

SYMBOL AND LINE LEGEND

EXISTING / PROPOSED	EXISTING / PROPOSED	EXISTING / PROPOSED	EXISTING / PROPOSED
			WATERMAIN PIPE
			STORM SEWER PIPE
			STORM UNDERDRAIN
			SANITARY SEWER PIPE
			COMBINED SEWER PIPE
			ELECTRICAL DUCT BANK
			NATURAL GAS LINE
			COMMUNICATIONS LINE
			CHILLED WATER SUPPLY
			CHILLED WATER RETURN
			TELEVISION CABLE
			UNDERGROUND WIRE
			TELEPHONE CABLE
			FIBER OPTIC CABLE
			AERIAL WIRES
			CONSTRUCTION LIMITS
			PROPERTY LINE
			EASEMENT LINE
			VENT LINE
			HIGH WATER LINE
			NORMAL WATER LINE
			CHAIN LINK FENCE
			BARBED-WIRE FENCE
			WOODEN FENCE
			SILT FENCE
			DECIDUOUS TREE
			SHRUB OR BUSH
			EVERGREEN TREE

PRELIMINARY ENGINEERING PLANS

FOR AUTO REPAIR FACILITY

3650 N. WILKE ROAD

ARLINGTON HEIGHTS, ILLINOIS 60004

PIN NUMBER: 02-01-401-021-0000

OWNER / DEVELOPER

EFN DUNDEE PROPERTY, LLC
1 OAKBROOK TERRACE, SUITE 600
OAKBROOK TERRACE, IL 60181

CONTACT: RYAN PONTON
PHONE#: 630-455-2946

BENCHMARK

CONTROL BENCHMARKS:
NATIONAL GEODETIC SURVEY MONUMENT: C0053 1B PID: AJ2849
STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF IL RT 68 AND IL RT 53.
ELEVATION 738.25 (NAVD 88)

NATIONAL GEODETIC SURVEY MONUMENT: LD019 PID: DM3896
STATION IS LOCATED IN THE TOP OF THE EAST CORNER OF THE NORTH END OF A BOX CULVERT FOR BUFFLAW CREEK UNDER LAKE COOK ROAD.
ELEVATION 704.99 (NAVD 88)

SITE BENCHMARK:
RIM OF SANITARY STRUCTURE LOCATED EAST OF SITE.
ELEVATION 718.97 (NAVD 88)

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER, AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO, THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REV. STAT. CH. 48, PAR.60 AT SEQ.). AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH.17 1/2 PAR.51 ET. SEQ.). IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

NOTES

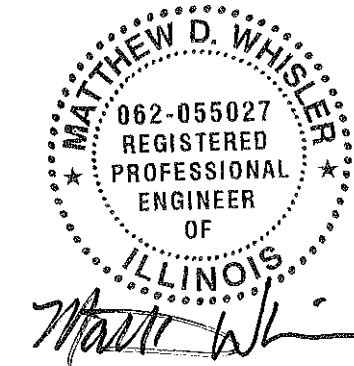
- SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL CONSTRUCTION MEANS AND METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE IN FORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.

Sheet List Table

Sheet Number	Sheet Title
C0	TITLE SHEET
C1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING PLAN & DRAINAGE PLAN
T1	TRAFFIC TURNING EXHIBIT
EX-100	EXISTING LANDSCAPE CONDITIONS
LP-100	LANDSCAPE PLAN
LP-500	PLANTING DETAILS

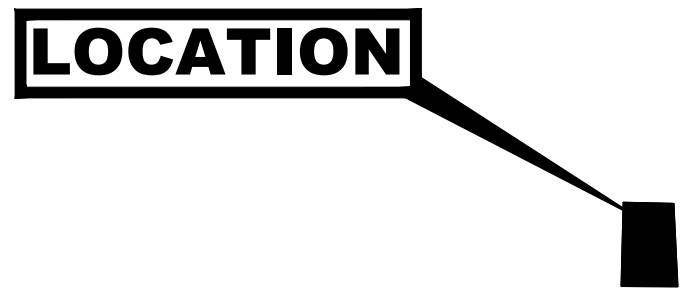
PROJECTED COORDINATE SYSTEM:
NAD_1983_STATEPLANE_ILLINOIS_EAST_FIPS_1201_FEET
PROJECTION: TRANSVERSE_MERCATOR
FALSE EASTING: 984250.00000000
FALSE NORTHING: 0.00000000
CENTRAL MERIDIAN: -88.33333333
SCALE FACTOR: 0.99997500
LATITUDE OF ORIGIN: 36.66666667
LINEAR UNIT: FOOT_US
GEOGRAPHIC COORDINATE SYSTEM: GCS_NORTH_AMERICAN_1983
DATUM: D_NORTH_AMERICAN_1983
PRIME MERIDIAN: GREENWICH
ANGULAR UNIT: DEGREE

Sheets C0 to C3, & T1 were prepared at or under the direction of:



ILLINOIS REGISTERED PROFESSIONAL ENGINEER No. 062-055027
MATTHEW D. WHISLER
LICENSE EXPIRES: 11/30/19
SIGNED: 10/10/18

LOCATION MAP



No.	DATE	DESCRIPTION
1	8/27/18	PRELIMINARY ENGINEERING
1	10/10/18	REVISIONS PER VILLAGE



TITLE SHEET

PROJECT: EXPANSION OF NAPLETON ARLINGTON HEIGHTS CDJR
3650 N. WILKE ARLINGTON HEIGHTS, IL

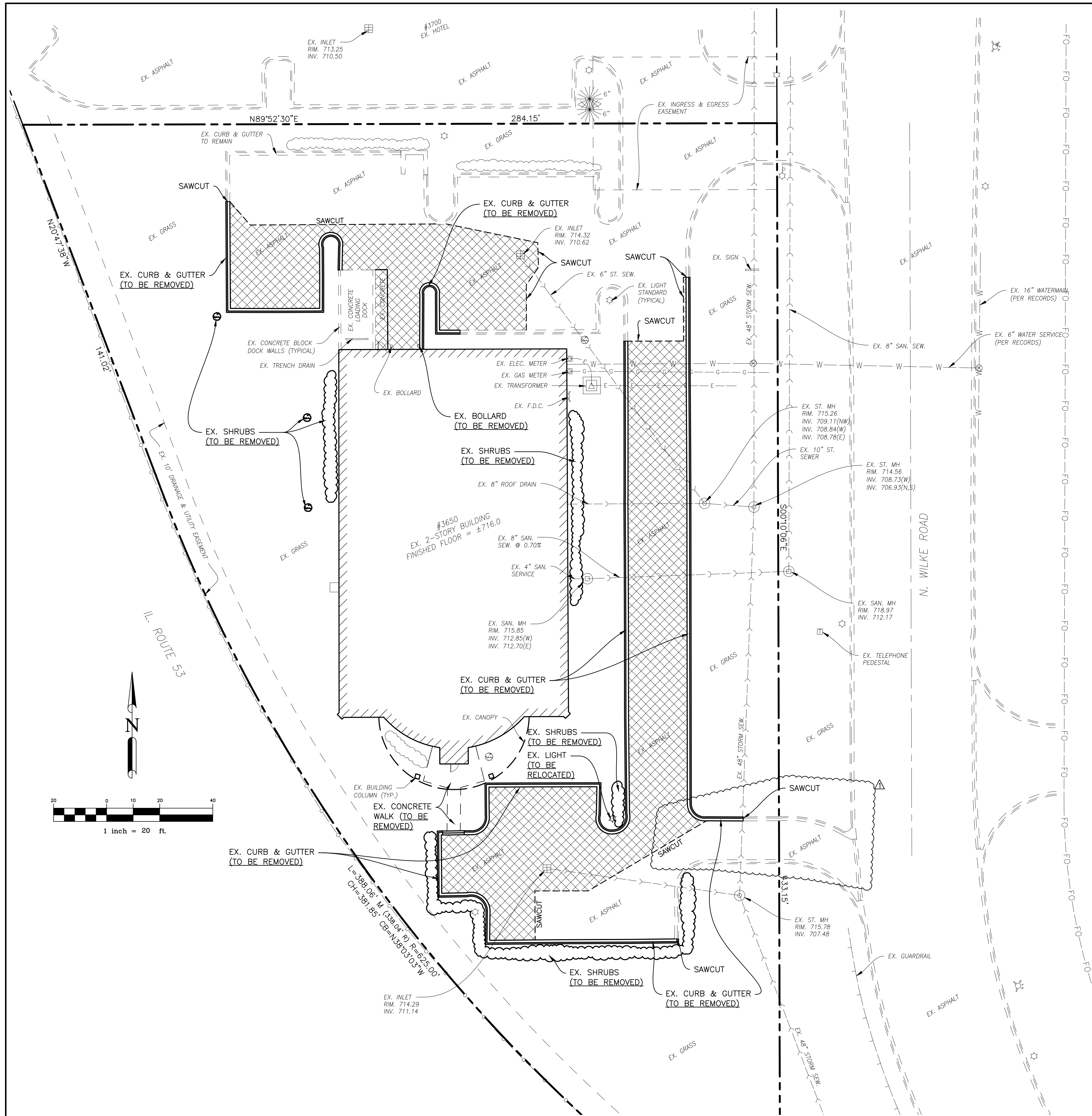
PROJECT No. 18.NPL.C01

SHEET No. C0
OF 5 SHEETS



Know what's below.
Call before you dig.

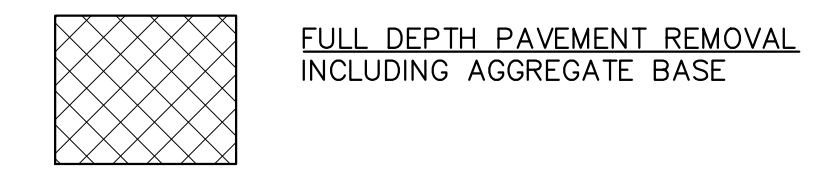
CALL 48 HOURS BEFORE YOU DIG WITH THE FOLLOWING INFORMATION
COUNTY NAME: COOK
TOWNSHIP NAME OR NUMBER: 42N. 10E
SECTION NUMBER: 1



NOTES:

1. ALL SITE CLEARING, TOPSOIL STRIPPING, EXCAVATION, EMBANKMENT, GRADING, COMPACTION, SUB GRADE PREPARATION AND OTHER WORK HEREIN CONTEMPLATED SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, JANUARY 2016 EDITION, (HEREINAFTER REFERRED TO AS STANDARD SPECIFICATIONS) EXCEPT THAT PAYMENT WILL BE DEFINED AS DETAILED IN THE STANDARD SPECIFICATIONS FOR WATER AND SEWER SIXTH EDITION, 2009.
2. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING STRUCTURES AND FIBER OPTIC CABLE INSTALLATIONS SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES AND FIBER OPTIC CABLE INSTALLATIONS.
3. THE CONTRACTOR IS TO UNCOVER ALL LINES BEING TIED INTO AND VERIFY GRADES BEFORE ANY CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL STREET AND SIDEWALK CLOSURES WITH THE MUNICIPALITY.
5. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO INSURE MINIMAL INTERFERENCE WITH OWNER OPERATIONS.
6. INSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME.
7. ALL ITEMS TO BE REMOVED SHALL BE PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
8. AT LOCATIONS OF UTILITY REMOVAL, ANY OPEN TRENCHES REQUIRED, SHALL BE BACKFILLED WITH COMPACTED TRENCH BACKFILL.
9. NOTIFY UTILITY OWNER 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED.
11. IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLAN WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE A/E IMMEDIATELY.
12. THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE OWNER, ARCHITECT & ENGINEER(S) ARE NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES, OR OTHER ERRORS DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
13. THE CONTRACTOR WILL PROTECT ALL UTILITIES, STREETS, STRUCTURES, VEGETATION, AND ADJACENT PROPERTY DESIGNATED TO REMAIN. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES, STREETS, STRUCTURES, VEGETATION AND ADJACENT PROPERTY WILL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR TO ADJUST RIMS OF EXISTING STRUCTURES WITHIN SCOPE OF WORK TO FINAL GRADE ELEVATIONS.
15. EXISTING LATERAL CONNECTIONS FOR UTILITIES SHALL BE COORDINATED WITH THE CORRESPONDING UTILITY COMPANY FOR CAPPING AND CUT OFF WITHIN THE SCOPE OF WORK.
16. THE CONTRACTOR IS TO COMPLY WITH FEDERAL, STATE, AND LOCAL ORDINANCES WITH REGARD TO REMOVAL AND DISPOSAL OF MATERIALS FOR ALL ITEMS TO BE DEMOLISHED. WORK INCLUDES THE COMPLETE REMOVAL AND LEGAL DISPOSAL OF ALL OBJECTS AND MATERIALS (REGARDLESS OF THEIR NATURE) INCLUDING BUT NOT LIMITED TO TREE ROOTS, ORGANIC SOIL, DRUMS, TIRES, WOOD, BROKEN CONCRETE PIECES, AND FENCES ABOVE THE REQUIRED ELEVATION.
17. BURNING ON OWNERS PROPERTY IS NOT PERMITTED.
18. SIDEWALK DEMOLITION SAWCUTS SHALL BE AT THE NEAREST EXISTING JOINT.
19. FULL DEPTH SAWCUTS ARE REQUIRED FOR PAVEMENT REMOVALS, ADJACENT TO EXISTING PAVEMENT TO REMAIN.
20. SAWCUT ALL TREE ROOTS ENCOUNTERED IN LIEU OF USING SHOVELS (HAND SHOVELS OR MECHANICAL).
21. ALL CONCRETE SAWCUTTING SHALL BE PERFORMED WITH A WETSAW TO CONTROL DUST.

