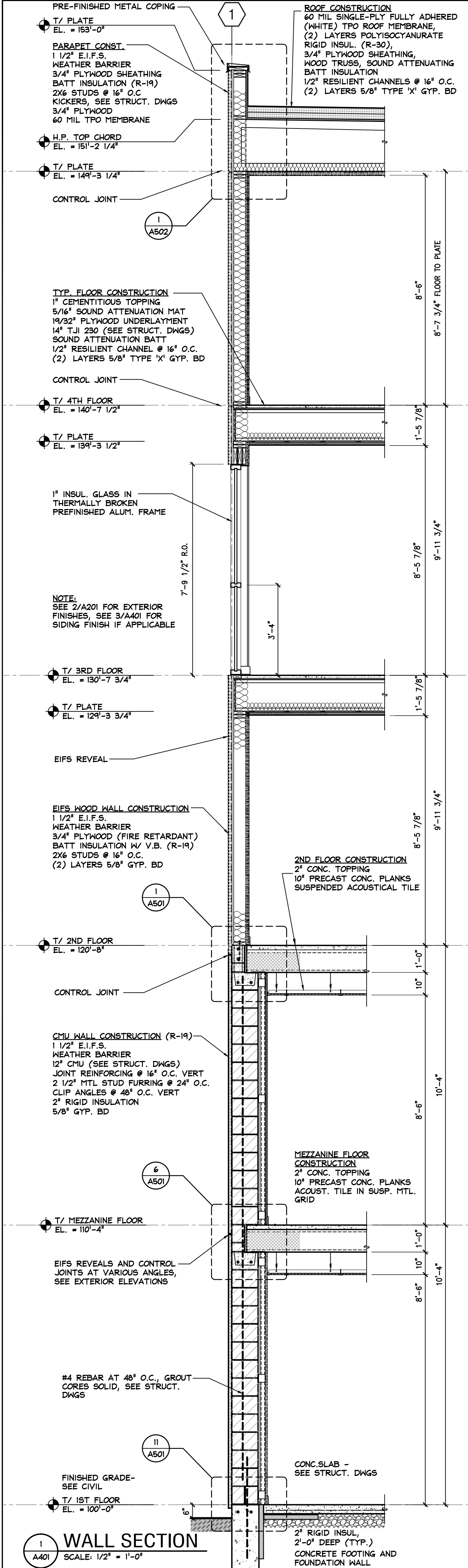
3 "SCARF" ELEVATIONS
 SCALE: 3/8" = 1'-0"

TAG	ITEM	MANUF.	MODEL	COLOR	REMARK
1	METAL COPING	PETERSON ALUMINUM	PAC-CONTINUOUS CLEAT	---	---
2	METAL ROOF EDGE	PETERSON ALUMINUM	---	---	---
3	8" LAP SIDING (COLOR 1)	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
4	6" CORNER BOARD	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
5	EIFS-1*	DRYVIT	---	---	PPG PAINTS: ASH PPG1076-2 MEDIUM SAND TEXTURE
6	EIFS-2*	DRYVIT	---	---	PPG PAINTS: STONE'S THROW PPG1008-7 MEDIUM SAND TEXTURE
7	NOT USED	---	---	---	---
8	CONTROL JOINT (EIFS)	DRYVIT	---	(MATCH WALL)	SEE DETAIL 12/A502
9	REVEAL (EIFS)	DRYVIT	---	BENJAMINE MOORE	SEE DETAIL 14C/A501
10	HOLLOW METAL DOOR/FRAME	---	---	(MATCH WALL)	---
11	ALUM. DOOR/FRAME	KAWNEER	---	---	---
12	ALUM. STOREFRONT	KAWNEER	TRIFAB 461T CENTER SET-OUTSIDE 1" GLAZING	(ALUM: CLEAR ANOD.) (GLASS: CLEAR)	1" INSUL GLASS TEMP. (MAXIMUM SHGC < 0.40)
13	ALUM. CURTAINWALL	KAWNEER	1620 CURTAIN WALL 6" SYSTEM 1" GLAZING	(ALUM: CLEAR ANOD.) (GLASS: LIGHT GREY TINT)	1" INSUL GLASS TEMP. (MAXIMUM SHGC < 0.40)
14	DECORATIVE ALUM. TUBE 2"	---	---	BRONZE	---
15	DECORATIVE ALUM. TUBE 4"	---	2" X 4" TUBE, 1/4" THK.	BRONZE	---
16	FIBER CEMENT PANELS	NICHIHA	ILLUMINATION SERIES	VIB RED	---

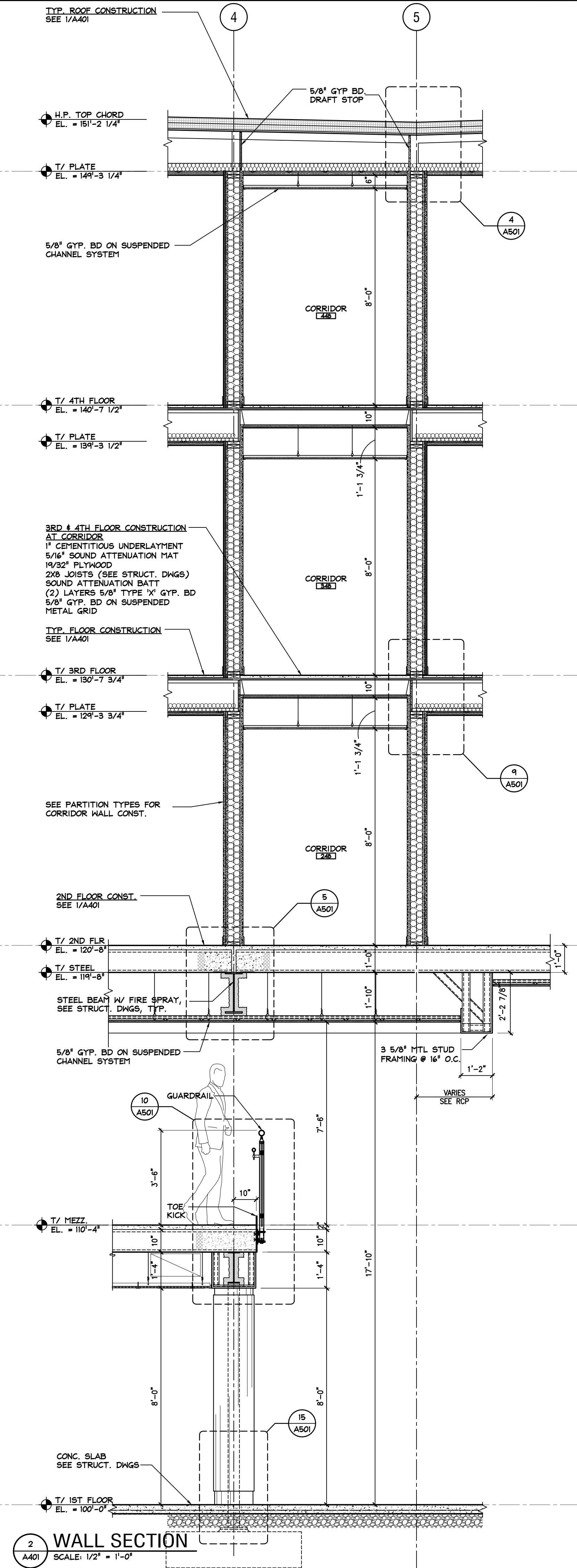
NOTE: EIFS AT HIGH IMPACT ZONES TO BE REINFORCED PER MFR RECOMMENDATIONS. A HIGH IMPACT ZONE IS AN 8'-0" RADIUS FROM THE DOOR FRAME AT GRADE TO A HEIGHT OF 6'-0", AND 6'-0" HIGH AT WALKS ABUTTED AGAINST EIFS.

TAG	ITEM	MANUF.	MODEL	COLOR	REMARK
17	PREFINISHED ALUM. SHEET MTL	PETERSON ALUMINUM	---	PLATINUM	ALUM. COATING TO BE SELF-CLEANING
18	VIB SIGN	---	---	---	---
19	NOT USED	---	---	---	---
20	GLASS GUARDRAIL	DURARAIL	COMPONENT GLASS	---	1/4" TEMPERED GLASS, SEE 11/A502
21	PREFINISHED ALUM. SHEET MTL	PETERSON ALUMINUM	---	---	---
22	2" CORNER BOARD	LOUISIANA-PACIFIC	LP SMARTSIDE	BENJAMINE MOORE	SMOOTH FINISH, PRIME AND PAINT PER SIDING MFR INSTRUCTIONS
23	SPOUT	---	---	---	SEE DETAIL 1/A504
24	---	---	---	---	---
25	---	---	---	---	---
26	---	---	---	---	---
27	---	---	---	---	---
28	---	---	---	---	---
29	---	---	---	---	---
30	---	---	---	---	---
31	---	---	---	---	---
32	---	---	---	---	---

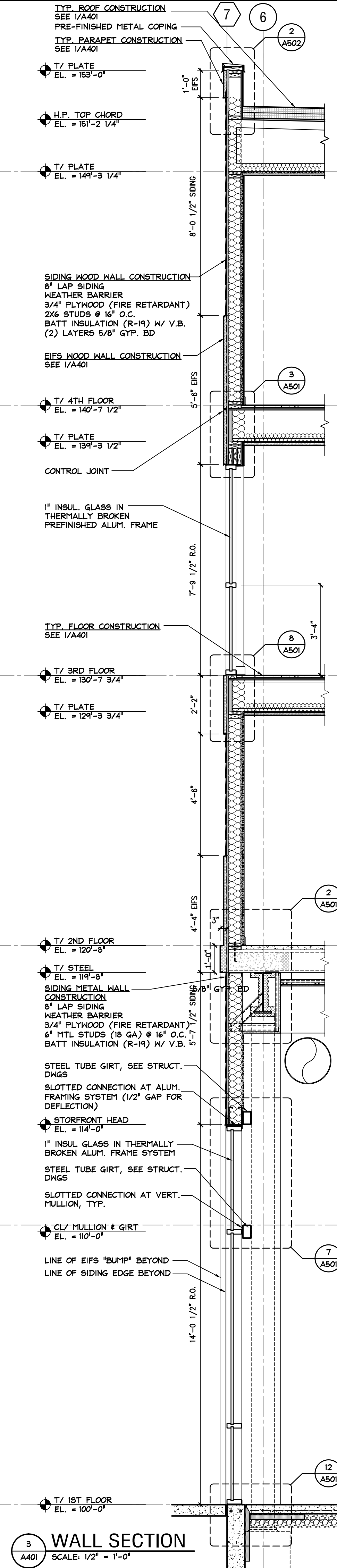
date	description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT



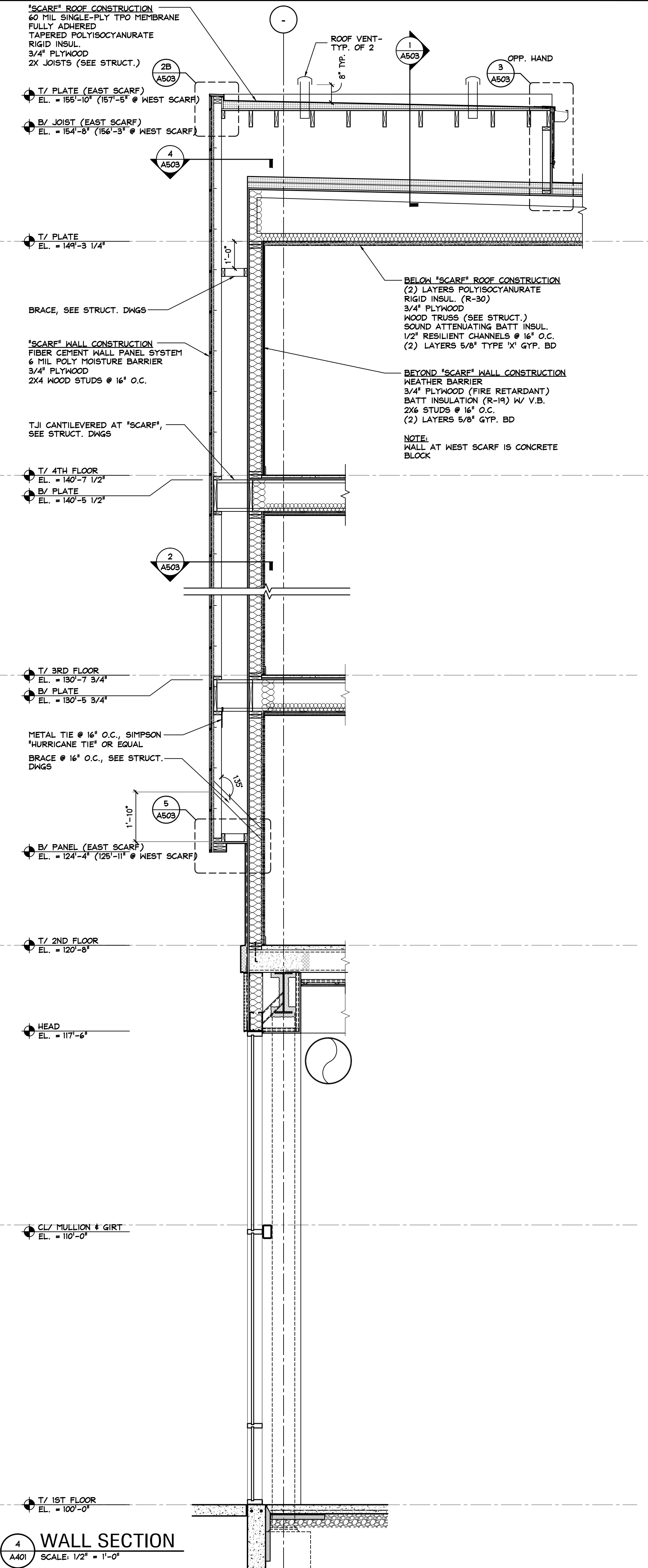
1 WALL SECTION
 A401 SCALE: 1/2" = 1'-0"



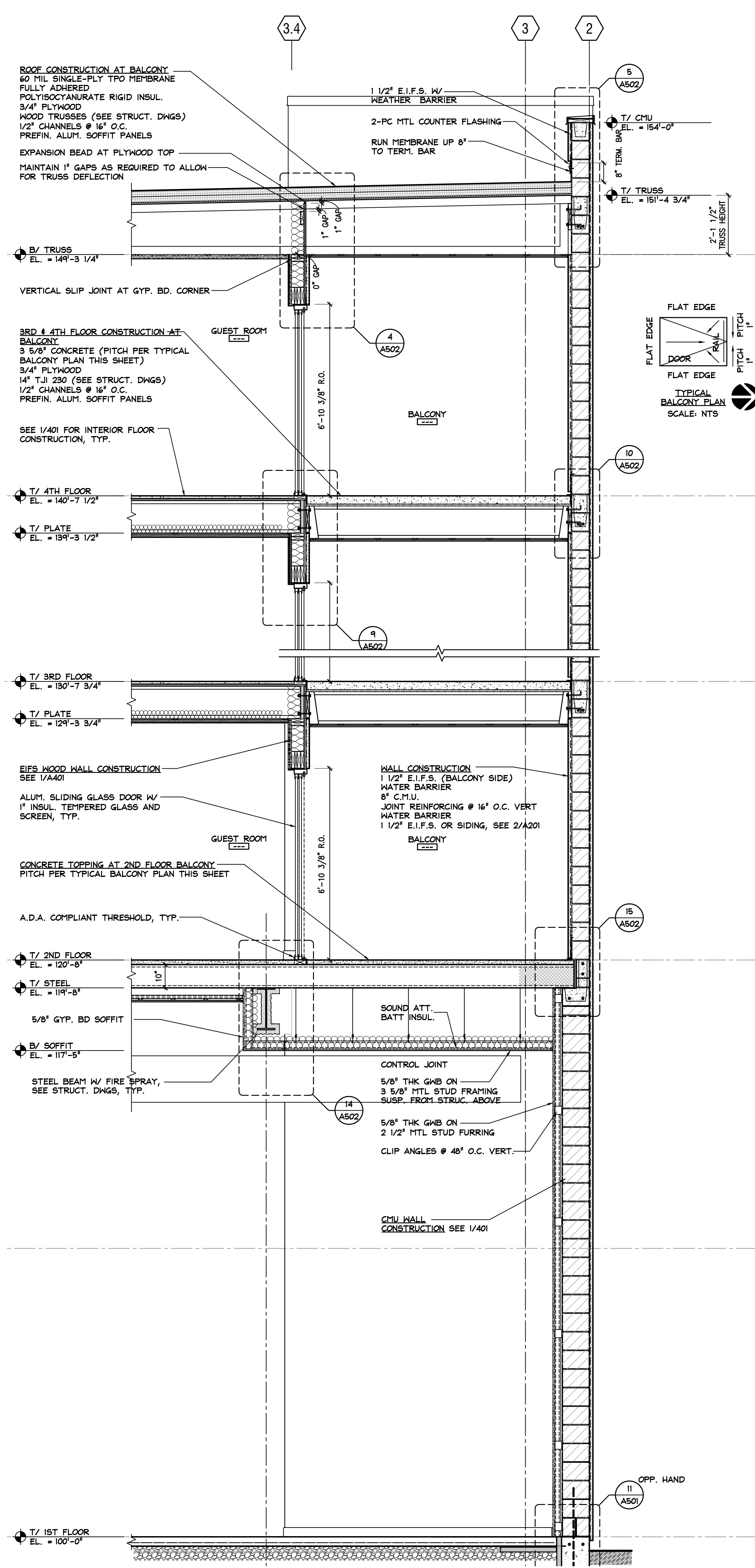
2 WALL SECTION
 A401 SCALE: 1/2" = 1'-0"



