

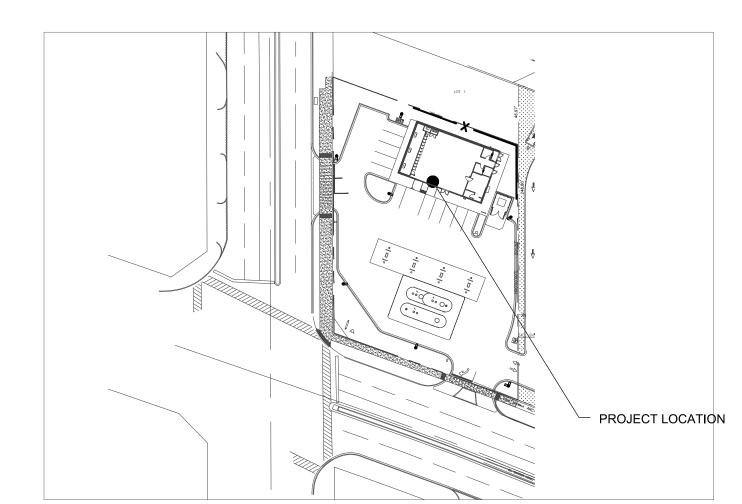
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1650 W ALGONQUIN RD ARLINGTON HEIGHTS, IL 60005













	PERSPECTIVE VIEW
(3	SCALE: NTS FOR REFERENCE ONLY

					SHEET INDEX		
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4	4 3	2 1		SHEET NAME			
					ARCHITECTURAL		
				G0.00	COVER SHEET, DRAWING INDEX AND PROJECT INFO		
				AS1.00	SITE KEY PLAN		
			х	AS1.01	SITE PLAN		
			х	AS1.01A	FIRE TRUCK TRAVEL PATH		
		х		AS1.01B	FIRE TRUCK TRAVEL PATH		
	х		AS1.02	SITE DETAILS			
		х		AS1.03	SITE DETAILS		
			х	A1.01	FLOOR PLAN		
			х	A2.01	ROOF PLAN		
			х	A3.01	EXTERIOR ELEVATIONS AND SCHEDULE		
			х	A3.02	EXTERIOR COLOR ELEVATIONS AND SCHEDULE		
			х	A3.03	3D VIEWS		
			х	A3.04	CANOPY ELEVATIONS		
			х	PH1.01	PHOTOMETRICS PLAN		
				PH1.02	PHOTOMETRICS SCHEDULES		

				LANDSCAPING
			L-1	PRELIMINARY TREE PROTECTION AND REMOVAL PLAN
	х	х	L-2	PRELIMINARY LANDSCAPE PLAN
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PROJECT DIRECTORY

OWNER VEQUITY LLC 400 N. STATE ST. SUITE 400 CHICAGO, IL 60654 P. 312-985-0987

ARCHITECT OF RECORD ILEKIS ASSOCIATES 223 WEST JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606 P. 312-419-0009

LANDSCAPE ARCHITECT LG WORKSHOP LLC 2324 W ARMITAGE AVE CHICAGO IL 60647

P. 773-697-4388

CIVIL ENGINEER: WATERMARK ENGINEERING RESOURCES, LTD **2631 GINGER WOODS PARKWAY SUITE 100** AURORA, IL 60502 P. 630-375-1800

PROJECT STATEMENTS

THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL LOCAL BUILDING CODES.

ALPHONSE A. ILEKIS LICENSE EXPIRES 11/30/18

ENERGY STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR ADDRESS: 1650 W ALGONQUIN RD ARLINGTON HEIGHTS, IL 60005 FULL COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13. ENERGY CONSERVATION OF THE MUNICIPAL CODE OF ARLINGTON HEIGHTS AS WELL AS THE STATE OF ILLINOIS ENERGY CONSERVATION AS REQUIRED BY STATE LEGISLATION

DATE: 11/02/18 ILLINOIS LICENSE # 01-8612 ALPHONSE A. ILEKIS (ARCHITECT)

CODE SUMMARY

LICENSE EXPIRES 11/30/20

SEE AS1.01 FOR ALL REVIEW AND SUMMARIES.

DIGGING NOTICE

CONTRACTOR TO VERIFY ALL LOCAL REQUIREMENTS IF DIGGING IS REQUIRED.

Vequity
400 N. State
Suite 400
Chicago, IL 60654 Email info@vequity.com www.vequity.com ILEKIS ASSOCIATES 223 W. JACKSON BLVD.

SUITE 1000 CHICAGO, IL 60606

CITY APPROVAL

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ARLINGTON HEIGHTS, IL 60005

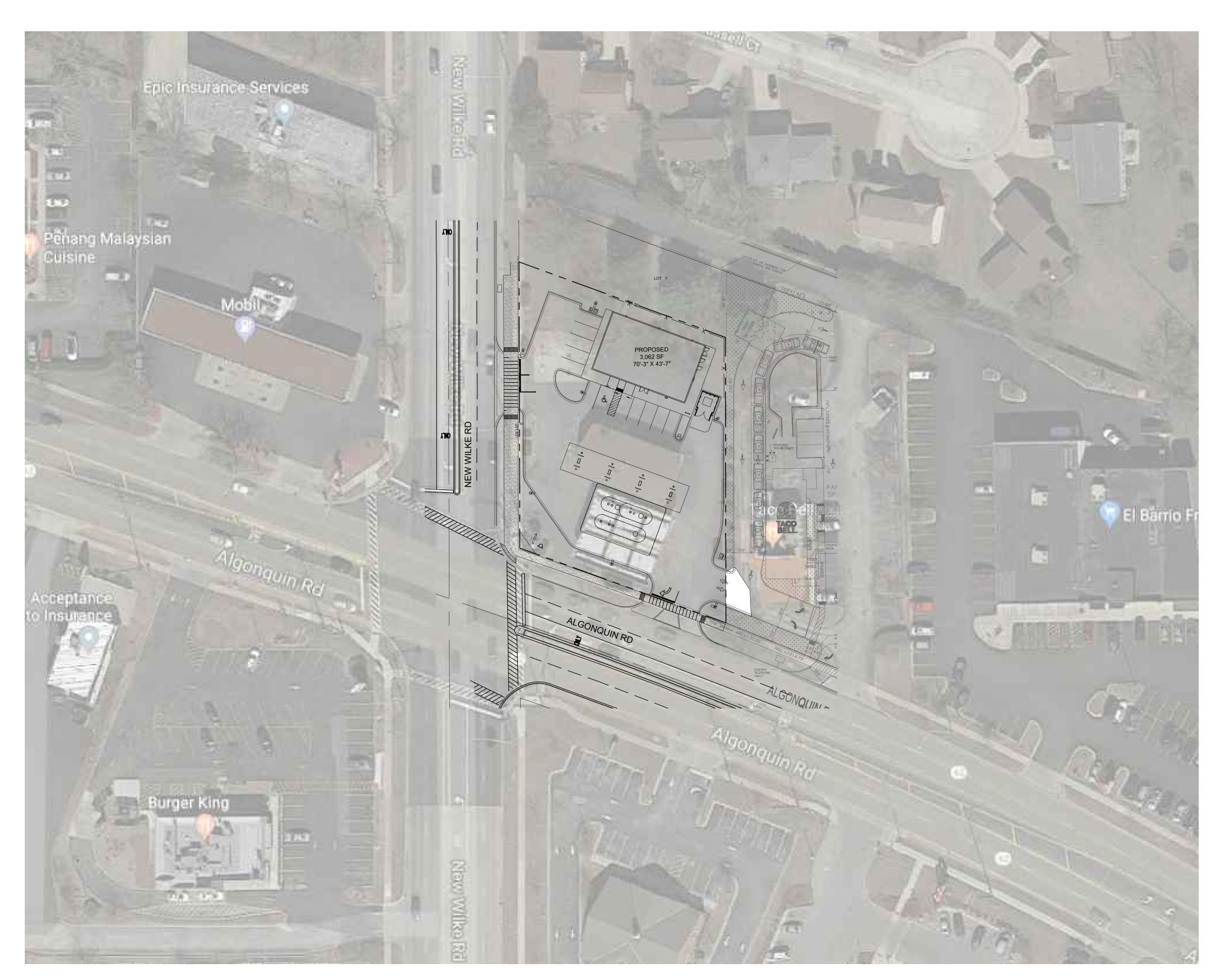
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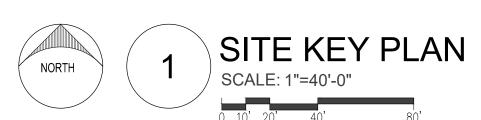
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2 01/30/19 ISSUED PER CITY COMMENTS 01/15/19 | ISSUED PER CITY COMMENTS 12/07/18 | ISSUED FOR CITY REVIEW

> COVER SHEET, DRAWING INDEX & PROJECT INFO

> > G0.00





CLIENT:

VEQUITY real estate. redefined. Vequity
400 N. State
Suite 400
Chicago, IL 60654
312-985-0987
Email info@vequity.com
www.vequity.com PROJECT TEAM: ILEKIS ASSOCIATES 223 W. JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606 312-419-0009 THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE APPLICABLE CODES AND BUILDING REGULATIONS.