DEMOLITION LEGEND



No.	DATE	DESCRIPTION
1	8/27/18	PRELIMINARY ENGINEERING
1	10/10/18	REVISIONS PER VILLAGE

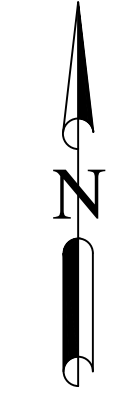
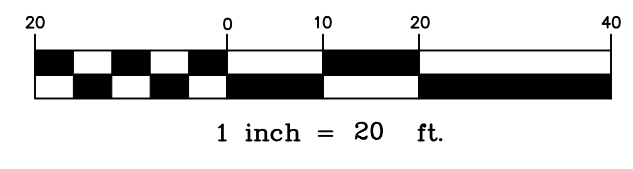
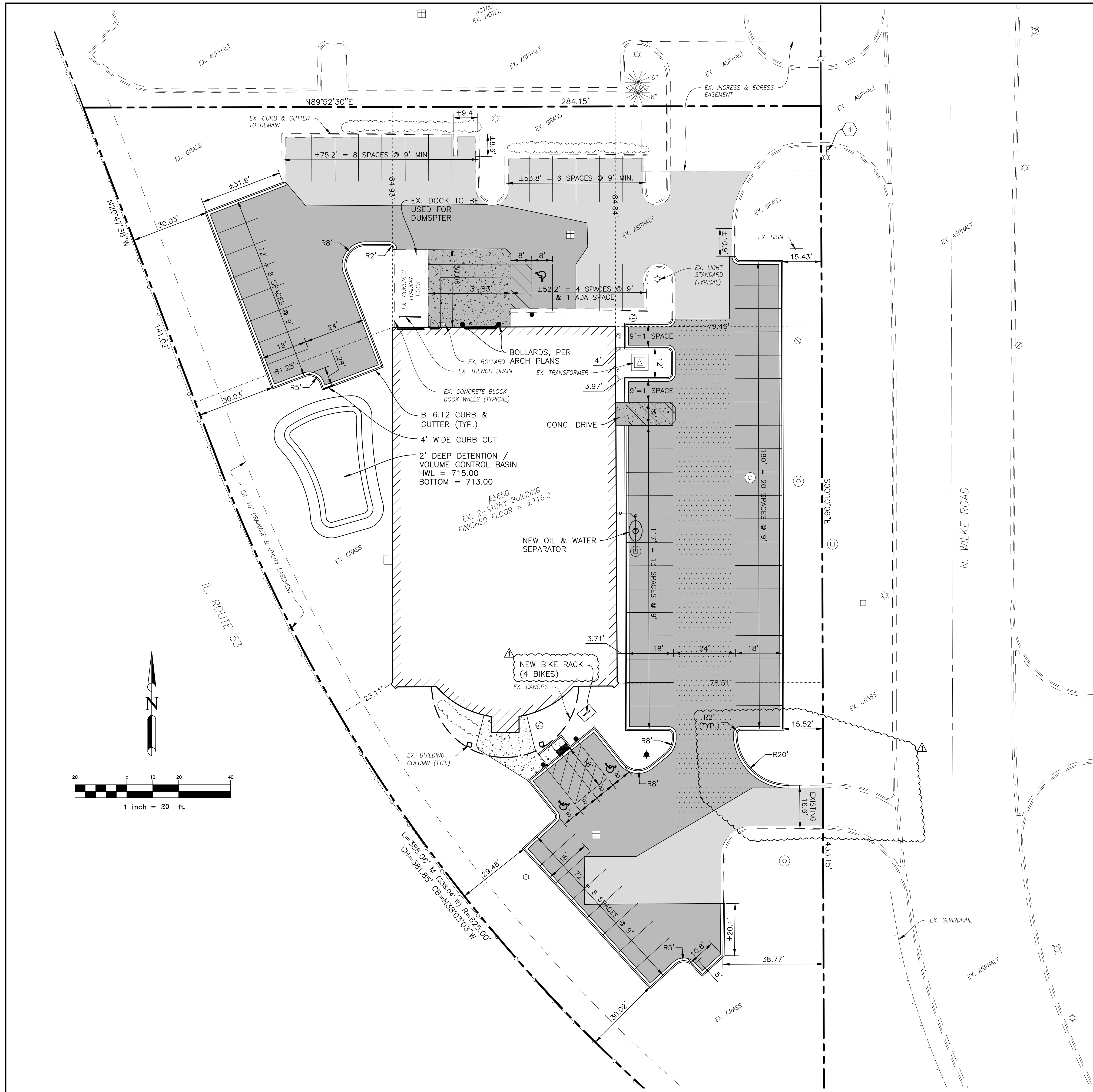
rtm
engineering consultants
680 E. Algonquin Rd., Ste 250, Schaumburg, IL 60173 T.847.756.4180 www.rtmassociates.com

DEMOLITION PLAN

PROJECT: EXPANSION OF NAPLETON ARLINGTON HEIGHTS CDJR
3650 N. WILKE RD. ARLINGTON HEIGHTS, IL

PROJECT No. 18.NPL.C01
SHEET No. C1
OF 5 SHEETS

User: matt.whisler File: J:\2018\18.NPL.C01-Arlington Heights CD\REV\02-DWG\01-Preliminary\02-Sheets\C2 SITE PLAN.dwg Time: Oct 10, 2018 - 12:25pm



NOTES

1. TOPOGRAPHIC AND EXISTING CONDITIONS INFORMATION INCLUDING, STRUCTURES, UTILITIES, PROPERTY LIMITS & INFORMATION IS OBTAINED FROM A OWNER PROVIDED SURVEY. RTM ENGINEERING CONSULTANTS, LLC. HAS UTILIZED THIS INFORMATION AND MAKES NO WARRANTY REGARDING THE ACCURACY THEREOF.
2. ALL DIMENSIONS ARE MEASURED TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLAN, HE MUST IMMEDIATELY REPORT SAME TO THE A/E BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITIES. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAIL, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE A/E PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES, FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE A/E SHALL BE FINAL AND CONCLUSIVE.
4. COORDINATE BUILDING LAYOUT AND CONNECTION POINTS TO EXISTING BUILDING PER ARCHITECTURAL PLANS, SHOWN ON CIVIL FOR REFERENCE ONLY.
5. EXISTING LIGHTING TO REMAIN.
6. SCORING PATTERN ON CONCRETE SIDEWALKS SHALL MATCH ADJACENT SIDEWALK PATTERN.
7. ALL DISTURBED LANDSCAPE AREAS SHALL BE RESTORED PER THE LANDSCAPE PLANS.

PAVED SURFACE LEGEND

- FULL DEPTH CONCRETE PAVEMENT
6" IDOT CLASS PV CONCRETE
4" COMPACTED CA-6 BASE COURSE
(12.5' MAXIMUM JOINT SPACING)
- EX. ASPHALT MILL & OVERLAY
1-1/2" COLD-MILLING
1-1/2" HMA SURFACE COURSE, MIX "D", N50, IL9.5
- STANDARD DUTY ASPHALT PAVEMENT
1-1/2" HMA SURFACE COURSE
2-1/2" HMA BINDER COURSE
IDOT MIX; N50, IL9.5
8" COMPACTED CA-6
- CONCRETE SIDEWALK
5" IDOT CLASS SI CONCRETE
4" COMPACTED CA-6
- HEAVY DUTY ASPHALT PAVEMENT
2" HMA SURFACE COURSE, MIX "D", N50, IL9.5
2-1/4" HMA BINDER, IL-19.0, N50
5" HMA BINDER, IL-19.0, N30
4" COMPACTED CA-6

DIRECTIONAL SIGN LEGEND

- EXISTING STOP SIGN

ZONING MATRIX

	B-3 DISTRICT CODE REQUIRED	PROPOSED
LOT SIZE	N/A	77,170 SF
LOT WIDTH	N/A	N/A
SETBACKS		
NORTH (REAR)	0'	84.84'
SOUTH (FRONT)	0'	23.11'
EAST (SIDE)	0'	78.51'
WEST (SIDE)	0'	23.11'
FIRST FLOOR AREA	NONE	12,416 SF
MEZZANINE AREA	NONE	3,360 SF
GROSS FLOOR AREA	NONE	15,776
F.A.R.	350%	20.4% (15,776/77,170)
BUILDING LOT COVERAGE	NONE	12,416 SF
IMPERVIOUS SURFACE COVERAGE	NONE	43,462 SF
BUILDING HEIGHT	NONE	±25'-10"
OFF-STREET PARKING SPACES		72 SPACES

No.	DATE	DESCRIPTION
1	8/27/18	PRELIMINARY ENGINEERING
1	10/10/18	REVISIONS PER VILLAGE



SITE PLAN

PROJECT: EXPANSION OF NAPLETON ARLINGTON HEIGHTS CDJR
3650 N. WILKE RD. ARLINGTON HEIGHTS, IL

PROJECT No. 18.NPL.C01
SHEET No. C2
OF 5 SHEETS



NOTES:

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS/TOP OF PAVEMENT, UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
4. ALL GRADING, BACKFILLING, COMPACTION, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT. REFER TO THE REPORT FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
6. OWNER'S REPRESENTATIVE TO VERIFY THAT BUILDING FOUNDATION AND PAVED ARE SUBGRADE SOILS ARE SUITABLE AND COMPACTED PER GEOTECHNICAL REPORT.
7. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY INTECH CONSULTANTS DATED JULY 24, 2018.

