



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Sam Hubbard, Development Planner, Planning and Community Development
From: Deb Pierce, Plan Reviewer, Building & Life Safety Department
Subject: 1650 W Algonquin Rd – 7-11 Gas Station & Convenience Store – SUP for Gas Station
PC#: 18-026 – Round 1
Date: Dec. 28, 2018

General Comments:

The information provided is conceptual only and subject to a formal plan review.

Sam –

A permit from the Office of the State Fire Marshal is required for the project.



**Village of Arlington Heights, IL
Department of Building & Life Safety**

Fire Safety Division

Date: 12/11/2018

P.C. Number: 18-026

Project Name: SUP for Gas Station

Project Location: 1650 W. Algonquin Rd.

Planning Department Contact: Sam Hubbard, Planning and Community Development

General Comments:

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply.
2. Fire department connections shall be located on the street side of buildings, fully visible and located at the main front entrance of the building and within a maximum travel distance of 100 feet to the nearest fire hydrant and in accordance with the NFPA standard applicable to the system design. The location of fire department connections shall be approved.
3. A complete NFPA compliant fire suppression system is required. Supervised indicating control valves shall be provided at the point of connection to the riser on each floor.
4. Fire protection equipment and service rooms shall be identified in an approved manner.
5. Approved access shall be provided and maintained for all fire protection equipment to permit immediate safe operation and maintenance of such equipment.
6. A fully functional fire alarm shall be installed per NFPA 72. The alarm annunciator panel shall be located at the front entrance.
7. Shop drawings for fire alarm systems shall be submitted for review and approval prior to system installation.
8. Visible alarm notification appliances shall be provided in public areas and common areas. A visible exterior weatherproof alarm notification device shall be located within closest proximity to the front main entrance of the building or tenant space.
9. A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance.
10. A key box (Know Box) shall be provided and contain keys to gain necessary access as required by the fire code official.
11. Exit signs shall be illuminated at all times and have emergency power backup.
12. Buildings shall have approved address numbers.


Date 12-11-18

Reviewed By: _____


Fire Safety Supervisor

Memorandum

To: Sam Hubbard, Planning & Community Development
From: Cris Papierniak, Assistant Director of Public Works
Date: December 13, 2018
Subject: 1650 W Algonquin Rd P.C. #18-026 Round 1



With regard to the proposed SUP for Gas Station, I have the following comment:

- 1) The proposed 4" water line must be metered as it enters the building. It cannot enter on the west side of the building and connect to a meter on the east side.
- 2) An RPZ will be required if an irrigation system is installed. It will need to be installed on the irrigation supply line.
- 3) Water meter(s) and RPZ(s) will be sized once the plumbing plans have been submitted.
- 4) The proposed pressure connection to the existing 12" water main must be encompassed within a 60" vault.
- 5) The storm drain as designed shows collecting storm water from the pump area. You need to provide protection assurances (triple trap with automatic shut offs) that will prevent petroleum products from entering the Village storm system.
- 6) What are the plans for storm detention?
- 7) The southeast corner shows a shared access to adjacent site and leading to grass. How will this be designed with new property use?
- 8) You need to remove and replace any sidewalk serving the property that does not drain properly or is damaged due to construction.

If you have any questions, please feel free to contact me.

C. file

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-026
 Petitioner: Vequity LLC 8115 XLVII
 Owner: Michael Graham
 Contact Person: Kim Ward
 Address: 400 N. State Suite 400
Chicago, IL 60654
 Phone #: 312.925.0987
 Fax #: _____
 E-Mail: K.WARD@vequity.com

08
 P.I.N.# 08-08-401-028
 Location: USD W. Algonquin
 Rezoning: _____ Current: B-2 Proposed: B-2
 Subdivision: Lot 35 Section 8
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: _____ For: GIAS
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: GIAS
 Proposed: GIAS
 Site Gross Area: 29,313 SF
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: _____ YES NO COMMENTS

a. Underground Utilities

Water _____ NO

Sanitary Sewer _____ NO

Storm Sewer _____ NO

b. Surface Improvement

Pavement _____ NO

Curb & Gutter _____ NO

Sidewalks _____ NO

Street Lighting _____ NO

c. Easements

Utility & Drainage _____ YES*

Access _____ YES

SEE COMMENTS

2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC _____ X

b. IDOT _____ X

c. ARMY CORP _____

d. IEPA _____

e. CCHD _____

3. R.O.W. DEDICATIONS? _____

4. SITE PLAN ACCEPTABLE? _____

5. PRELIMINARY PLAT ACCEPTABLE? _____

6. TRAFFIC STUDY ACCEPTABLE? _____

7. STORM WATER DETENTION REQUIRED? _____

8. CONTRIBUTION ORDINANCE EXISTING? _____

9. FLOOD PLAIN OR FLOODWAY EXISTING? ...

10. WETLAND EXISTING? _____

YES NO COMMENTS

NO

NO

N/A

NO

YES

NO

NO

NO

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: WATERMARK ENB.DATE OF PLANS: 12/7/18

