



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Sam Hubbard, Development Planner, Planning and Community Development
From: Deb Pierce, Plan Reviewer, Building & Life Safety Department
Subject: 3650 N Wilke Rd – Rezoning from M-1 to B-3, Variation
PC#: 18-019 – Round 1
Date: September 14, 2018

Sam –

I do not have any objections to the rezoning or variation requested.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights, IL
Department of Building & Life Safety

Fire Safety

Date: 9/4/2018

P.C. Number: 18-019

Project Name: Rezoning from M-1 to B-3

Project Location: 3650 N. Wilke Rd

Planning Department Contact: Sam Hubbard, Planning and Community Development

General Comments:

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply for any work proposed.
2. The fire sprinkler shall be NFPA compliant and capable of protecting the proposed use. Verification will be required before occupancy is approved.
3. An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
4. Fire protection equipment and service rooms shall be identified in an approved manner.
5. A fully functional fire alarm shall be installed per NFPA 72. The alarm annunciator panel shall be located at the front entrance.
6. Visible alarm notification appliances shall be provided in public areas and common areas. A visible exterior weatherproof alarm notification device shall be located within closest proximity to the front main entrance of the building or tenant space.
7. A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance.
8. A key box (Know Box) shall be provided and contain keys to gain necessary access as required by the fire code official.
9. Buildings shall have approved address numbers.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Date 09-04-18

Reviewed By: 

Fire Safety Supervisor

Village of Arlington Heights
Public Works Department

Memorandum

To: Sam Hubbard, Planning & Community Development
From: Cris Papierniak, Assistant Director of Public Works
Date: September 13, 2018
Subject: 3650 N. Wilke Road, P.C. #18-019 Round 1

With regard to the proposed rezoning, I have the following comments:

- 1) The existing water meters and RPZ's have been inactive and are considered obsolete, they must be replaced as a condition of reuse;
 - a. 6" x 3" compound meter
 - b. 6" RPZ
 - c. 1.5" RPZ
- 2) Further comments will be submitted upon receipt of plans with plumbing schedule. A suitable grease trap/oil separator will also be needed.

If you have any questions, please feel free to contact me.

C. file

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-019
 Petitioner: EFN Dundee Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Owner: EFN Dundee Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Contact Person: Ryan Ponton
 Address: One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Phone #: (630) 455-2946
 Fax #: (630) 321-1190
 E-Mail: RYAN@napleton.com

P.I.N.# 02-01-401-021-0000
 Location: 3650 N. Wilke Road Arlington Hts, IL
 Rezoning: Current: Proposed:
 Subdivision:
 # of Lots: Current: Proposed:
 PUD: For:
 Special Use: For:
 Land Use Variation: For:
 Land Use: Current:
 Proposed:
 Site Gross Area: 77,170 sq. ft.
 # of Units Total:
 1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: YES NO COMMENTS

- a. Underground Utilities
 - Water 2/2/2 _____
 - Sanitary Sewer 2/2/2 _____
 - Storm Sewer 2/2/2 _____
- b. Surface Improvement
 - Pavement 2/2/2/2 _____
 - Curb & Gutter 2/2/2/2 _____
 - Sidewalks 2/2/2/2 _____
 - Street Lighting 2/2/2/2 _____
- c. Easements
 - Utility & Drainage 2/2 _____
 - Access 2/2 _____

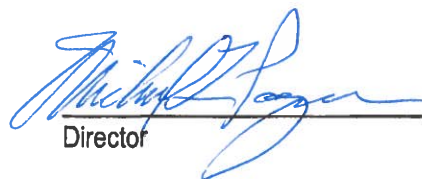
2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC b. IDOT _____
- c. ARMY CORP _____ d. IEPA _____
- e. CCHD _____

- | | YES | NO | COMMENTS |
|--|-------------------------------------|-------------------------------------|---------------------|
| 3. R.O.W. DEDICATIONS? | | <input checked="" type="checkbox"/> | _____ |
| 4. SITE PLAN ACCEPTABLE? | | <input checked="" type="checkbox"/> | <u>SEE COMMENTS</u> |
| 5. PRELIMINARY PLAT ACCEPTABLE? | | <input checked="" type="checkbox"/> | <u>N/A</u> |
| 6. TRAFFIC STUDY ACCEPTABLE? | | <input checked="" type="checkbox"/> | <u>NEGOED</u> |
| 7. STORM WATER DETENTION REQUIRED? | <input checked="" type="checkbox"/> | | _____ |
| 8. CONTRIBUTION ORDINANCE EXISTING? | | <input checked="" type="checkbox"/> | _____ |
| 9. FLOOD PLAIN OR FLOODWAY EXISTING? | | <input checked="" type="checkbox"/> | _____ |
| 10. WETLAND EXISTING? | | <input checked="" type="checkbox"/> | _____ |