ALPHONSE A. ILEKIS, AIA

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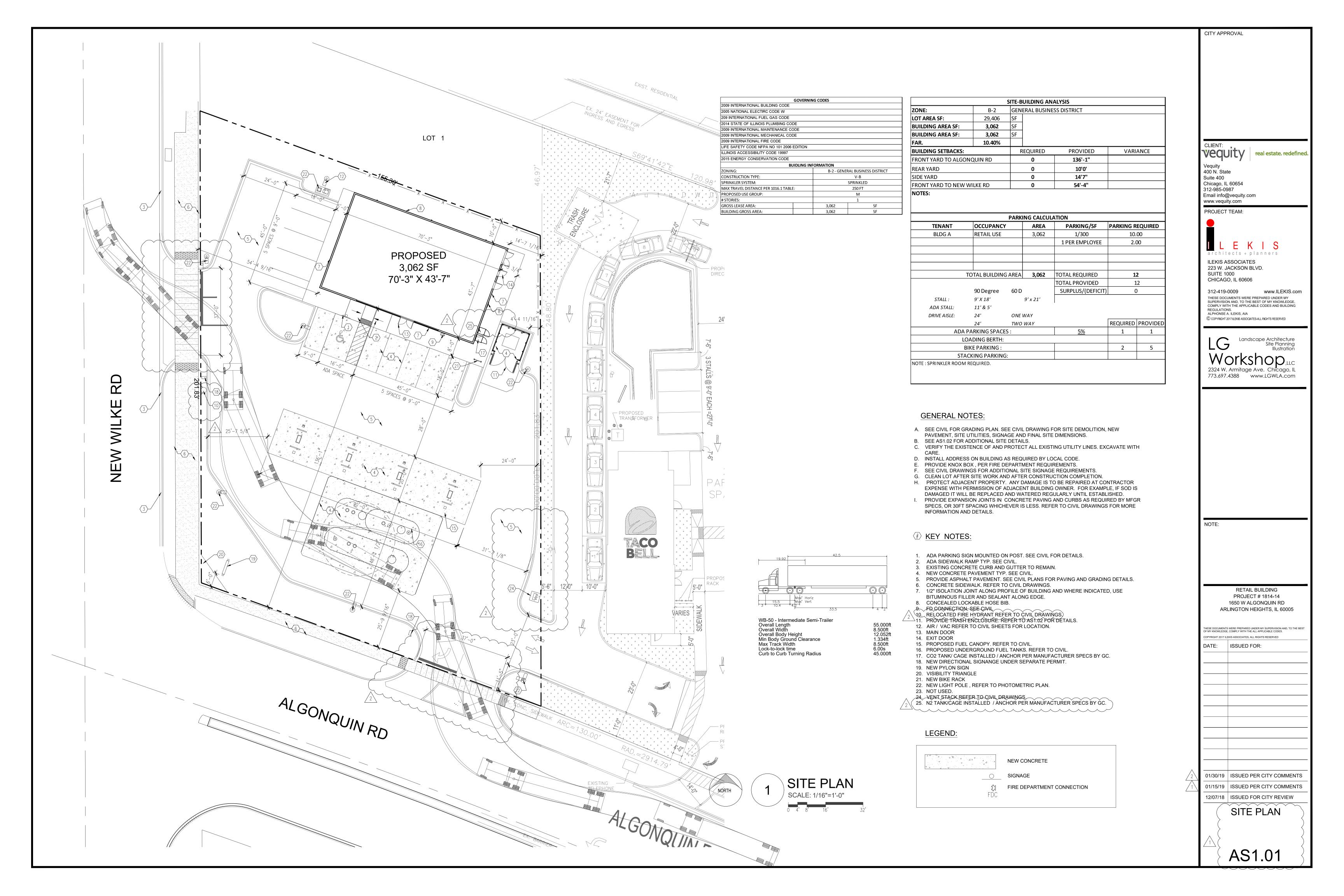
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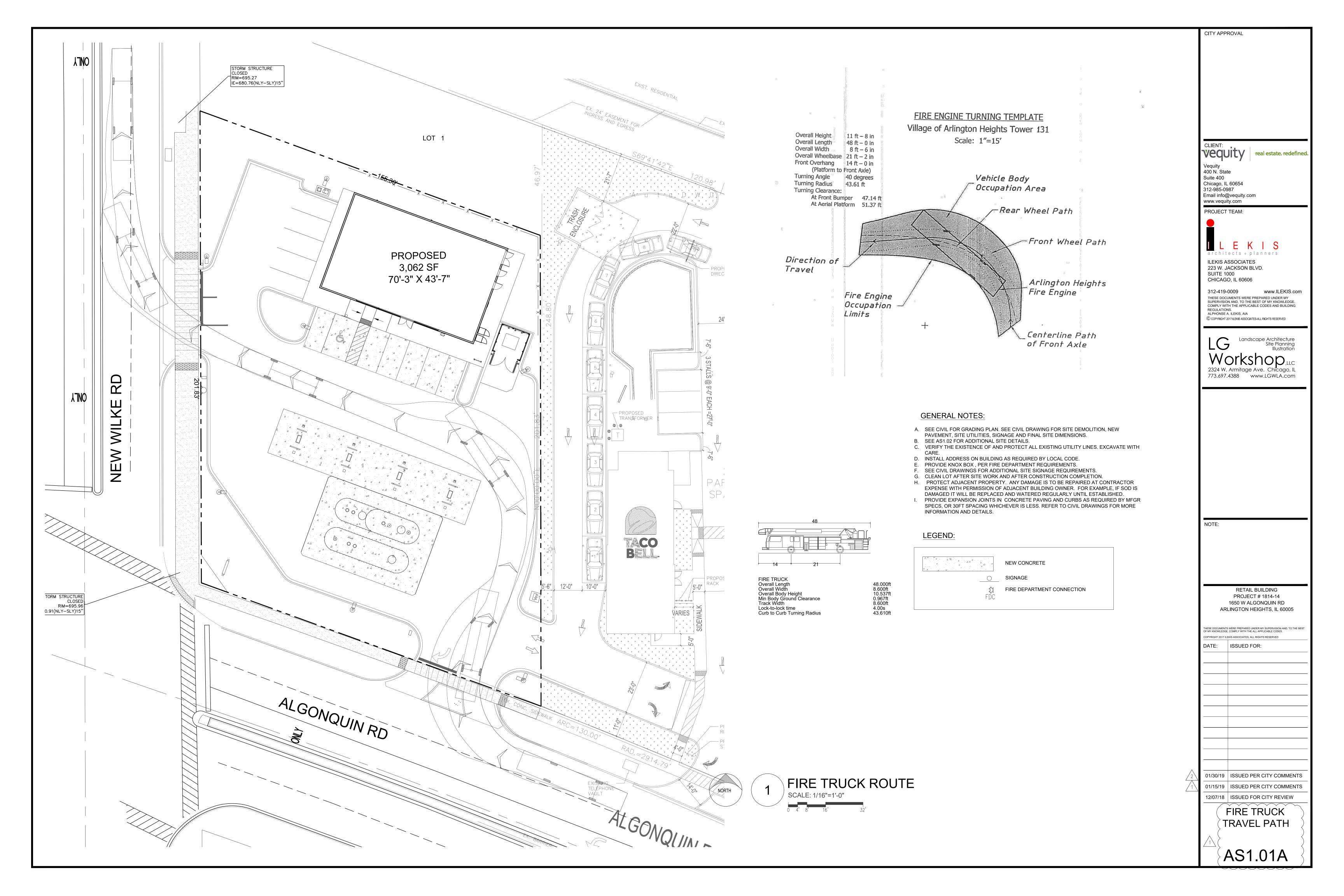
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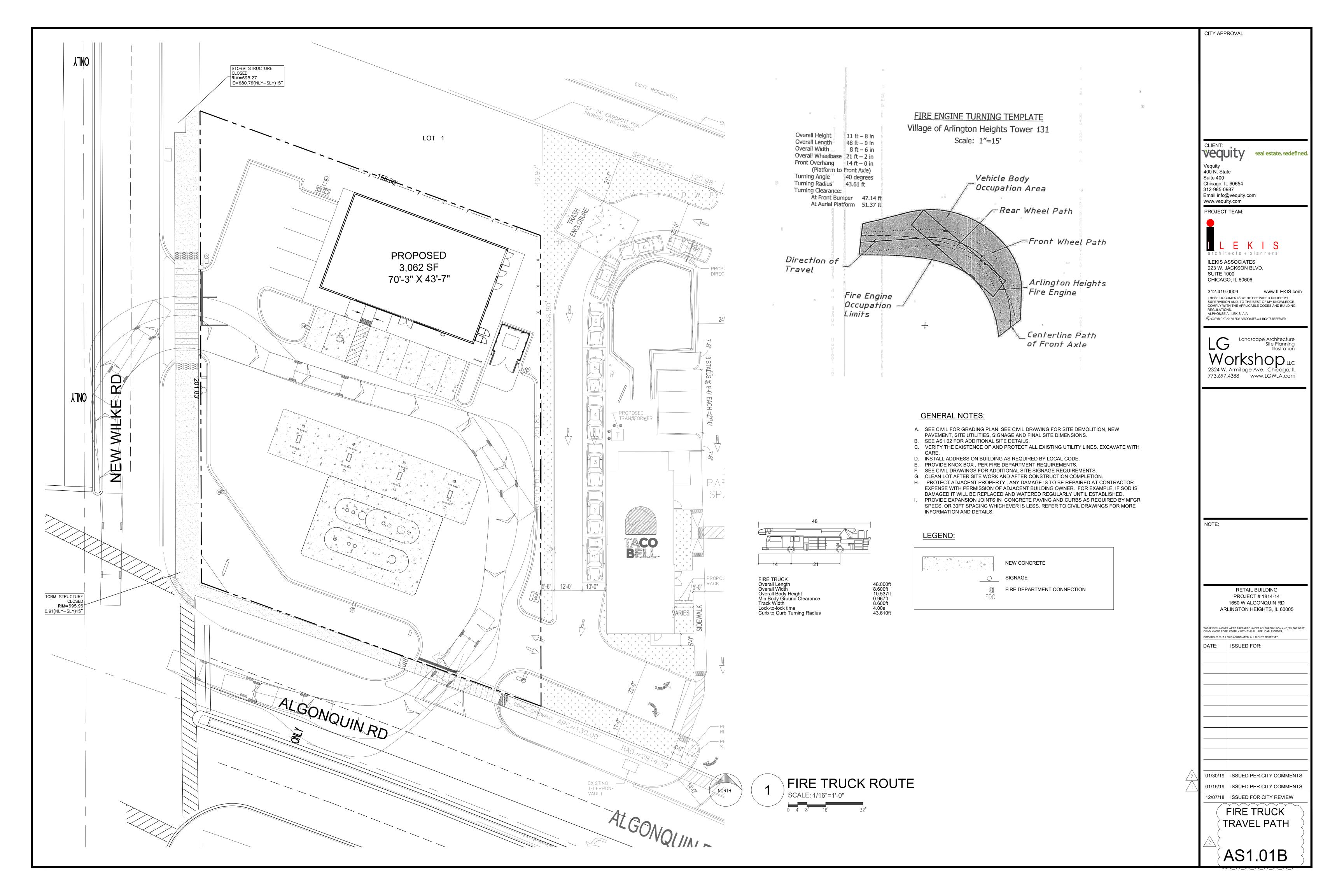
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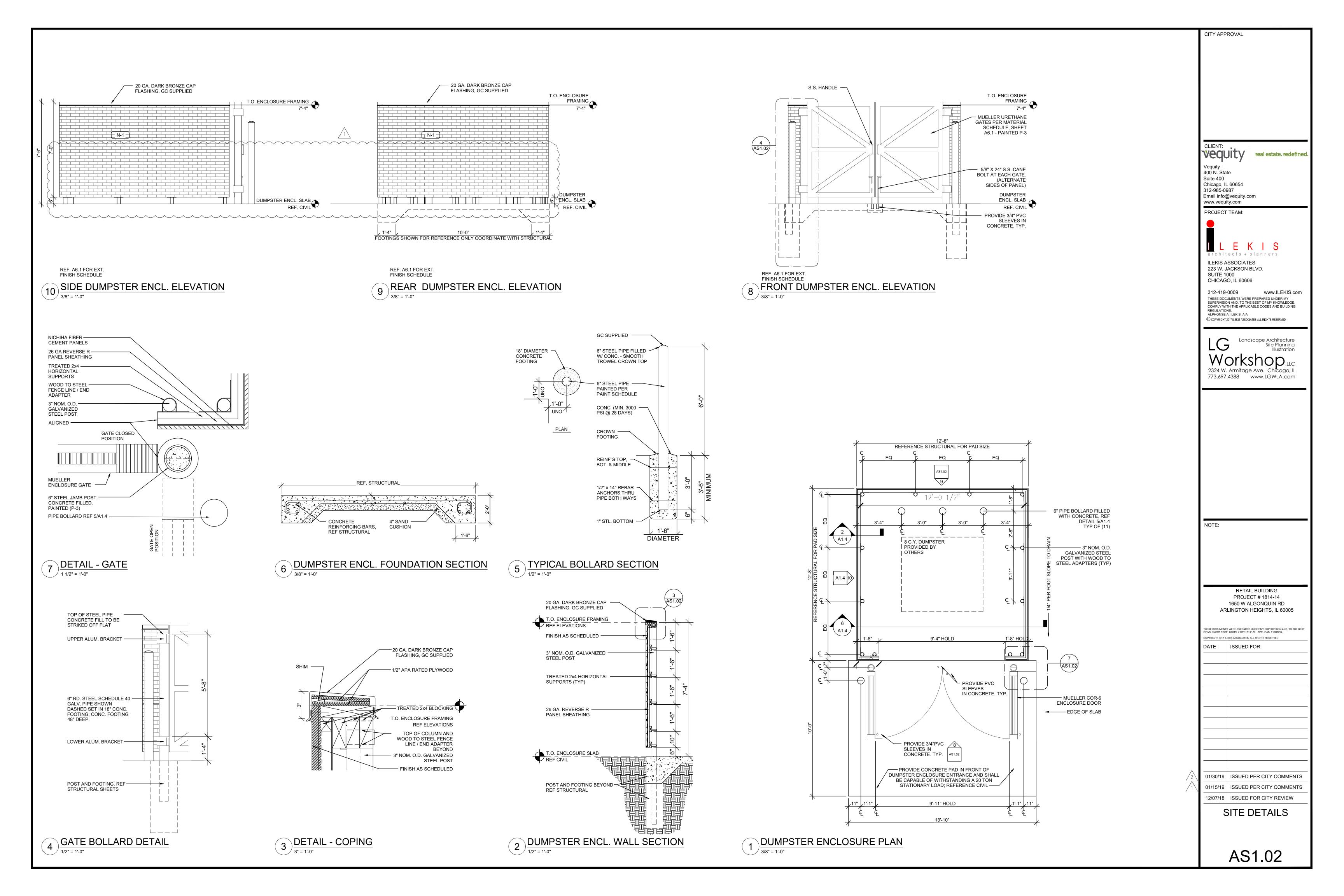
SITE KEY PLAN