Michael L. Page
 Director
 Village Engineer

12/20/18
 Date

PLAN COMMISSION PC #18-026
7-11 Gas Station and Convenience Store
1650 W Algonquin Rd
SUP for Gas Station
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

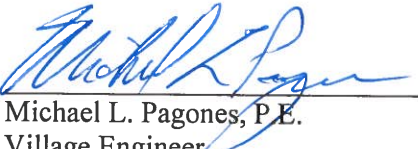
Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

13. Detention is required for the site, and an MWRD permit will be required. The proposed detention/retention facility will be a private system and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village for an editable version of the OUMA.
14. Final approval will require final engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. Any detention storage system located under pavement must be designed to AASHTO HS-25 loading standard. The Village's allowable release rate is 0.18 cfs/Ac. Use C=0.50 for pervious areas, C=0.95 for impervious areas. Use Bulletin 70 rainfall data. Clearly show the overflow route for the site. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.

15. The preliminary plans show the storm sewer connecting to New Wilke Rd and do not provide details of the sanitary sewer connection for the new building. Since the submittal Watermark Engineering has been made aware that the existing sewer along New Wilke Rd is a sanitary sewer, not a storm sewer. The plans must be revised. Provide all rims and inverts for the proposed sanitary and storm sewer. The Public Works Department Superintendent of Utilities will provide additional information as to the ownership of the sanitary sewer on New Wilke Rd. In the event the petitioner will be constructing a storm sewer and/or sanitary sewer across the adjacent vacant parcel to connect to the Village utilities, provide the necessary easements.
16. Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.
17. Fire lanes adjacent to buildings must have a minimum pavement width as directed by the Fire Department to accommodate the tower truck's outriggers. Fire lanes require a heavy duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-50 Binder, and 4" CA-6 Stone Subbase. Concrete driveway apron to be 8" thick.
18. All right-of-way improvements along Algonquin Rd shall be reviewed and approved by the Illinois Department of Transportation (IDOT).
19. The sidewalk through the entrances shall be 8" thick. In the event a traffic control device (stop sign) will be installed at the entrance / exit locations, ADA detectable warning panels shall be installed at the crossing. All ADA related items shall meet the requirements of the Public Rights-of-Way Accessibility Guidelines (PROWAG).
20. The existing sidewalk along the east side of New Wilke Rd is 8 ft wide and is currently designated as a bike path. The Village of Arlington Heights Bicycle and Pedestrian Plan calls for this path to be widened to 10 ft. The sidewalk through the New Wilke Rd entrance / exit should be constructed at 10 ft.
21. Provide a pavement patch detail for the New Wilke Rd entrance / exit. The pavement patch detail for the Algonquin Rd entrance / exit must meet IDOT specifications.
22. Coordinate the cross access with Taco Bell and provide the necessary easement documents.
23. Per Chapter 20, Section 20-106 of the Municipal Code, the applicant shall pay a permit fee for the plan inspection and review. The fee shall be equal to 3% of the approved Engineer's Estimate of Cost for the site development (not the building) and shall be collected prior to approval of the final engineering plans. Please provide an Engineer's Estimate for the site development construction cost.

