

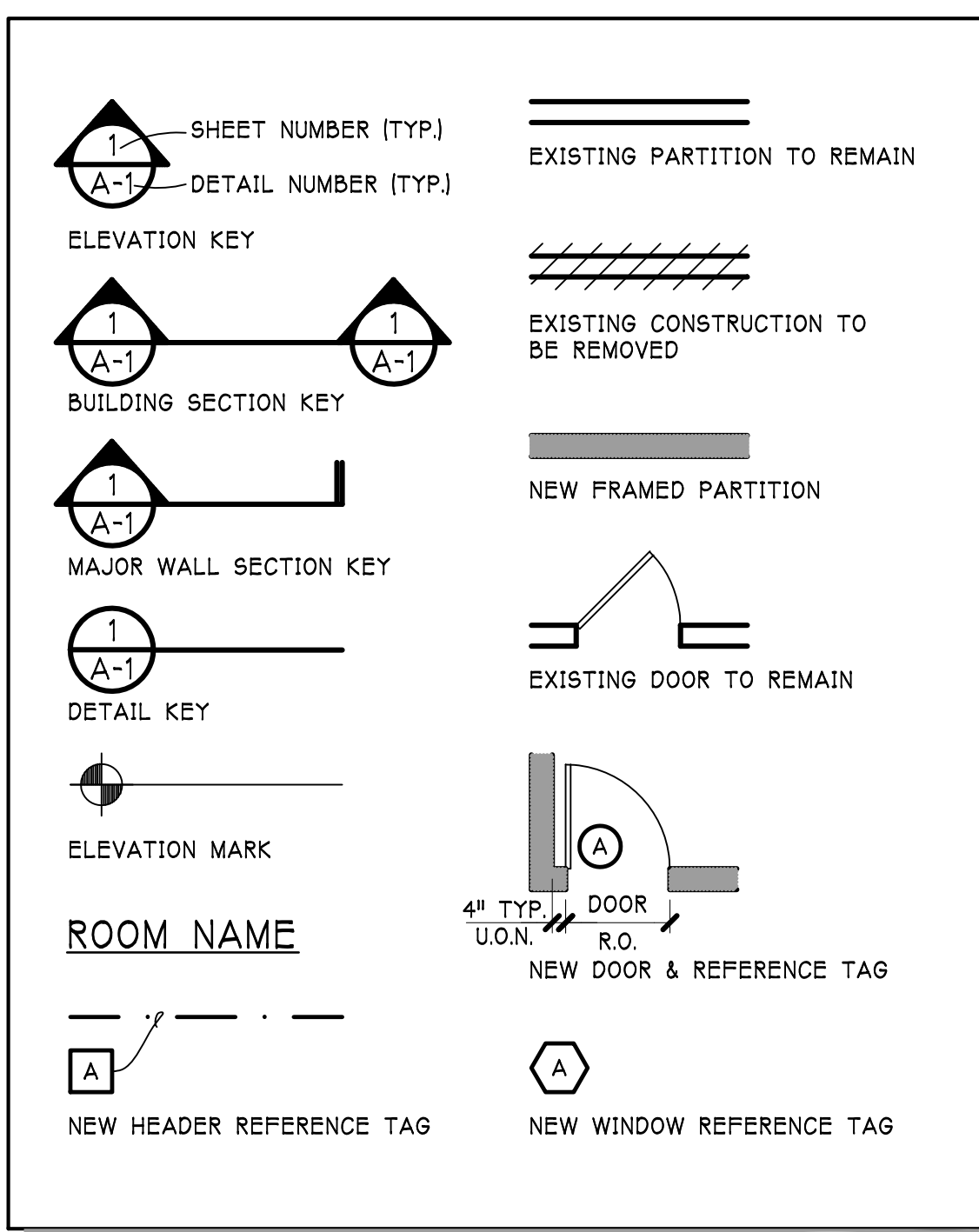
ALTERATIONS AND ADDITIONS FOR THE KURZYNSKI RESIDENCE

614 N. HADDOW AVE. ARLINGTON HEIGHTS, ILLINOIS

ABBREVIATIONS

•	AT	EXP.	EXPANSION	PLAM.	PLASTIC LAMINATE
<	ANGLE	F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD
SS	FIVE SHELVES	F.F.	FINISH FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
A/C.	AIR CONDITIONING	FIN.	FINISH	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	FIXT.	FIXTURE	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISH FLOOR	FND.	FOUNDATION	PVC.	POLYVINYL CHLORIDE
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	R.	RADIUS
ALUM.	ALUMINUM	F.O.S.	FACE OF STUD	R.D.	ROOF DRAIN
APPROX.	APPROXIMATE	FRZ.	FREEZER	R&S	ROD & SHELF
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	REBAR.	REINFORCING BAR
BY	BOTTOM OF	F.T.S.	FOOTING	REF.	REFRIGERATOR
BD.	BOARD	FURN.	FURNACE	REG.	REGULAR
B.I.	BUILT-IN	GA.	GAUGE	REINF.	REINFORCE
BLDG.	BUILDING	GALV.	GALVANIZED	RM.	ROOM
B.O.	BY OWNER	GLU-LAM	GLUE LAMINATED BEAM	R.O.	ROUGH OPENING
BRG.	BEARING	GYP.BD.	GYP.SUM BOARD	S.C.	SOLID CORE
C.	CARPET	HGT.	HEIGHT	SECT.	SECTION
CAB.	CABINET	H.M.	HOLLOW METAL	S.H.	SINGLE-HUNG CLOSET ROD
C.I.	CAST IRON	HORZ.	HORIZONTAL	SIM.	SIMILAR
C.J.	CONSTRUCTION JOINTS	HTS.	HEATING	S.P.	SUMP PIT
CL.	CENTER LINE	H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING	SPEC.	SPECIFICATION
CLG.	CEILING	H.W.	HOT WATER	SQ.	SQUARE
CMU.	CONCRETE MASONRY UNIT	H.W.	HOT WATER	STD.	STANDARD
COL.	CASED OPENING/ CLEAN OUT	INSUL.	INSULATION	STL.	STEEL
CONC.	CONCRETE	INT.	INTERIOR	STOR.	STORAGE
CONST.	CONSTRUCTION	L.	LINEN	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	LAM.	LAMINATE	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	LAV.	LAVATORY	T/	TOP OF
C.W.	COLD WATER	LLV	LONG LEG VERTICAL	T.&B.	TOP & BOTTOM