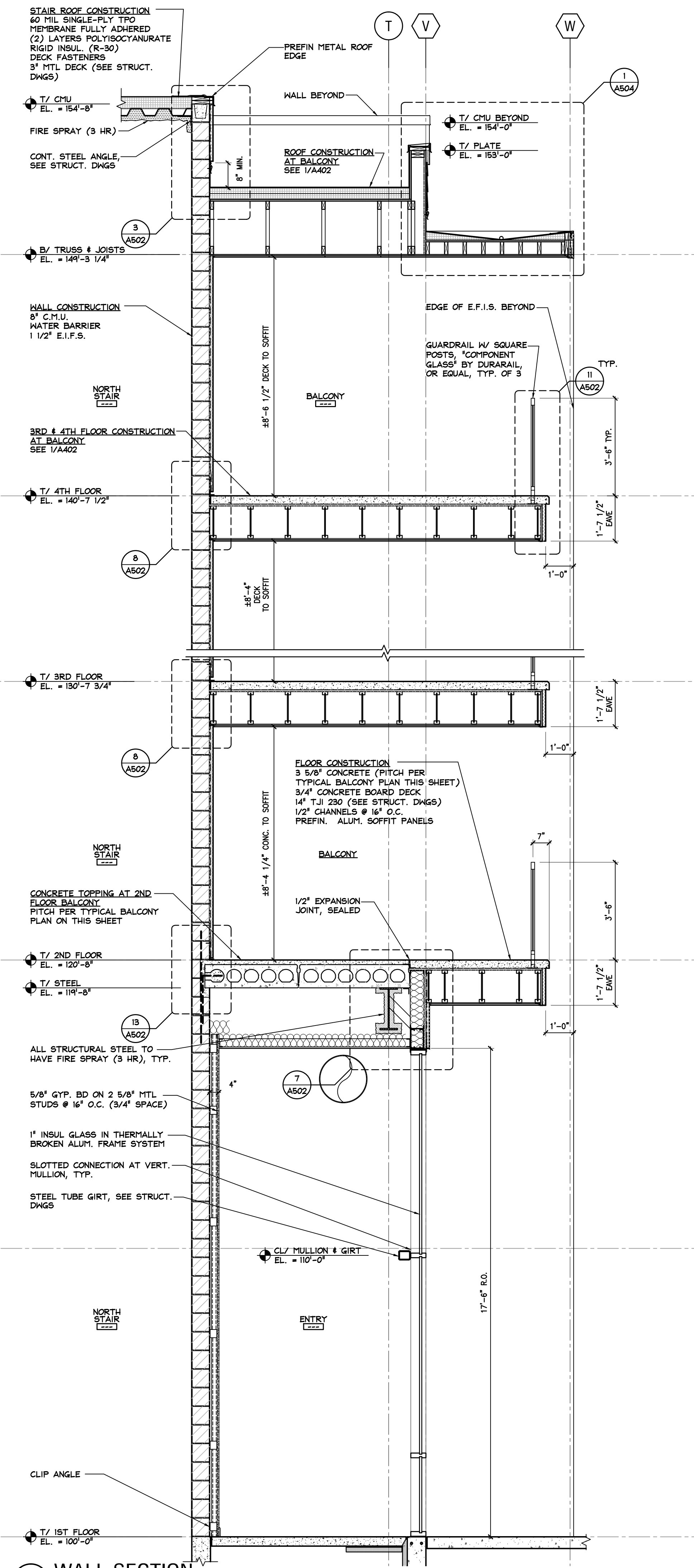
3 WALL SECTION
 A401 SCALE: 1/2" = 1'-0"



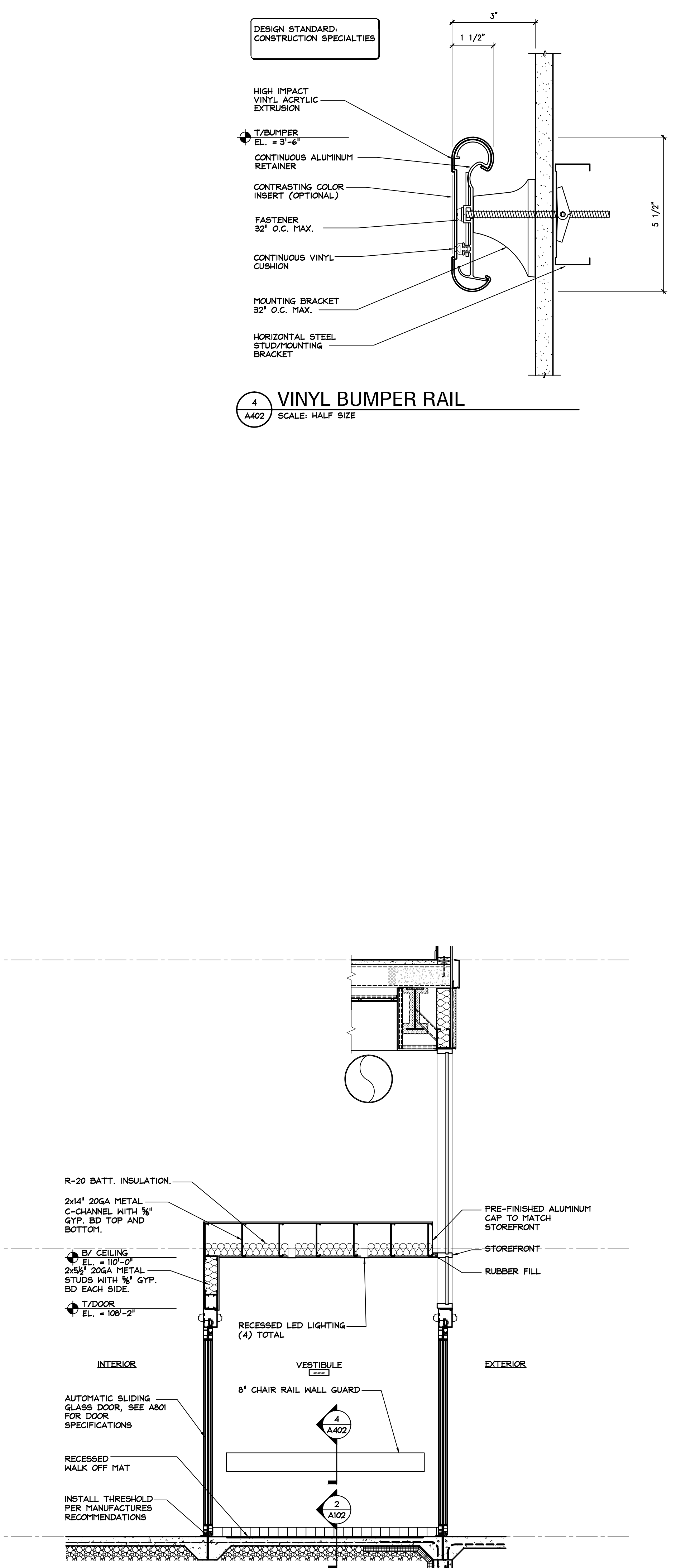
4 WALL SECTION
 A401 SCALE: 1/2" = 1'-0"



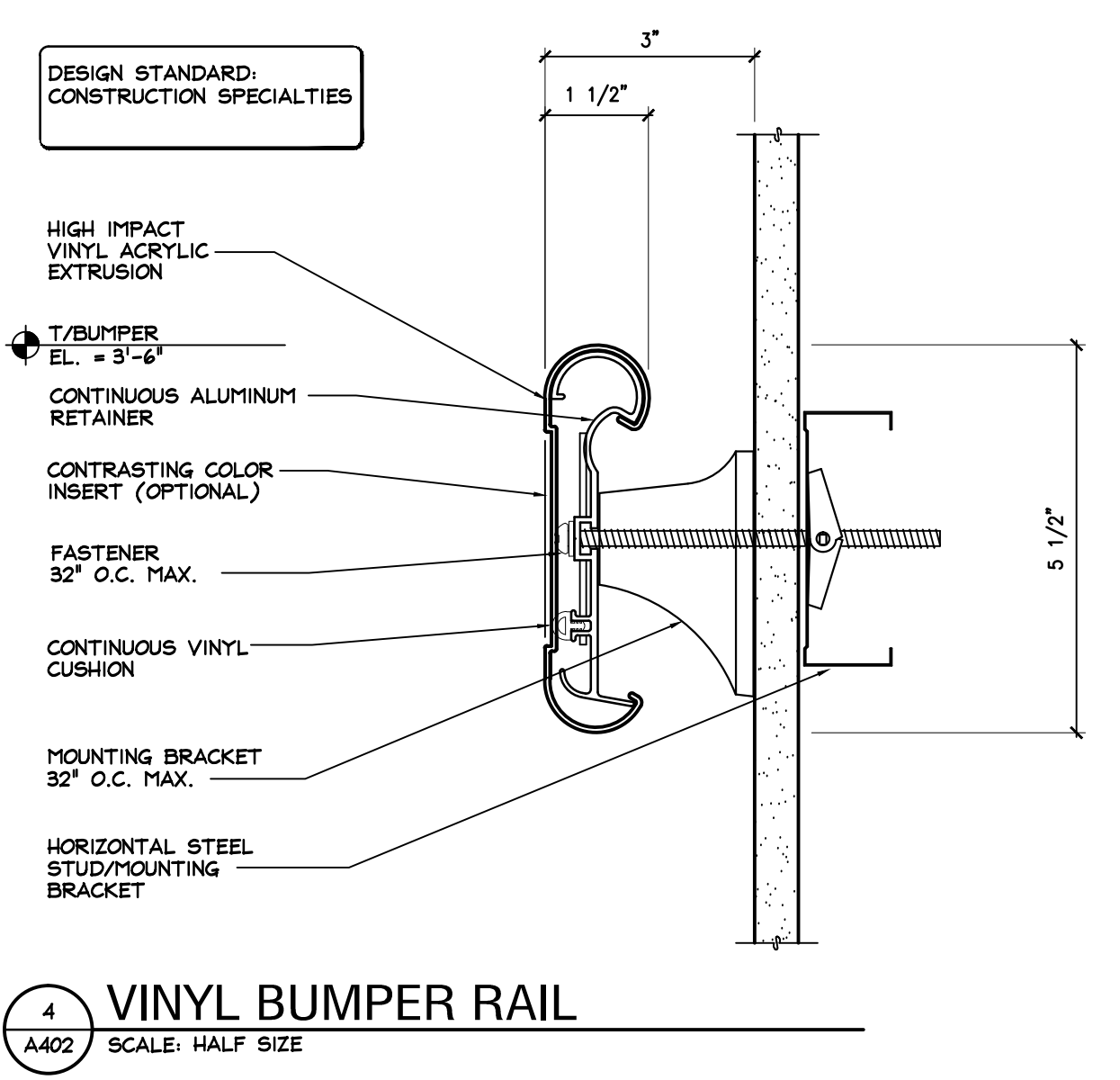
1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 VESTIBULE SECTION
SCALE: 1/2" = 1'-0"



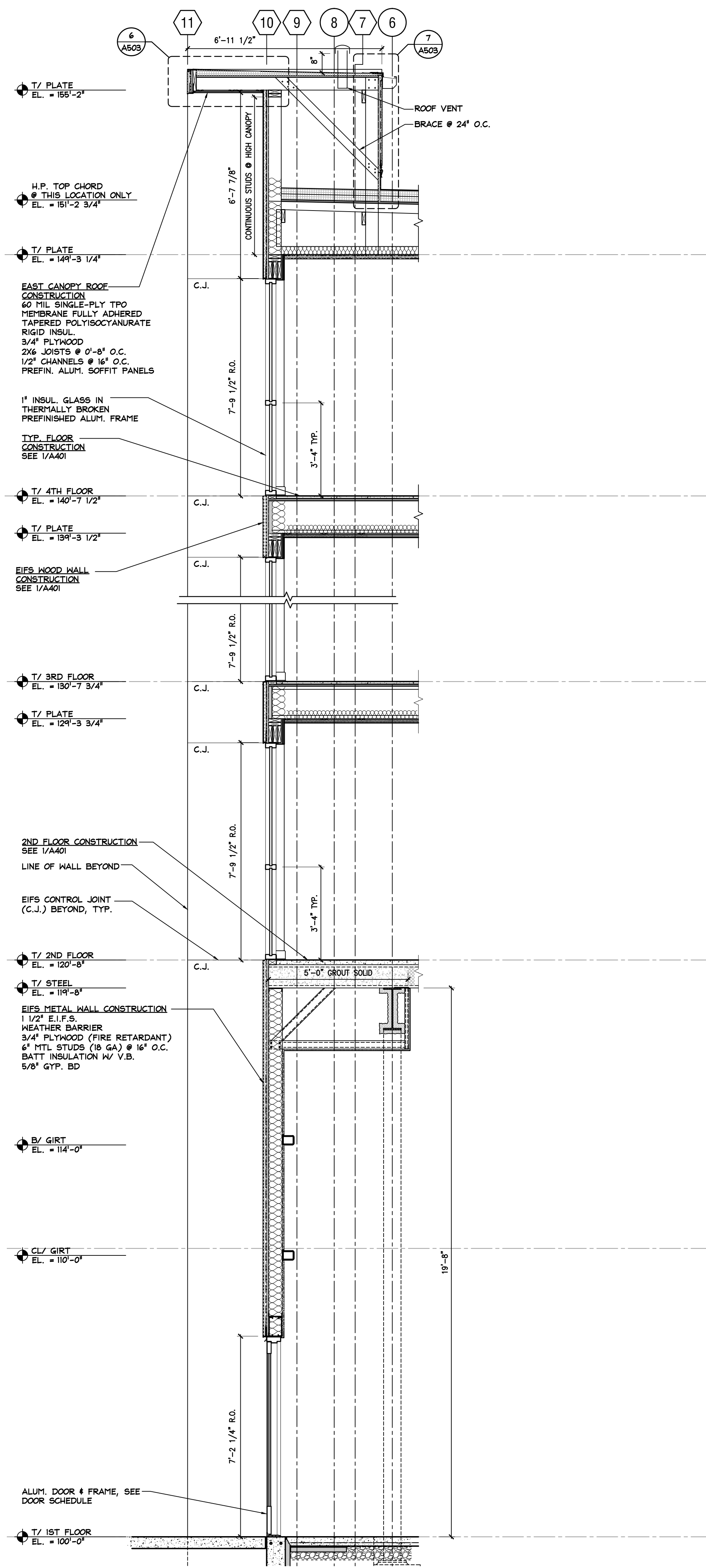
4 VINYL BUMPER RAIL
SCALE: HALF SIZE

DESIGN STANDARD:
CONSTRUCTION SPECIALTIES

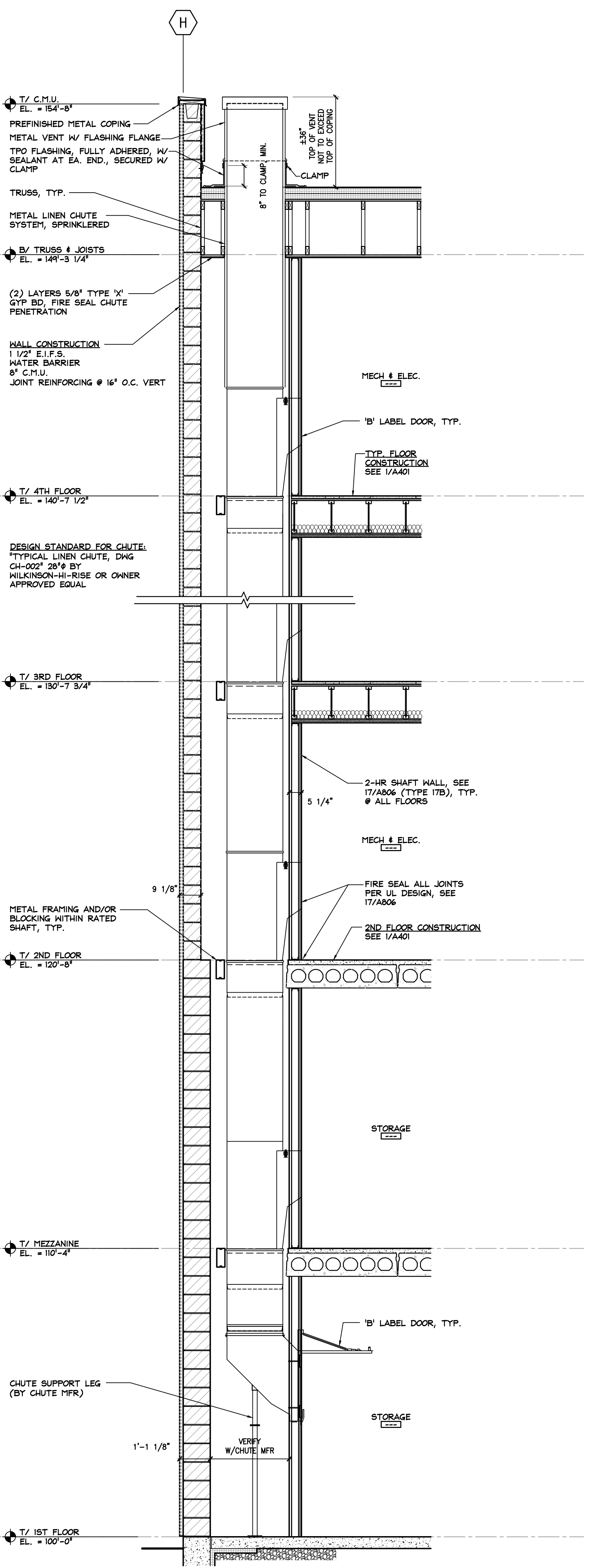
- HIGH IMPACT VINYL ACRYLIC EXTRUSION
- T/BUMPER EL. = 3'-6"
- CONTINUOUS ALUMINUM RETAINER
- CONTRASTING COLOR INSERT (OPTIONAL)
- FASTENER 32" O.C. MAX.
- CONTINUOUS VINYL CUSHION
- MOUNTING BRACKET 32" O.C. MAX.
- HORIZONTAL STEEL STUD/MOUNTING BRACKET

