

THE GODDARD SCHOOL OF ARLINGTON HEIGHTS

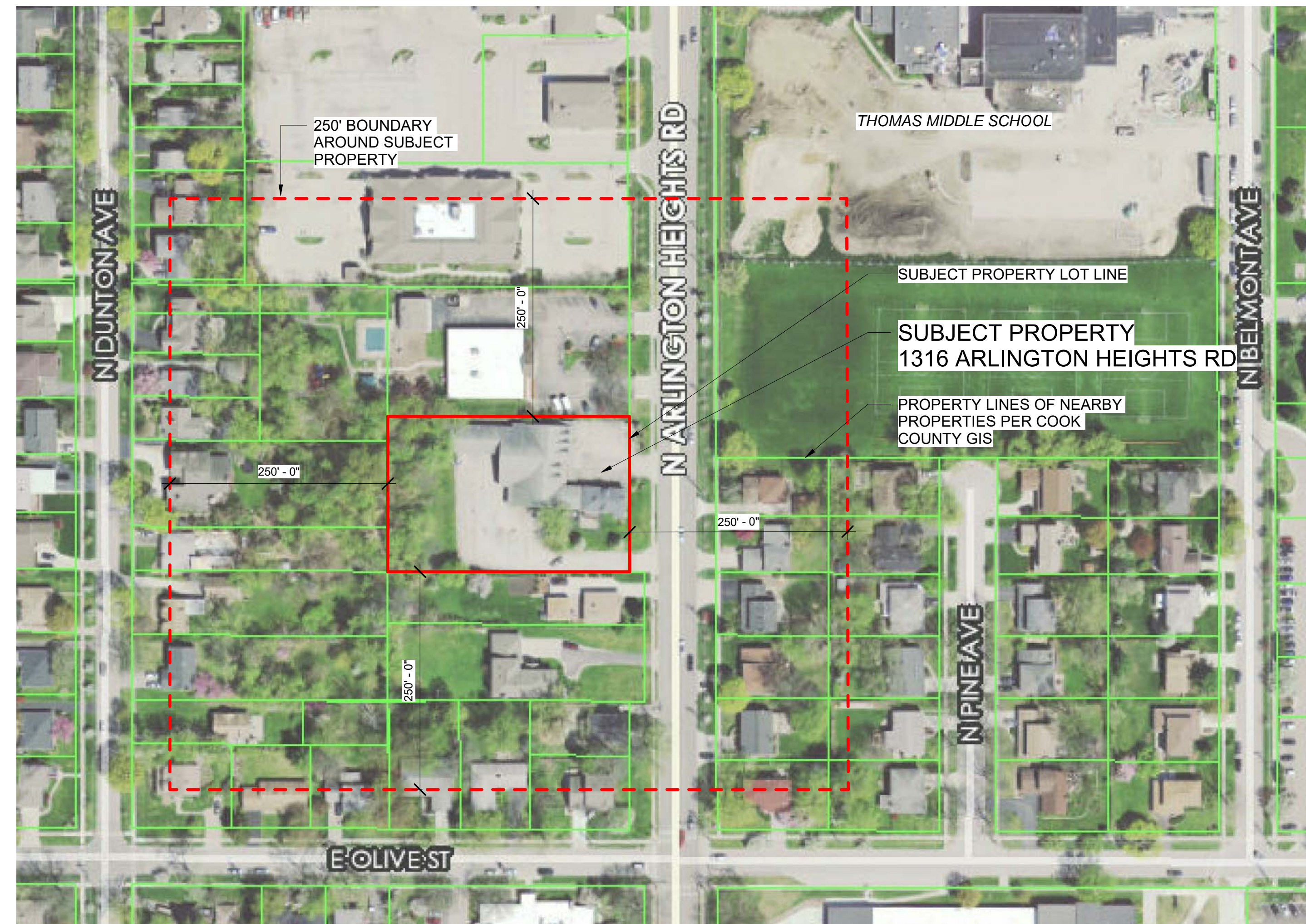
PROPOSAL FOR A NEW DAYCARE CENTER

1316 Arlington Heights Rd
Arlington Heights, IL 60004
02/20/19

ARLINGTON HEIGHTS PLANNING COMMISSION REVIEW

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LOCATION MAP
1" = 100'-0"