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: RYM ENGINEERING
 DATE OF PLANS: 8-27-18

 9/14/18
 Director Date

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

**PLAN COMMISSION PC #18-019
Napleton Automotive Group
Auto Repair Facility
3650 N Wilke Rd
Rezoning from M-1 to B-3 variation
Round 1**

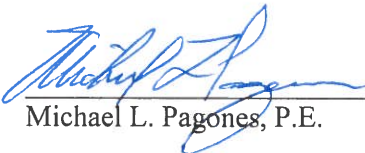
1. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
2. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

3. The proposed detention facility will be a private system and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Interim Director of Engineering for an editable version of the OUMA.
4. Regarding the release rate for the detention basin, additional information must be provided. Final approval will require final engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. The Village's allowable release rate is 0.18 cfs/Ac. Use C=0.50 for pervious areas, C=0.95 for impervious areas. Use Bulletin 70 rainfall data. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.

TRAFFIC

5. The request to waive the requirement for a traffic and parking study is not endorsed since there are several traffic concerns related to the proposed use at this site. Responses to the following topics should be supplemented by a technical memorandum addressing the following:
 - a.) Based upon the existing building square footage, what code required parking is necessary for this zoning use.
 - b.) A comparison of the existing 40 stall parking lot to the proposed 72 parking stalls must be further explained.
 - c.) The anticipated trip generated values for inbound and outbound traffic during peak morning and evening roadway rush hours should be provided.
6. The revision to the existing southerly driveway removing the right turn only operation is not supported. This driveway exists on the apex of a compound reverse curve in the roadway to the south with limited sight distance. The right turn only configuration must be kept. Verify that the Fire Department's tower truck can maneuver through the right turn only.
7. All light fixtures must be mounted parallel with the ground and shining down, and not out away from the building.


Michael L. Pagonis, P.E. 9/14/18
Date

Interim Director of Engineering

Attachments:



Arlington Heights Fire Department Plan Review Sheet

P. C. Number 18-019

Project Name Napleton Repair Facility

Project Location 3650 N. Wilke Road

Planning Department Contact Sam Hubbard

General Comments

Round 1:

- 1) The Fire Department will defer to Don Lay from the Fire Safety Division as to whether the change of occupancy changes any code requirements for an existing structure. Sprinkler flow requirements are of particular concern.
- 2) A Knox Box will be located at the main front entrance.
- 3) Install a fully operational annunciator panel or alarm panel at the main entrance.
- 4) The Fire Department Connection is to be fully visible and assessable by the Fire Department.

**NOTE: PLAN IS CONCEPTUAL ONLY
SUBJECT TO DETAILED PLAN REVIEW**

Date September 12, 2018 Reviewed By: LT. Mark Aleckson

Arlington Heights Fire Department

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-019

Petitioner: EFN Dunder Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181

Owner: EFN Dunder Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181

Contact Person: RYAN PONTON

Address: ONE OAKBROOK TERRACE, SUITE 600
OAKBROOK TERRACE, IL 60181

Phone #: (630) 455-2946

Fax #: (630) 321-7190

E-Mail: RYAN@napleton.com

P.I.N.# 02-01-401-021-0000

Location: 3650 N. Wilke Road, Arlington Hs, IL

Rezoning: Current: Proposed:

Subdivision:

of Lots: Current: Proposed:

PUD: For:

Special Use: For:

Land Use Variation: For:

Land Use: Current:

Proposed:

Site Gross Area: 77,170 sq ft.

of Units Total:

1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

No comments from this Department

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Jeff Bohner 9/11/18

Environmental Health Officer Date

James McCalister 9/11/18

Director Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-019
 Petitioner: EFS Dundee Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Owner: EFS Dundee Property, LLC
One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Contact Person: Ryan Ponton
 Address: One Oakbrook Terrace, Suite 600
Oakbrook Terrace, IL 60181
 Phone #: (630) 455-2946
 Fax #: (630) 321-1190
 E-Mail: RYAN@MAPLETON.COM

P.I.N.# 02-01-401-021-0000
 Location: 3650 N. Wilke Road, Arlington Hts, IL
 Rezoning: Current: _____ Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 77,170 Sft.
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