date	description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

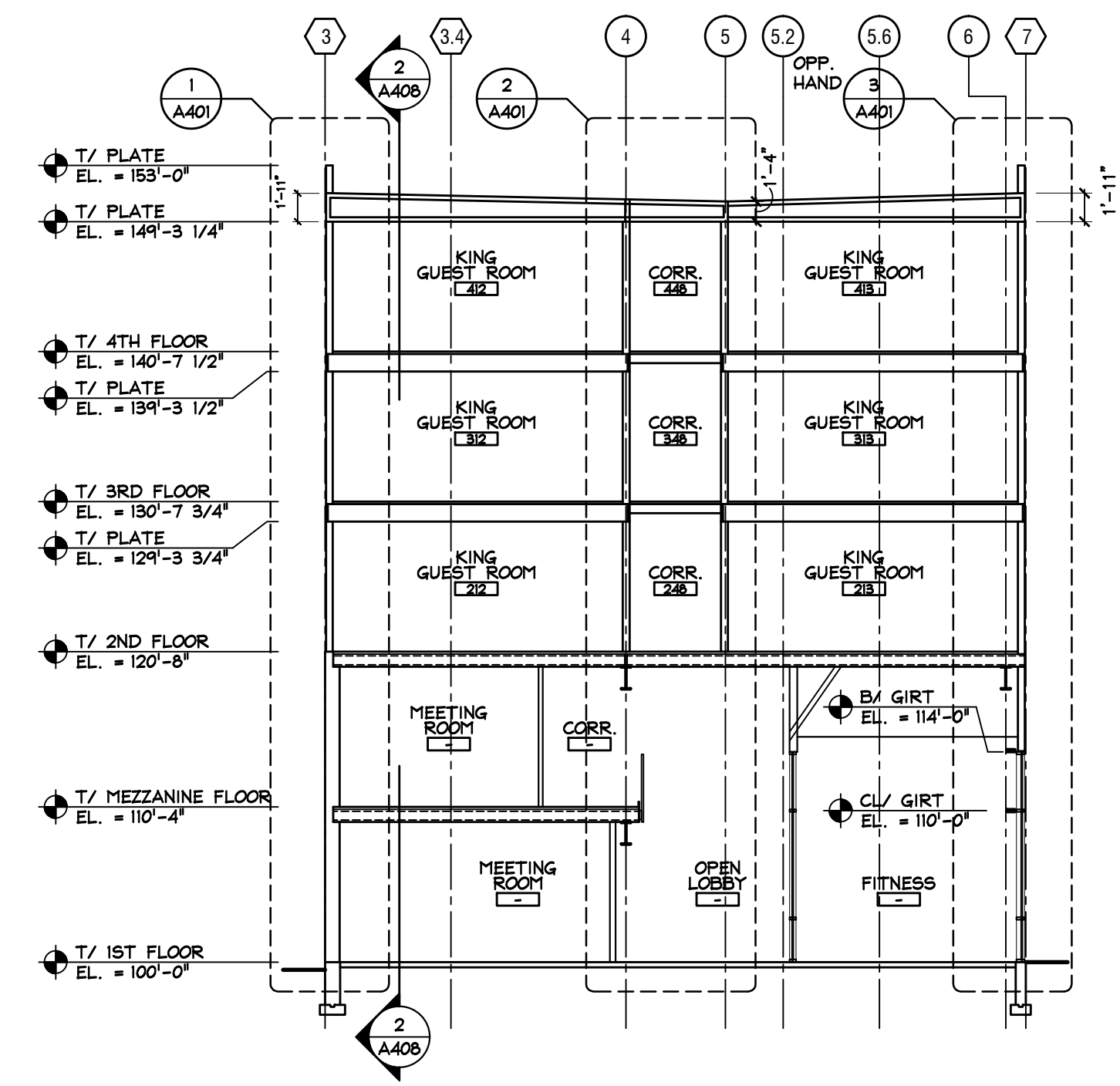
date	description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT



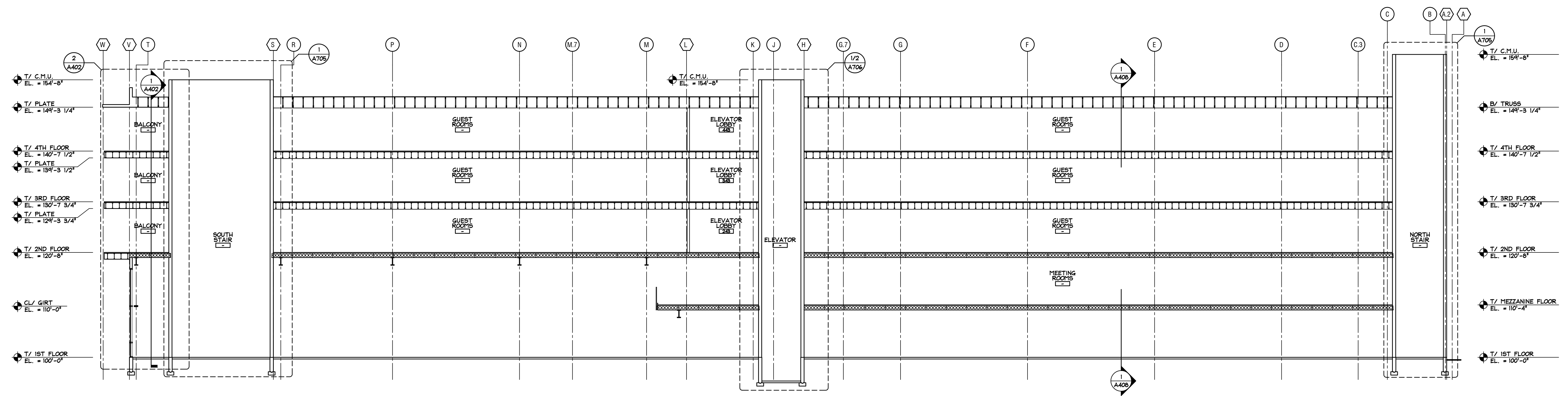
1 WALL SECTION
 A403 SCALE: 1/2" = 1'-0"



2 WALL SECTION @ LINEN CHUTE
 A403 SCALE: 1/2" = 1'-0"



1 BUILDING SECTION
 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/8" = 1'-0"

date	description
9.15.2017	ISSUED FOR PERMIT
5.3.2018	ISSUED FOR PUD AMENDMENT
6.20.2018	REVISED FOR PUD AMENDMENT

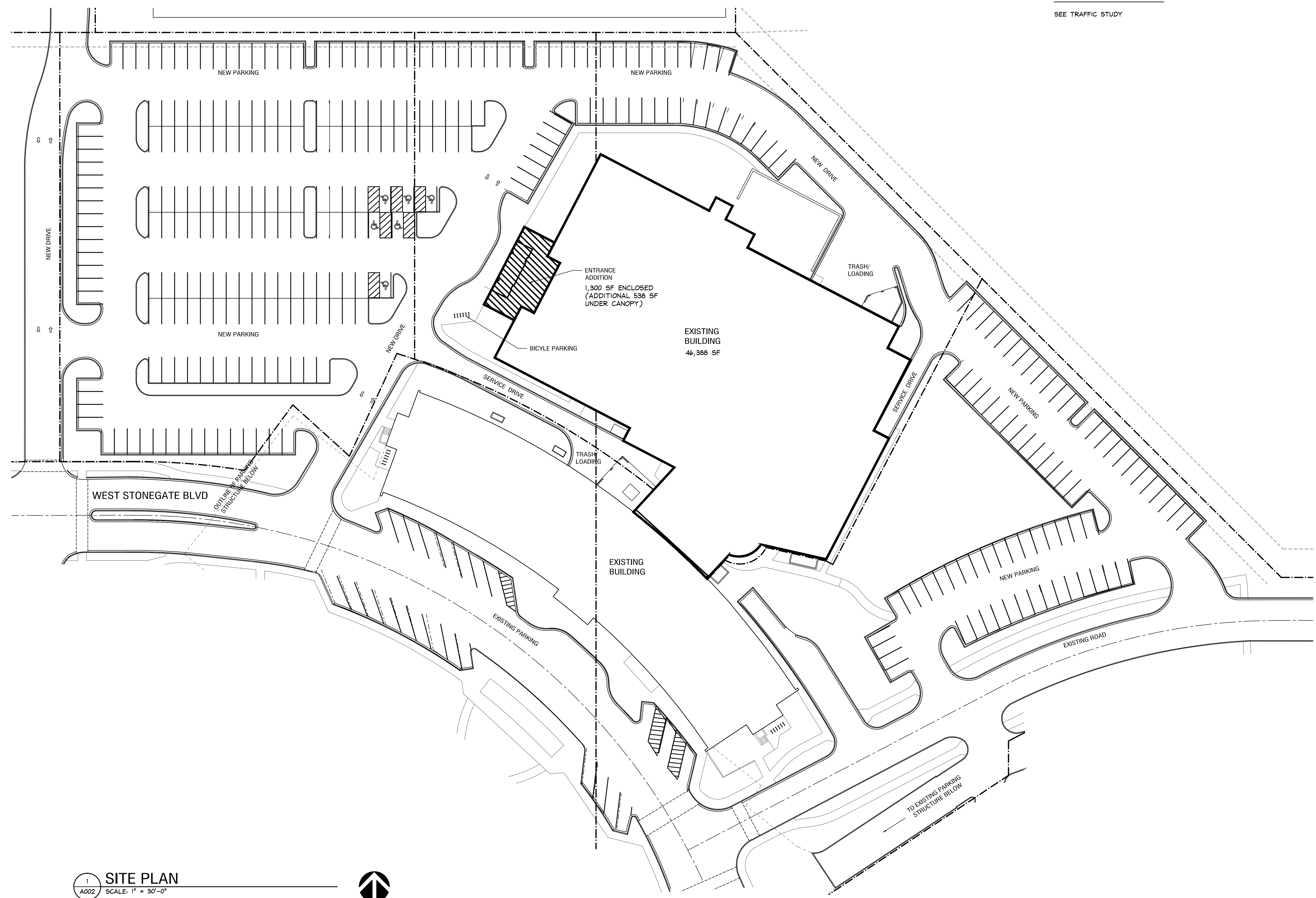
BUILDING SECTIONS

PARKING REQUIREMENTS:

SEE TRAFFIC STUDY

PARKING PROVIDED:

SEE TRAFFIC STUDY

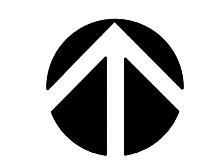


date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

PROPOSED SITE PLAN

A400

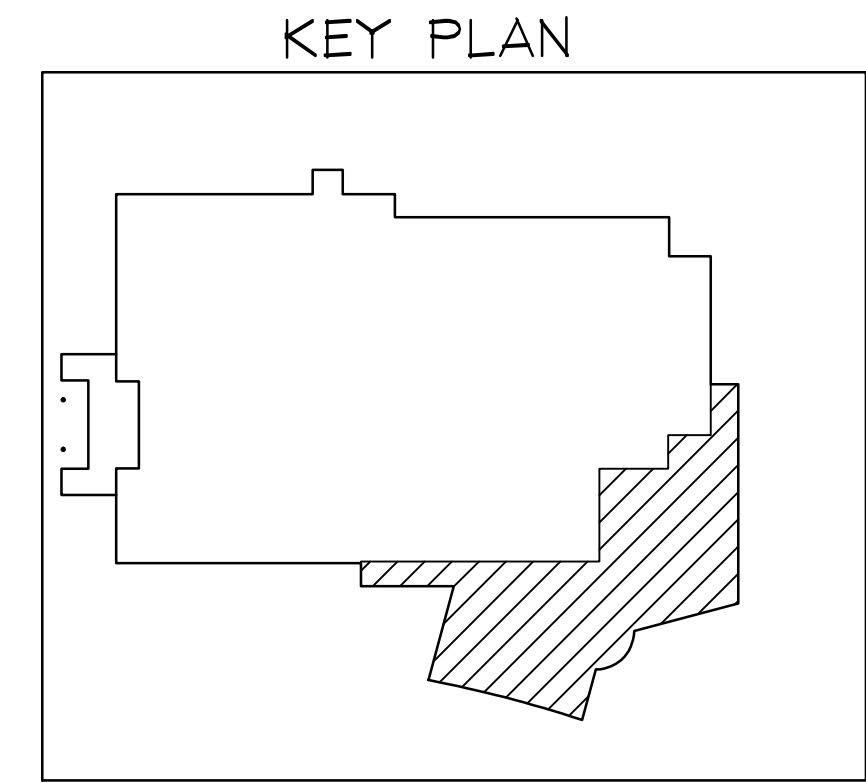
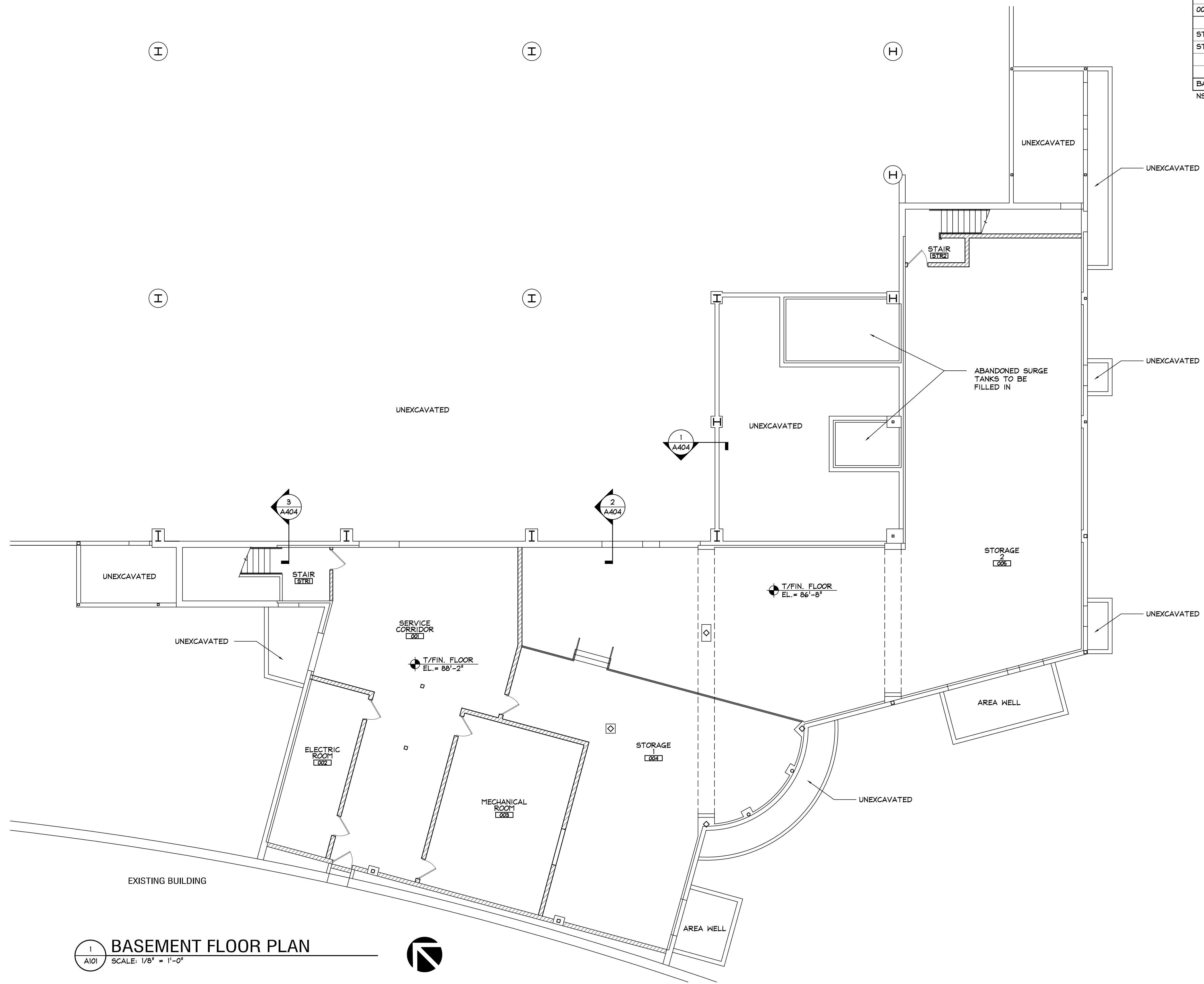
SITE PLAN
SCALE: 1" = 30'-0"



BASEMENT OCCUPANCY (PER CODE)

ROOM #	ROOM NAME	AREA (SF)	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
001	SERVICE CORRIDOR	1,159	NSO	--
002	ELECTRIC ROOM	264	NSO	--
003	MECHANICAL ROOM	570	NSO	--
004	STORAGE 1	1,238	NSO	--
005	STORAGE 2	3,388	NSO	--
STR1	STAIR	207	NSO	--
STR2	STAIR	156	NSO	--
BASEMENT GROSS AREA: 8,043 SF			TOTAL:	--