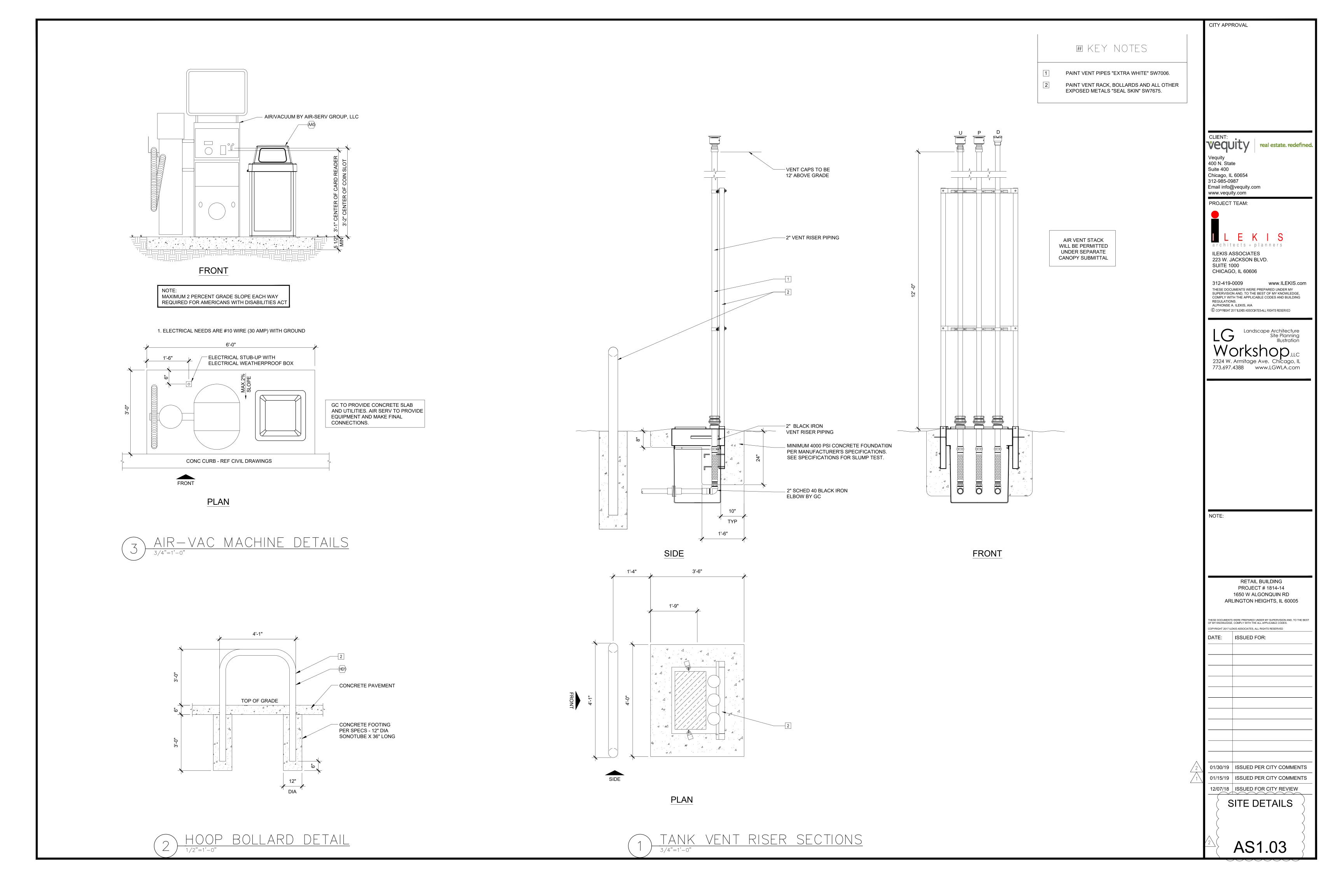
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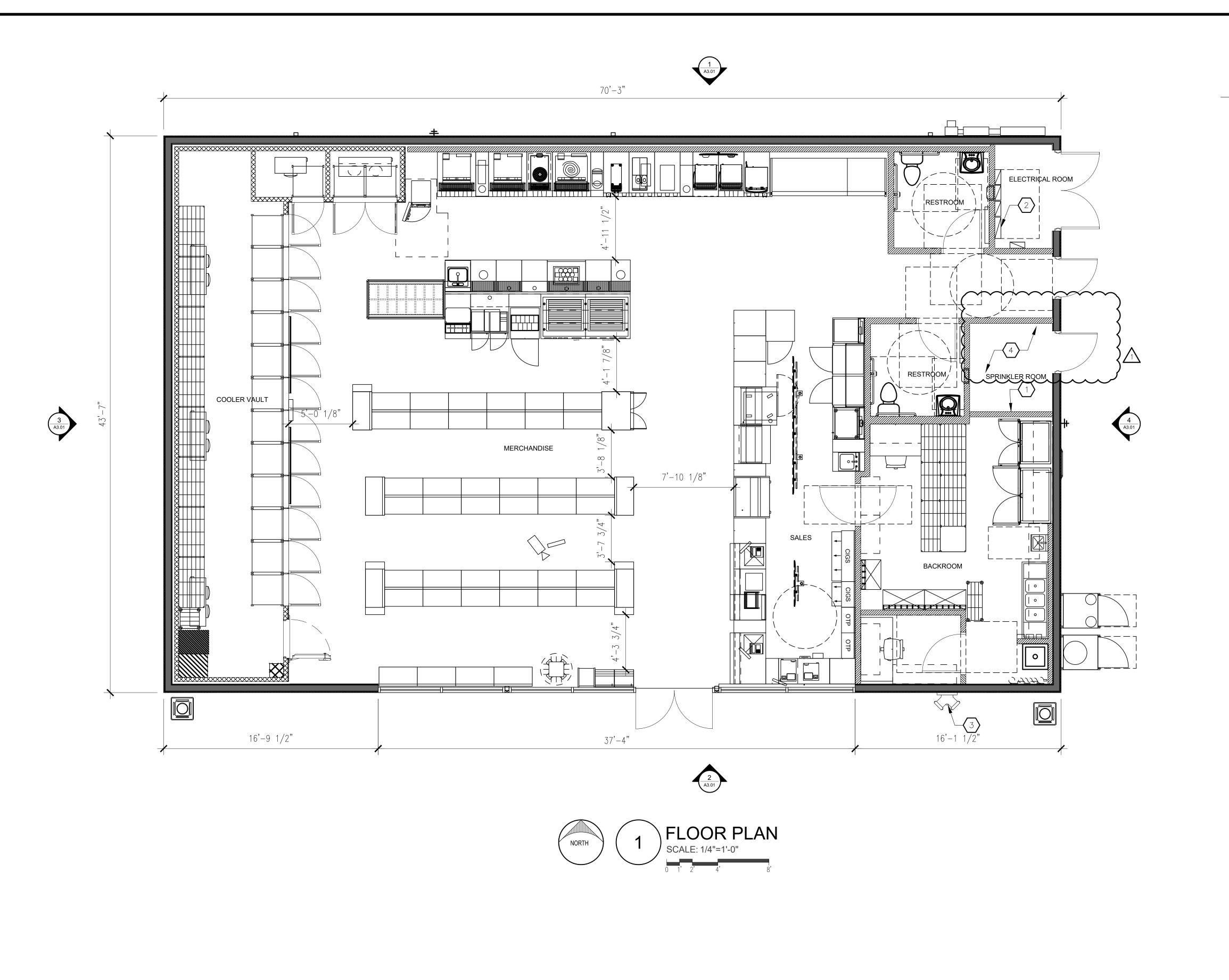