GRADING PLAN LEGEND

RIDGE LINE	---	TC:XX.XX
TOP OF CURB	---	W:XX.XX
TOP OF WALK	---	P:XX.XX
TOP OF PAVEMENT	---	D:XX.XX
TOP OF DEPRESSED CURB	---	F:XX.XX
FLOW LINE	---	EP:XX.XX
EDGE OF PAVEMENT	---	G:XX.XX
FINISHED GRADE	---	ME:XX.XX
MATCH EXISTING	---	

STORMWATER SUMMARY

VILLAGE OF ARLINGTON HEIGHTS:
TOTAL SITE = 77,170 S.F.

EXISTING PERVIOUS AREA = 42,854 S.F. = 0.984 AC.
EXISTING IMPERVIOUS AREA = 34,316 S.F. = 0.788 AC.
WEIGHTED "C" FACTOR = 0.70
STORAGE REQUIRED PER VAH SPREADSHEET = 0.46 AC.FT.

PROPOSED PERVIOUS AREA = 33,808 S.F. = 0.776 AC.
PROPOSED IMPERVIOUS AREA = 43,362 S.F. = 0.995 AC
WEIGHTED "C" FACTOR = 0.75
STORAGE REQUIRED PER VAH SPREADSHEET = 0.470 AC.FT.

DIFFERENCE STORAGE REQUIRED TO BE PROVIDED = 0.044 AC.FT.
= 1,901 CU.FT.

STORAGE PROVIDED IN PROPOSED BASIN = 0.045 AC.FT.
= 1,944 CU.FT.

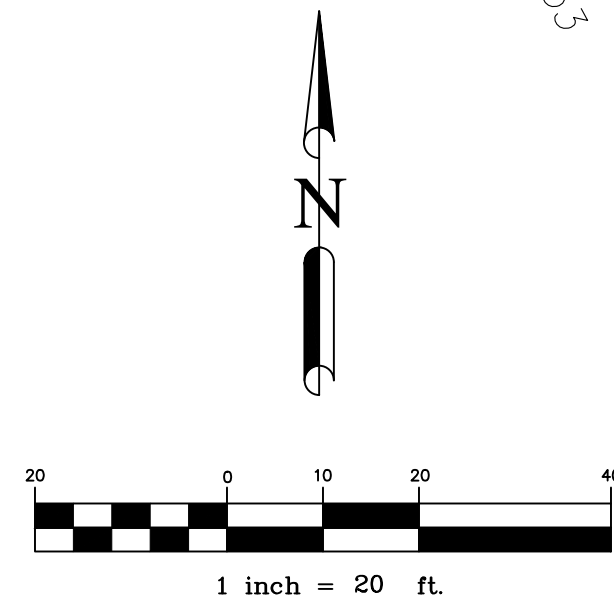
VILLAGE OF ARLINGTON HEIGHTS ALLOWABLE RELEASE RATE = 0.18 CFS/ACRE
SITE AREA = 0.788 ACRES
ALLOWABLE RELEASE RATE = 0.32 CFS
PROVIDE 2.5" DIAMETER PLATE RESTRICTOR AT ELEV. 711.74
ACTUAL RELEASE RATE AT HWL 715.00 = 0.30 CFS (OKAY)

MWRD VOLUME CONTROL SUMMARY:
TOTAL AREA = 34,639F. = 0.80

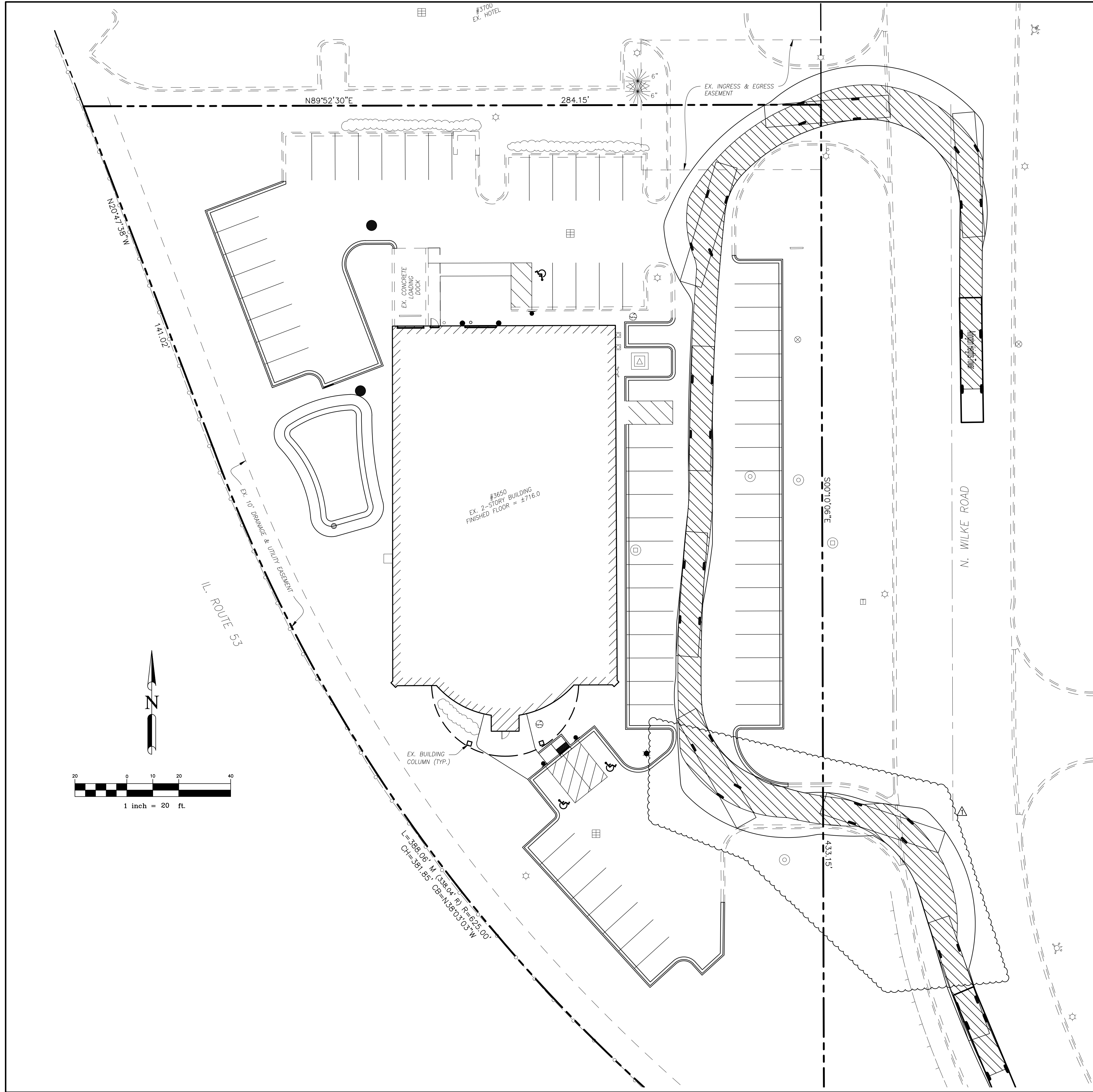
IMPERVIOUS AREA = 21,107 S.F. = 0.48 AC.

VOLUME CONTROL REQUIRED = 21,107 * 1/2 = 1,758 CU.FT.

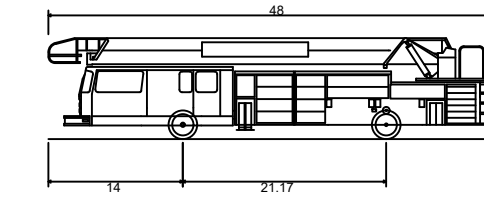
VOLUME STORAGE PROVIDED = 1,944 CU.FT.