NSO = NON-SIMULTANEOUS OCCUPANCY

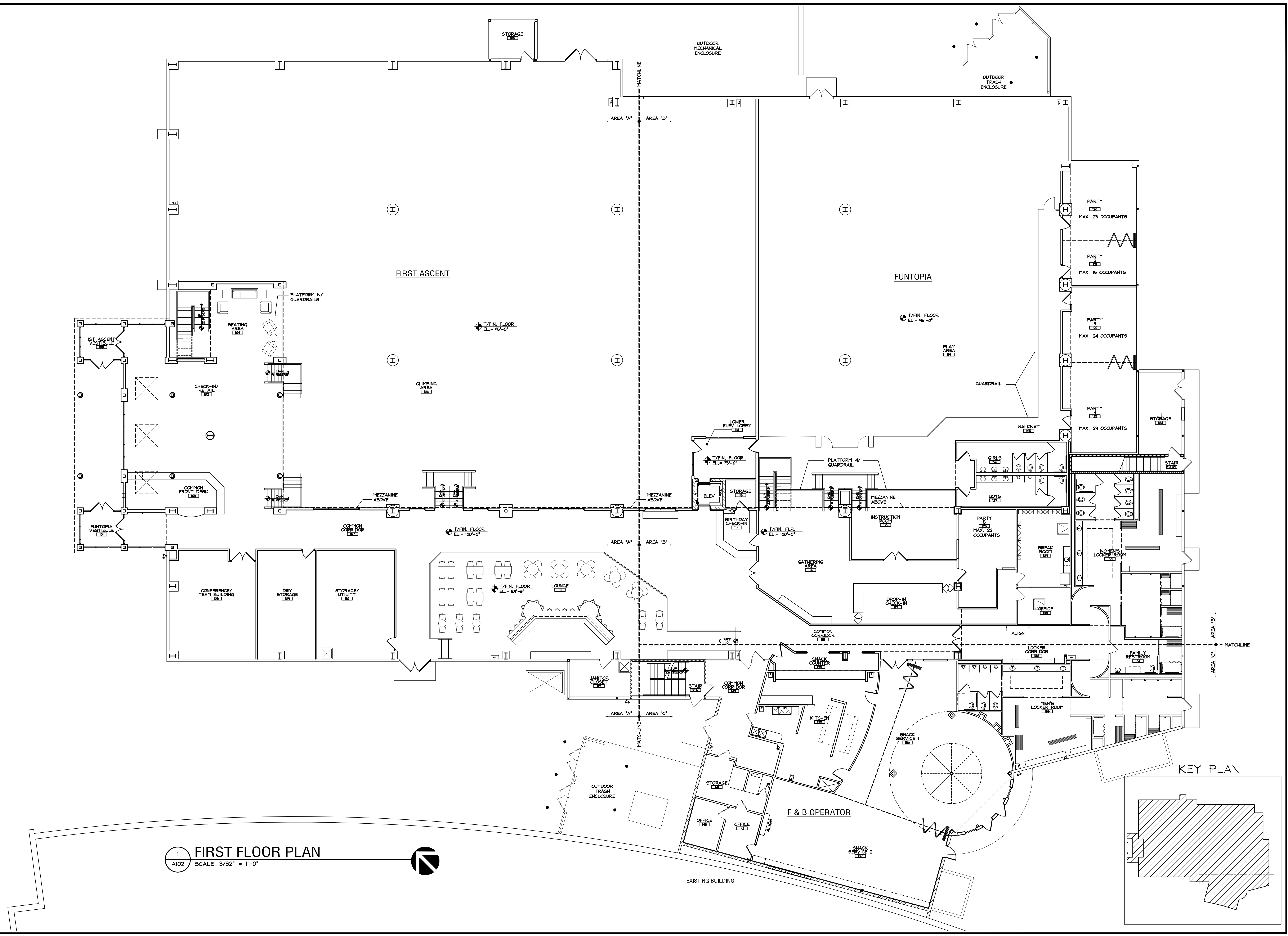


1
A101 **BASEMENT FLOOR PLAN**
SCALE: 1/8" = 1'-0"

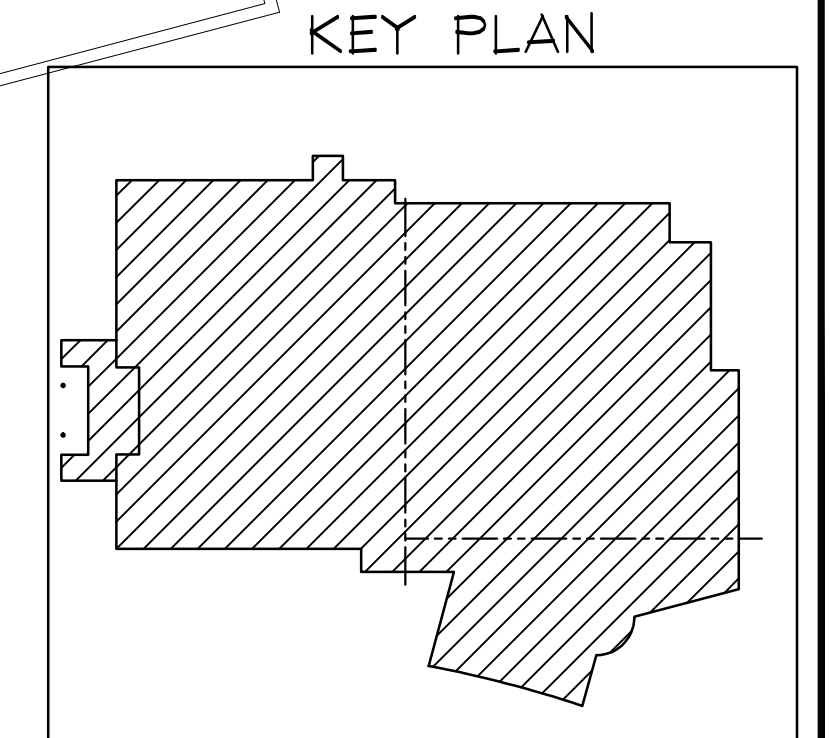
date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

BASEMENT FLOOR PLAN

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/18/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT



1 FIRST FLOOR PLAN
 A102 SCALE: 3/32" = 1'-0"

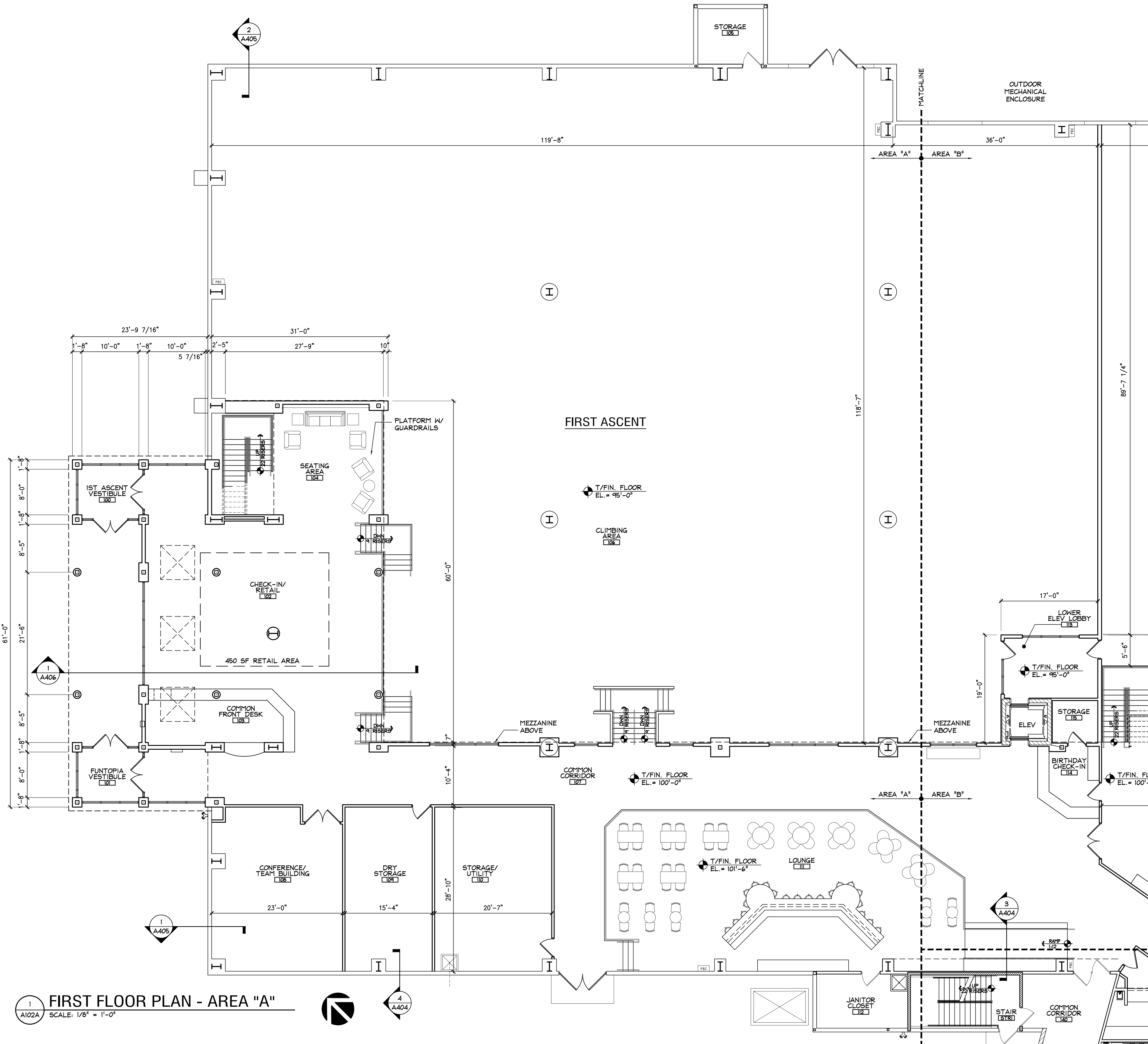


description	date
FOR SPECIAL USE PERMIT	02/28/18
FOR DESIGN COMMISSION	04/05/18
REVISED FOR SPECIAL USE PERMIT	04/15/18
FOR PUD AMENDMENT	06/20/18

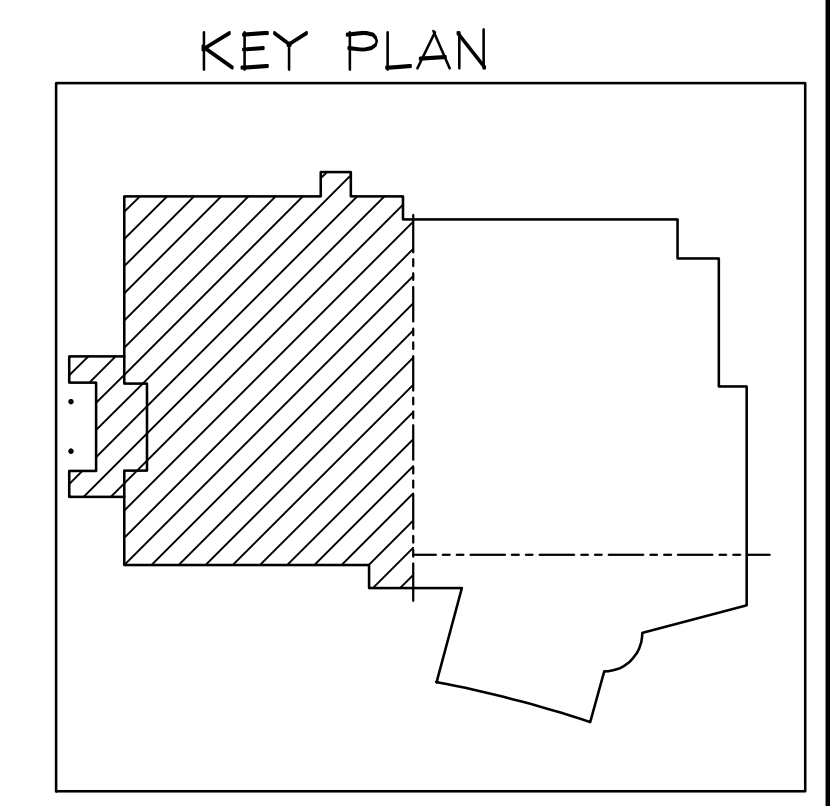
FIRST FLOOR OCCUPANCY (PER CODE)

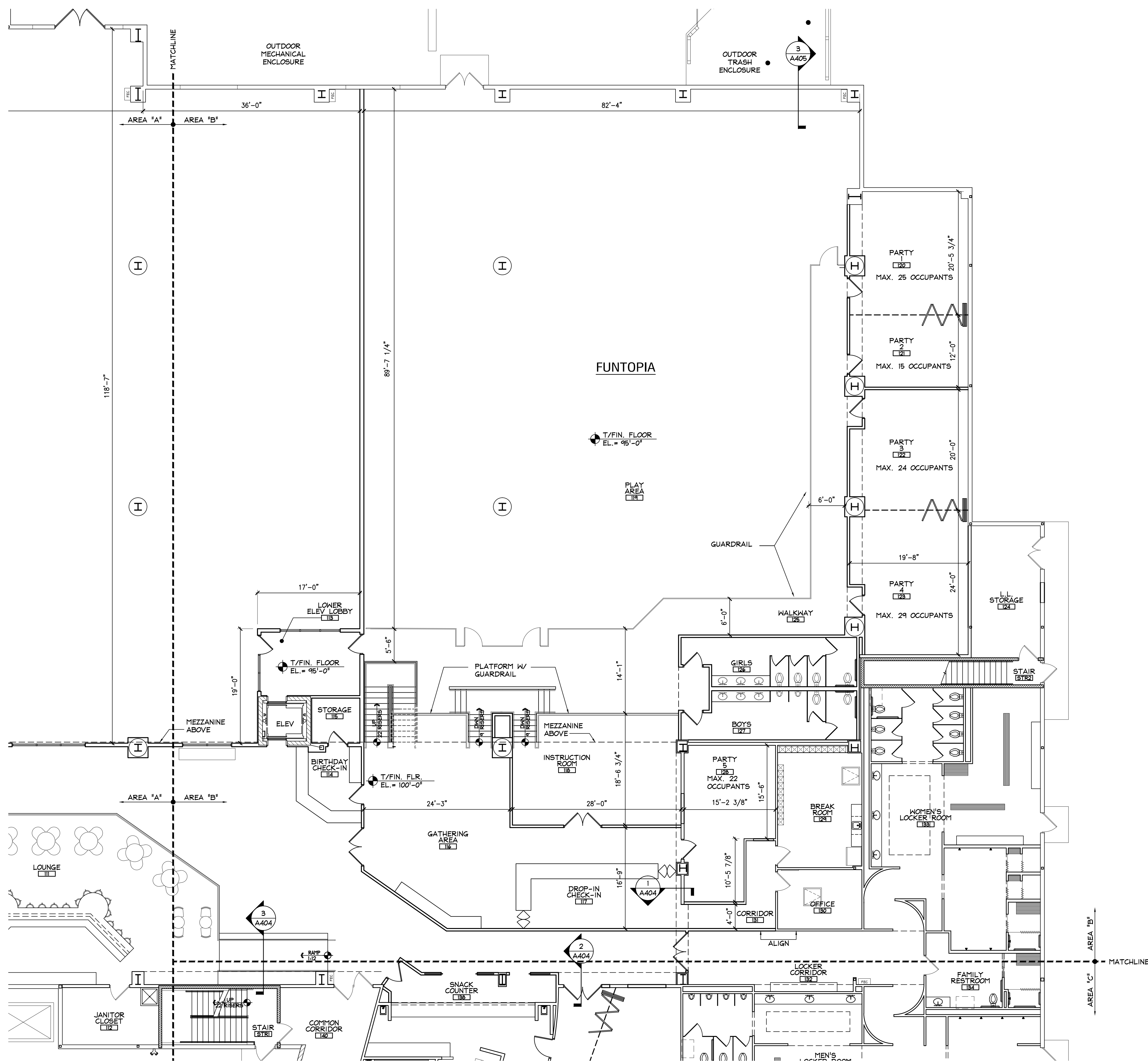
ROOM #	ROOM NAME	AREA (SF)	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
100	FIRST ASCENT VESTIBULE	104	NSO	--
101	FUNTOPIA VESTIBULE	104	NSO	--
102	CHECK-IN/RETAIL	1,348	100 SF/OCC	13
103	COMMON FRONT DESK	180	N/A	1
104	SEATING AREA	428	N/A	7
105	STORAGE	112	NSO	--
106	CLIMBING AREA	15,706	50 SF/OCC	314
107	COMMON CORRIDOR	3,059	NSO	--
108	CONF./TEAM BUILDING	629	15 SF/OCC	41
109	DRY STORAGE	437	NSO	--
110	STORAGE/UTILITY	590	NSO	--
111	LOUNGE	1,650	15 SF/OCC	110
112	JANITOR CLOSET	125	NSO	--
113	LOWER ELEV. LOBBY	172	NSO	--
114	BIRTHDAY CHECK-IN	74	N/A	1
115	STORAGE	60	NSO	--
116	GATHERING AREA	886	15 SF/OCC	59
117	DROP-IN CHECK-IN	205	N/A	3
118	INSTRUCTION ROOM	496	15 SF/OCC	33
119	PLAY AREA	6,742	50 SF/OCC	134
120	PARTY 1	389	15 SF/OCC	25
121	PARTY 2	231	15 SF/OCC	15
122	PARTY 3	371	15 SF/OCC	24
123	PARTY 4	440	15 SF/OCC	29
124	L.L. STORAGE	251	NSO	--
125	WALKWAY	1,123	NSO	--
126	GIRLS	219	NSO	--
127	BOYS	219	NSO	--
128	PARTY 5	337	15 SF/OCC	22
129	BREAK ROOM	281	NSO	--
130	OFFICE	137	100 SF/OCC	1
131	CORRIDOR	114	NSO	--
132	LOCKER CORRIDOR	366	NSO	--
133	WOMEN'S LOCKER ROOM	1,133	50 SF/OCC	22
134	FAMILY RESTROOM	183	NSO	--
135	MEN'S LOCKER ROOM	1,064	50 SF/OCC	21
136	SNACK SERVICE 1	1,128	15 SF/OCC	75
137	SNACK SERVICE 2	1,066	15 SF/OCC	71
138	SNACK COUNTER	129	15 SF/OCC	8
139	KITCHEN	625	200 SF/OCC	3
140	COMMON CORRIDOR	380	NSO	--
141	STORAGE	195	NSO	--
142	OFFICE	110	100 SF/OCC	1
143	OFFICE	109	100 SF/OCC	1
STR1	STAIR	179	NSO	--
STR2	STAIR	117	NSO	--
FIRST FLOOR GROSS AREA: 47,699 SF		TOTAL:	1034	
MEZZANINE GROSS AREA: 10,808 SF		TOTAL:	241	
		OCCUPANCY TOTAL:	1275	