D.	DRYER	LVL	LAMINATED VENEER LUMBER	T&G.	TONGUE & GROOVE
DEMO.	DEMOLITION	LVL	LAMINATED VENEER LUMBER	TEL.	TELEPHONE
D.H.	DOUBLE-HUNG CLOSET RODS	MAX.	MAXIMUM	T.M.E.	TO MATCH EXIST.
DIA.	DIAMETER	M.C.	MEDICINE CABINET	T.O.P.	TOP OF PLATE
DIM.	DIMENSION	MECH.	MECHANICAL	TV.	TELEVISION
DISP.	DISPOSAL	MED.	MICROWAVE	TYP.	TYPICAL
DIV.	DIVISION	MIN.	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	MISC.	MISCELLANEOUS	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	M.O.	MAXIMUM OPENING	VERT.	VERTICAL
D.W.	DISHWASHER	MTL.	METAL	V.T.R.	VENT THRU ROOF
EA.	EACH	NFTH	NON-FREEZE HOSE BIBB	W.	WITH
E.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	NO.	NUMBER	WASHER	WASHER
ELECT.	ELECTRICAL	NOM.	NOMINAL	W.C.	WATER CLOSET
ELEV.	ELEVATION	N.T.S.	NOT TO SCALE	WD.	WOOD
EP	EJECTOR PIT/SUMP	O.A.	OVER ALL	WDW.	WINDOW
EQ.	EQUIPMENT	O.C.	ON CENTER	W.H.	WATER HEATER
EQUIV.	EQUIVALENT	O.H.	OVERHANG	W.I.C.	WALK-IN CLOSET
E.W.	EACH WAY	OPP.	OPPOSITE	W/O	WITHOUT
EXIST.	EXISTING	OV.	OVEN	WT.	WEIGHT
		PERF.	PERFORATED	W.W.F.	WELDED WIRE FABRIC
		PL.	PLATE		

SYMBOLS



CODE DATA

ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING:

- 2009 INTERNATIONAL CODE COUNCIL SERIES:
 - INTERNATIONAL BUILDING CODE (IBC)
 - INTERNATIONAL RESIDENTIAL CODE (IRC)
 - INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
 - INTERNATIONAL FIRE CODE (IFC)
 - INTERNATIONAL FUEL GAS CODE (IFGC)
 - INTERNATIONAL MECHANICAL CODE (IMC)
 - INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2015 ILLINOIS ENERGY CONSERVATION CODE (IECC)
- 2005 NATIONAL ELECTRICAL CODE (NFPA 70)
- 2014 ILLINOIS STATE PLUMBING CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- INCLUDING ALL APPROVED LOCAL AMENDMENTS TO THE ABOVE REFERENCED CODES