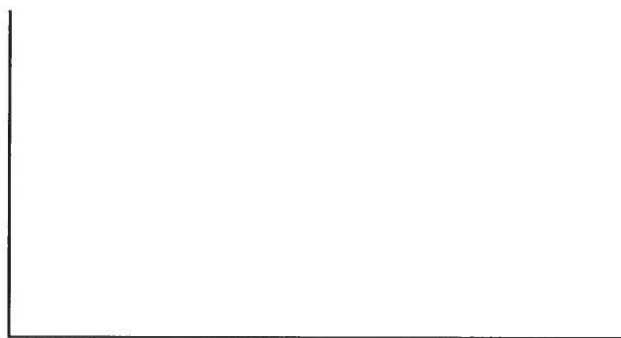
TRAFFIC

24. The petitioner is made aware that there is the possibility of intersection improvements at Algonquin Rd and New Wilke Rd that would involve a new right turn lane for westbound traffic on Algonquin Rd. To construct this right turn lane, right-of-way acquisition and modifications to existing curb, sidewalk, etc. may be needed along the north side of Algonquin Rd that could impact the frontage for 1650 W Algonquin Rd. For the site plan, the petitioner should anticipate the worst case scenario for a new 12' wide lane, 5' wide parkway, 5' wide sidewalk and 1' for the property line to be set form the sidewalk.
 - a. The petitioner should verify with IDOT the minimum setback design criteria for the gas tank.
 - b. The orientation and placement of the canopy and overhand over the gas pumps should account for the potential roadway setback constraints.
25. The traffic report provides the accident history however there is no breakdown about how many collisions might be related to vehicles entering or exiting this site. Has the analysis for the crash reports identified site related accidents?
26. With the current access control along Route 62, the driveway configuration should be constructed to the I.D.O.T. standard for right turn in/out only. Additionally, based upon the turning vehicle volumes in Wilke Road, full access from the Wilke Road driveway may not be assured.
27. The traffic report site generated volumes makes a gross reduction of 60% pass-by trips, but what is this based upon, which study?
28. What is the purpose of the cross access with Taco Bell? The proposed shared access connection to the Taco Bell site immediately adjacent to the Algonquin Road entrance driveway should be evaluated for conflicts.
29. Copies of catalog cuts for all exterior site lighting fixtures must be provided. All pole or building mounted, or under canopy fixtures must be glareless, sharp cut-off, optically controlled fixtures. Diffusing or prismatic lenses may not project below the surface of the fixture to project light laterally, especially on fixtures under the canopy. Based upon the mounting heights of the SA-4, SK3_F5, and EWLS, may also need to be evaluated for glare that may affect homes towards the north.


Michael L. Pagones, P.E. 12/20/18
Village Engineer Date

Attachments:

- Sample OUMA (4 pages)
- Fire Apparatus Tower 131 Specifications (1 page)



ONSITE UTILITY MAINTENANCE AGREEMENT

WHEREAS, _____, an (LLC? Corporation?), or its affiliates, ("RESPONSIBLE ENTITY") is the legal title holder of the following described real estate commonly referred to as _____ (*address*), Arlington Heights, Illinois, 6000_, containing _____ acres, more or less, situated in the Village of Arlington Heights, Illinois and legally described as follows: (the "PROPERTY"):

*** *Insert legal description, or attach as Exhibit A* ***

PIN Numbers:

WHEREAS, _____ (*print name*), ("OWNER") desires to develop the PROPERTY; and

WHEREAS, it is necessary to service said parcel with **sanitary sewers, storm sewers and stormwater management facilities, domestic water mains**; and

WHEREAS, the **sanitary sewers, storm sewers and stormwater management facilities, and domestic water mains** servicing the property are not located within public rights-of-way or dedicated easements; and

WHEREAS, the Village of Arlington Heights ("VILLAGE") does not maintain **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains** on privately owned property; therefore

1. It is hereby AGREED by the RESPONSIBLE ENTITY, its successors and assigns that at no expense to the VILLAGE, the RESPONSIBLE ENTITY, its successors and assigns shall:

- a. Maintain all sanitary sewers and appurtenances thereunto appertaining located upon said premises, all as shown on the Final Engineering Plans prepared by _____ (Engineering Firm) _____ dated _____, and approved by the VILLAGE, or any amended plans as agreed to and approved by both parties, copies which are on file with the Engineering Department of the VILLAGE.
- b. Maintain the water service line and appurtenances from the valve at the water main to the building.
- c. Maintain all storm sewers and appurtenances, including detention vault, located upon said premises.
- d. Maintain the utilities as itemized above in accordance with the latest edition of the Village of Arlington Heights Municipal Code.
- e. Maintain all private roadways, parking areas, and pavement lighting facilities located on said premises as shown on said Final Engineering Plans in accordance with the latest edition of the Village of Arlington Heights Municipal Code.

2. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the aforementioned **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains** in accordance with the requirements of the VILLAGE, or should they allow a public nuisance to exist, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

3. It is further AGREED that, barring a need for immediate action, should the RESPONSIBLE ENTITY not begin corrective action within four (4) hours of notification of an emergency situation where property damage is occurring or is in imminent danger of occurring as a result of dysfunction of the **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains**, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

4. It is further AGREED that the RESPONSIBLE ENTITY shall save the VILLAGE harmless from any and all claims for damages resulting from the VILLAGE interrupting service to the property due to the failure of the RESPONSIBLE ENTITY to perpetually maintain the systems as described above and any other claims or damages arising out of this Agreement and the ownership of the facilities described herein.

5. This Agreement shall be binding between all successors and assigns and shall be a covenant running with the land as here and before legally described.

6. This Agreement shall be recorded in Cook County, Illinois.

This Agreement is entered into the _____ day of _____, 20____.