GENERAL NOTES

- A. FIRE SAFE ALL PENETRATIONS THRU PARTITIONS.
- B. PROVIDE ACCESSIBLE THRESHOLD AT EACH EXTERIOR DOOR-SEE DOOR SCHEDULE
- C. PRIME INTERIOR WALLS, COLUMNS TRIM AND DOOR FRAMES
- D. SEE STRUCTURAL FOR CONTROL AND ISOLATION JOINTS AT CONCRETE SLAB AND AROUND COLUMNS
- E. CONTACT OWNER REGARDING HOW THEY WANT TO REKEY THE LOCK FOR THE MAIN ENTRY VS THE SERVICE DOOR, LANDLORD ROOM TO HAVE ELECTRONIC KEY PAD KEY LOCK.
- F. ARABIC NUMERALS AT LEAST FOUR INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES SHOWING THE ADDRESS OF THE BUILDING SHALL CONTRAST WITH THE BACKGROUND, SHALL BE CONSTRUCTED OF DURABLE MATERIALS, BE PERMANENTLY INSTALLED AND BE READILY VISIBLE. SCRIPT OR WRITTEN NUMBERS ARE NOT PERMITTED. ADDITIONAL NUMBERS SHALL ALSO BE PLACED ON THE SIDE OF THE BUILDINGS STREET ADDRESS.
- G. AT SERVICE DOORS USED AS EXIT/ACCESS FOR FIRE FIGHTING, ARABIC NUMERALS A MINIMUM OF FOUR INCHES IN HEIGHT WITH A MINIMUM STROKE OF 0.5 INCH SHALL BE APPLIED TO THE ADDITIONAL DOOR TO INDICATE THE ADDRESS. THE ADDRESS SHALL BE VISIBLE FROM THE PARKING LOT OR FIRE APPARATUS ACCESS.
- H. THIS IS A SPRINKLERED BUILDING PER REQUIREMENT OF VILLAGE OF ARLINGTON HEIGHTS.

SEE FP DRAWINGS FOR LAYOUT.

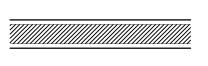
- I. SEE STRUCTURAL FOR CONTROL JOINTS AND EXPANSION JOINTS.
- J. ALL JOINT SYSTEMS IN RATED WALL ASSEMBLIES SHALL COMPLY WITH <u>UL 2079</u>.
 K. ANY PENETRATIONS THROUGH RATED ASSEMBLIES SHALL COMPLY WITH <u>UL 263</u>.
- L. PROVIDE A KNOX BOX TO ENABLE THE FIRE DISTRICT TO HAVE ACCESS TO THE BUILDING AND THE BUILDING'S FIRE PROTECTION FEATURES.
- M. G.C. TO PROVIDE PORTABLE FIRE EXTINGUISHERS WITHIN THE BUILDING. THE TYPE, SIZE, AND SPACING MUST MATCH THE SPECIFIC HAZARD THEY ARE TO PROTECT. CONTACT THE FIRE DISTRICT FOR APPROVAL OF THE TYPES AND LOCATIONS OF PORTABLE FIRE EXTINGUISHERS TO BE USED PRIOR TO FINAL OCCUPANCY.

⟨#⟩ KEYED NOTES

- METAL LADDER WITH ROOF HATCH.
- 2. ELECTRICAL PANEL.
- 3. SIAMESE CONNECTION.
- 4. FIRE SPRINKLER RISER .

WALL LEGEND

NEW SIP WALL SYSTEM



PROPOSED WORK NOTE

NEW MTL. STUD WALL

Vequity
400 N. State
Suite 400
Chicago, IL 60654

PROJECT TEAM:

Email info@vequity.com

312-985-0987

www.vequity.com

SUITE 1000

ALPHONSE A. ILEKIS, AIA

CITY APPROVAL



CHICAGO, IL 60606

312-419-0009 www.ILEKIS.com
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Site Planning
Illustration
Workshop,LLC
2324 W. Armitage Ave. Chicago, IL
773.697.4388 www.LGWLA.com

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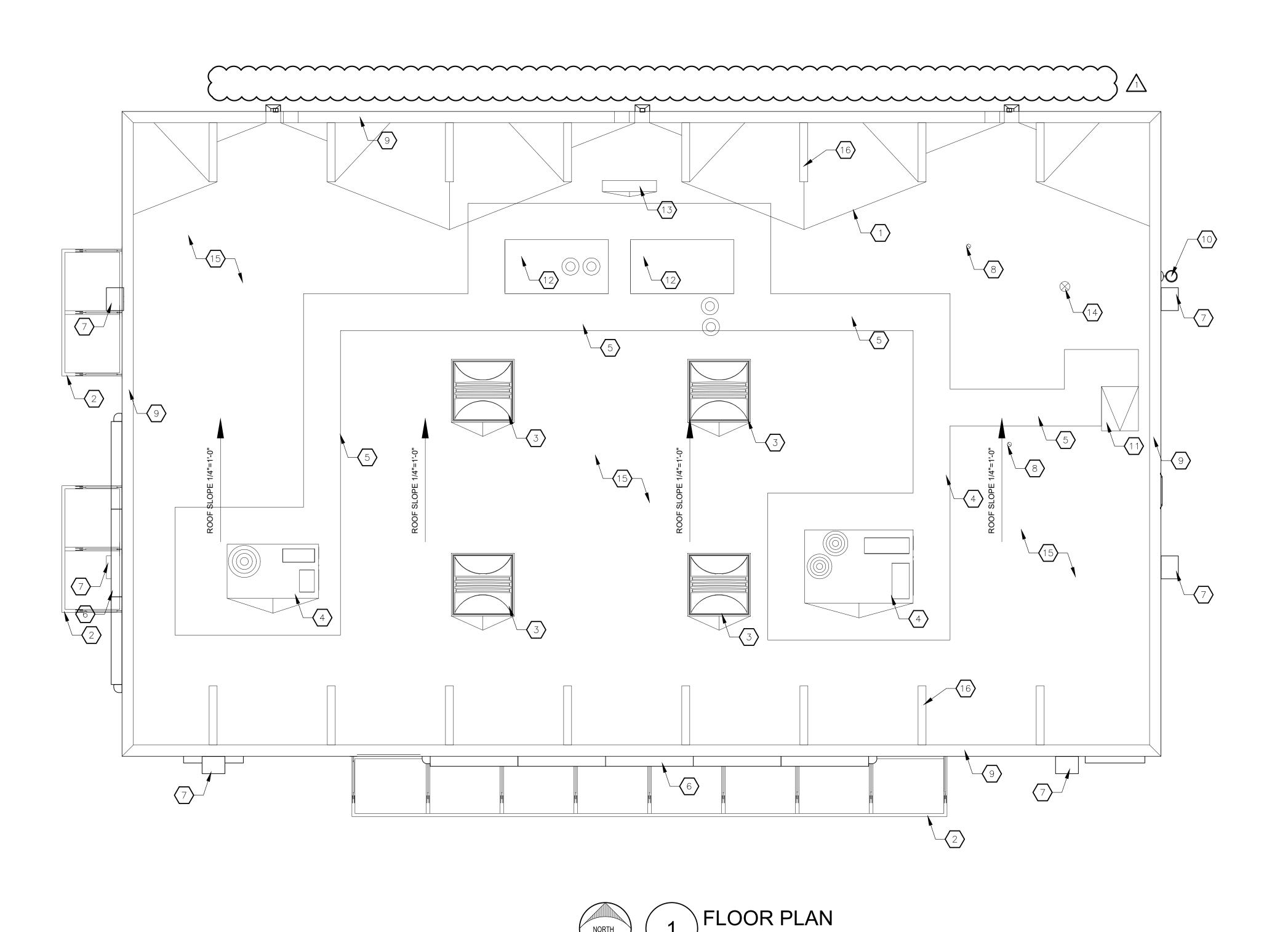
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FLOOR PLAN

A1.01



⟨#⟩ KEYED NOTES

- 1. CRICKET W/ TAPERED INSULATION TYP.
- 2. MAPES CANOPY COMES IN 5'-0" SECTIONS AND 24" HANGER ROD HEIGHTS. ALL CUSTOM CANOPY DESIGNS HAVE A LEAD TIME OF 7-8 WEEKS.
- 3. SUNOPTICS PRISMATIC SKYLIGHT, 4040 SIGNATURE SERIES, TYP.
- 4. ROOF TOP UNIT.
- 5. WALKING PAD TO BE A MINIMUM 30" AROUND MECHANICAL UNIT.
- 6. SIGNAGE BY OTHERS.
- 7. WALL PACK LIGHTS TYP.
- 8. PLUMBING VENT; REF PLUMBING SHEETS.
- 9. PRE-FINISHED METAL CAP FLASHING DARK BRONZE TYP.
- 10. EMERGENCY LIGHTING REF: ELECTRICAL
- 11. ROOF ACCESS HATCH.
- 13. REFRIGERANT PIPE PORTAL.
- 10. 11.2.11.02.10.11.1.1.2.1.01(1).12.
- 14. EXHAUST DUCT; REF PLUMBING SHEETS.

12. FLEXPACK REF MECHANICAL SHEETS.

- 15. SINGLE PLY ROOFING OVER SIPS PANELS
- 16. KICKERS TYP.