PROJECT:	EXPANSION OF NAPLETON ARLINGTON HEIGHTS CDJR	
	3650 N. WILKE RD. ARLINGTON HEIGHTS, IL	
PROJECT No.	18.NPL.C01	
SHEET No.	C3	
OF 5 SHEETS		
DESCRIPTION	No.	DATE
	1	8/27/18
DESCRIPTION	No.	DATE
	1	10/10/18
650 E. Algonquin Rd., Ste 250, Schaumburg, IL 60173 1.847.756.4180 www.rtmassociates.com		

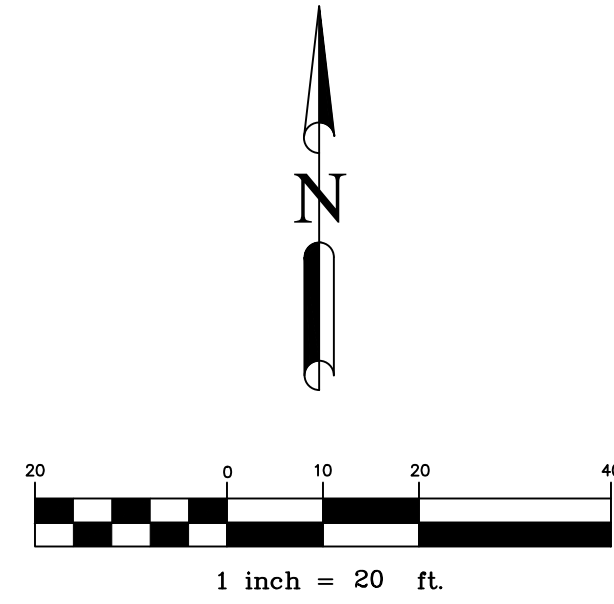
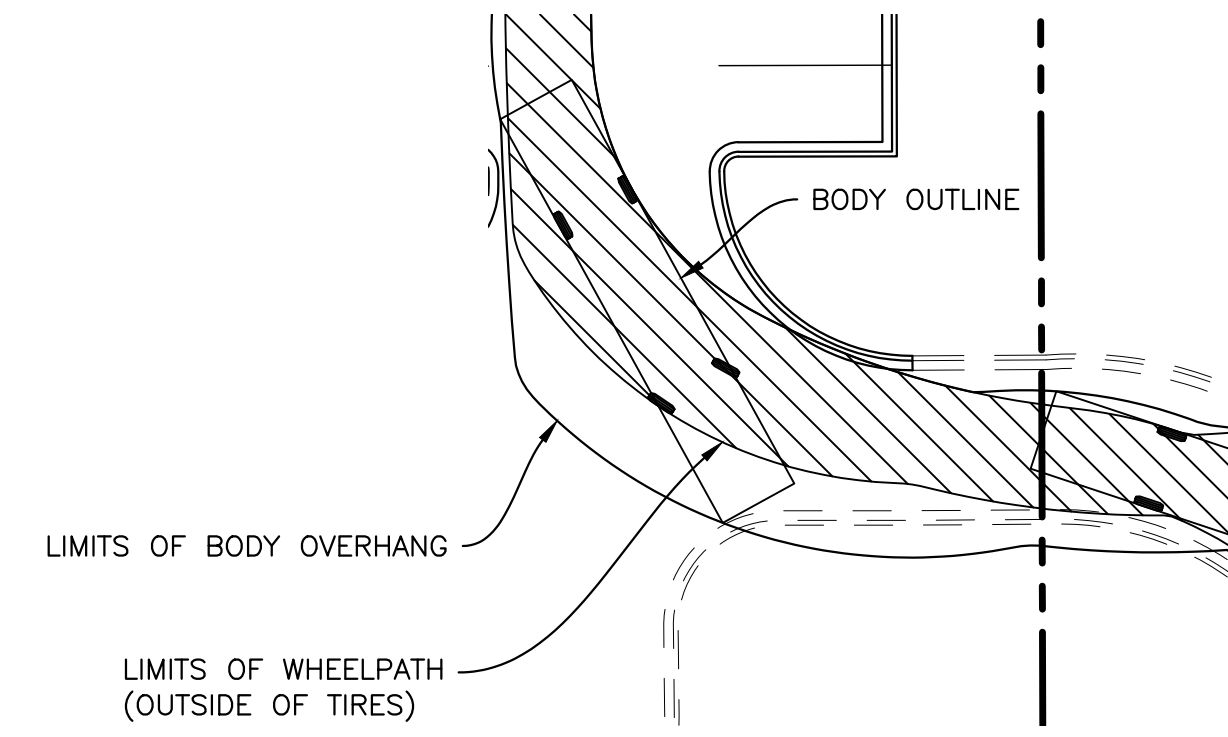


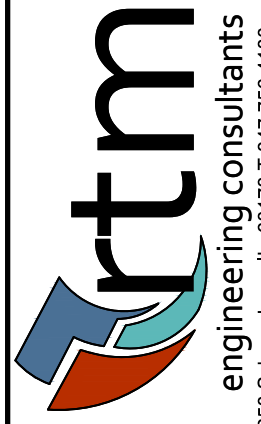
ARLINGTON HEIGHTS TOWER 131

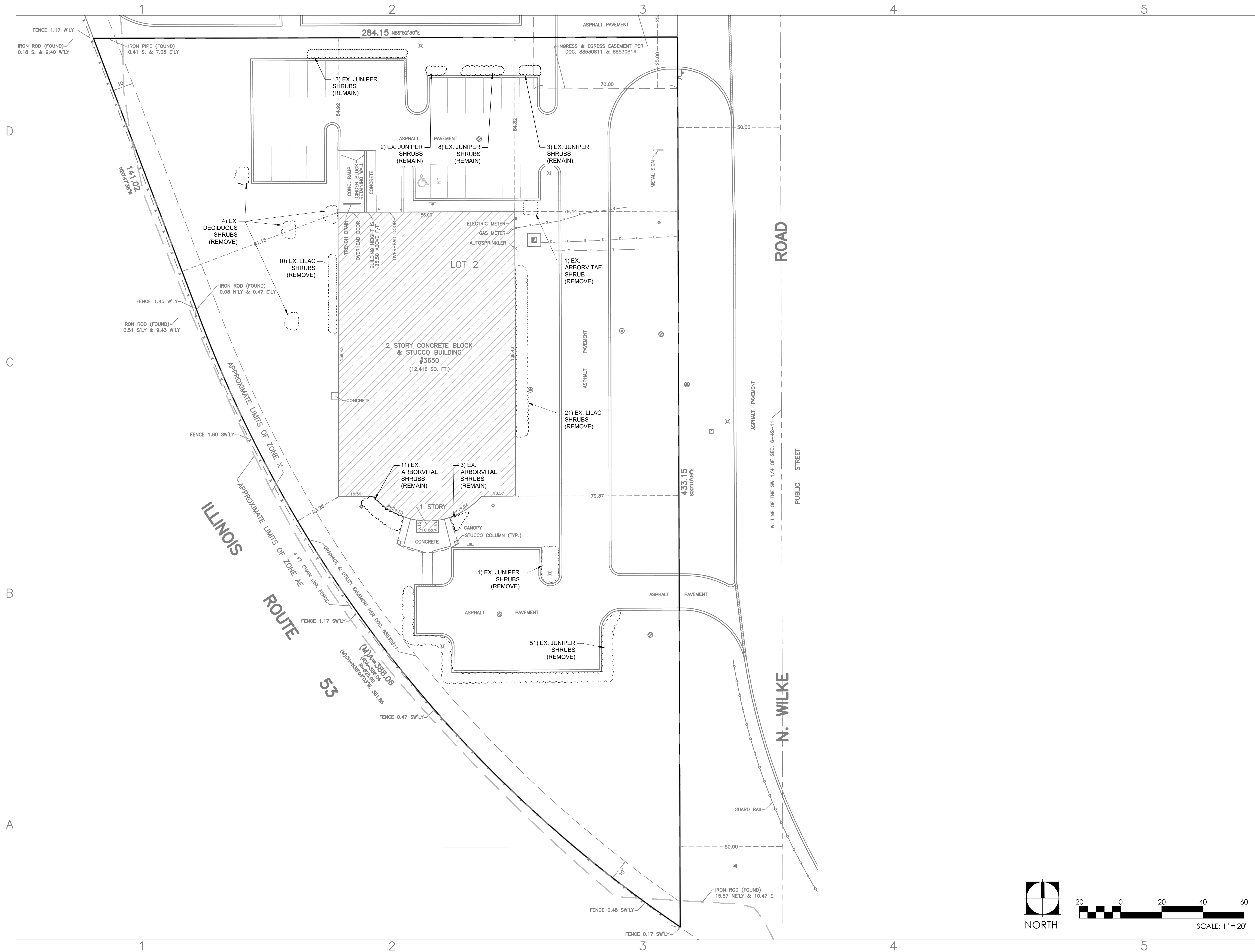


Arlington Heights Tower	48.000ft
Overall Length	8.500ft
Overall Width	10.519ft
Overall Body Height	6.950ft
Min Body Ground Clearance	8.500ft
Track Width	4.00ft
Lock-to-lock time	40.00"
Max Wheel Angle	