NSO = NON-SIMULTANEOUS OCCUPANCY



FIRST FLOOR PLAN - AREA "A"
 SCALE: 1/8" = 1'-0"



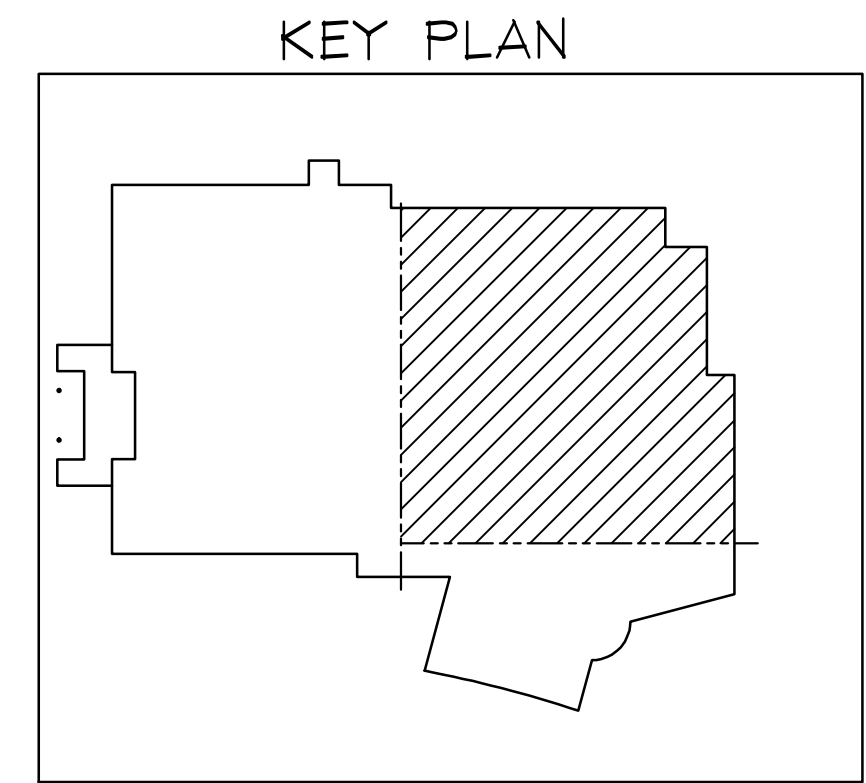


1 FIRST FLOOR PLAN - AREA "B"
 A102B SCALE: 1/8" = 1'-0"

FIRST FLOOR OCCUPANCY (PER CODE)

ROOM #	ROOM NAME	AREA (SF)	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
100	FIRST ASCENT VESTIBULE	104	NSO	--
101	FUNTOPIA VESTIBULE	104	NSO	--
102	CHECK-IN/RETAIL	1,348	100 SF/OCC	13
103	COMMON FRONT DESK	180	N/A	1
104	SEATING AREA	428	N/A	7
105	STORAGE	112	NSO	--
106	CLIMBING AREA	15,706	50 SF/OCC	314
107	COMMON CORRIDOR	3,059	NSO	--
108	CONF./TEAM BUILDING	629	15 SF/OCC	41
109	DRY STORAGE	437	NSO	--
110	STORAGE/UTILITY	590	NSO	--
111	LOUNGE	1,650	15 SF/OCC	110
112	JANITOR CLOSET	125	NSO	--
113	LOWER ELEV. LOBBY	172	NSO	--
114	BIRTHDAY CHECK-IN	74	N/A	1
115	STORAGE	60	NSO	--
116	GATHERING AREA	886	15 SF/OCC	59
117	DROP-IN CHECK-IN	205	N/A	3
118	INSTRUCTION ROOM	496	15 SF/OCC	33
119	PLAY AREA	6,742	50 SF/OCC	134
120	PARTY 1	389	15 SF/OCC	25
121	PARTY 2	231	15 SF/OCC	15
122	PARTY 3	371	15 SF/OCC	24
123	PARTY 4	440	15 SF/OCC	29
124	L.L. STORAGE	251	NSO	--
125	WALKWAY	1,123	NSO	--
126	GIRLS	219	NSO	--
127	BOYS	219	NSO	--
128	PARTY 5	337	15 SF/OCC	22
129	BREAK ROOM	281	NSO	--
130	OFFICE	137	100 SF/OCC	1
131	CORRIDOR	114	NSO	--
132	LOCKER CORRIDOR	366	NSO	--
133	WOMEN'S LOCKER ROOM	1,133	50 SF/OCC	22
134	FAMILY RESTROOM	183	NSO	--
135	MEN'S LOCKER ROOM	1,064	50 SF/OCC	21
136	SNACK SERVICE 1	1,128	15 SF/OCC	75
137	SNACK SERVICE 2	1,066	15 SF/OCC	71
138	SNACK COUNTER	129	15 SF/OCC	8
139	KITCHEN	625	200 SF/OCC	3
140	COMMON CORRIDOR	380	NSO	--
141	STORAGE	195	NSO	--
142	OFFICE	110	100 SF/OCC	1
143	OFFICE	109	100 SF/OCC	1
STR1	STAIR	179	NSO	--
STR2	STAIR	117	NSO	--
FIRST FLOOR GROSS AREA: 47,699 SF			TOTAL:	1034
MEZZANINE GROSS AREA: 10,808 SF			TOTAL:	241
			OCCUPANCY TOTAL:	1275

NSO = NON-SIMULTANEOUS OCCUPANCY

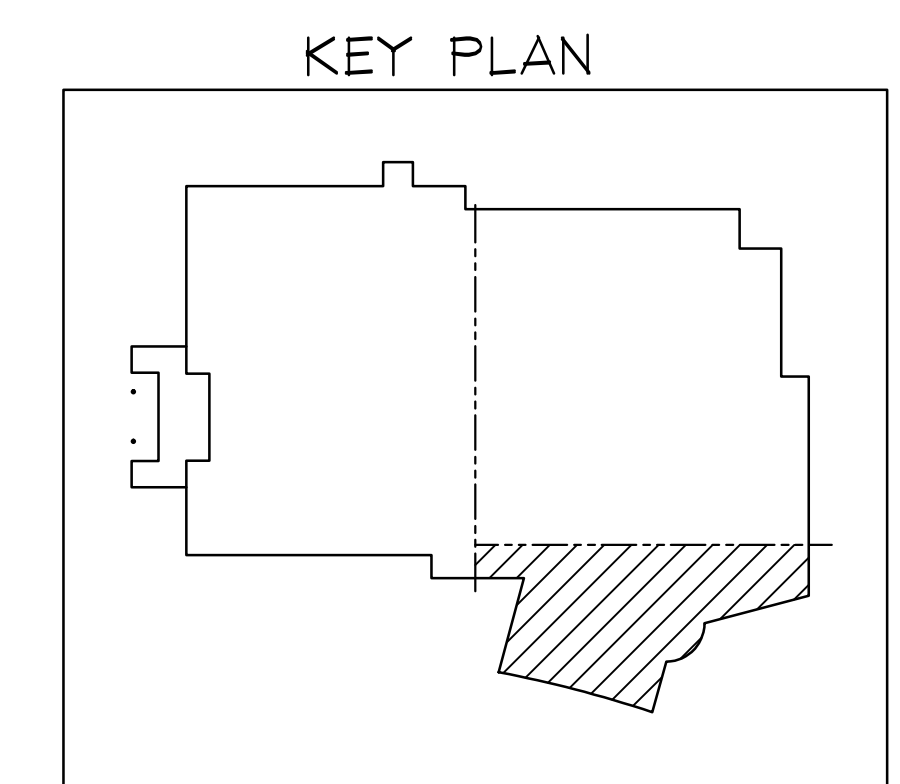
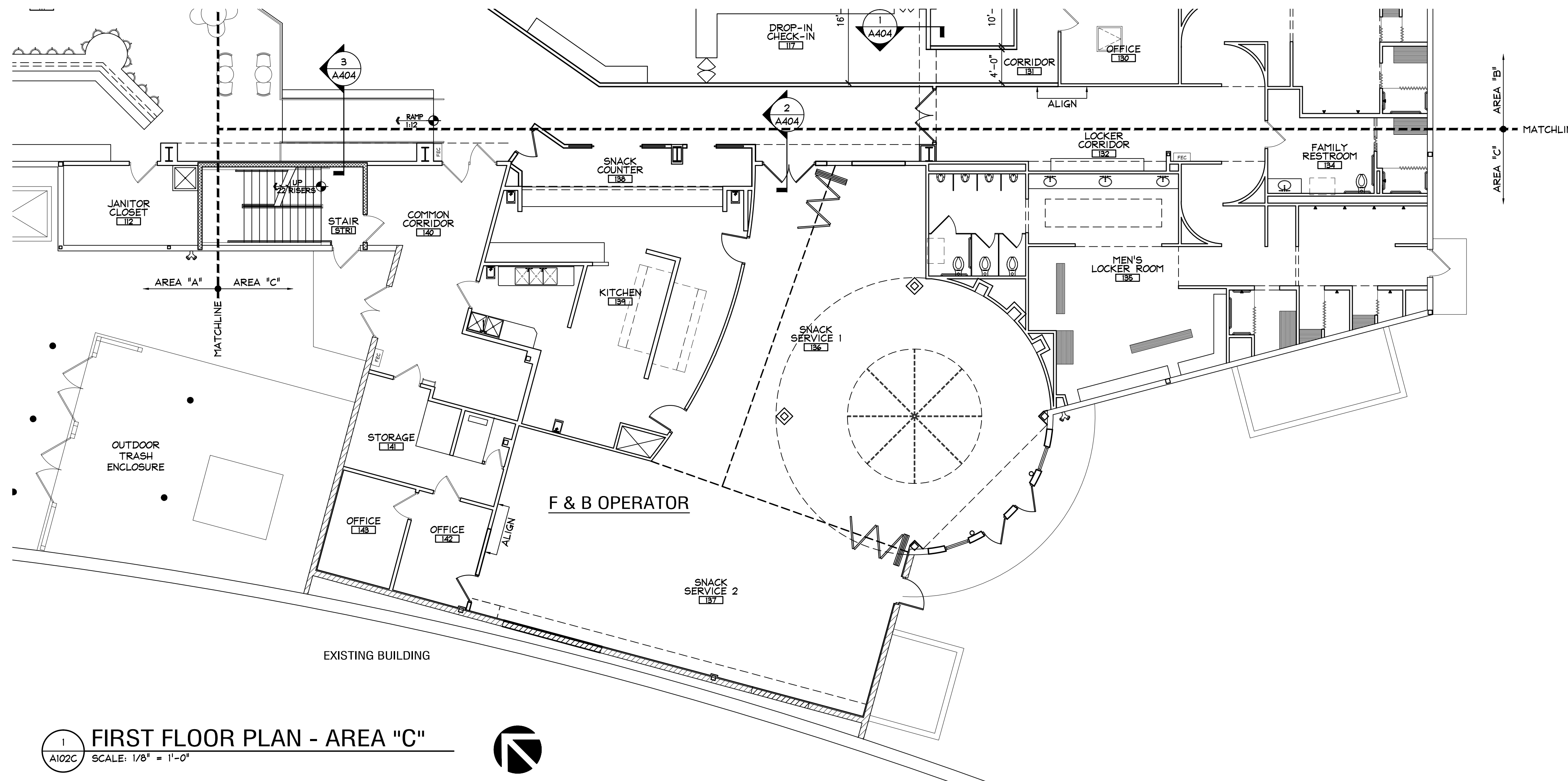


date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

FIRST FLOOR OCCUPANCY (PER CODE)

ROOM #	ROOM NAME	AREA (SF)	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
100	FIRST ASCENT VESTIBULE	104	NSO	--
101	FUNTOPIA VESTIBULE	104	NSO	--
102	CHECK-IN/RETAIL	1,348	100 SF/OCC	13
103	COMMON FRONT DESK	180	N/A	1
104	SEATING AREA	428	N/A	7
105	STORAGE	112	NSO	--
106	CLIMBING AREA	15,706	50 SF/OCC	314
107	COMMON CORRIDOR	3,059	NSO	--
108	CONF./TEAM BUILDING	629	15 SF/OCC	41
109	DRY STORAGE	437	NSO	--
110	STORAGE/UTILITY	590	NSO	--
111	LOUNGE	1,650	15 SF/OCC	110
112	JANITOR CLOSET	125	NSO	--
113	LOWER ELEV. LOBBY	172	NSO	--
114	BIRTHDAY CHECK-IN	74	N/A	1
115	STORAGE	60	NSO	--
116	GATHERING AREA	886	15 SF/OCC	59
117	DROP-IN CHECK-IN	205	N/A	3
118	INSTRUCTION ROOM	496	15 SF/OCC	33
119	PLAY AREA	6,742	50 SF/OCC	134
120	PARTY 1	389	15 SF/OCC	25
121	PARTY 2	231	15 SF/OCC	15
122	PARTY 3	371	15 SF/OCC	24
123	PARTY 4	440	15 SF/OCC	29
124	L.L. STORAGE	251	NSO	--
125	WALKWAY	1,123	NSO	--
126	GIRLS	219	NSO	--
127	BOYS	219	NSO	--
128	PARTY 5	337	15 SF/OCC	22
129	BREAK ROOM	281	NSO	--
130	OFFICE	137	100 SF/OCC	1
131	CORRIDOR	114	NSO	--
132	LOCKER CORRIDOR	366	NSO	--
133	WOMEN'S LOCKER ROOM	1,133	50 SF/OCC	22
134	FAMILY RESTROOM	183	NSO	--
135	MEN'S LOCKER ROOM	1,064	50 SF/OCC	21
136	SNACK SERVICE 1	1,128	15 SF/OCC	75
137	SNACK SERVICE 2	1,066	15 SF/OCC	71
138	SNACK COUNTER	129	15 SF/OCC	8
139	KITCHEN	625	200 SF/OCC	3
140	COMMON CORRIDOR	380	NSO	--
141	STORAGE	195	NSO	--
142	OFFICE	110	100 SF/OCC	1
143	OFFICE	109	100 SF/OCC	1
STR1	STAIR	179	NSO	--
STR2	STAIR	117	NSO	--
FIRST FLOOR GROSS AREA: 47,699 SF		TOTAL:	1034	
MEZZANINE GROSS AREA: 10,808 SF		TOTAL:	241	
		OCCUPANCY TOTAL:	1275	

NSO = NON-SIMULTANEOUS OCCUPANCY



1 FIRST FLOOR PLAN - AREA "C"
SCALE: 1/8" = 1'-0"

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

PROJECTED TOTAL OCCUPANCY (PER HOUR AT PEAK TIME)