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Vequity
400 N. State
Suite 400
Chicago, IL 60654
312-985-0987
Email info@vequity.com

CITY APPROVAL

PROJECT TEAM:



223 W. JACKSON BLVD.

SUITE 1000
CHICAGO, IL 60606

312-419-0009 www.ILEKIS.com
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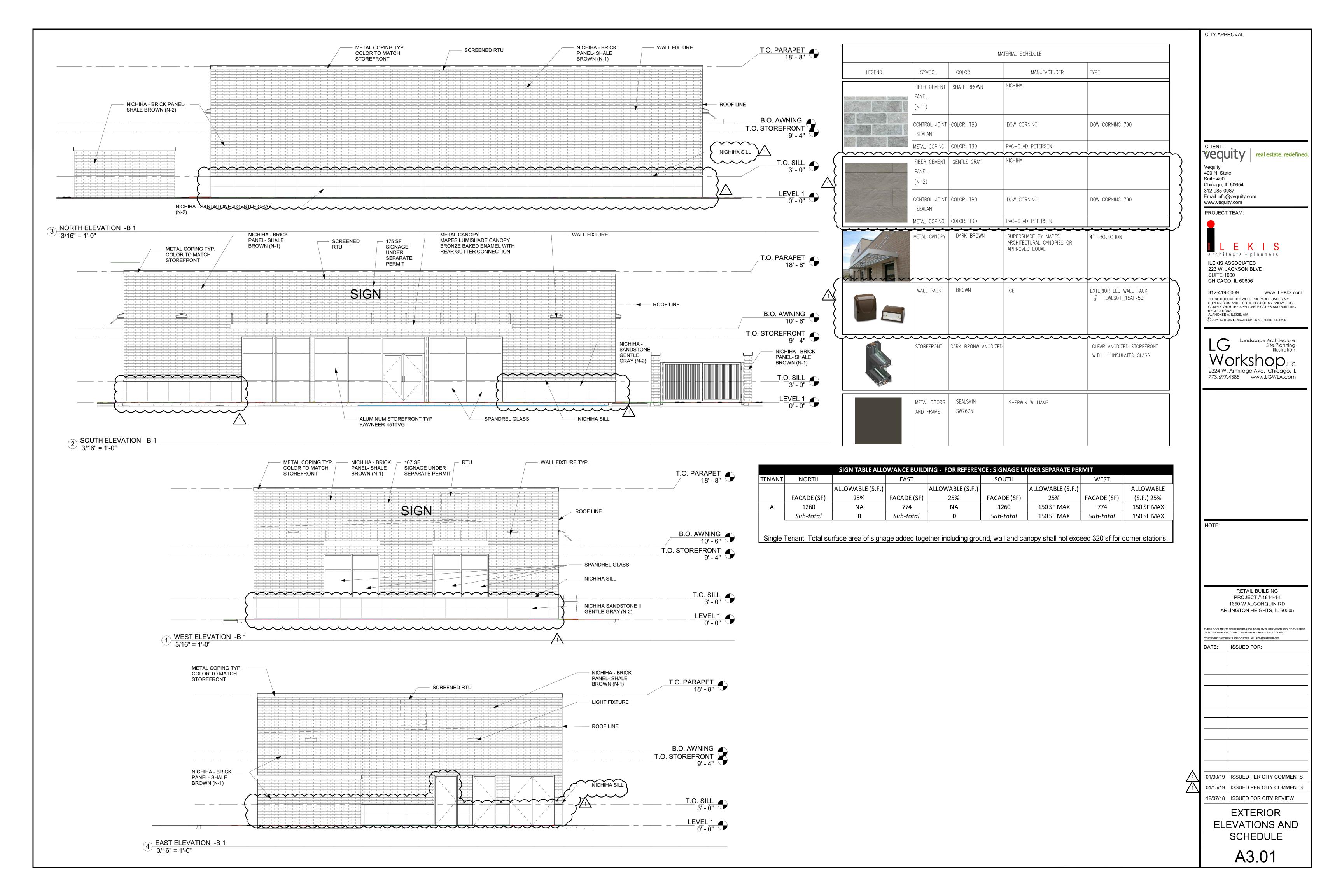
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ROOF PLAN

A2.01







1 3D VIEW SCALE:



2 3D VIEW SCALE:

CITY APPROVAL

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real estate. redefined.

Vequity
400 N. State
Suite 400
Chicago, IL 60654
312-985-0987
Email info@vequity.com
www.vequity.com

PROJECT TEAM:

L E K I S architects + planners

ILEKIS ASSOCIATES
223 W. JACKSON BLVD.
SUITE 1000
CHICAGO, IL 60606

312-419-0009 www.ILEKIS.com
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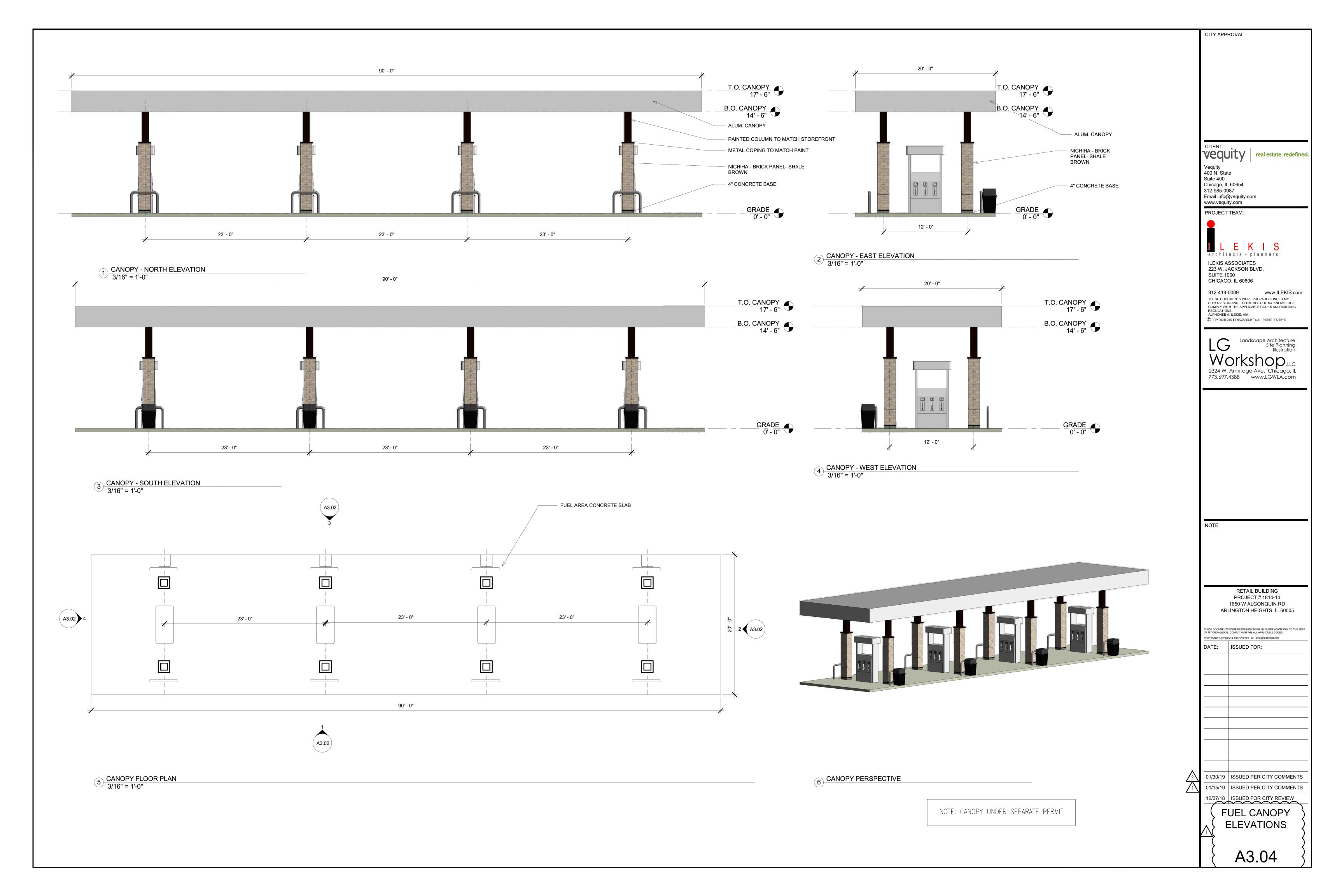
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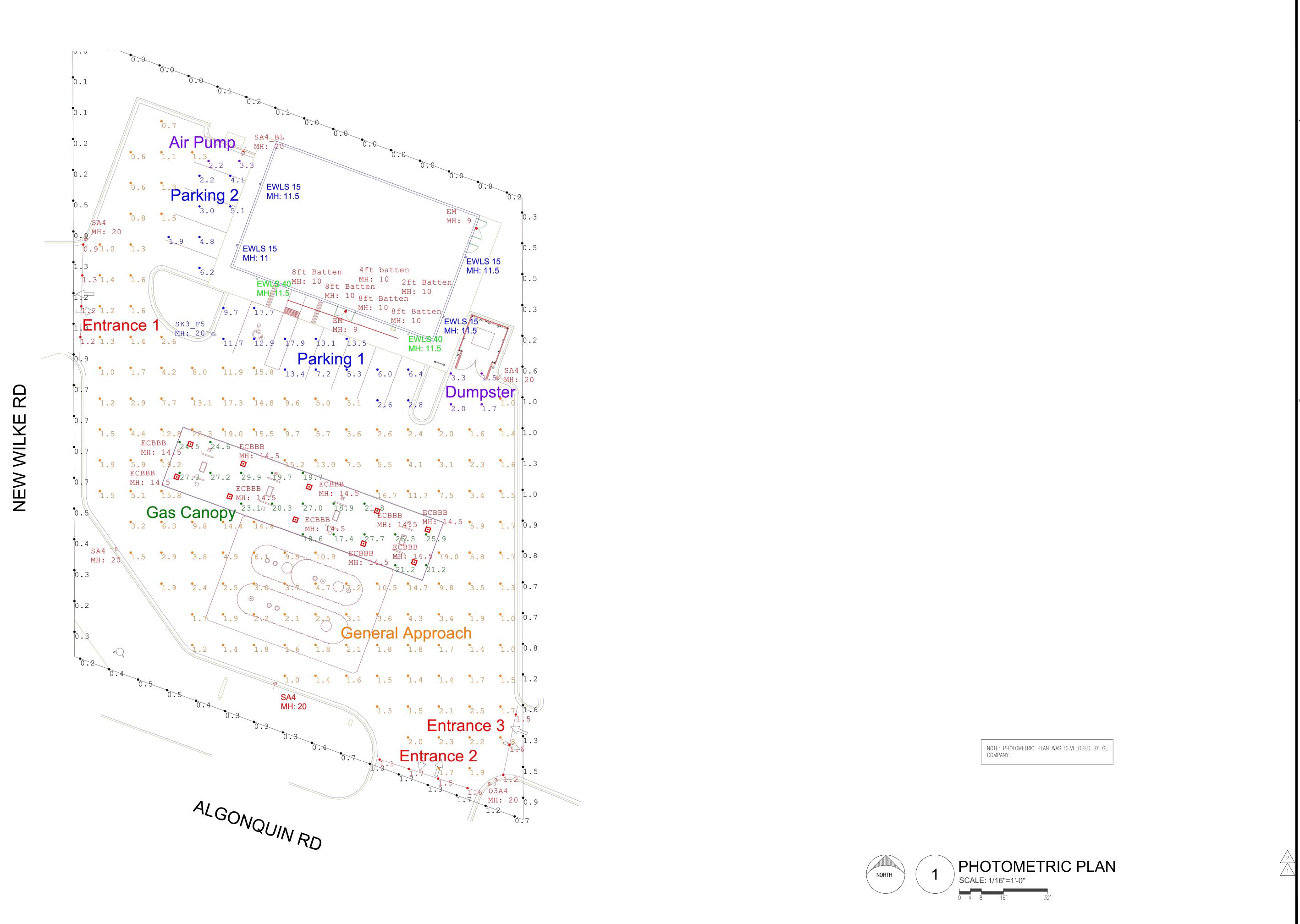
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3D VIEWS