TURNING EXHIBIT LEGEND



PROJECT: EXPANSION OF NAPLETON ARLINGTON HEIGHTS CDJR		ARLINGTON HEIGHTS, IL	
PROJECT No. 18.NPL.C01		3650 N. WILKE RD.	
SHEET No. T1		OF 5 SHEETS	
No.	DATE	DESCRIPTION	
1	8/27/18	PRELIMINARY ENGINEERING	
1	10/10/18	REVISIONS PER VILLAGE	
		650 E. Algonquin Rd., Ste 250, Schaumburg, IL 60173 T.847.756.4180 www.rtmassociates.com	



Auto Repair Facility
 3650 N. Wilke Road
 Arlington Heights, IL
 60004



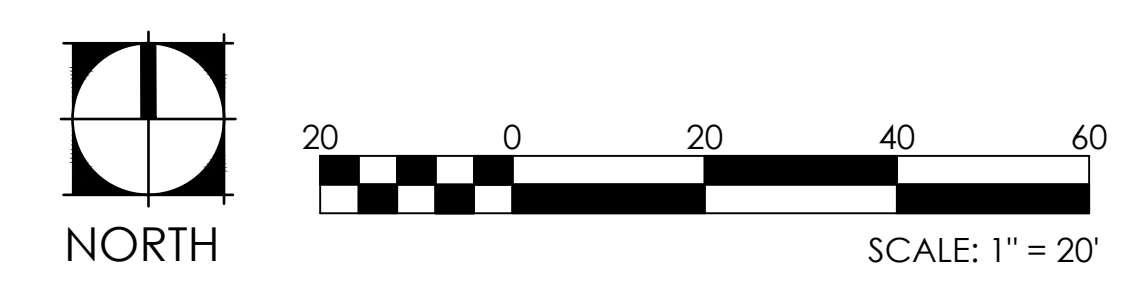
1280 Iroquois Avenue
 Suite 110
 Naperville, Illinois 60563
 Telephone: (630) 428-3134
 Fax: (630) 428-3159
 www.design-perspectives.net

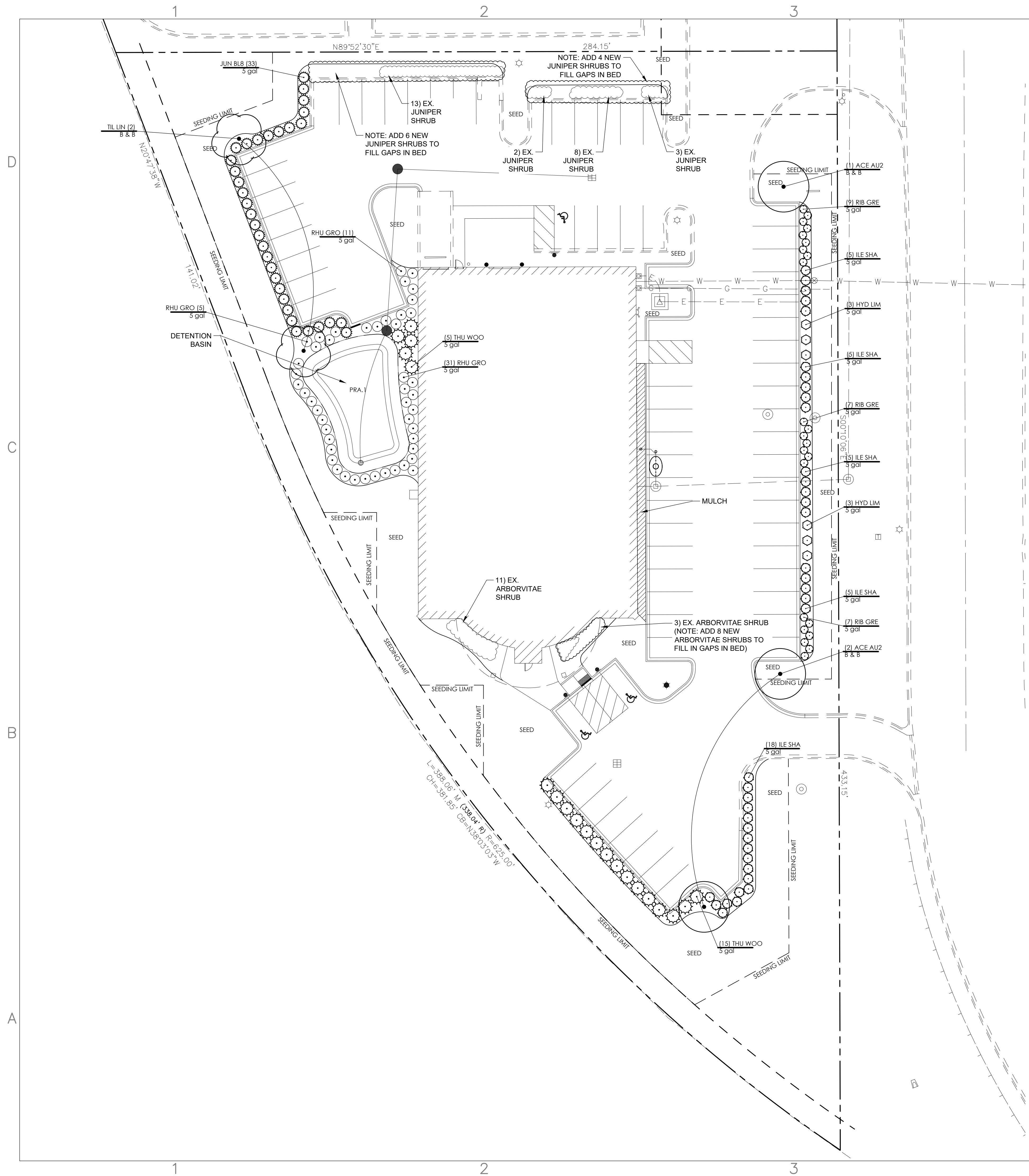
REV.	COMMENT	DATE
1	ZONING APPLICATION APPROVAL	8/24/18



DATE: 6/13/2018
 JOB NO.: 18-8004
 DRAWN BY: CE
 CHECKED BY: TS

DRAWING TITLE:
**EXISTING
 LANDSCAPE
 CONDITIONS**
 SHEET NO.:
EX-100





PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
ACE AU2	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	4"Cal	3
TIL LIN	Tilia americana / American Linden	B & B	4"Cal	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	12"H.	6
ILE SHA	Ilex glabra 'Shamrock' / Inkberry	3 gal	12"H.	38
JUN BL8	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	12"H.	43
RHU GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	12"H.	47
RIB GRE	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	3 gal	12"H.	23
THU WOO	Thuja occidentalis 'Woodwardii' / Woodward Arborvitae	3 gal	12"H.	28
SEED	Bluegrass, Rye and Fescue Blend with Blanket		14,000 sf	
PRA.1	Stormwater Seed Mix with Blanket		1,600 sf	