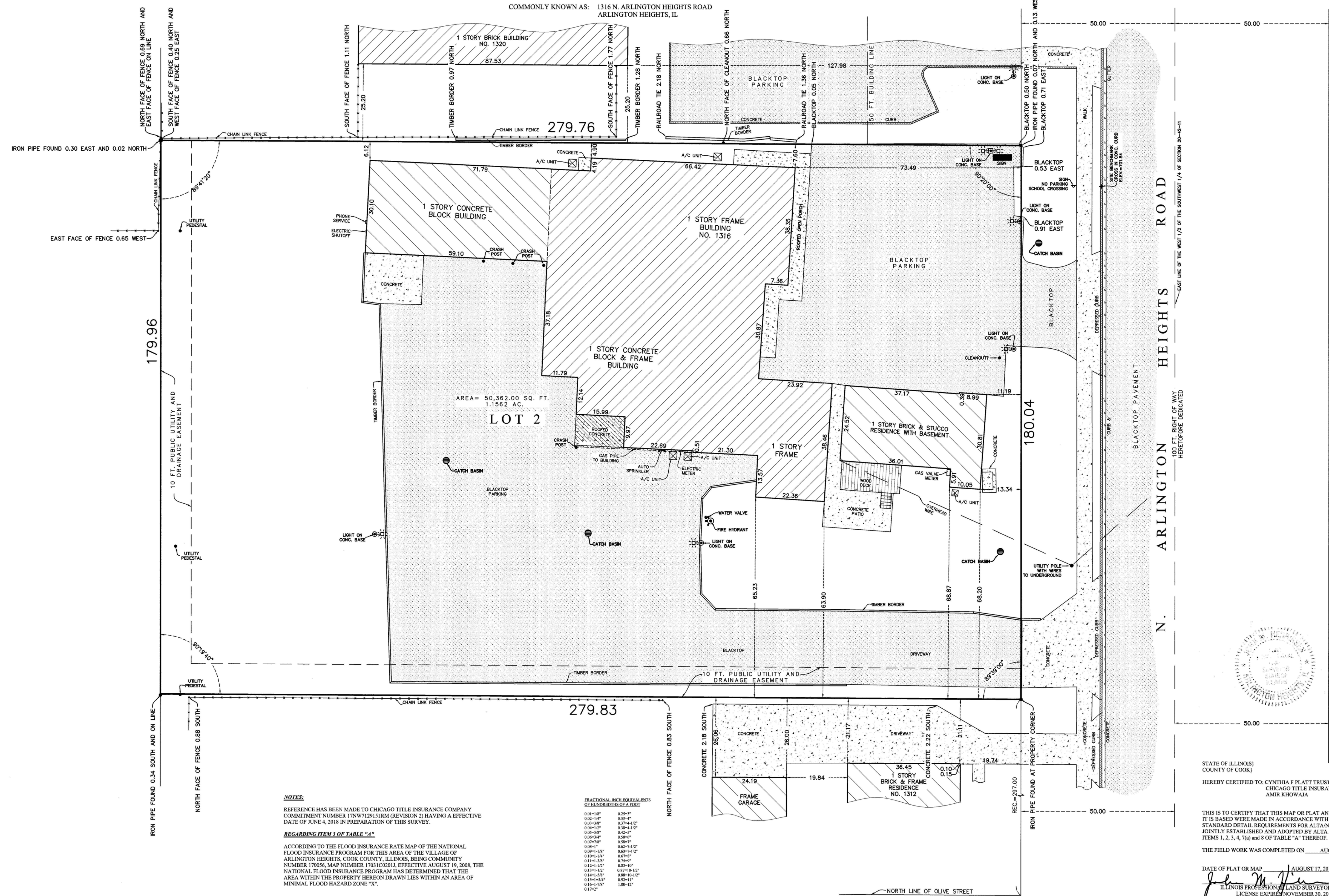
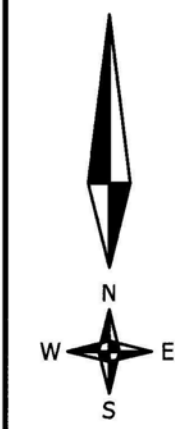
THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
Arlington Heights, IL 60004
COVER
1" = 100'-0"
02/20/19
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No.	Description	Date
1	Round 1 Response	2/1/19
2	Round 2 Response	2/19/18