A3.03

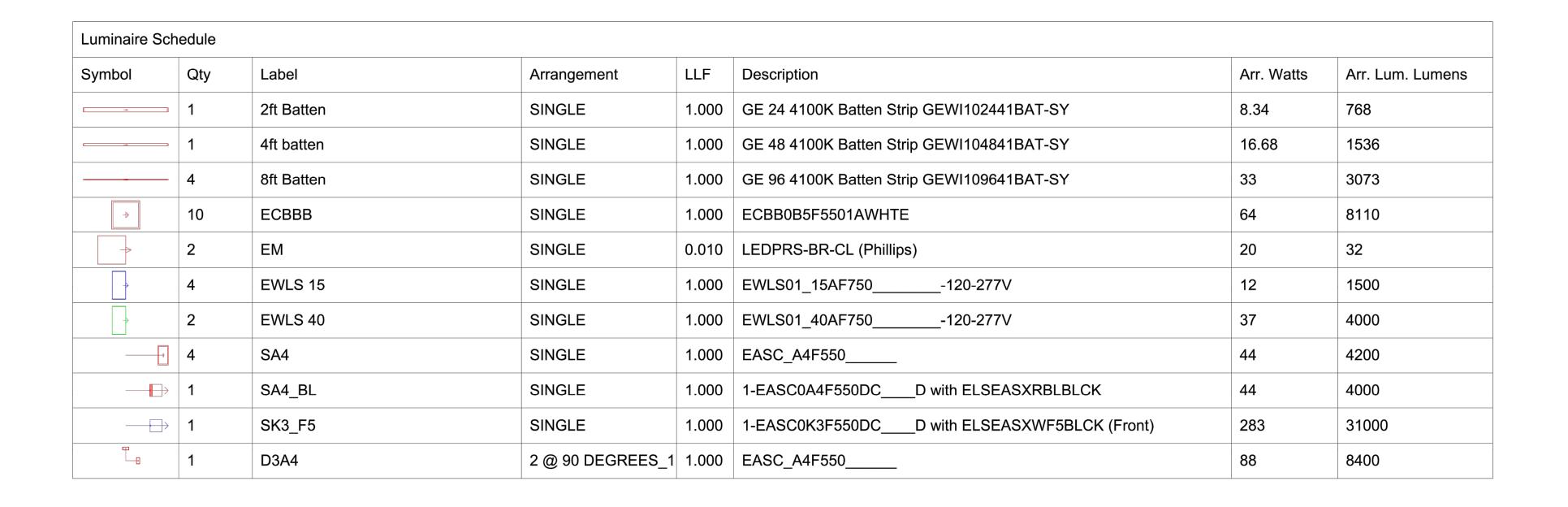




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400 N. State
Suite 400
Chicago, IL 60654
312-985-0987
Email info@vequity.com www.vequity.com PROJECT TEAM: ILEKIS ASSOCIATES 223 W. JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606 312-419-0009 www.ILEKIS.com THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE APPLICABLE CODES AND BUILDING REGULATIONS. ALPHONSE A. ILEKIS, AIA © COPYRIGHT 2017 ILEKIS ASSOCIATES-ALL RIGHTS RESERVED Landscape Architecture
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Illustration 2324 W. Armitage Ave. Chicago, IL 773.697.4388 www.LGWLA.com NOTE: RETAIL BUILDING PROJECT # 1814-14 1650 W ALGONQUIN RD ARLINGTON HEIGHTS, IL 60005 DATE: ISSUED FOR: 01/30/19 ISSUED PER CITY COMMENTS 01/15/19 ISSUED PER CITY COMMENTS 12/07/18 | ISSUED FOR CITY REVIEW PHOTOMETRIC PLAN

PH1.01

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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Air Pump	Illuminance	Fc	2.75	3.3	2.2	1.25	1.50
Dumpster	Illuminance	Fc	2.13	3.3	1.5	1.42	2.20
Entrance 1	Illuminance	Fc	1.15	1.3	0.9	1.28	1.44
Entrance 2	Illuminance	Fc	1.48	1.7	1.1	1.35	1.55
Entrance 3	Illuminance	Fc	1.43	1.6	1.2	1.19	1.33
Gas Canopy	Illuminance	Fc	23.29	29.9	17.4	1.34	1.72
General Approach	Illuminance	Fc	4.79	22.3	0.6	7.98	37.17
Parking 1	Illuminance	Fc	10.01	17.9	2.6	3.85	6.88
Parking 2	Illuminance	Fc	3.90	6.2	1.9	2.05	3.26
Property Line	Illuminance	Fc	0.56	1.7	0.0	N.A.	N.A.

City Ordinance:
Property line cannot exceed
0.1FC adjacent to residential
and 2FC adjacent to business.

Dut to the ordinance, this design does not meet 7-Eleven spec.

Standard 7-Eleven Lighting Specification				
10FC AVG				
10FC				
30FC				
10FC				
10FC				
3FC				
NO SPEC				
NO SPEC				



NOTE: PHOTOMETRIC PLAN WAS DEVELOPED BY GE COMPANY.

	CITY APPROVAL
	CLIENT:
	VEQUITY real estate. redefined
	Vequity 400 N. State
	Suite 400 Chicago, IL 60654
	312-985-0987 Email info@vequity.com
	www.vequity.com
	PROJECT TEAM:
	LEKIS
	architects + planners
	ILEKIS ASSOCIATES 223 W. JACKSON BLVD.
	SUITE 1000 CHICAGO, IL 60606
	312-419-0009 www.ILEKIS.com
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PH1.02

TREE PROTECTION &

REMOVAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS AND PERMISSIONS TO PRUNE, REMOVE, AND/OR TRANSPLANT ANY TREES ON SITE.
- 2. DEAD AND DYING MATERIAL ON THE SITE SHALL BE REMOVED OR PRUNED. MATERIALS NOT LABELED ON THE PROTECTION PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.
- 3. DURING CONSTRUCTION EXISTING TREES OVER FOUR INCHES IN CALIPER SHALL BE PROTECTED WITH BARRIER FENCING.
- 4. BARRIER FENCING SHALL BE OF A RIGID MATERIAL SUCH AS WOODEN SNOW FENCING, BRIGHTLY COLORED PLASTIC CONSTRUCTION FENCING, CHAINLINK FENCING, AND SHALL BE INSTALLED AT THE PERIPHERY OF THE DRIP LINE OF THE TREE OR AT A DISTANCE OF ONE FOOT (1') FOR EVERY CALIPER INCH AS MEASURED AT TWELVE INCHES (12") ABOVE THE ESTABLISHED GROUND LEVEL, WHICHEVER IS GREATER. SUCH FENCING SHALL BE SECURELY FASTENED TO METAL FENCE POSTS SPACED A MAXIMUM OF EIGHT FEET (8') APART.
- 5. BARRIER FENCING SHOWN ON THE PLAN IS APPROXIMATE. CONTRACTOR SHALL ADJUST LOCATION OF BARRIER TO POSITION OUTLINED IN COMMENT 4.
- 6. NO EXCESS SOIL OR ADDITIONAL FILL, BUILDING MATERIALS OR DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE BARRIER.
- 7. NO VEHICLES OR HEAVY MACHINERY SHALL BE ALLOWED TO WORK WITHIN THE BARRIER AREA.
- 8. NO ATTACHMENTS OR WIRES, OTHER THAN PROTECTIVE GUY WIRES, SHALL BE ATTACHED TO ANY OF THE TREES WHICH ARE WITHIN PROTECTIVE BARRIER.
- 9. TREES MARKED FOR PRUNING SHALL HAVE OVERGROWTH AND UP TO 30% MAX. OF SECONDARY AND TERTIARY LIMBS REMOVED BY A CERTIFIED ARBORIST, FOR LONG TERM TREE HEALTH, PROPER GROWTH, AND HABIT.
- 10. STUMPS OR TREE REMAINS NOT TO BE FULLY EXCAVATED SHALL BE REMOVED. A STUMP GRINDER SHALL BE USED TO REMOVE ALL REMAINING ROOTS AND WOODY MATERIAL. WITHIN A 24" RADIUS OF THE TREE TRUNK TO MIN. 6" BELOW GRADE. DISTURBED AREA SHALL BE BACKFILLED WITH COMPACTED TOPSOIL TO MEET SURROUNDING GRADES.
- 11. IF EXCAVATION ON SITE WILL IMPACT MORE THAN 25% OF THE ROOT SYSTEM OF AN EXISTING TREE, A CERTIFIED ARBORIST SHALL CONDUCT ROOT PRUNING OF THE IMPACTED TREE TO PROMOTE A HEALTHY ROOT SYSTEM.