For: _____

Name: _____

Signature: _____

Title: _____

State of Illinois)
) SS
County of Cook)

I, _____, a Notary in and for said County, in the State
aforesaid, CERTIFY that _____ personally known to me to be
the same person whose name is subscribed on the foregoing instrument appeared before me this
day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their
free and voluntary act, and as the voluntary act of

_____, an (LLC? Corporation?), for the uses and
purposes therein set forth.

GIVEN under my hand and Notarial seal this _____ day of _____, 20____.

Notary Public

For: Village of Arlington Heights,
an Illinois municipal corporation

Name: _____

Signature: _____

Title: _____

State of Illinois)
) SS
County of Cook)

I, _____, a Notary in and for said County, in the State

aforesaid, CERTIFY that _____ personally known to me to be
the same person whose name is subscribed on the foregoing instrument appeared before me this
day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their
free and voluntary act, and as the voluntary act of the **Village of Arlington Heights, an Illinois
municipal corporation**, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this _____ day of _____, 20____.

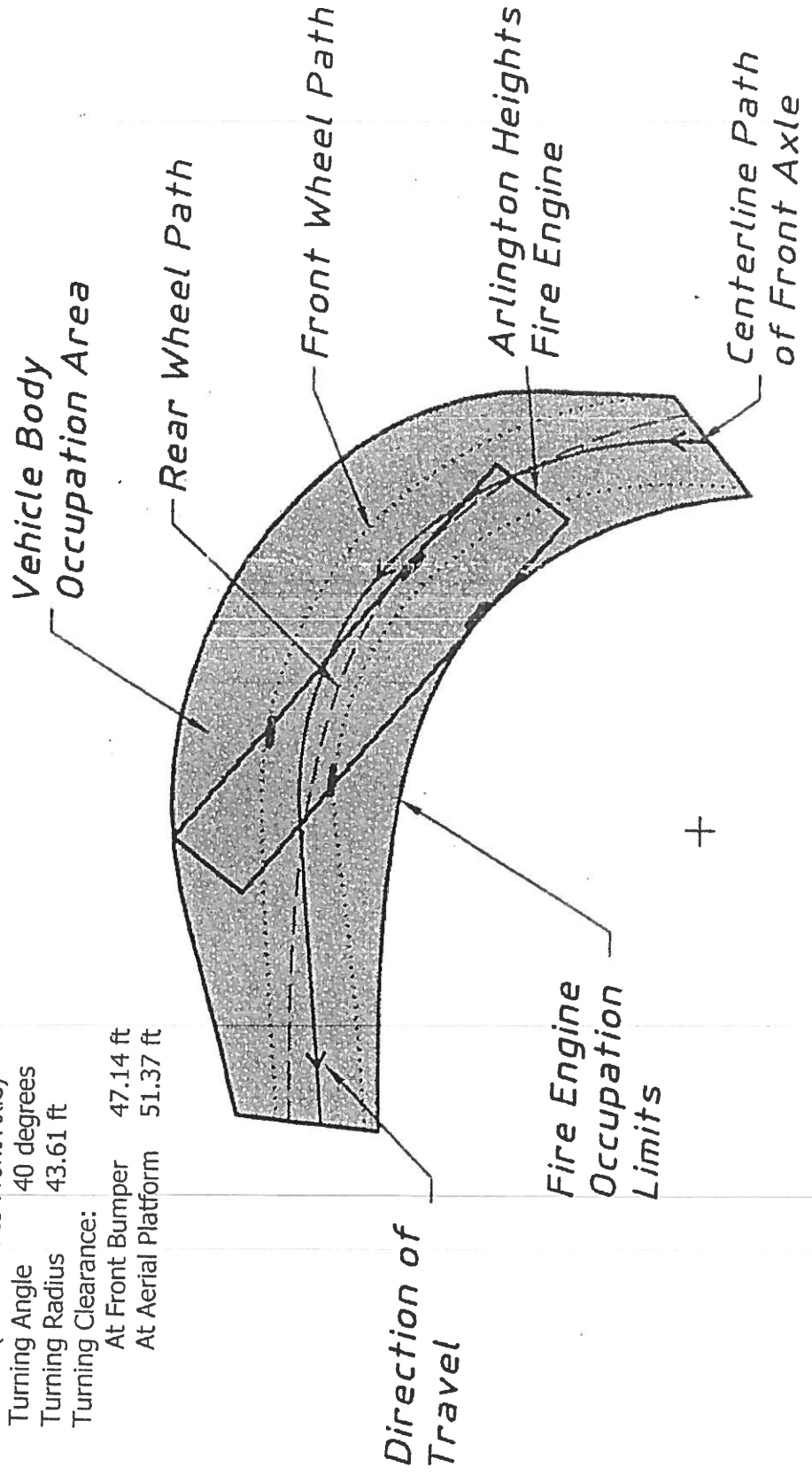
Notary Public

FIRE ENGINE TURNING TEMPLATE

Village of Arlington Heights Tower 131

Scale: 1"=15'