ALTA/NSPS LAND TITLE SURVEY

BY
JOHN M. HENRIKSEN
415 E. GOLF ROAD - SUITE 103 ARLINGTON HEIGHTS, ILLINOIS 60005
TEL. 224-875-7633 FAX. 224-875-7634
WWW.HENRIKSENSURVEY.COM

OF
LOT 2 IN CRAIG'S RESUBDIVISION IN ARLINGTON HEIGHTS BEING A RESUBDIVISION OF LOT 21 IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN EXCEPT THE WEST 1/2 OF THE SOUTHWEST 1/4 THEREOF AND THE SOUTH 4 ACRES OF THE EAST 1/2 OF THE SOUTHWEST 1/4 THEREOF, ACCORDING TO THE PLAT OF CRAIG'S RESUBDIVISION IN ARLINGTON HEIGHTS REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES, OF COOK COUNTY, ILLINOIS, ON JUNE 23, 1977 AS DOCUMENT NUMBER 2946719, IN COOK COUNTY, ILLINOIS.



ORDER NUMBER: **120028-ALTA**
SCALE: 1 INCH = 15 FEET
ORDERED BY: **JIM PLATT**
BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE BUILDING LINES AND EASEMENTS AS SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.
PLEASE CHECK LEGAL DESCRIPTION WITH DEED.
COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.
DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

NOTES:
REFERENCE HAS BEEN MADE TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER 17N712915184 (REVISION 2) HAVING AN EFFECTIVE DATE OF JUNE 4, 2018 IN PREPARATION OF THIS SURVEY.
REGARDING ITEM 3 OF TABLE "A"
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE NATIONAL FLOOD INSURANCE PROGRAM FOR THIS AREA OF THE VILLAGE OF ARLINGTON HEIGHTS, COOK COUNTY, ILLINOIS, BEING COMMUNITY NUMBER 17066, MAP NUMBER 1703(2011), EFFECTIVE AUGUST 19, 2008, THE NATIONAL FLOOD INSURANCE PROGRAM HAS DETERMINED THAT THE AREA WITHIN THE PROPERTY HEREON DRAWN LIES WITHIN AN AREA OF MINIMAL FLOOD HAZARD ZONE "X".

FRACTIONAL INCH EQUIVALENTS OF SUBMULTIPLIES OF A FOOT

0/8" = 1/8"	0/32" = 1/32"
0/16" = 1/16"	0/64" = 1/64"
0/32" = 1/32"	0/128" = 1/128"
0/64" = 1/64"	0/256" = 1/256"
0/128" = 1/128"	0/512" = 1/512"
0/256" = 1/256"	0/1024" = 1/1024"
0/512" = 1/512"	0/2048" = 1/2048"
0/1024" = 1/1024"	0/4096" = 1/4096"
0/2048" = 1/2048"	0/8192" = 1/8192"
0/4096" = 1/4096"	0/16384" = 1/16384"
0/8192" = 1/8192"	0/32768" = 1/32768"
0/16384" = 1/16384"	0/65536" = 1/65536"



STATE OF ILLINOIS
COUNTY OF COOK
HEREBY CERTIFIED TO: CYNTHIA F PLATT TRUST
CHICAGO TITLE INSURANCE COMPANY
AMIR KHAWAJA
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a) AND 8 OF TABLE "A" THEREOF.
THE FIELD WORK WAS COMPLETED ON: AUGUST 9, 2018.
DATE OF PLAT OR MAP: AUGUST 17, 2018.
John M. Henssen
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2668
LICENSE EXPIRES NOVEMBER 30, 2018.



THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
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SURVEY
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1	Round 1 Response	2/1/19
2	Round 2 Response	2/19/18

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2514 WEST PETERSON AVENUE
CHICAGO, IL 60659
PHONE: 773.508.5533 FAX: 773.508.5757
www.akarchitects.com

EXISTING PHOTOS

PROPERTIES TO THE SOUTH



1312 N ARLINGTON HEIGHTS ROAD



MAIN BUILDING FRONT

SUBJECT PROPERTY - 1316 ARLINGTON HEIGHTS ROAD



MAIN BUILDING FRONT



MAIN BUILDING FRONT

PROPERTIES TO THE NORTH



KINDERCARE - 1320 N ARLINGTON HEIGHTS ROAD



1308 N ARLINGTON HEIGHTS ROAD



VACANT RESIDENCE ON PROPERTY - LOOKING SOUTH



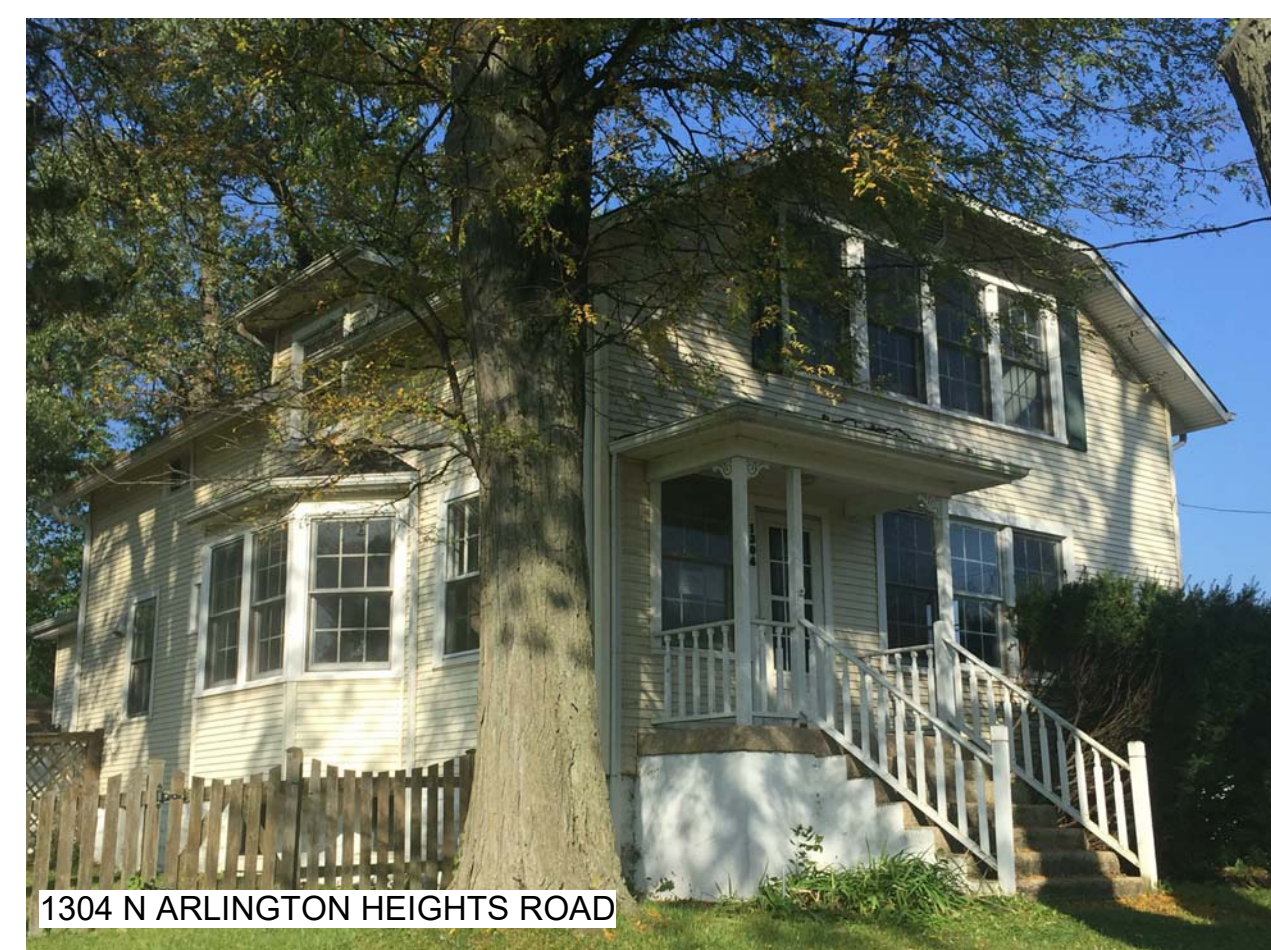
VACANT RESIDENCE ON PROPERTY - LOOKING WEST



VACANT RESIDENCE ON PROPERTY - LOOKING NORTH



1410 N ARLINGTON HEIGHTS ROAD



1304 N ARLINGTON HEIGHTS ROAD



MAIN BUILDING REAR



MAIN BUILDING REAR



MAIN BUILDING REAR



1420 N ARLINGTON HEIGHTS ROAD

PROPERTIES ACROSS THE STREET



1311 N ARLINGTON HEIGHTS ROAD



1315 N ARLINGTON HEIGHTS ROAD



1319 N ARLINGTON HEIGHTS ROAD



VIEW FROM 1316 ARLINGTON HEIGHTS ROAD



THOMAS MIDDLE SCHOOL - 1430 BELMONT AVE.

THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
Arlington Heights, IL 60004
EXISTING PHOTOS