TREE PROTECTION & REMOVAL LEGEND

- A EXIS

EXISTING TREE TO REMAIN

24" GLEDITSIA TRIAC. INERMIS

EXISTING TREE TO BE REMOVED

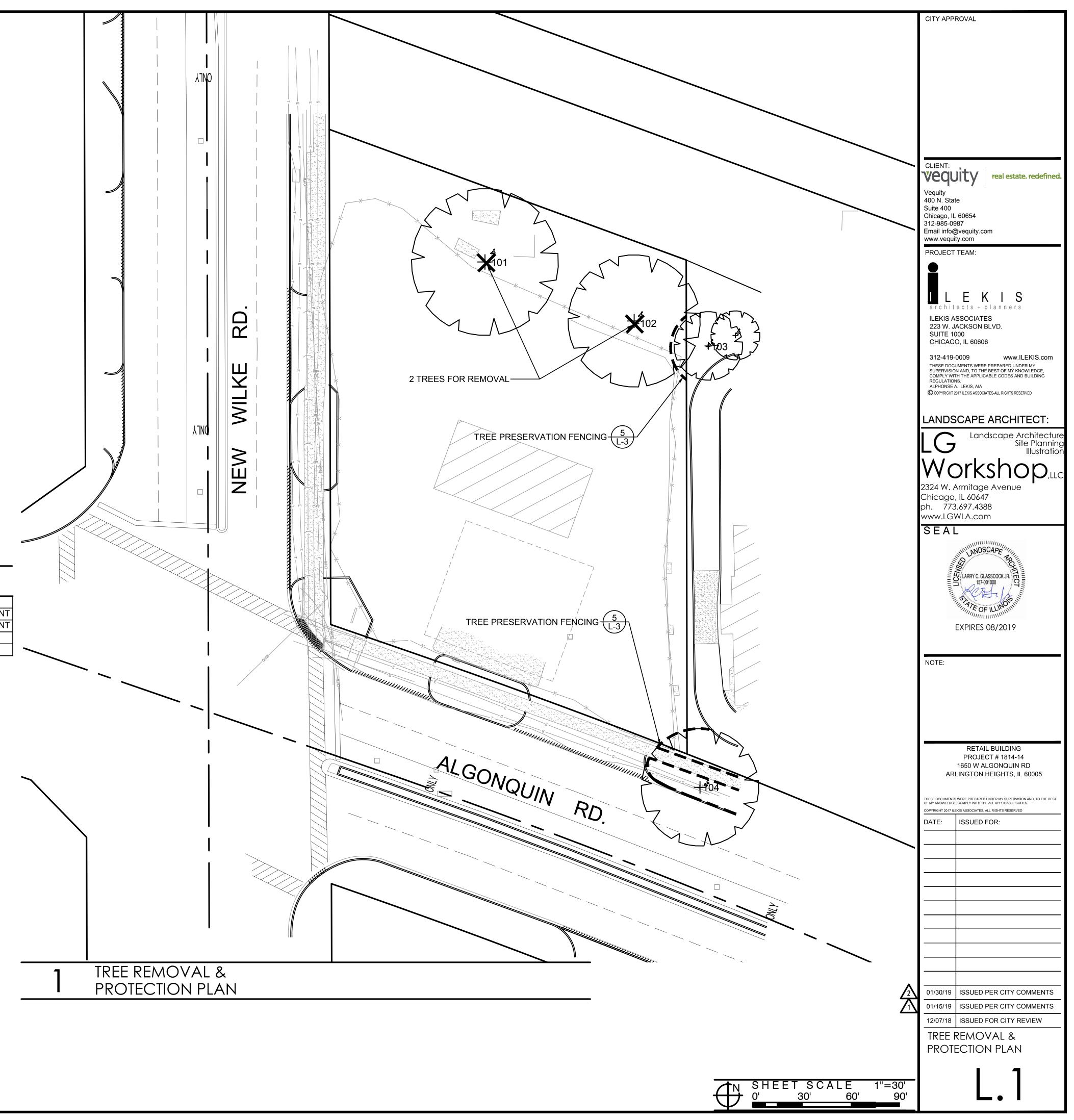
BARRIER FENCING TO BE INSTALLED

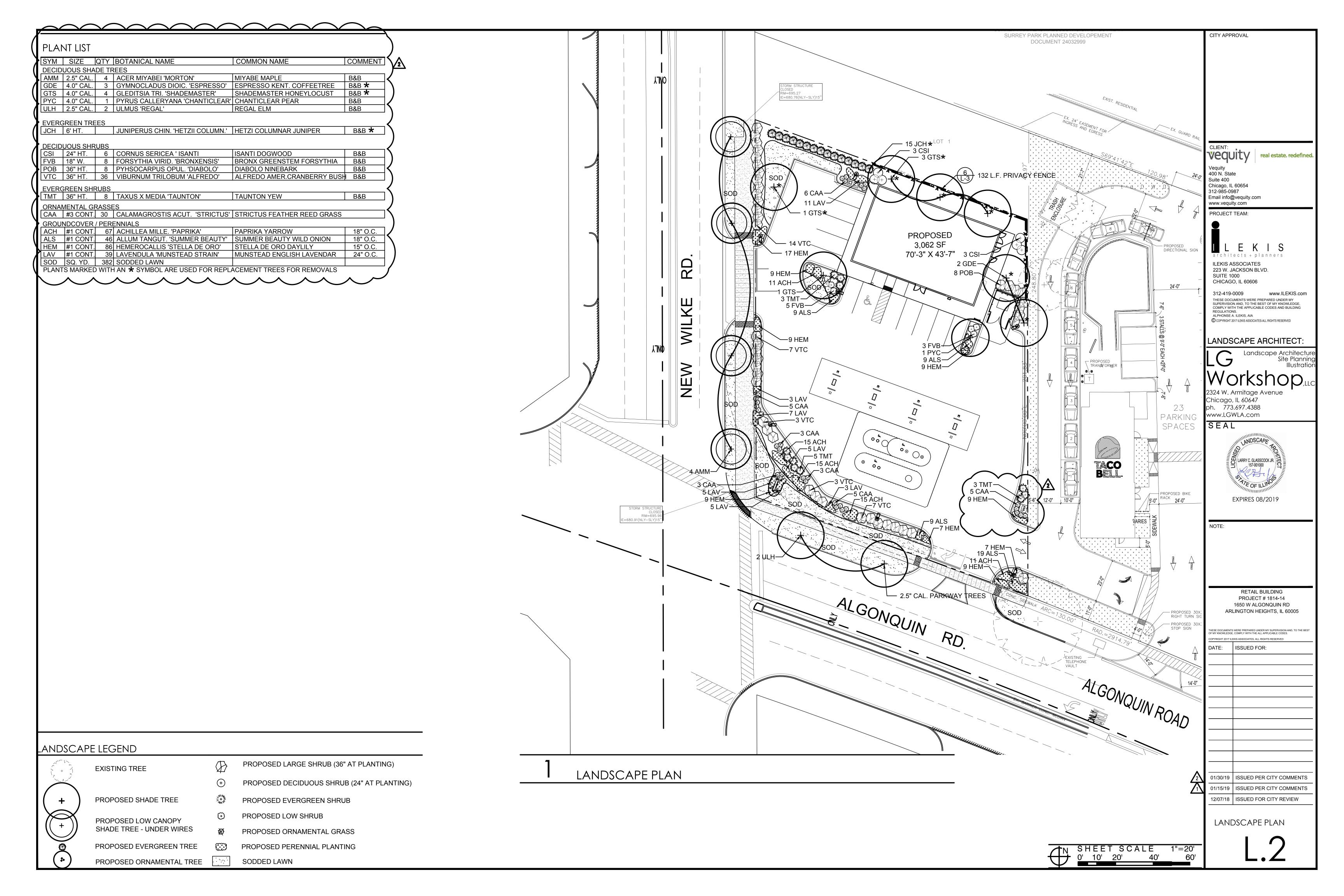
SURVE	YOF	EXISTING TREES			BEST 5/5	
TREE #	SIZE	SCIENTIFIC NAME	COMMON NAME	LOCATION	COND/FORM	COMMENTS
101	30"	GLEDITSIA TRIAC. INERMIS	HONEYSUCKLE	NORTH	4/3	REMOVE FOR DEVELOPMENT
102	27"	GLEDITSIA TRIAC. INERMIS	HONEYSUCKLE	NORTHEAST	4/4	REMOVE FOR DEVELOPMENT
103	14"	ACER PLATANOIDES	NORWAY MAPLE	NORTHEAST	5/4	PROTECT

SOUTHEAST

PROTECT

HONEYSUCKLE



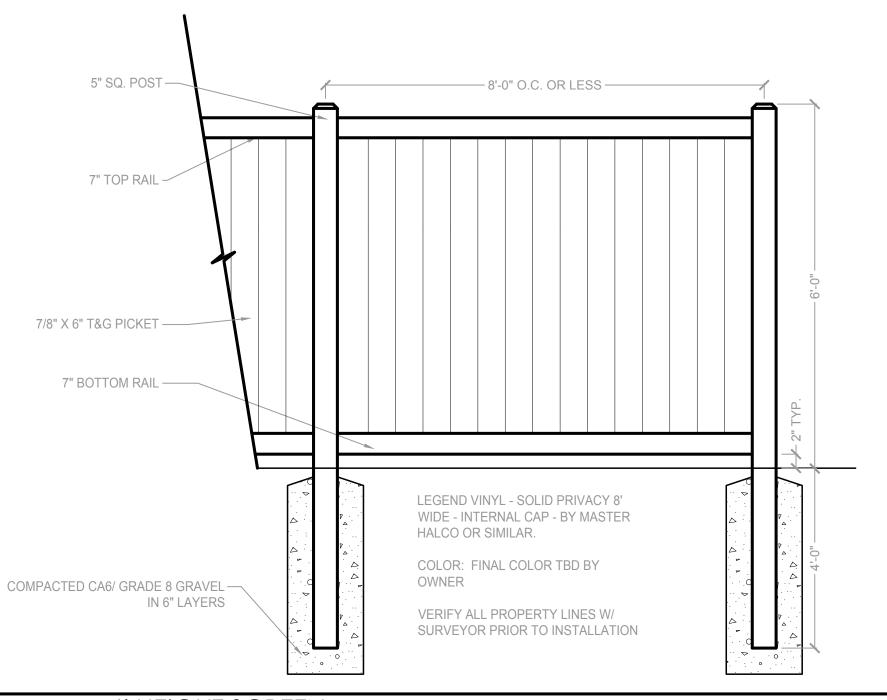


BARRIER FENCING AT DRIPLINE OF CANOPY FENCE POSTS 8' O.C. MAX. -BARRIER FENCING AT DRIPLINE OF CANOPY FENCE POSTS 8' O.C. MAX. -