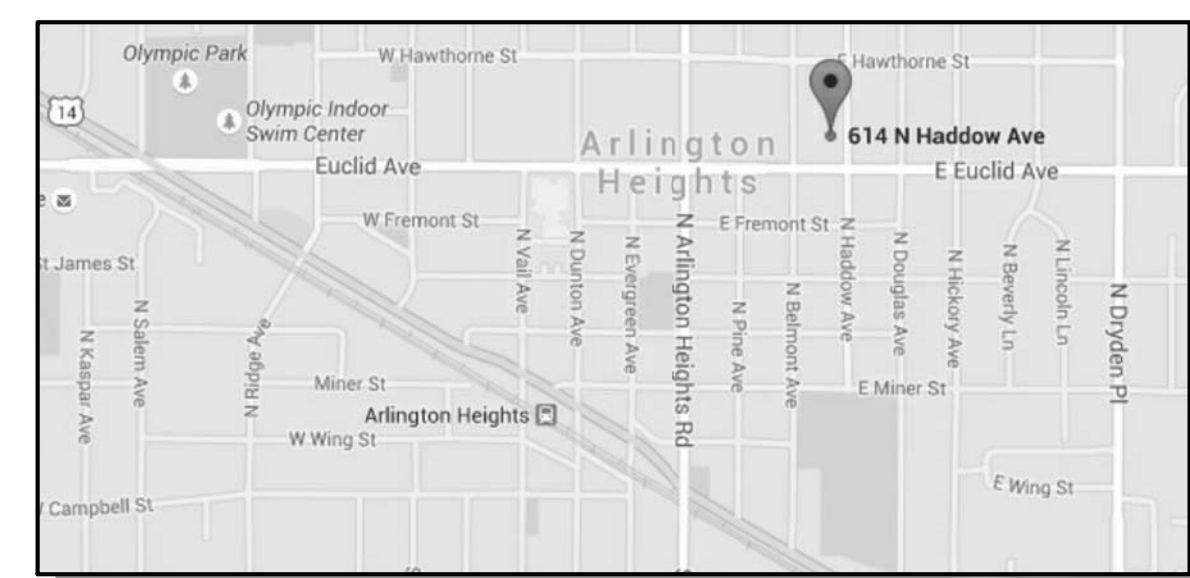
CODE REVIEW

ZONING:	R-3	
LOT AREA:	17,264 SQ.FT.	
BUILDING AREAS:		
FIRST FLOOR	2,776 SQ.FT.	
SECOND FLOOR	2,844 SQ.FT.	
THIRD FLOOR	869 SQ.FT.	
NEW ATTACHED GARAGE	1,045 SQ.FT.	
	CODE	PROPOSED
F.A.R.	7,343 SQ.FT.	7,134 SQ.FT.
IMPERVIOUS SURFACE	8,632 SQ.FT. #50%	6,024 SQ.FT.
IMPERVIOUS SURFACE-FRONT	2,039 SQ.FT. #50%	607 SQ.FT.
BUILDING LOT COVERAGE	6,042 SQ.FT. #35%	4,223 SQ.FT.

LIST OF DRAWINGS

A-0	TITLE SHEET
AS-1	SITE PLAN
A-1	FOUNDATION PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN / THIRD FLOOR PLAN
A-5	EXTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATIONS

LOCATION MAP



Date	Description
7/18/18	PLAN COMM
8/31/18	PC-ROUND 1
9/18/18	PC-ROUND 2

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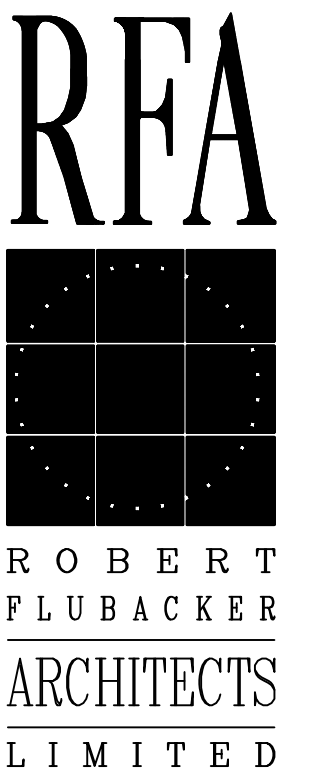
Project Number
 15014

A-0

PLAN COMMISSION PC #18-016
614 N. Haddow Ave.

Front Yard Established Setback

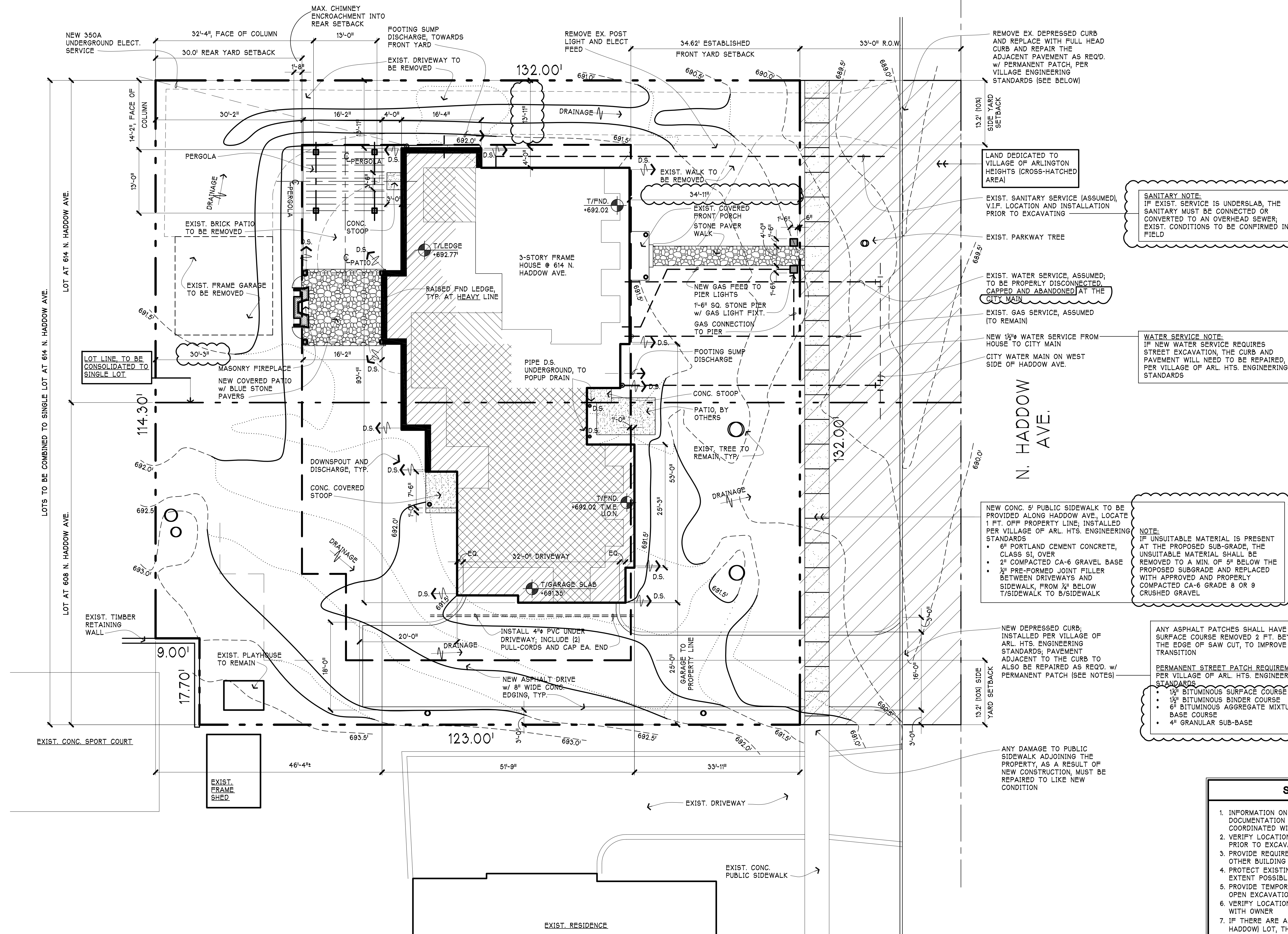
Address	Property to Structure
630 N. Haddow Ave.	38.08'
626 N. Haddow Ave.	31.06'
624 N. Haddow Ave.	34.39'
614 N. HADDOW AVE. (Subject property)	34.98'
604 N. Haddow Ave.	Discarded, exterior side yard
Total setback =	138.51'
Total # of properties =	4
Average setback =	34.62'