Overall Height	11 ft - 8 in
Overall Length	48 ft - 0 in
Overall Width	8 ft - 6 in
Overall Wheelbase	21 ft - 2 in
Front Overhang	14 ft - 0 in
(Platform to Front Axle)	
Turning Angle	40 degrees
Turning Radius	43.61 ft
Turning Clearance:	
At Front Bumper	47.14 ft
At Aerial Platform	51.37 ft





Arlington Heights Fire Department Plan Review Sheet

P. C. Number 18-026

Project Name

7-11 Gas Station

Project Location

1650 W. Algonquin Road

Planning Department Contact Sam Hubbard

General Comments

Round 1

General Comments:

1) Building is to be sprinkled per code.

2) The Fire Department Connection shall be located at the main front entrance of the building, be fully visible and accessible. It shall be located within a maximum travel distance of 100 feet to the nearest fire hydrant capable of delivering the required fire flows.

3) A Knox Box containing keys to access necessary parts of the building shall be mounted on the main front door of the building.

4) Install a fully operational annunciator panel or alarm panel at the main front entrance door.

**NOTE: PLAN IS CONCEPTUAL ONLY
SUBJECT TO DETAILED PLAN REVIEW**

Date December 13, 2018

Reviewed By: _____

LT. Mark Aleckson

Arlington Heights Fire Department

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

7-11 Gas Station/ Convenience Store
1650 W. Algonquin
PC# 18-026
Round 1

Review Comments

12/19/2018

1. Character of use:

The character of use is consistent with the area and is not a concern.

2. Are lighting requirements adequate?

Lighting should be up to Village of Arlington Heights code.

3. Present traffic problems?

There are no apparent traffic problems at this location.

4. Traffic accidents at particular location?

This is not a problem area in relation to traffic accidents.

5. Traffic problems that may be created by the development.

This development should not create any additional traffic problems.

6. General comments:

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

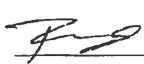
- Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations.

- Consider posting no trespassing / loitering/ no un-authorized use signage. The Arlington Heights Police Dept. has and utilizes trespass warning forms under qualifying circumstances when requested by property management.

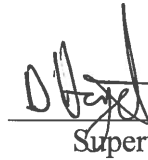
-Recommended to have an alarm system along with signage indicating there is an alarm on premise. Make sure all exterior doors have alarm company security signage clearly displayed.

- Recommended to install cameras (with recording capabilities) on the exterior and interior of store, to include a monitor at the checkout counter so employees have ability to monitor store interior and exterior, specifically by the restrooms. The design around the restroom creates a blind corner. Exterior surveillance should be able to monitor license plates at pumps for drive offs, patrons entering and exiting building, etc.

- Ensure employees have unobstructed views of the aisles- utilizing open floor plan, convex mirrors. Install mirrors in ceiling corners of store to improve visibility within store and down aisles.
- High value merchandise should be kept in secured/locked area behind counter
- Store front windows should be free of large posters and obstructions to increase visibility from outside in and vice versa.
- Recommended to have rear access door (northeast side) relocated so employees can have better view of door to deter theft; or install door buzzer/chimes to alert employee when door is open(ed)
- The exit door adjacent to the restrooms can provide an opportunity for theft. Consider

 #272

Brandi Romag, Crime Prevention Officer
Community Services Bureau

 #557

Supervisor's Signature

Arlington Heights Police Department

Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: policemail@vah.com.

Arlington Heights Police Department
200 E. Sigwalt Street
Arlington Heights, IL 60005-1499
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department
200 E. Sigwalt Street, Arlington Heights, IL. 60005
Attention: Police Administration

Print Form (To Mail)

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

IN CASE OF EMERGENCY PLEASE CALL:

Contact #1

Name

Address/City

Telephone Number

Cell Number

Contact #2

Name

Address/City

Telephone Number

Cell Number

Alarm System

☐ No

☐ Yes

Phone number:

Alarm Company Name

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-026
Petitioner: Vequity LLC 8115 XLVII
Owner: Michael Graham
Contact Person: Kim Ward
Address: 400 N. State St. Suite 410
Chicago, IL 60654
Phone #: 312.985.0987
Fax #:
E-Mail: K.WARD@vequity.com

P.I.N.# 08-08-401-028
Location: 1650 W. Algonquin
Rezoning: Current: B-2 Proposed: B-2
Subdivision: 35
of Lots: Current: Proposed:
PUD: For:
Special Use: For: gas
Land Use Variation: For:
Land Use: Current: gas
Proposed: gas
Site Gross Area: 29,313 sf
of Units Total: 1
1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

An exterior grease trap may be required by the Plumbing Inspector. Contact the Building Department for any questions.