LANDSCAPE NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS AND PERMISSIONS TO INSTALL THE PROPOSED IMPROVEMENTS
- ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL LANDSCAPING CODES AND ZONING ORDINANCES.
- PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL HAVE J.U.L.I.E (811) LOCATE AND MARK ALL UNDERGROUND UTILITY FACILITIES AND LINES.
- LANDSCAPE IMPROVEMENTS WITHIN THE WEBER AND REMINGTON R.O.W. SHALL NOT OCCUR UNTIL AFTER COMPLETIION OF IDOT IMPROVEMENTS.
- ALL PLANT MATERIALS (EXCEPT FOR GROUNDCOVER, ANNUALS, AND PERENNIALS) SHALL BE BALLED AND BURLAPPED STOCK AND MEET CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK (ANSI 260.1-1986) OR EQUAL. PLANT MATERIALS MUST BE SUPPLIED WITHIN A 150 MILE RADIUS OF PROJECT SITE WITHIN NORTHEAST ILLINOIS. CONTRACTOR MAY SUBSTITUTE CONTAINER STOCK FOR SHRUBS IF SIZES ARE EQUAL TO SPECIFIED B&B STOCK, WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- IF SPECIFIED PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, PLANTS WITH SIMILAR WHOLESALE VALUE AND LANDSCAPE CHARACTERISTICS MAY BE SUBSTITUTED UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT AND VILLAGE STAFF.
- SOIL IN GROUNDCOVER AND PERENNIAL BEDS SHALL BE AMENDED USING 2 INCHES OF MUSHROOM COMPOST INCORPORATED INTO THE TOP 4 INCHES OF SOIL.
- DISTURBED AREAS TO RECEIVE SOD SHALL BE TILLED TO 6" DEPTH AND FINE GRADED TO PROVIDE SMOOTH BASE SURFACE. IF EXISTING SOIL IS A MAJORITY OF CLAY OR UNSUITABLE, 2" OF FINE GRADED TOPSOIL SHALL BE ADDED PRIOR TO TILLING. EXISTING SOD AREAS SHALL HAVE TURF REMOVED WITH AUTOMATED SODCUTTER OR HAND SPACE TO REMOVE ALL BLADES AND ROOTS. 1" OF FIND GRADED TOPSOIL SHALL BE TILLED AND GRADED.
- 9. TREE AND SHRUB BACKFILL MIXTURE SHALL BE 2 PARTS EXIST. NATIVE TOPSOIL AND 1 PART SPHAGNUM PEAT MOSS W/ DECOMPOSED MANURE.
- 10. ALL SHRUB BEDS AND INDIVIDUAL TREE PLANTINGS, UNLESS OTHERWISE NOTED, SHALL RECEIVE A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. ALL GROUNDCOVER, ANNUAL AND PERENNIAL BEDS SHALL RECEIVE A 2 INCH LAYER OF THE SAME MULCH MATERIAL. COSTS FOR MULCH SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF PLANTINGS.
- 11. NURSERY TAGS (SPECIES, SIZE) FOR ALL SHADE TREES SHALL REMAIN ATTACHED TO TREES UNTIL FINAL APPROVAL FROM VILLAGE.
- 12. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT (BEGINNING ON THE OWNER'S POSSESSION DATE). THIS AGREEMENT SHALL COVER MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DEAD OR DAMAGED LANDSCAPING TO PRESERVE THE SAME QUANTITY AND QUALITY AS INITIALLY APPROVED.
- 13. CONTRACTOR SHALL PROVIDE A SEPARATE ESTIMATE FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM FOR COMPLETE EFFECTIVE COVERAGE OF ALL LAWN AREAS AND SHRUB BEDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL AND APPLY FOR ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK. IRRIGATION PLANS SHALL INCLUDE HUNTER PRO-C CONTROLLER WIWIRELESS. SOLAR SYNC STATION AND HUNTER SPRAYHEADS AND NOZZLES, AND AN RPZ BACKFLOW PREVENTER. 12 IRRIGATION WORK SHALL BE WARRANTY ALL LABOR AND MATERIALS FOR 1 FULL YEAR AFTER INSTALLATION AND TESTING.
- 14. SEEDED LAWN AREAS SHALL BE BID WITH A BID ALTERNATE FOR HYDROSEEDED LAWN. PRIOR TO SEEDING. 2" OF FINE TOPSOIL SHALL BE TILLED INTO EXIST SOIL MIXTURE. A MIX CONSISTING OF ROUGHLY 30 % BLUEGRASS / 30% FINE FESCUES / 40% RYE GRASSES (AND TACKIFIER FOR HYDROSEEDING) SHALL BE APPLIED AT MANUFACTURERS SPECIFIED RATES FOR NEW LAWNS BETWEEN 5 AND 10 LBS PER 1,0000 SF.
- 15. TREES AND LARGE SHRUBS SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET TO FIRE HYDRANTS, LIGHT AND TELEPHONE POLES, TRANSFORMERS OR OTHER ABOVE GROUND UTILITIES. ANY DISCREPANCY ON THE PLAN RELATED TO THESE PROXIMATE UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.





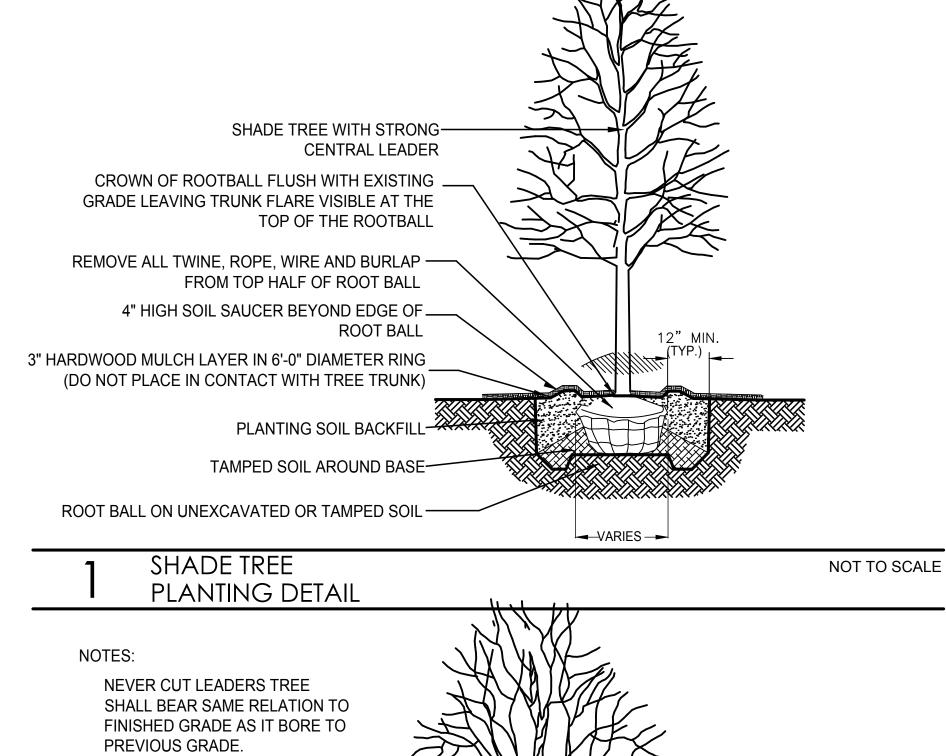
6' HEIGHT SCREEN FENCE DETAIL

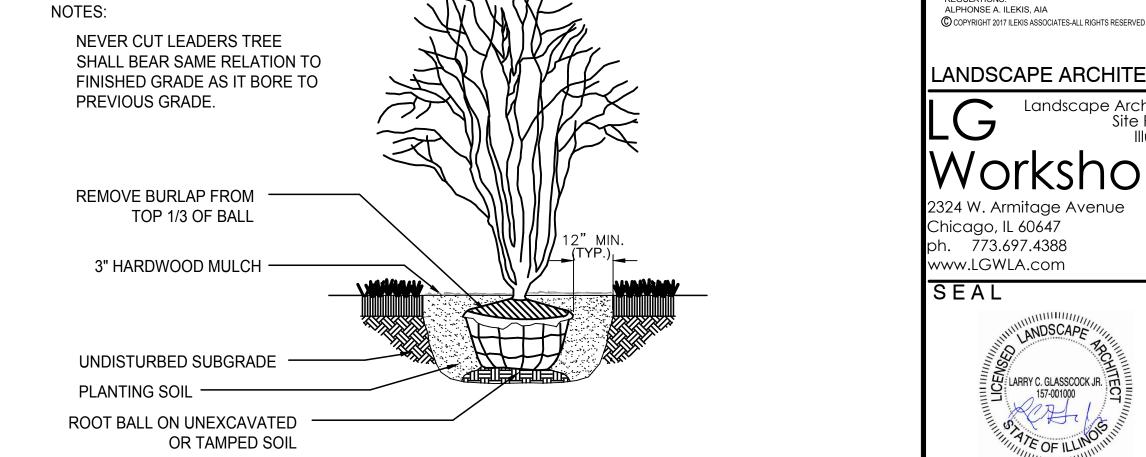
PROPOSED REPLACEMENT TREES

NOT TO SCALE

6 - 4" SHADE TREE, 15 - 6' EVERGREEN

	TOTAL SITE	29,406 SF				
	PROPOSED BUILDING	3,062 SF	3,062 SF			
	PROPOSED OPEN SPACE	5,670 SF				
28-6.15.a	36" PARKING LOT BUFFER HEDGE REQUIRED	197 L.F.				
	PROPOSED 36" BUFFER HEDGE	197 L.F.				
20-6.11.a	PARKWAY TREES REQUIRED	362' / 60	6 TREES			
	PROPOSED PARKWAY TREES	6 - 2.5" CAL. TRE	6 - 2.5" CAL. TREES			
28-6.15.5.4	TREE REPLACEMENT - TREES REMOVED	1 - 30" CAL.	1 - 27" CAL.			



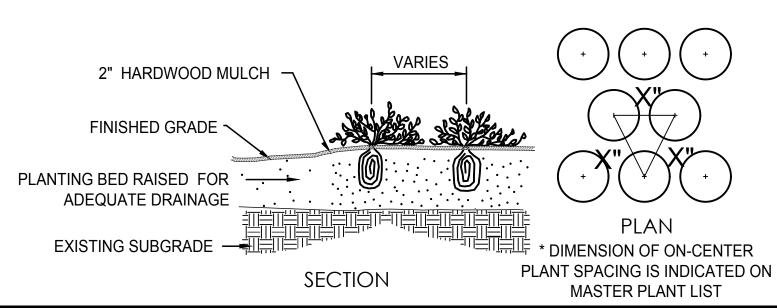


CROWN OF ROOTBALL FLUSH _ WITH EXISTING GRADE REMOVE BURLAP FROM TOP 1/2 OF BALL OR ENTIRE CONTAINER 3" HARDWOOD MULCH — PLANTING SOIL BACKFILL EXISTING SUBGRADE

ORNAMENTAL TREE

PLANTING DETAIL

SHRUB NOT TO SCALE PLANTING DETAIL



PERENNIAL / ANNUAL PLANTING DETAIL

real estate. redefined 400 N. State Suite 400 Chicago, IL 60654 312-985-0987 Email info@vequity.com www.vequity.com PROJECT TEAM:

CITY APPROVAL

 $\mathsf{E} \mathsf{K} \mathsf{I}$ ILEKIS ASSOCIATES 223 W. JACKSON BLVD.

THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE APPLICABLE CODES AND BUILDING REGULATIONS. ALPHONSE A. ILEKIS, AIA

SUITE 1000

CHICAGO, IL 60606

LANDSCAPE ARCHITECT: Landscape Architectu

Chicago, IL 60647 ph. 773.697.4388

www.LGWLA.com

NOTE:

NOT TO SCALE

NOT TO SCALE



RETAIL BUILDING PROJECT # 1814-14 1650 W ALGONQUIN RD ARLINGTON HEIGHTS, IL 60005

ISSUED FOR:

01/30/19 ISSUED PER CITY COMMENTS 01/15/19 ISSUED PER CITY COMMENTS 12/07/18 ISSUED FOR CITY REVIEW LANDSCAPE DETAILS &

NOTES