1835-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489

ADDITIONS AND ALTERATIONS FOR
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614 N. HADDOW AVE.
ARLINGTON HEIGHTS, ILLINOIS



SANITARY NOTE:
IF EXIST. SERVICE IS UNDERSLAB, THE SANITARY MUST BE CONNECTED OR CONVERTED TO AN OVERHEAD SEWER; EXIST. CONDITIONS TO BE CONFIRMED IN FIELD

WATER SERVICE NOTE:
IF NEW WATER SERVICE REQUIRES STREET EXCAVATION, THE CURB AND PAVEMENT WILL NEED TO BE REPAIRED, PER VILLAGE OF ARL. HTS. ENGINEERING STANDARDS

NOTE:
IF UNSUITABLE MATERIAL IS PRESENT AT THE PROPOSED SUB-GRADE, THE UNSUITABLE MATERIAL SHALL BE REMOVED TO A MIN. OF 5" BELOW THE PROPOSED SUBGRADE AND REPLACED WITH APPROVED AND PROPERLY COMPACTED CA-6 GRADE 8 OR 9 CRUSHED GRAVEL

ANY ASPHALT PATCHES SHALL HAVE SURFACE COURSE REMOVED 2 FT. BEYOND THE EDGE OF SAW CUT, TO IMPROVE TRANSITION

PERMANENT STREET PATCH REQUIREMENTS, PER VILLAGE OF ARL. HTS. ENGINEERING STANDARDS
 • 1 1/2" BITUMINOUS SURFACE COURSE
 • 1 1/2" BITUMINOUS BINDER COURSE
 • 6" BITUMINOUS AGGREGATE MIXTURE BASE COURSE
 • 4" GRANULAR SUB-BASE

SITE PLAN GENERAL NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D. BY LOCAL CODES
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER
- IF THERE ARE ANY EXIST. UTILITY STUBS FOR THE VACANT (608 HADDOW) LOT, THESE SERVICES MUST BE ABANDONED
- ANY FUTURE GEOTHERMAL OR SOLAR ENERGY SYSTEMS ARE TO COMPLY WITH SECTION 6.17-1 AND SECTION 6.17-2 OF THE ARLINGTON HEIGHTS MUNICIPAL CODE, CHAPTER 28 ZONING REGULATIONS, OR A VARIANCE WILL BE REQUESTED AND OBTAINED

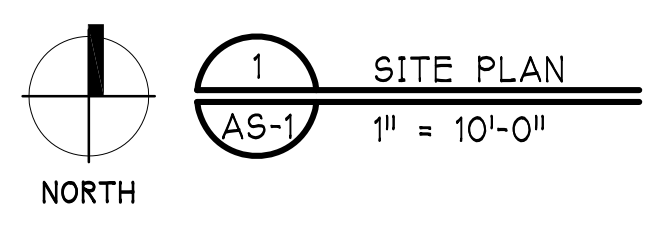
SITE PLAN LEGEND:

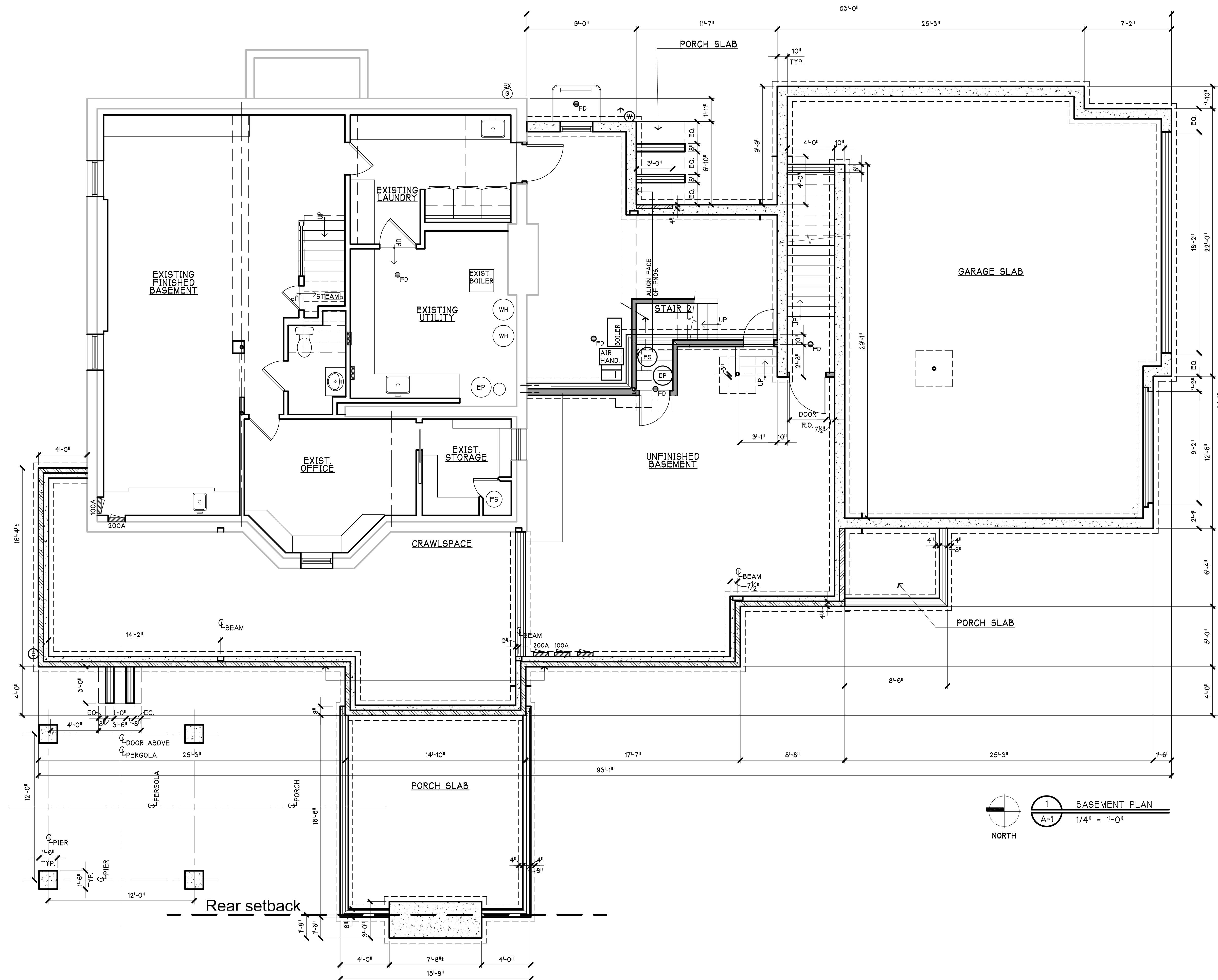
	EXIST. CONSTRUCTION TO REMAIN		PROPERTY LINE
	NEW FIRST FLOOR CONSTRUCTION		SETBACK LINE
	NEW SECOND FLOOR CONSTRUCTION		EXIST. CONTOUR TO REMAIN
			EXIST. CONTOUR REMOVED
			NEW CONTOUR

Date	Description
7/18/18	PLAN COMM
8/31/18	PC-ROUND 1
9/19/18	PC-ROUND 2

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AS-1

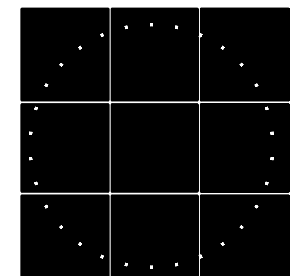




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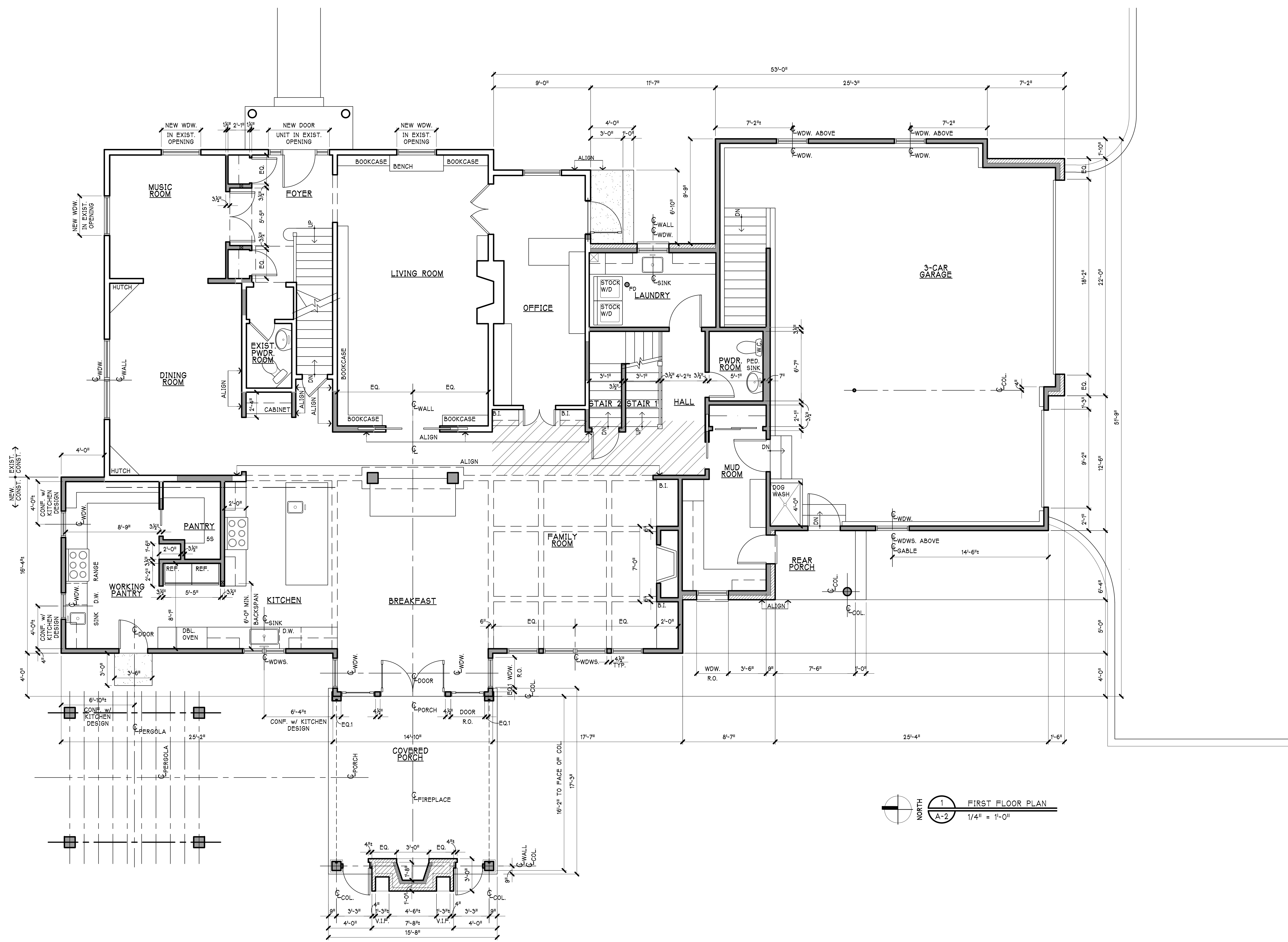
Date	Description
7/18/18	PLAN COMM