- | | YES | NO | |
|----|-------------------------------------|-------------------------------------|---|
| 1. | <input checked="" type="checkbox"/> | _____ | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <input checked="" type="checkbox"/> | _____ | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | <input checked="" type="checkbox"/> | _____ | VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.) |
| 4. | _____ | <input checked="" type="checkbox"/> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.) |
| 5. | _____ | <input checked="" type="checkbox"/> | SUBDIVISION REQUIRED? |
| 6. | _____ | <input checked="" type="checkbox"/> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.) |

Comments:

SEE ATTACHED COMMENTS

SAM HUBBARD

9-17-18

Date

Planning & Community Development Dept. Review

September 17, 2018



REVIEW ROUND 1

Project: 3650 N. Wilke Rd.
Rezoning from M-1 to B-3, Variation to Waive Traffic and Parking Study

Case Number: PC 18-014

7. The following approvals have been requested:
 - a. **Rezoning from the M-1, Research, Development, and Light Manufacturing District to the B-3, General Service, Wholesale, and Motor Vehicles District.**
 - b. **Variation to Chapter 28, Section 6.12-1, to waive the requirement for a traffic and parking study by a qualified professional engineer.**
8. Please ensure that all plans resubmitted as a result of the Round 1 review comments include a revision date.
9. The Palatine Township Assessor's office is compiling a list of all PIN #'s of property within 250' of the subject property. Please reach out to the Palatine Township assessor to obtain this list. You must use the method as described by the township office to look up the property owner information for each of the PIN's on the list. Please note that the public notification letter must go to the taxpayer of record of each PIN, and not to the actual property address of the PIN. Please provide a draft of the notification letter to me at your convenience.
10. Previous correspondence indicated that there may be a small retaining wall along Wilke. The plans do not show this wall, is it no longer necessary? Additionally, will the rear detention area include a retaining wall?
11. Sheet C2 includes a F.A.R. calculation for the site, showing that the proposed F.A.R. at 199%. Per my calculations, site FAR is 32.17% (1st floor is 12,416 sq. ft., 2nd floor is 12,416 sq. ft. including mezzanine and volume space, for a total of 24,832 sq. ft.). Please clarify how the 199% F.A.R. was calculated. Please correct the table on sheet C2 if there is an error.
12. Sheet C-2 indicates the building lot coverage to be 15,324 sq. ft. Based on the Plat of Survey, the building footprint is 12,416 sq. ft. and there are no other roofed structures on the site. Please correct the table on sheet C2 or clarify why the building lot coverage is listed at 15,324 sq. ft.
13. Please add a note to the site plan clarifying that the proposed bike rack will include space for a minimum of 4 bicycles.
14. The project narrative indicates that the lot will not be used for automobile storage and that the only vehicles that will be stored overnight are vehicles awaiting repairs. How many vehicles are anticipated to be stored overnight on a typical day? Will any of these automobiles have collision damage or other physical damages to where they could be considered unsightly? Will any of the vehicles brought to and stored on the site be inoperable?
15. Please explain the need for 72 parking spaces. Per the zoning code only 55 parking spaces are required. In addition to the 72 exterior spaces, there are 10 interior spaces/bays for automobiles, which brings the total onsite automobile storage capacity to 82 vehicles. This is 50% surplus above code requirements. Per the project narrative, around 40 vehicles will be serviced on a typical day. In combination with the estimated 14 employees, it appears that parking for around 55 spaces may be sufficient to accommodate typical demand.

Prepared by: SAM JUBAZZI

3650 N. Wilke Road
PC 18-019
September 13, 2018

Landscape Issues

- 1) The ends of all parking rows must include a 4" caliper shade tree. (Chapter 28, Section 6.15-1.2b).
- 2) Per Chapter 28, Section 6.15-1.2a, a three foot high screen must be provided in order to screen the parking/paved areas that are adjacent to the public way. Please increase the size of the plant material so that it is a minimum of 3 feet high at time of installation.
- 3) Per Chapter 28, landscaping must be provided at the perimeter of the detention basin.
- 4) Provide foundation plantings adjacent to the proposed building. The proposed plantings are minimal and should consist of a mix of shrubs and perennials.
- 5) It is recommended that trees be provided along the Route 53 frontage.
- 6) A landscape compliance bond in the amount of 30% of the landscaping costs will be required at time of permit. In addition, a \$4 tree fee is required for each lineal foot of frontage.