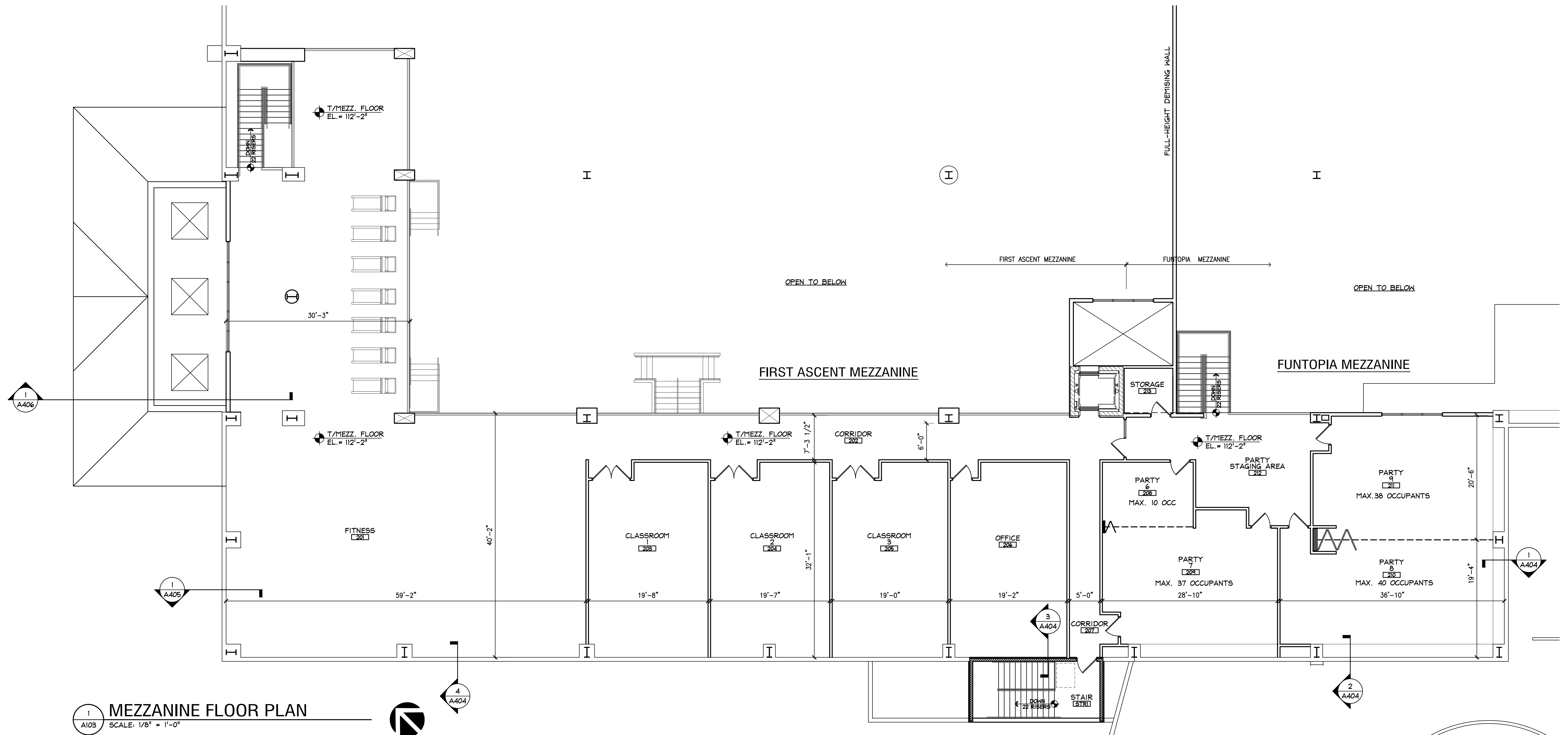
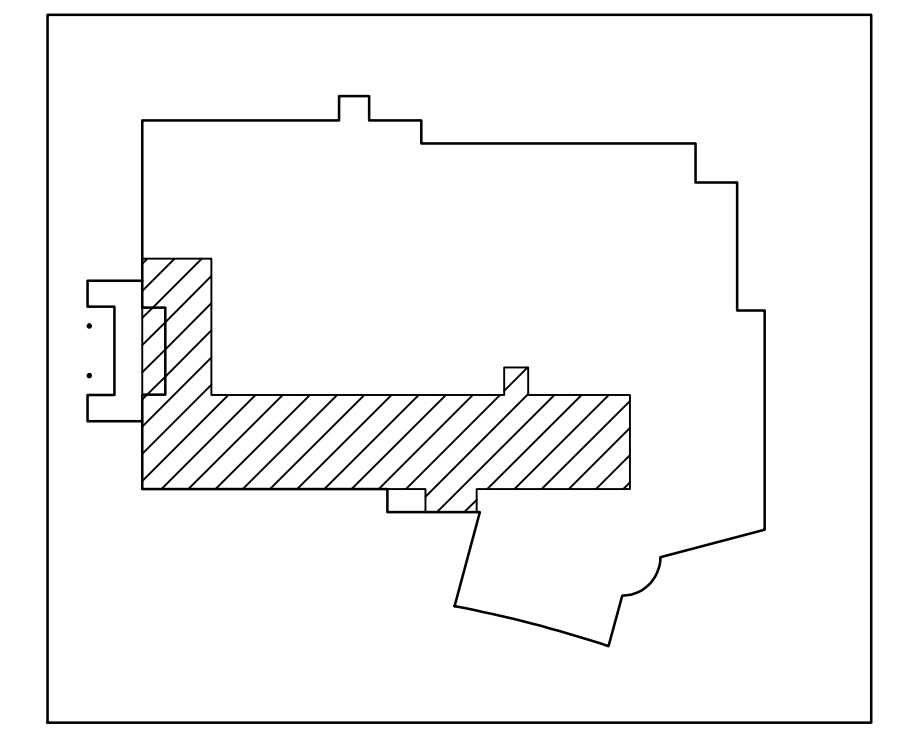
TENANT	PATRON COUNT	EMPLOYEE COUNT	OCCUPANCY
FIRST ASCENT	125	15	140
FUNTOPIA	300	25	325
FOOD/BEVERAGE	-	5	5
OCCUPANCY TOTAL:			470

MEZZANINE OCCUPANCY (PER CODE)

ROOM #	ROOM NAME	AREA (SF)	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
201	FITNESS	3,865	50 SF/OCC	77
202	CORRIDOR	738	NSO	--
203	CLASSROOM 1	606	50 SF/OCC	12
204	CLASSROOM 2	599	50 SF/OCC	11
205	CLASSROOM 3	582	50 SF/OCC	11
206	OFFICE	598	100 SF/OCC	5
207	CORRIDOR	177	NSO	--
208	PARTY 6	158	15 SF/OCC	10
209	PARTY 7	561	15 SF/OCC	37
210	PARTY 8	600	15 SF/OCC	40
211	PARTY 9	574	15 SF/OCC	38
212	PARTY STAGING AREA	417	NSO	--
213	STORAGE	60	NSO	--
STRI	STAIR	195	NSO	--
MEZZANINE GROSS AREA: 10,808 SF			TOTAL:	241
FIRST FLOOR GROSS AREA: 47,699 SF			TOTAL:	1034
OCCUPANCY TOTAL:				1275

NSO = NON-SIMULTANEOUS OCCUPANCY

KEY PLAN



MEZZANINE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

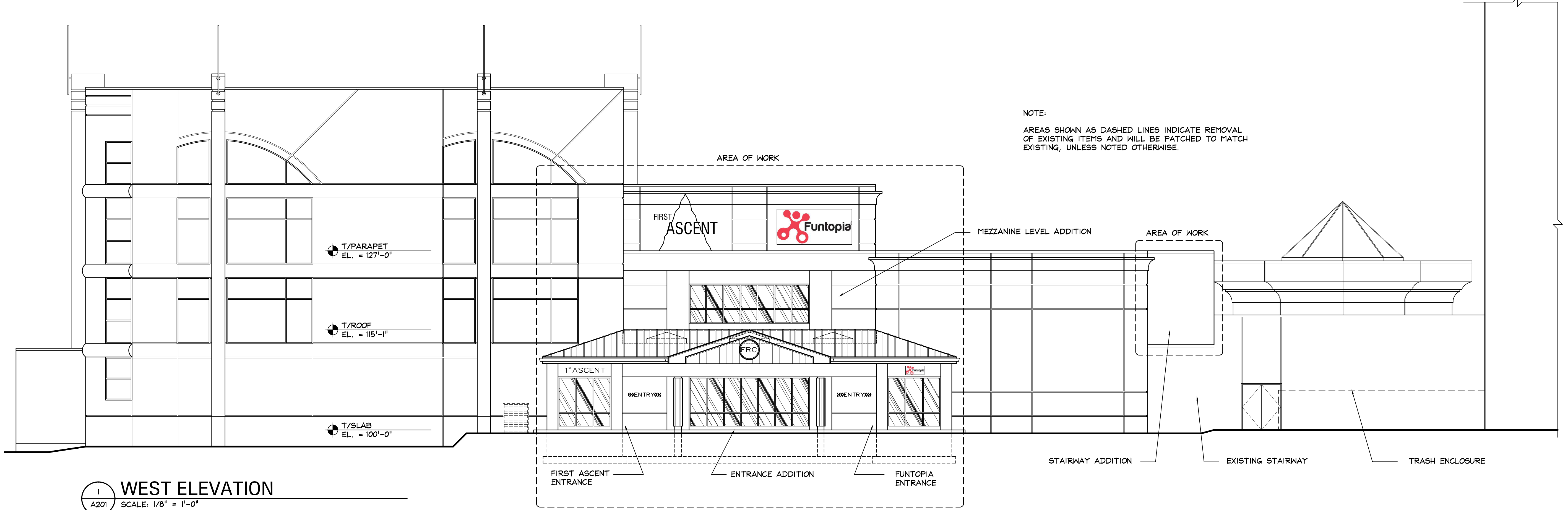
T/PARAPET (EXIST)
EL. = 151'-8"

T/PARAPET (EXIST)
EL. = 137'-0"

T/PARAPET (EXIST)
EL. = 127'-0"

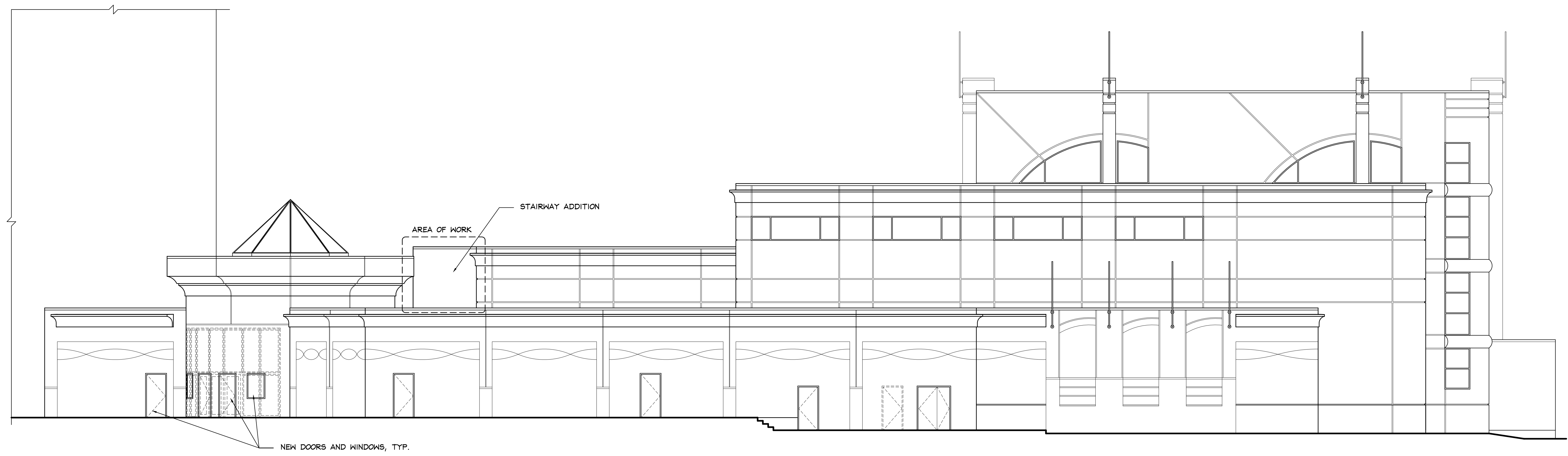
T/ROOF
EL. = 115'-1"

T/SLAB (EXIST)
EL. = 100'-0"

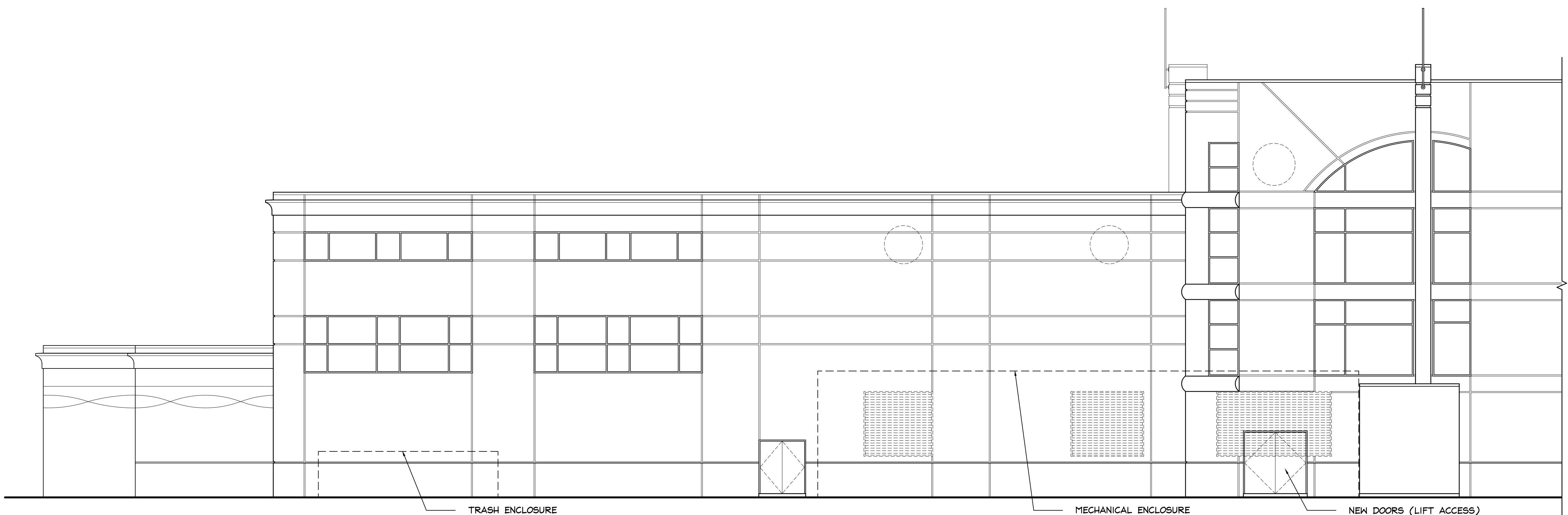


NOTE:
AREAS SHOWN AS DASHED LINES INDICATE REMOVAL
OF EXISTING ITEMS AND WILL BE PATCHED TO MATCH
EXISTING, UNLESS NOTED OTHERWISE.

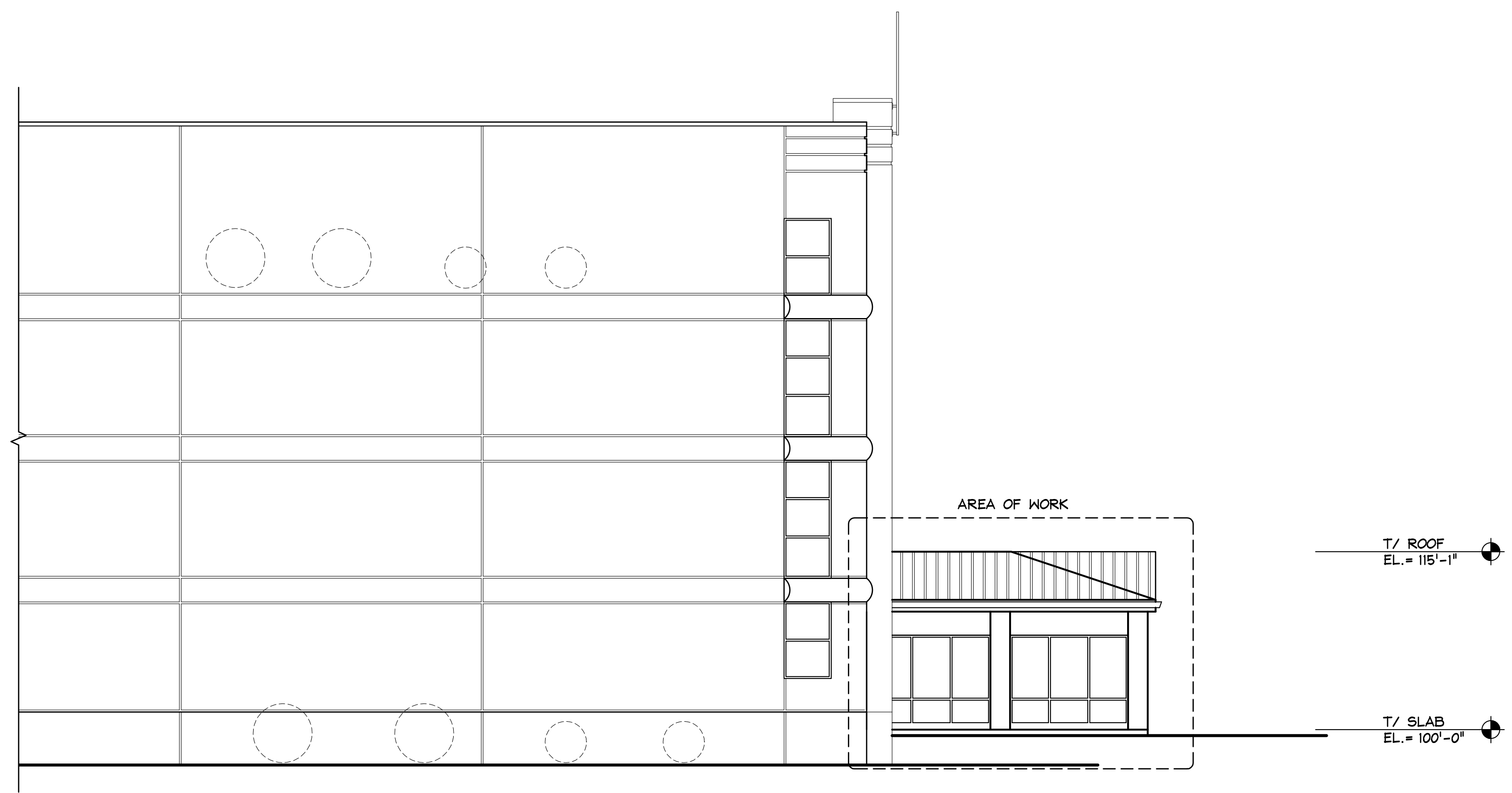
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
 A202 SCALE: 1/8" = 1'-0"



date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

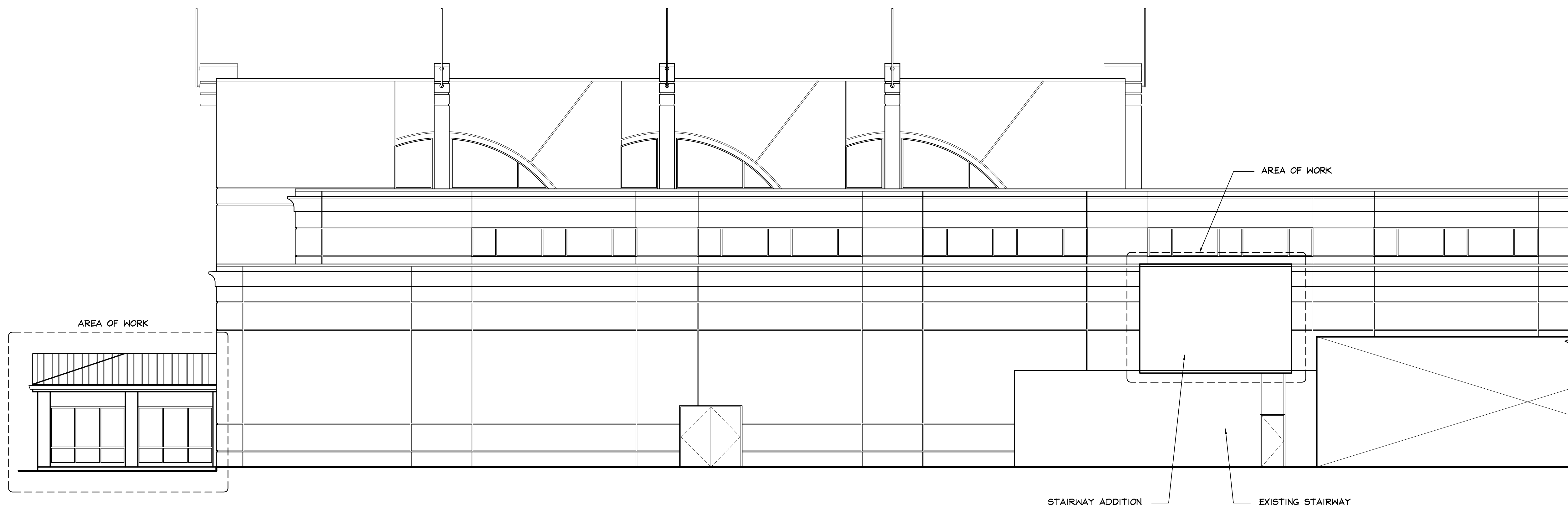
T/PARAPET (EXIST)
EL. = 151'-8"