Teresa Biline 12-18-18
Environmental Health Officer Date

[Signature] 12/19/18 Direc
tor Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-026
 Petitioner: Vequity US 8115 XLVII
 Owner: Michael Graham
 Contact Person: Kim Ward
 Address: 400 N. State St. Suite 400
Chicago, IL 60654
 Phone #: 312.935.0907
 Fax #: _____
 E-Mail: K.WARD@vequity.com

P.I.N.# 08-03-401-028
 Location: 1650 W. Algonquin
 Rezoning: _____ Current: B-2 Proposed: B-2
 Subdivision: 35
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: _____ For: gas
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: gas
 Proposed: gas
 Site Gross Area: 29,313 sq ft
 # of Units Total: 1
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

- | | <u>YES</u> | <u>NO</u> | |
|----|------------|-----------|---|
| 1. | <u>X</u> | _____ | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <u>X</u> | _____ | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | <u>X</u> | _____ | VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.) |
| 4. | _____ | <u>X</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.) |
| 5. | _____ | <u>X</u> | SUBDIVISION REQUIRED? |
| 6. | _____ | <u>X</u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.) |

Comments:

PLEASE SEE ATTACHED COMMENTS

Sam Auerbach

12-21-18

Date



Planning & Community Development Dept. Review

December 21, 2018

REVIEW ROUND 1

Project: 7-11 Gas Station
1650 W. Algonquin Rd.

Case Number: PC 18-026

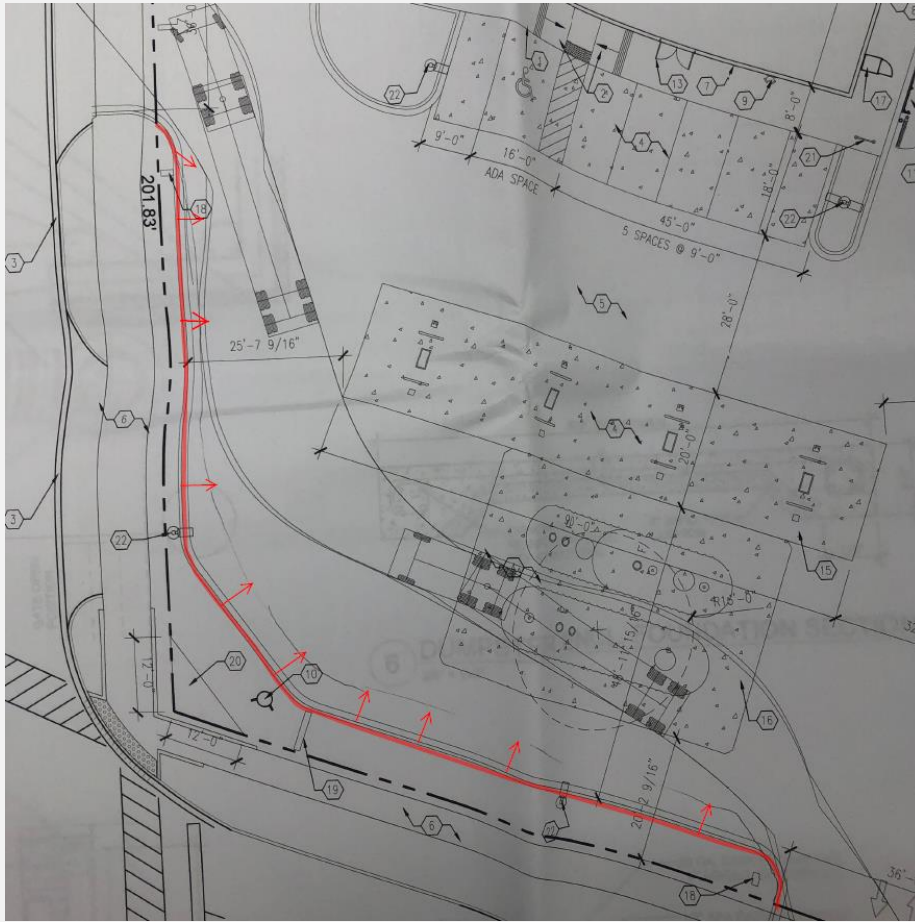
General:

7. The Plan Commission must review and approve the following actions:
 - a. Special Use Permit to allow an "Automobile Service Station".
8. Please note that a meeting with neighboring property owners must take place well in advance of the Plan Commission hearing. Please contact me for details about said meeting.
9. Please revise the project narrative to include information on any proposed green features/sustainable design elements that will be included. If none are proposed, please state such.
10. Are any items proposed for outdoor display/sale (windshield fluid, firewood, ice, propane, salt, etc.)?
11. Please provide additional details on expected deliveries and loading times. While it is understood that, on average, there will be two main deliveries per week, what time do these deliveries typically occur? Please note that deliveries between the hours of 10:00pm and 7:00am shall be prohibited.
12. Please ensure that all plans resubmitted for a second round of review incorporate any changes as required by the Design Commission.
13. On all future revisions, please ensure that all plans and studies include a revision date.