1	BASEMENT PLAN
A-1	1/4" = 1'-0"



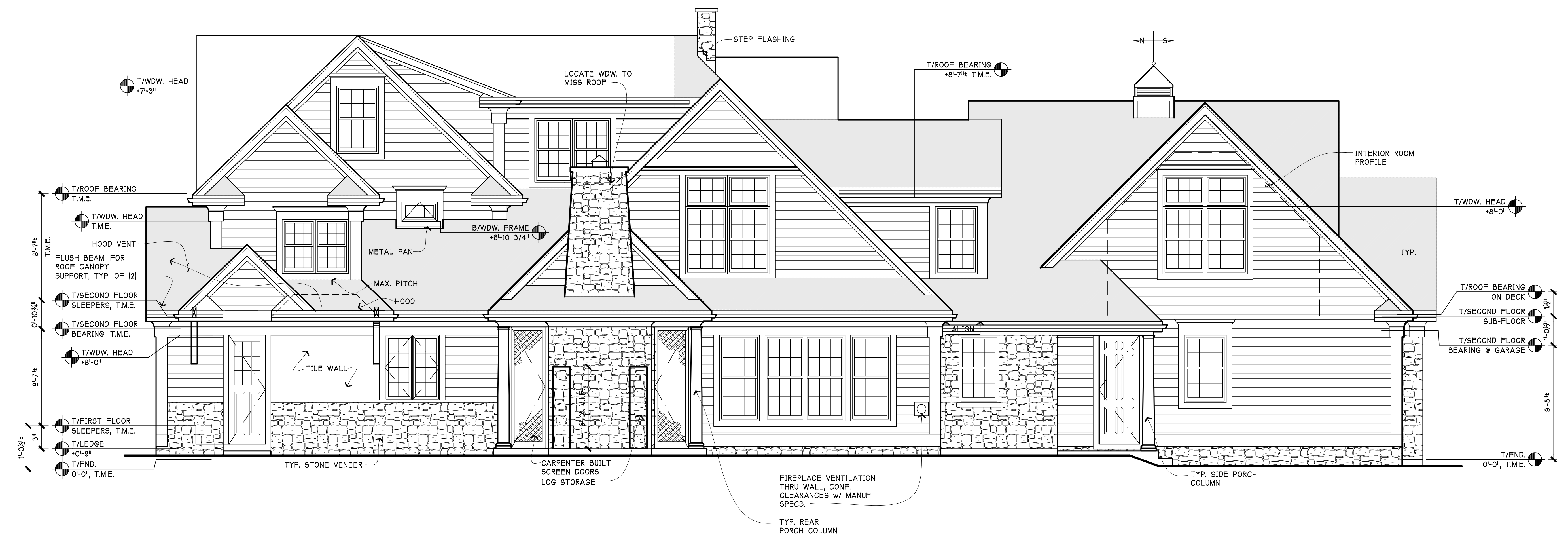
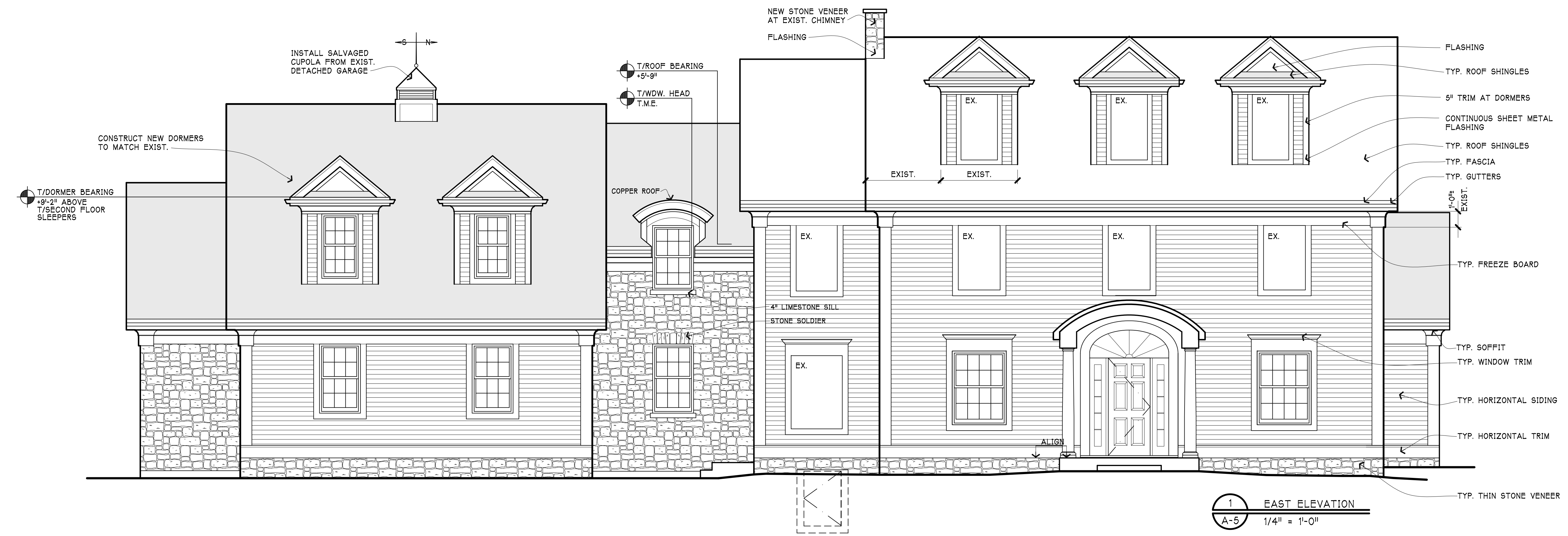
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7/18/18	PLAN COMM