T/PARAPET (EXIST)
EL. = 137'-0"

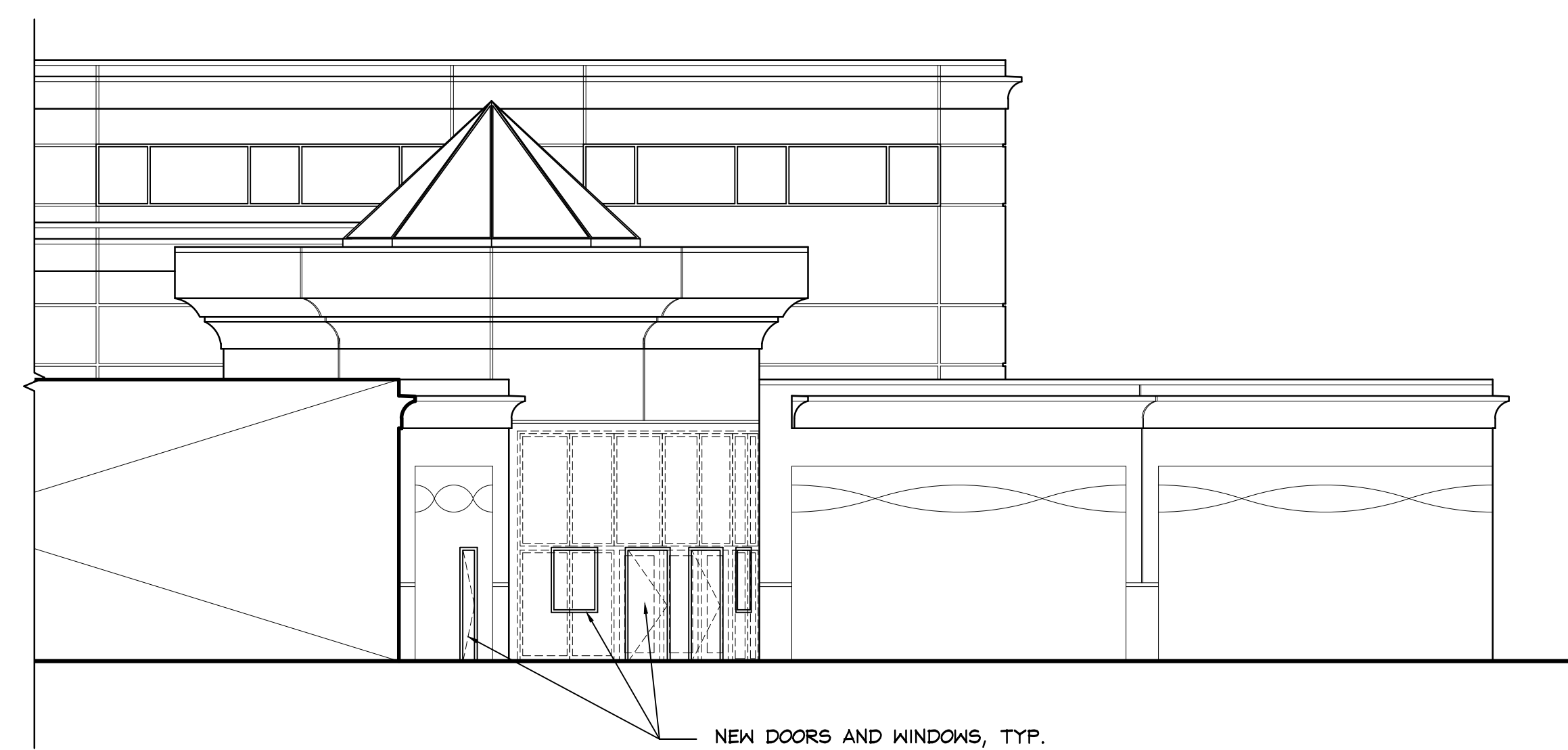
T/PARAPET (EXIST)
EL. = 127'-0"

T/ROOF
EL. = 115'-1"

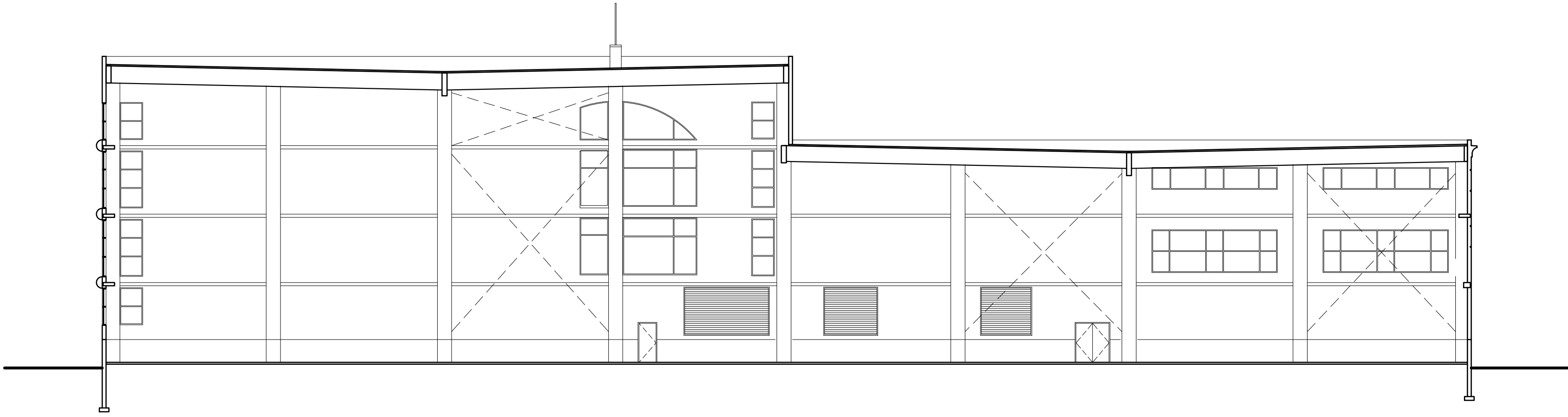
T/SLAB
EL. = 100'-0"



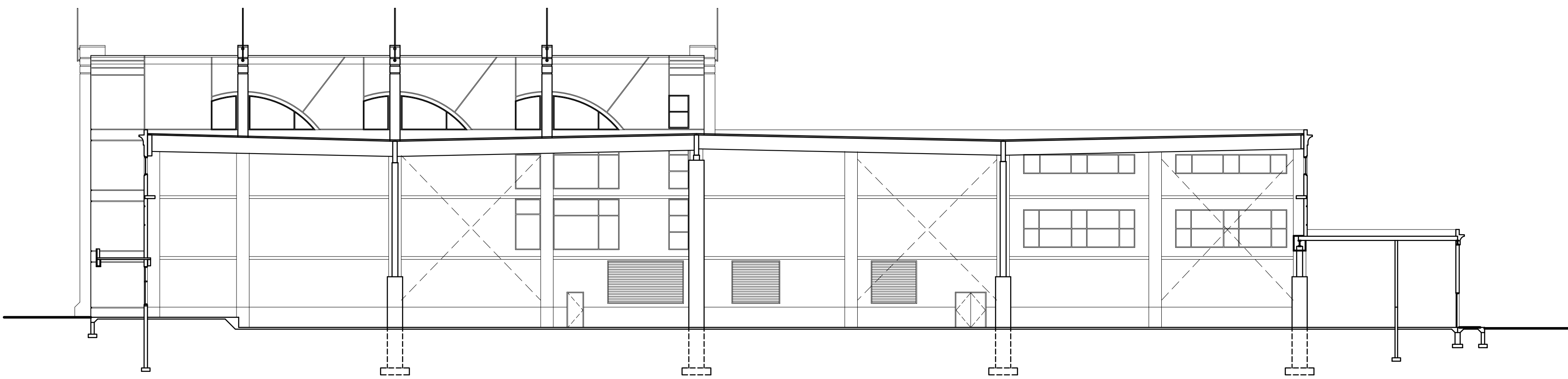
1 SOUTH ELEVATION
A203 SCALE: 1/8" = 1'-0"



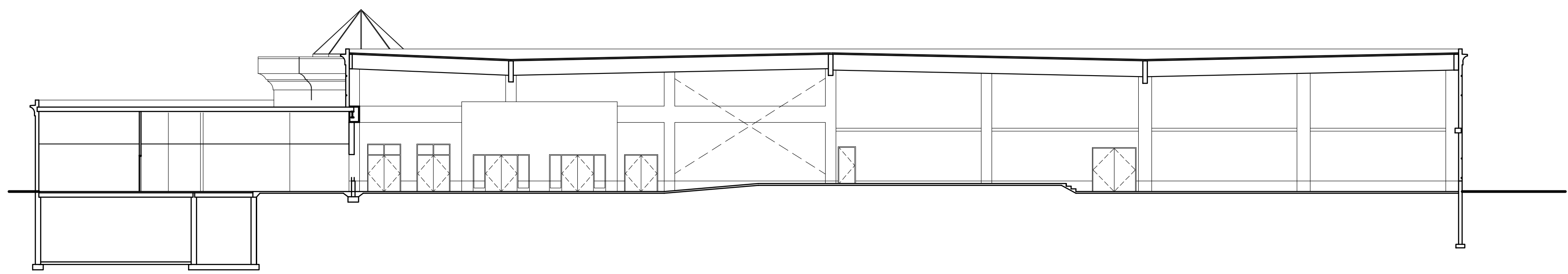
date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUJD AMENDMENT



1 EXISTING BUILDING SECTION
A401 SCALE: 1/16" = 1'-0"



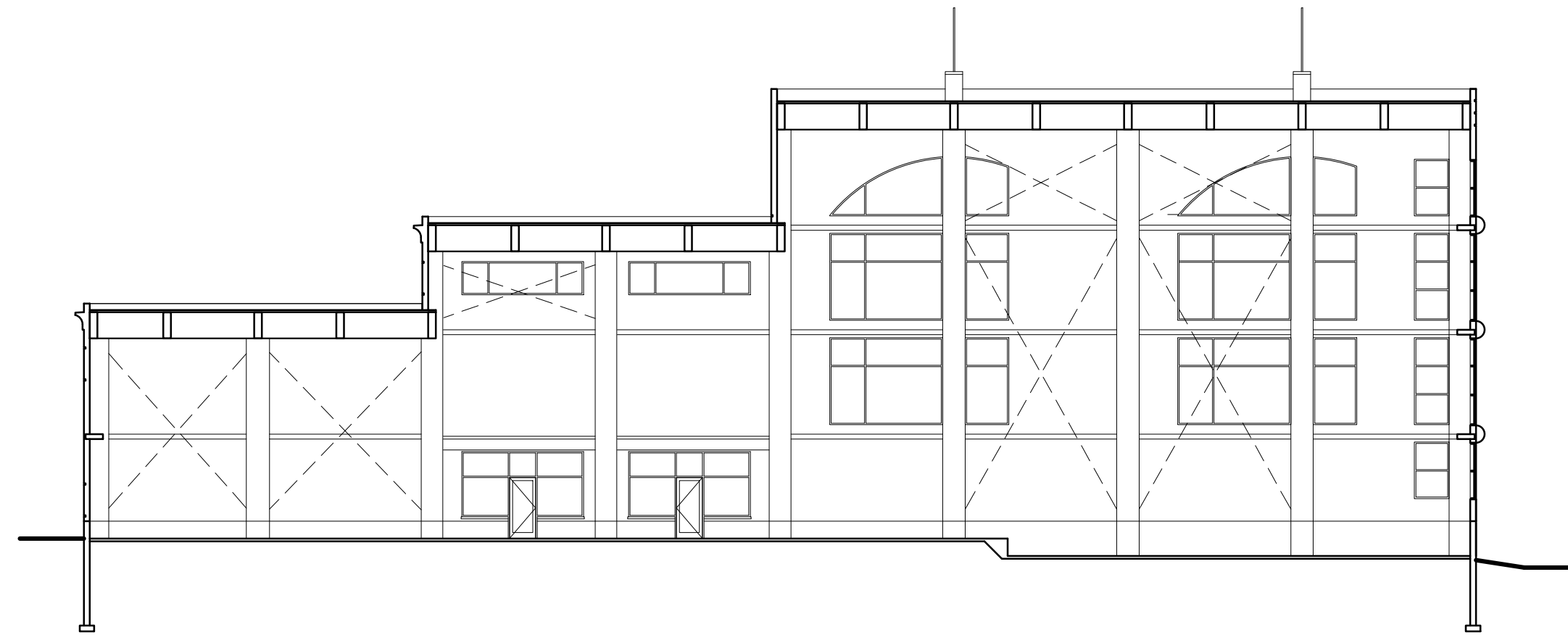
2 EXISTING BUILDING SECTION
A401 SCALE: 1/16" = 1'-0"



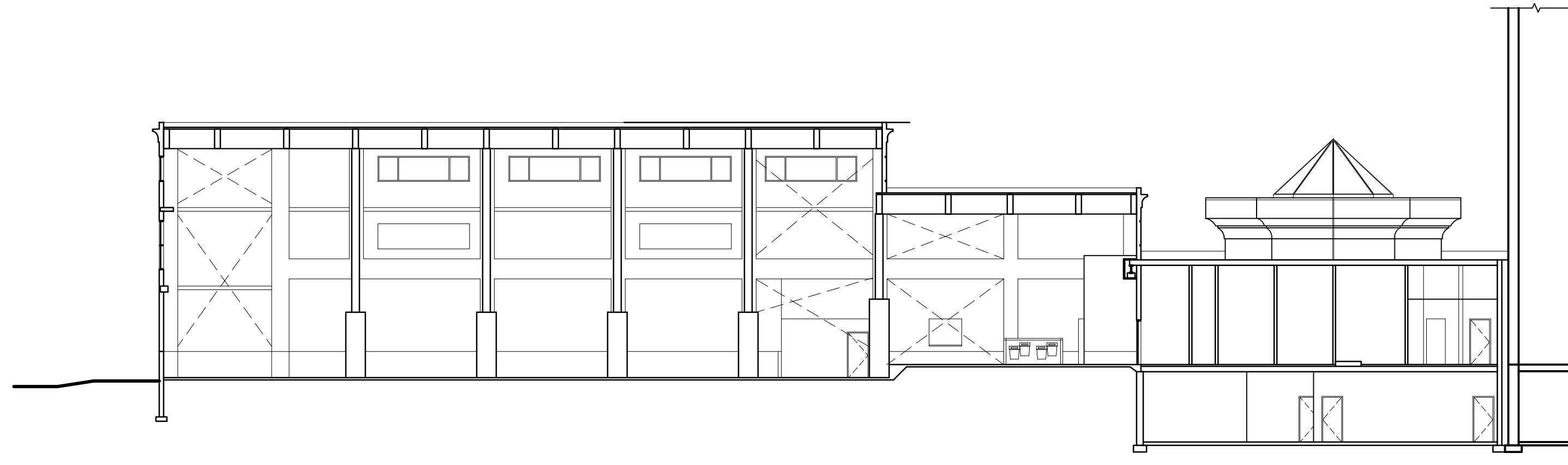
3 EXISTING BUILDING SECTION
A401 SCALE: 1/16" = 1'-0"