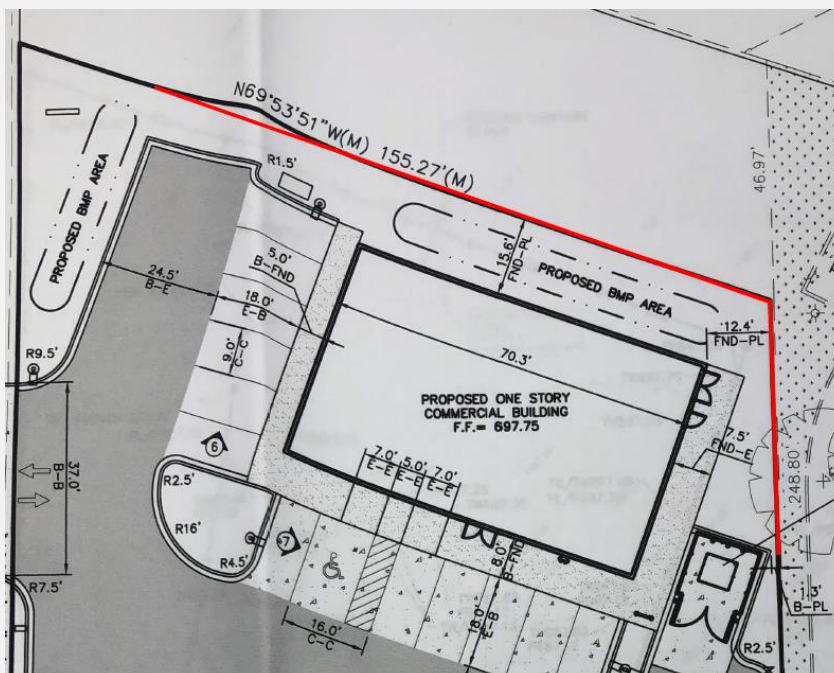
Site/Building Related:

14. Please note that a condition of approval will be required that mandates the property owner enter into and record a shared access agreement with the Taco Bell property owner next door for reciprocal access between the two sites. The recording of this document will be required prior to occupancy on the subject property.
15. Please complete the site analysis table with the proposed building setbacks on sheet AS1.01 as well as the proposed impervious surface coverage and FAR info on the "Site Data" table on sheet C-2.
16. Please confirm the number of bicycle parking spaces within the proposed bicycle parking rack and add a note to the site plan outlining such.
17. The proposed wall pack style lights, as shown on sheet A1.01, are not allowed. Additionally, four such fixtures are proposed on the rear of the building and it is unclear why lighting is necessary along the back of the building. Please note that the elevations do not show these proposed lights. It is recommended that building lights are not provided on this elevation.
18. The dumpster elevation on sheet AS1.02 does not match the elevations as shown on sheet A3.01 and A3.02 relative to the proposed material of the enclosure. Please revise so that both plans are consistent.
19. In anticipation of the future right-turn lane along Algonquin Road, please revise the site plan to push the curb line

along the west, southwest, and south as far in as possible while still preserving adequate space for vehicular access and circulation. Please see the exhibit below for clarification.