NORTH
1 FIRST FLOOR PLAN
A-2 1/4" = 1'-0"

Date	Description
7/18/18	PLAN COMM



2 WEST ELEVATION
 A-5 1/4" = 1'-0"

EXTERIOR GENERAL NOTES

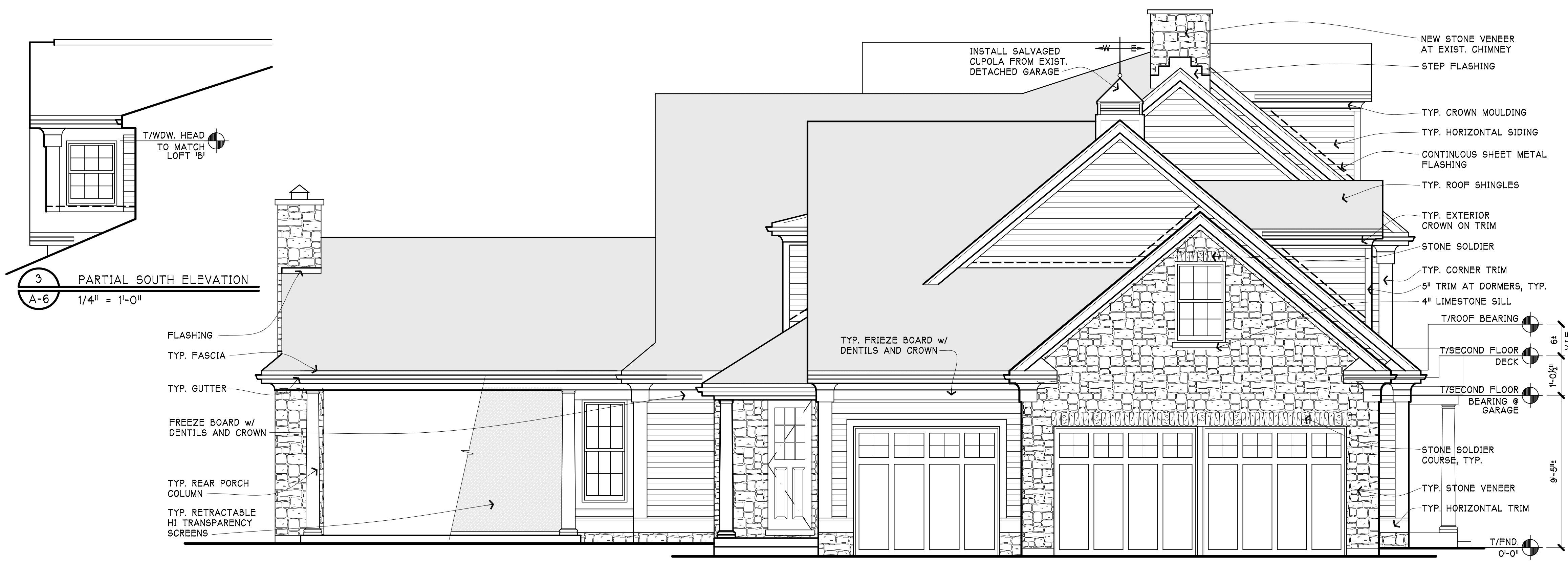
- FINISH GRADE TO BE 6" BELOW (-0'-6") TOP OF FOUNDATION (0'-0")
- REFER TO 'ROOF PLAN' (1/A-4) FOR THE FOLLOWING;
 - TYP. OVERHANG AND RAKE DIMENSIONS
 - LOCATIONS OF GUTTERS & DOWNSPOUTS
- ALL ROOF DOWNSPOUTS TO DISCHARGE TO GRADE TOWARDS EITHER FRONT OR REAR YARDS
- HOUSE ADDRESS NUMBERS TO BE MIN. 6" TALL AND VISIBLE FROM THE PUBLIC WAY
- REPLACE AND SEAL EXISTING GABLE VENTS