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT

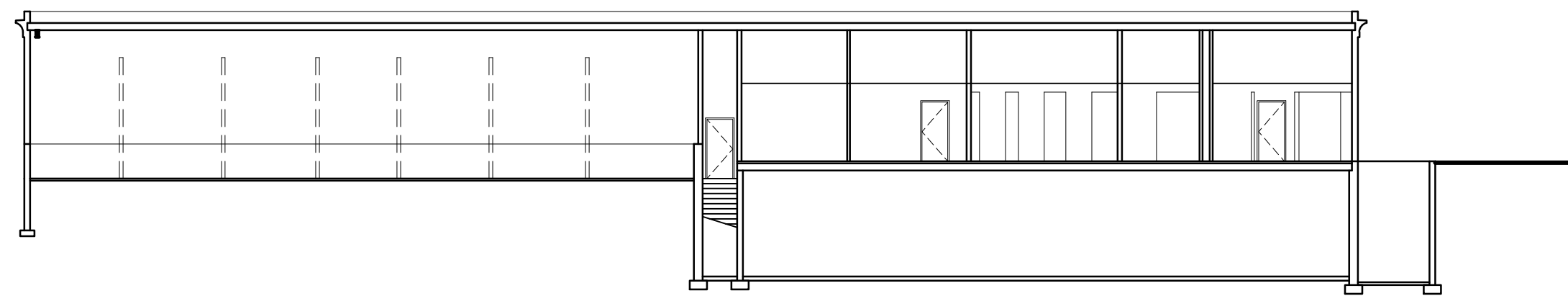
EXISTING BUILDING SECTIONS



1
A402 EXISTING BUILDING SECTION
SCALE: 1/16" = 1'-0"

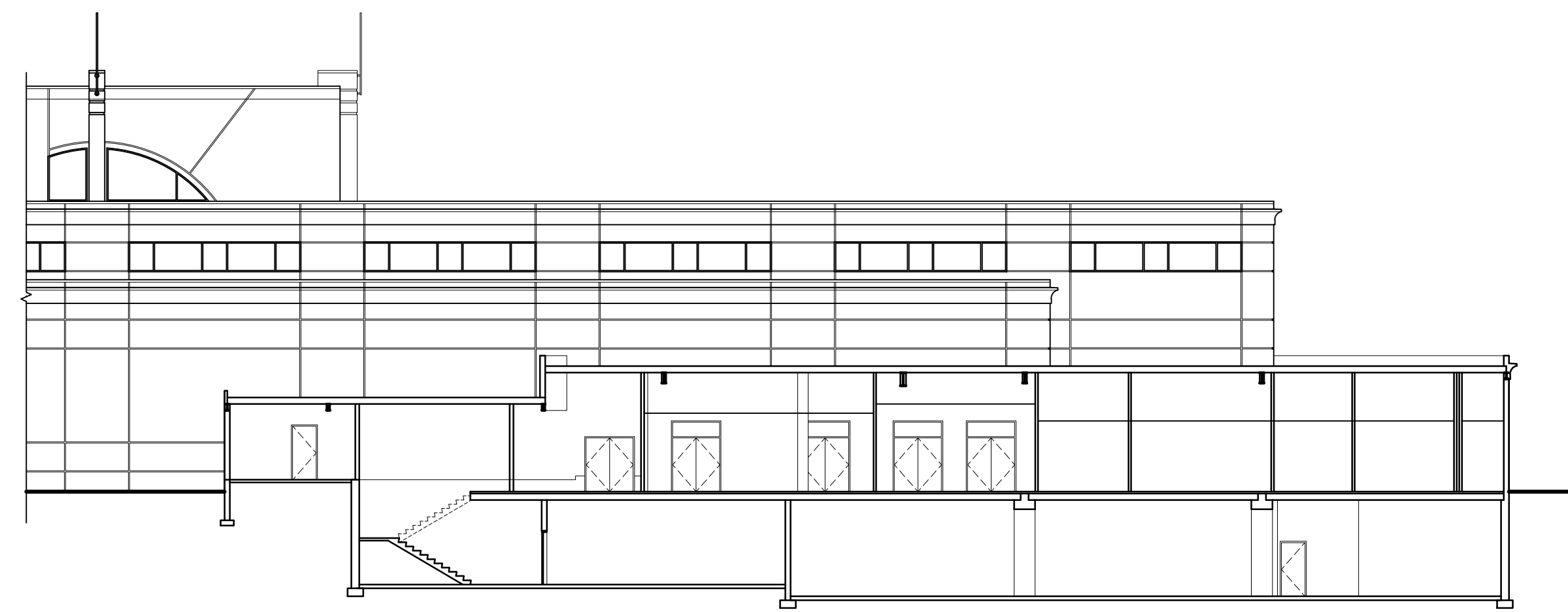


2
A402 EXISTING BUILDING SECTION
SCALE: 1/16" = 1'-0"

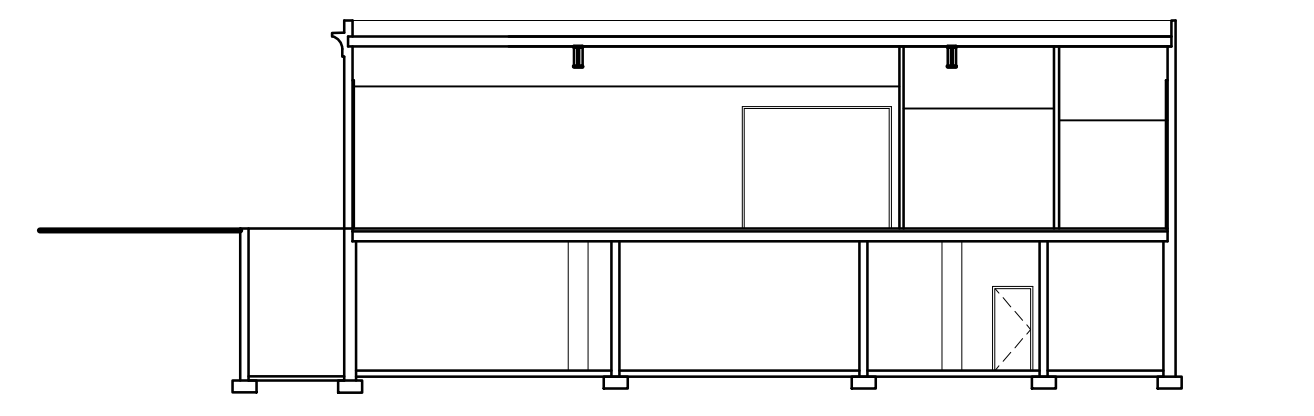


3
A402 EXISTING BUILDING SECTION
SCALE: 1/16" = 1'-0"

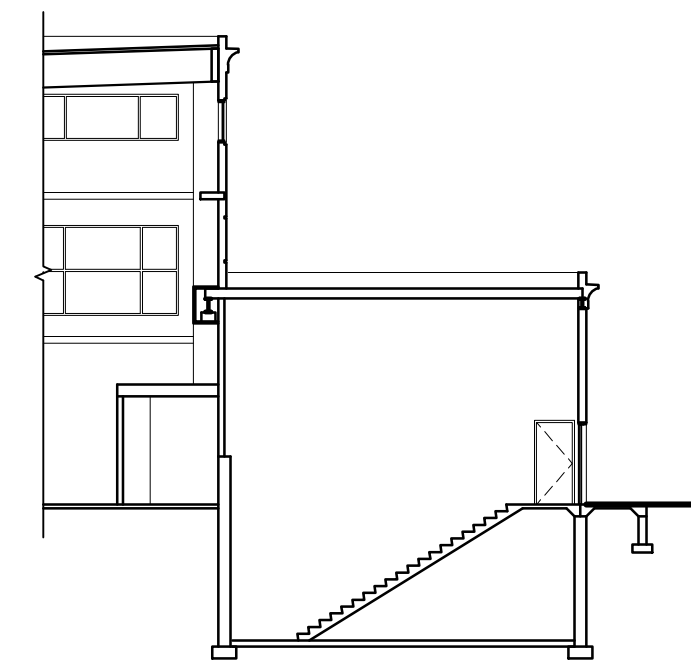
date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUD AMENDMENT



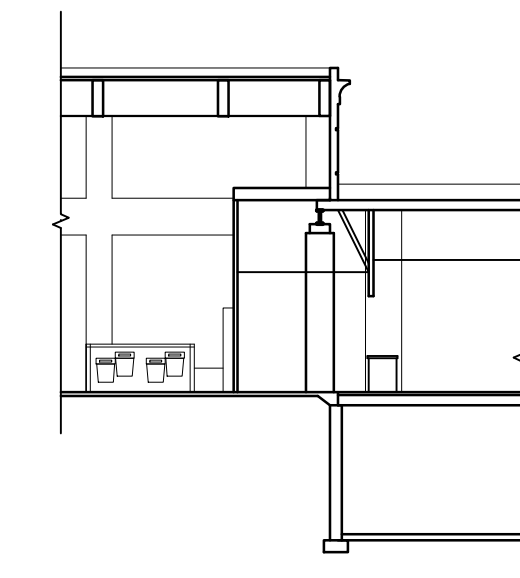
1 EXISTING BUILDING SECTION
A403 SCALE: 1/16" = 1'-0"



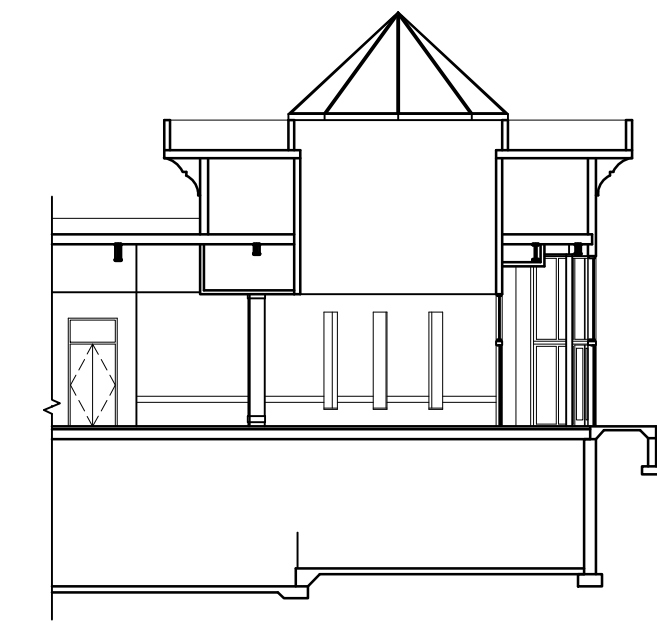
2 EXISTING BUILDING SECTION
A403 SCALE: 1/16" = 1'-0"



3 EXISTING BUILDING SECTION
A403 SCALE: 1/16" = 1'-0"



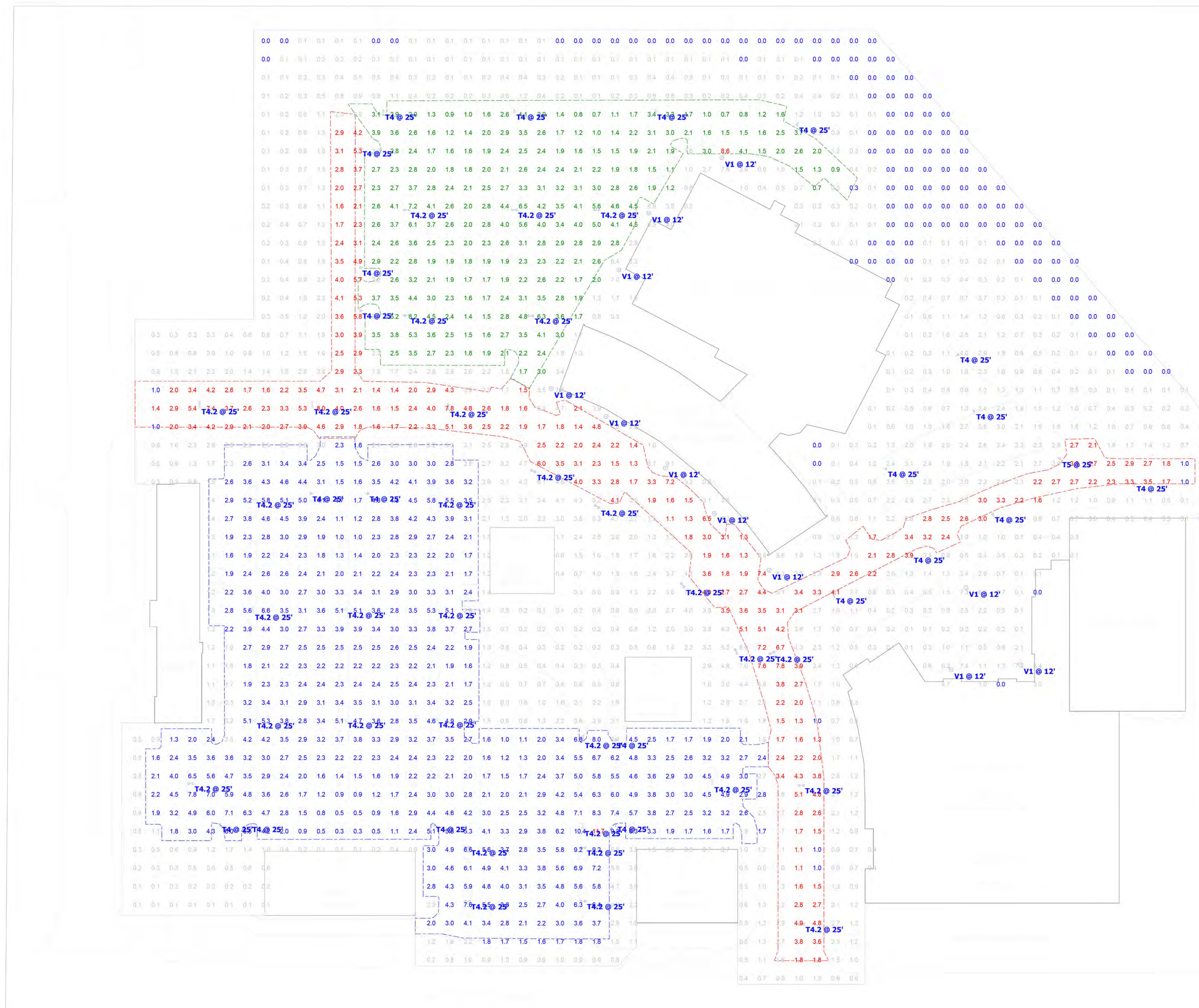
5 EXISTING BUILDING SECTION
A403 SCALE: 1/16" = 1'-0"



4 EXISTING BUILDING SECTION
A403 SCALE: 1/16" = 1'-0"

date	description
02/28/18	FOR SPECIAL USE PERMIT
04/05/18	FOR DESIGN COMMISSION
04/15/18	REVISED FOR SPECIAL USE PERMIT
06/20/18	FOR PUJD AMENDMENT

EXISTING BUILDING SECTIONS



Plan View

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Filename
□	T4	21	Lithonia Lighting	DSX1 LED P7 40K T4M MVOLT	DSX1 LED P7 40K T4M MVOLT	LED	1	20295	0.92	183	DSX1_LED_P7_40K_T4M_MVOLT.ies
□	T4.2	31	Lithonia Lighting	DSX1 LED P7 40K T4M MVOLT	DSX1 LED P7 40K T4M MVOLT	LED	1	20295	0.92	366	DSX1_LED_P7_40K_T4M_MVOLT.ies
□			Lithonia Lighting	DSX1 LED P7 40K T4M MVOLT	DSX1 LED P7 40K T4M MVOLT	LED	1	20295	0.92	183	DSX1_LED_P7_40K_T4M_MVOLT.ies
□			Lithonia Lighting	DSX1 LED P7 40K T4M MVOLT	DSX1 LED P7 40K T4M MVOLT	LED	1	20295	0.92	183	DSX1_LED_P7_40K_T4M_MVOLT.ies
○	V1	11	Visionaire Lighting LLC	PRE-2-L-T5-64LC-5-4K-	27 in. Diameter LED LUMINAIRE		1	13255	0.92	104	PRE-2-L-T5_64LC_5_4K.IES

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Full Area Calc.	+	2.1 fc	11.7 fc	0.0 fc	N/A	N/A
W STONEGATE BLVD	X	3.0 fc	8.0 fc	1.0 fc	8.0:1	3.0:1
ZONE B LOT 2A	X	2.6 fc	8.6 fc	0.3 fc	28.7:1	8.7:1
ZONE D - LOT 4A	X	3.3 fc	11.7 fc	0.3 fc	39.0:1	11.0:1

- NOTES:**
1. CALCULATION POINTS ARE AT GROUND LEVEL.
 2. ALL T5 FIXTURES ARE POLE MOUNTED AT 25'-0" AFF. UNO.
 3. ALL V1 FIXTURES ARE YOKE MOUNTED AT 12'-0" AFF. UNO.
 4. T5,N FIXTURES ARE
 5. CALCULATIONS POINTS ARE ON A 20'x 20' SPACING.
 6. CARS, SHRUBBERY, EQUIPMENT AND SIGNAGE CAN CAUSE REDUCED LIGHT LEVELS FROM WHAT IS EXPECTED.
 7. CALCULATIONS PROVIDED ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.
 8. **FIELD VERIFICATION REQUIRED.

NOT FOR CONSTRUCTION

3	PLANNING COMMISSION REVISIONS	2018.06.22
2	PLANNING COMMISSION REVISIONS	2018.05.09
NO.	ISSUED FOR	DATE



OKW
Architects
600 West Jackson Blvd
Chicago, IL 60661
T 312.798.7700
F 312.798.7777
www.okwarchitects.com

ARLINGTON DOWNS

ARLINGTON HEIGHTS, IL

PHOTOMETRIC SITE PLAN

DRAFTED BY
JB
DATE
4/24/2018
SCALE
Not to Scale
KSA CONTRACT
ARCH.ES

DRAWN BY: _____ CHECKED: _____

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