Auto Repair Facility
 3650 N. Wilke Road
 Arlington Heights, IL
 60004



1280 Iroquois Avenue
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 Telephone: (630) 428-3134
 Fax: (630) 428-3159
 www.design-perspectives.net

REV.	COMMENT	DATE
1	ZONING APPLICATION APPROVAL	8/24/18
2	REVISIONS PER VILLAGE	10/10/18

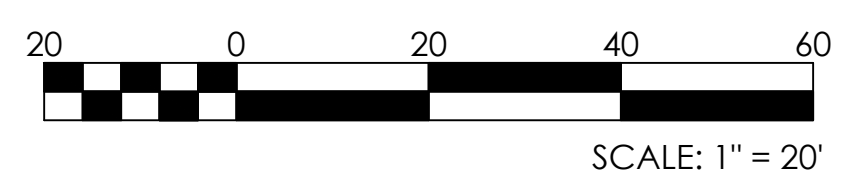
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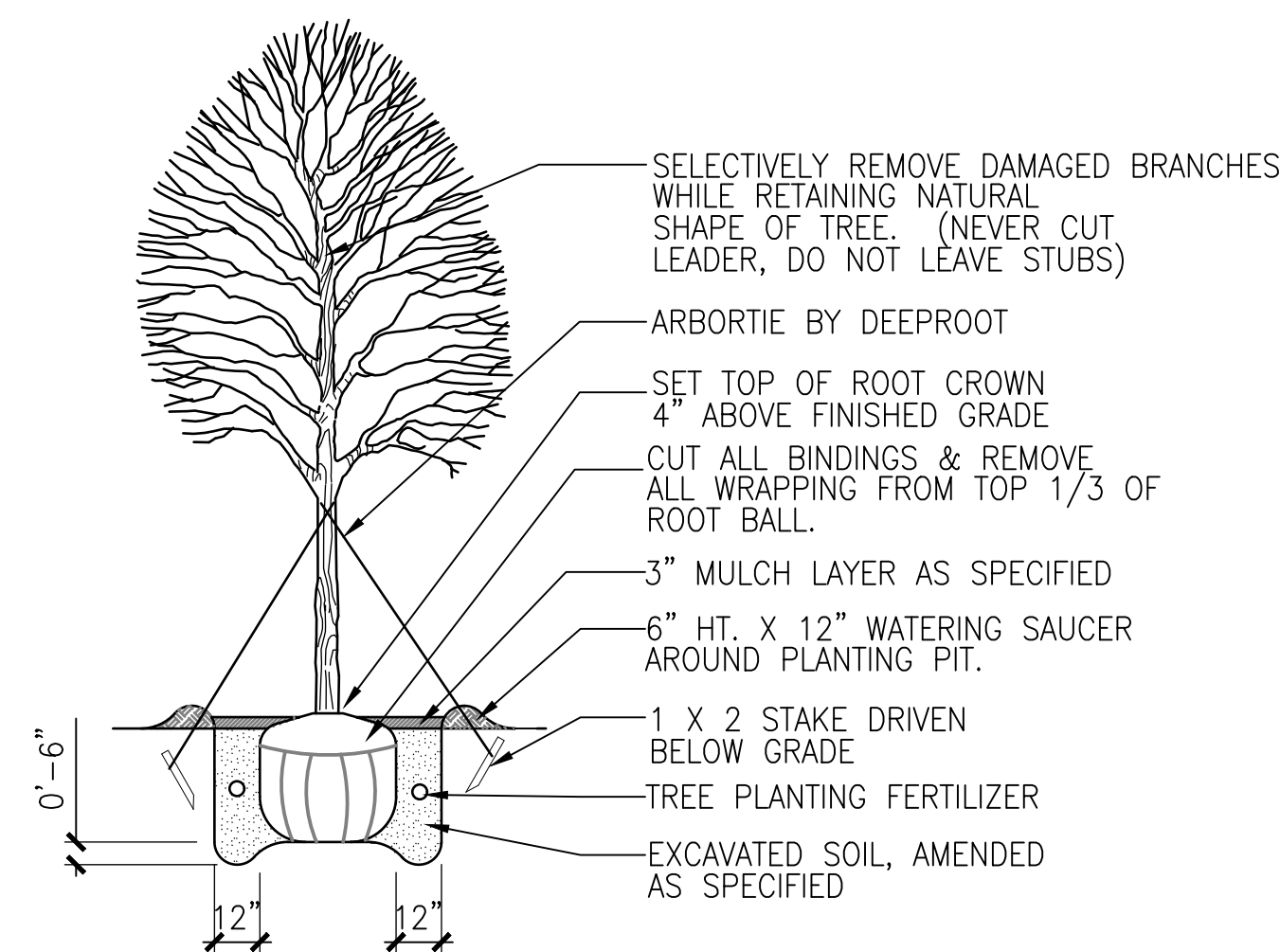