■ DENOTES NEW ROOF CONSTRUCTION

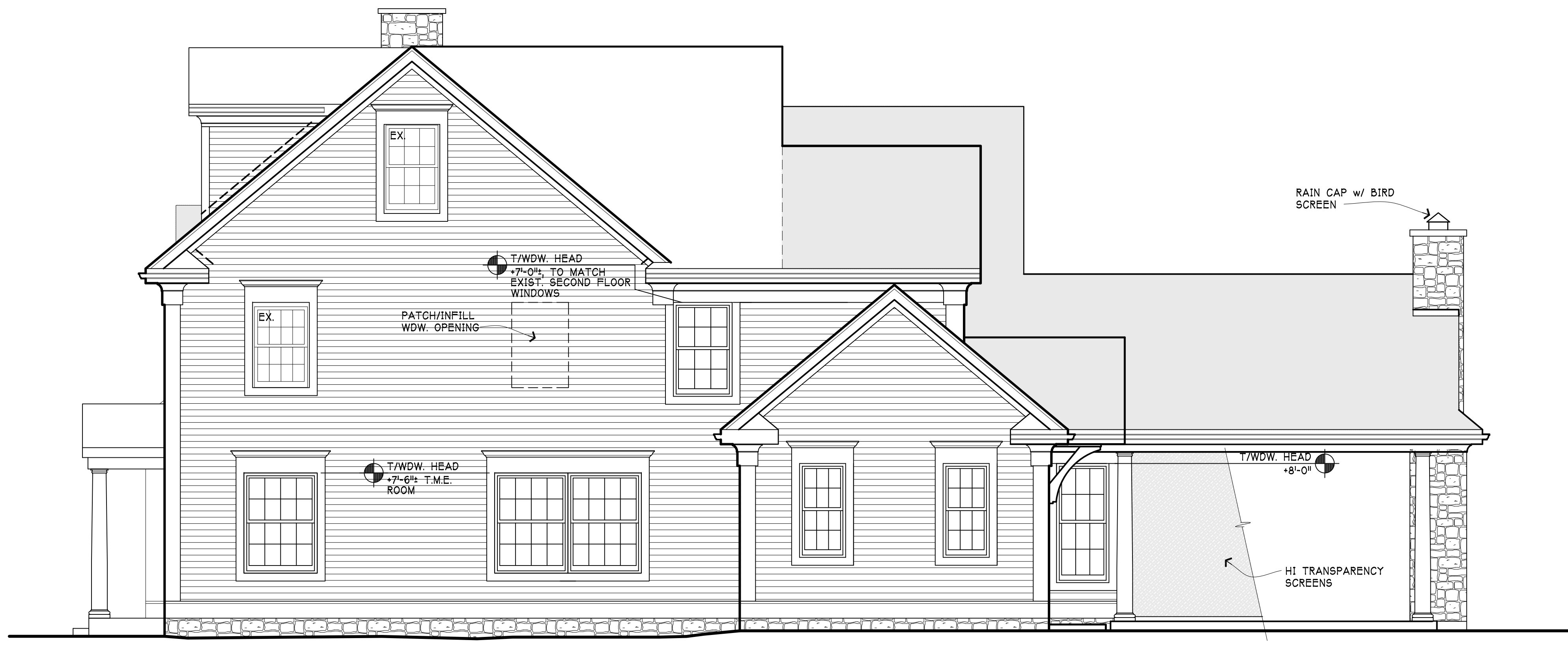
ELEVATIONS MATERIAL LEGEND

MATERIAL	MANUFACTURER / DESCRIPTION	COLOR
ROOF SHINGLES	'GAR' 'TIMBERLINE' HD SLATE STYLE ASPHALT SHINGLES (NEW AND EXISTING ROOF) w/ 'W' FLASHING (UL LISTED CLASS-C OR BETTER)	-
METAL ROOF	COPPER	-
STONE VENEER	ALLOW \$250.00 / TON	-
HORIZONTAL SIDING	'JAMES HARDI', 4" HARDI-PLANK	-
FASCIA	'JAMES HARDI', 10" T.M.E. HARDI-FASCIA TRIM	-
CORNER TRIM	'JAMES HARDI', 10" HARDI-TRIM w/ CAP	-
WINDOW TRIM	'JAMES HARDI', 5" HARDI-TRIM (3-SIDES) w/ 10" HARDI-TRIM w/ CROWN (AS NOTED ON ELEV.)	-
SOFFIT	'CETRAINTEED' INVISIVENT	-
FRIEZE BOARD	12" HARDI-TRIM (MATCH EXIST. HEIGHT) w/ DENTILS AND CROWN	-
HORIZONTAL TRIM	5/4" x 9 1/4" HARDI-TRIM w/ 1 1/2" CAP	-
CROWN MOULDING	'AZEK' (OR EQUAL) EXTERIOR CROWN MOULDNG	-
PANEL	'AZEK' (OR EQUAL), PANEL w/COVE MOULD	-
PORCH CEILING	BEAD BOARD, FIR	-
COLUMNS @ REAR PORCH	10" SQ. COLUMN w/ BASE AND CAPITAL TO MATCH EXISTING FRONT PORCH COLUMNS	-
COLUMNS @ SIDE PORCH	10" COLUMN w/ BASE AND CAPITAL TO MATCH EXISTING FRONT PORCH COLUMNS	-
RETRACTABLE SCREENS	'PHANTOM SCREENS' EXECUTIVE SERIES RETRACTABLE SCREEN SYSTEM w/ CONCEALED ROLLER INSTALLATION	-
GUTTERS AND DOWNSPOUTS	PRE-FINISHED ALUMINUM OVERSIZED GUTTERS AND OVERSIZED DOWNSPOUTS w/ CONC. SPLASHBLOCKS	-
FLASHING	PRE-FINISHED ALUMINUM FLASHING, 0.024"	-

NOTE: HATCHING DENOTES NEW EXTERIOR FINISH MATERIALS. AREAS NOT HATCHED ARE EXISTING MATERIALS TO REMAIN



1 SOUTH ELEVATION
 A-6 1/4" = 1'-0"



2 NORTH ELEVATION
 A-6 1/4" = 1'-0"