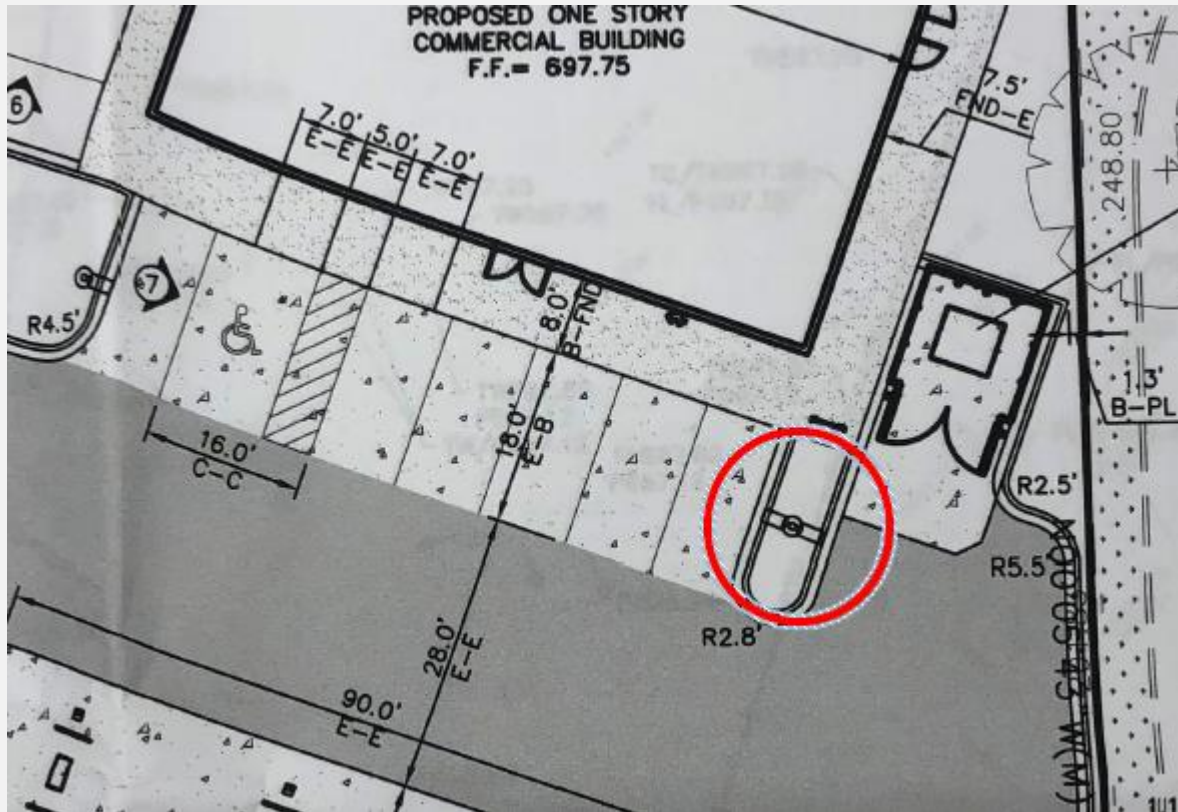


20. Due to concerns from the neighboring residential property owners to the north, combined with the fact that the proposed plan reduces the greenspace/buffer that currently exists at the north of the property, it is recommended that a 6' tall solid fence be provided as indicated below.



Landscaping:

21. A shade tree is required in the landscape island indicated below. Please clarify if a variation is requested, and if so, the necessary justification for a variation must be provided.



22. Please identify any proposed ground mounted mechanical equipment (AC units, generators, transformers, utility pedestals, switchgear, etc.) on the site plans and landscape plans and screen all units appropriately.

Parking/Traffic:

23. The KLOA traffic study states that the Algonquin Road access drive will be a right-in/right-out access drive, however, the site plans show full access to Algonquin Rd. Please clarify and revise the plans accordingly.

Prepared by: Sam J. [Signature]

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

7A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-026
 Petitioner: Vequity Series XLVII
1650 W. Algonquin

Owner: Michael Graham

Contact Person: Kim Ward
 Address: 400 N. State St. - Suite 400
Chicago, IL 60654
 Phone #: 312-985-0987
 Fax #: N/A
 E-Mail: k.ward@vequity.com

P.I.N.# 08-08-401-028
 Location: 1650 W. Algonquin Rd.
 Rezoning: — Current: B-2 Proposed: B-2
 Subdivision: —
 # of Lots: — Current: — Proposed: —
 PUD: — For: —
 Special Use: X For: Gas Station
 Land Use Variation: — For: —
 Land Use: — Current: Gas Station
 Proposed: Gas Station
 Site Gross Area: 29,313 sq. ft.
 # of Units Total: —
 1BR: — 2BR: — 3BR: — 4BR: —

(Petitioner: Please do not write below this line.)

LANDSCAPE & TREE PRESERVATION:

1. Complies with Tree Preservation Ordinance
2. Complies with Landscape Plan Ordinance
3. Parkway Tree Fee Required
(See below.)

YES	NO
<u>—</u>	<u>X</u>
<u>—</u>	<u>X</u>
<u>X</u>	<u>—</u>

Comments:

- 1) In order to screen the parking from the residential to the north, provide 6-foot tall upright Junipers along the north property line adjacent to the parking area.
- 2) As part of the landscape plan, please identify the location and quantity for the proposed plant material.
- 3) For the two trees that are proposed for removal, please indicate the size, species and condition.
- 4) If there are any utility meters or mechanical units, they must be screened with landscaping or another appropriate method of screening.
- 5) A landscape compliance bond in the amount of 30% of the landscaping costs will be required at the time of building permit. In addition, a \$4 tree fee is required for each lineal foot of frontage.

[Signature] 12/19/18
 Coordinator Date