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 CHECKED BY: TS

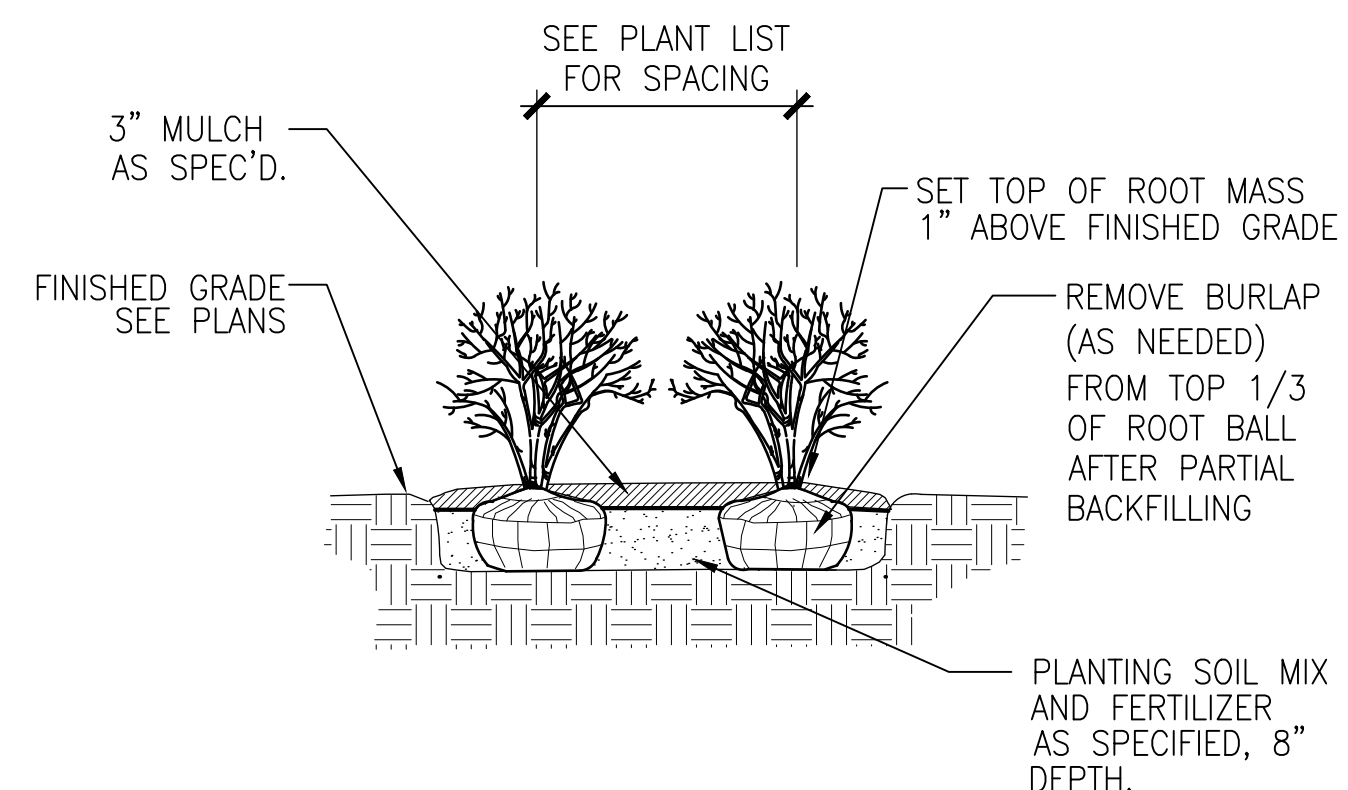
DRAWING TITLE:
LANDSCAPE PLAN

SHEET NO.:
LP-100



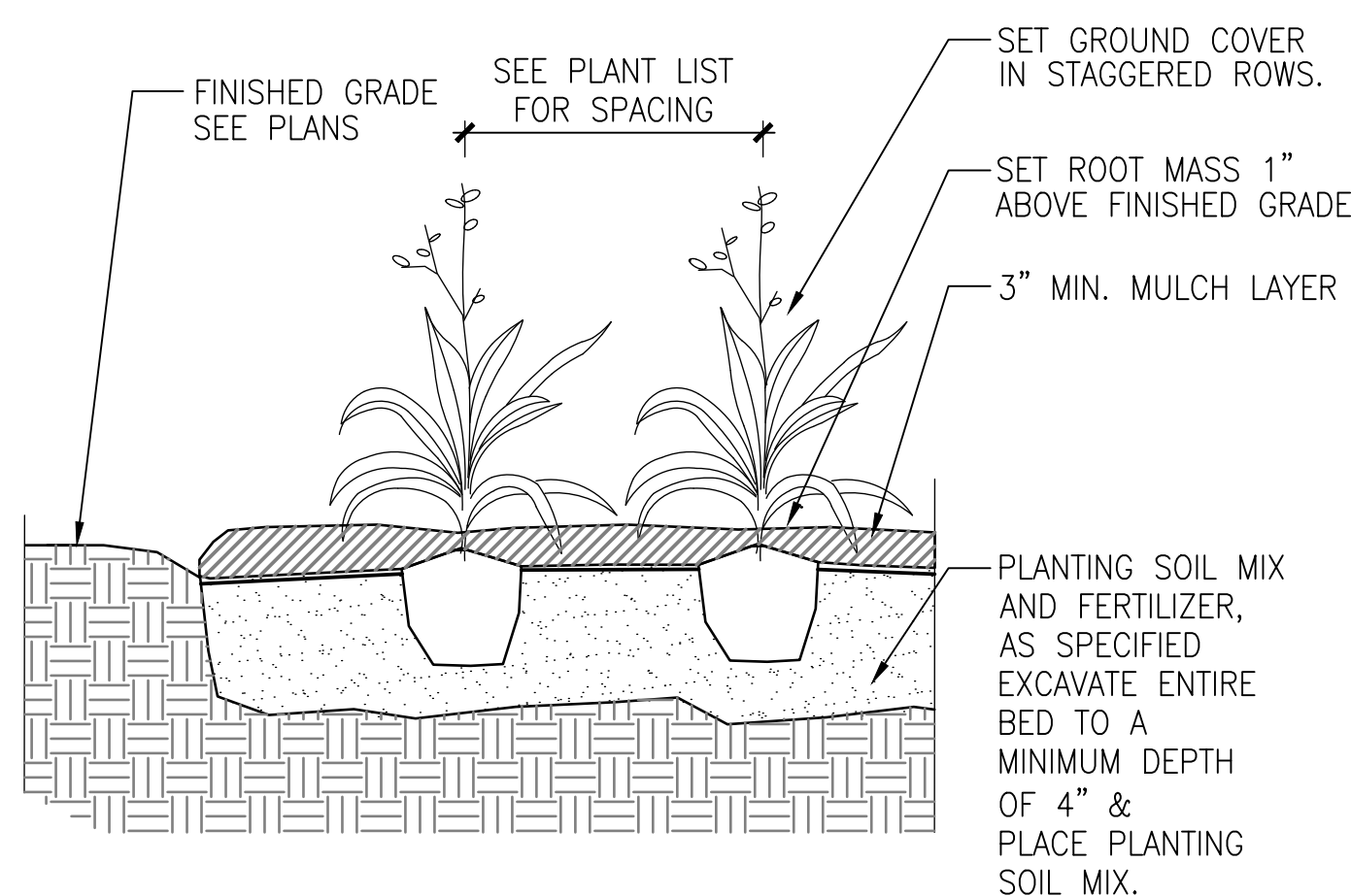


SHADE TREE PLANTING
 SCALE: 1/4"=1'-0" DT-tree-w-gyn



ALL PLANTS TO BE INSTALLED IN STAGGERED ROWS UNLESS OTHERWISE NOTED ON PLANS

SHRUB PLANTING DETAIL
 SCALE: 1/2"=1'-0" DT-shrub-gyn



GROUNDCOVER PLANTING
 SCALE: 1"=1'-0" DT-groundcover-gyn

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. SEE CONSTRUCTION NOTES.
2. DO NOT WILLFULLY PROCEED WITH PLANTINGS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY NECESSARY REVISIONS AND COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AND/OR SUPPLIERS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. THE LANDSCAPE CONTRACTOR IS TO RECEIVE THE SITE AT +/- 1/10TH OF AN INCH.
5. REFER TO SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
6. ALL TREES SHALL BE TAGGED BY THE PROJECT MANAGER AT A NURSERY SELECTED BY THE LANDSCAPE CONTRACTOR OR AT THE DISCRETION OF THE PROJECT MANAGER.

7. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE PROJECT MANAGER PRIOR TO DIGGING ANY HOLES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROJECT MANAGER ADEQUATE ADVANCE NOTICE FOR ON-SITE APPROVALS. THE LANDSCAPE CONTRACTOR IS TO THE FOLLOWING BEFORE BEGINNING INSTALLING PLANTINGS:

SHRUBS - LAY OUT THE ACTUAL CONTAINERS ON-SITE BEFORE DIGGING HOLES.

TREES - STAKE THE LOCATIONS BEFORE DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE PROJECT MANAGER MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE LANDSCAPE CONTRACTOR.

8. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
9. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE PROJECT MANAGER FOR RESOLUTION.

10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND/OR DISEASES. PRE-SELECTED OR "PROJECT MANAGER TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.

11. GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS INDICATED ON THE PLANS.

12. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE NOTED.

13. ALL TREES, SHRUB AND GROUNDCOVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED PER DETAILS.

14. ALL MULCH TO BE PREMIUM SHREDDED HARDWOOD MULCH, NATURAL BROWN COLOR.

15. TREES SHALL BE SET BACK A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, FIRE HYDRANTS, TRANSFORMERS AND SWITCH CANS. TREES SHALL BE SET BACK A MINIMUM OF FIVE (5') HORIZONTALLY FROM SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS UNDER THE APPROVAL OF OWNER. REFER TO CIVIL DRAWINGS PREPARED BY OTHERS.

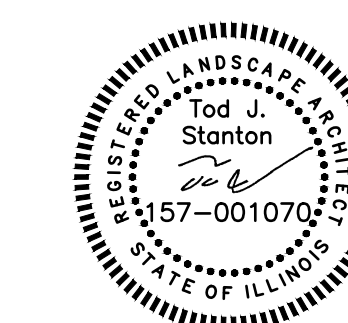
16. PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.

1. SPRING PLANTING: 4/1 - 6/15
2. FALL PLANTING: 9/1 - 11/1

PLANTING NOTES
 SCALE: NTS DT-plantnote-gyn

REV.	COMMENT	DATE
1	ZONING APPLICATION APPROVAL	8/24/18

SEAL:



DATE: 6/13/2018
 JOB NO.: 18-8004
 DRAWN BY: CE
 CHECKED BY: TS

DRAWING TITLE:
**PLANTING
 DETAILS**

SHEET NO.:
LP-500