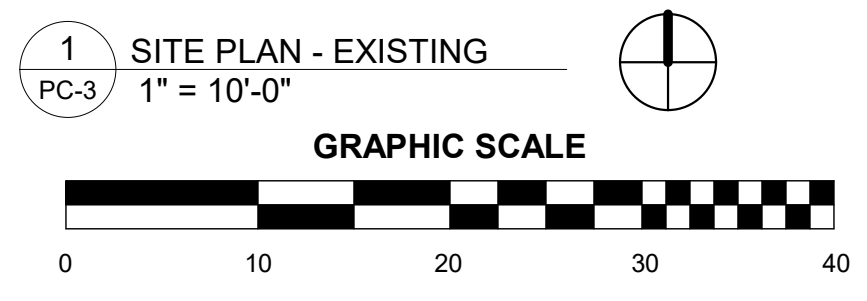
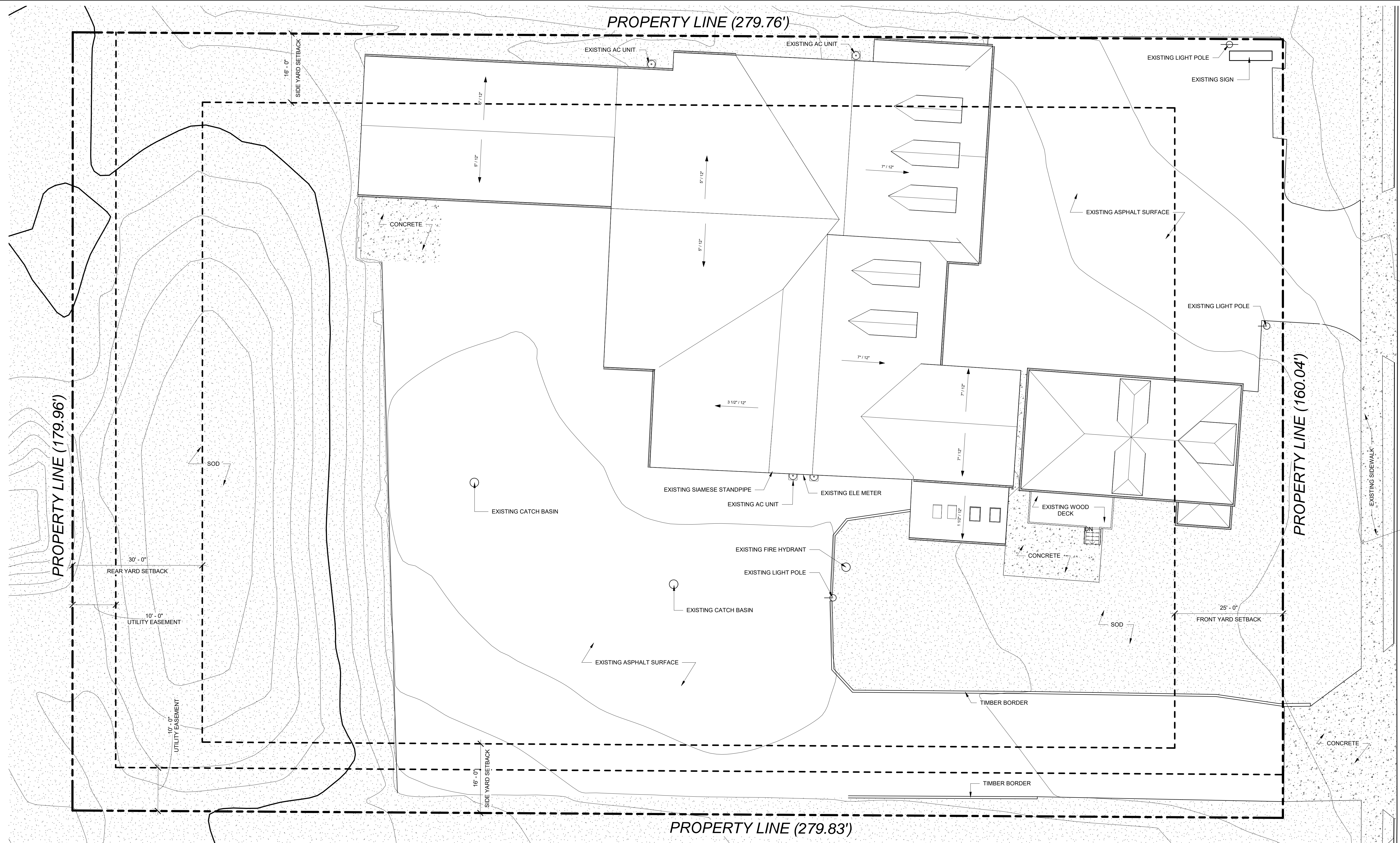
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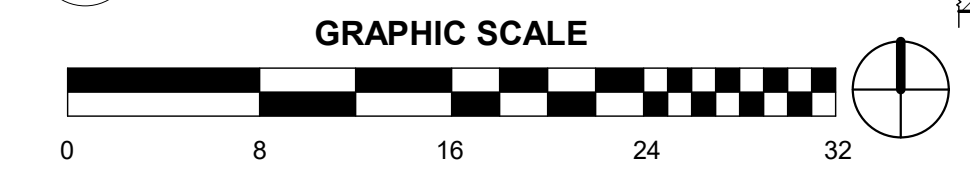
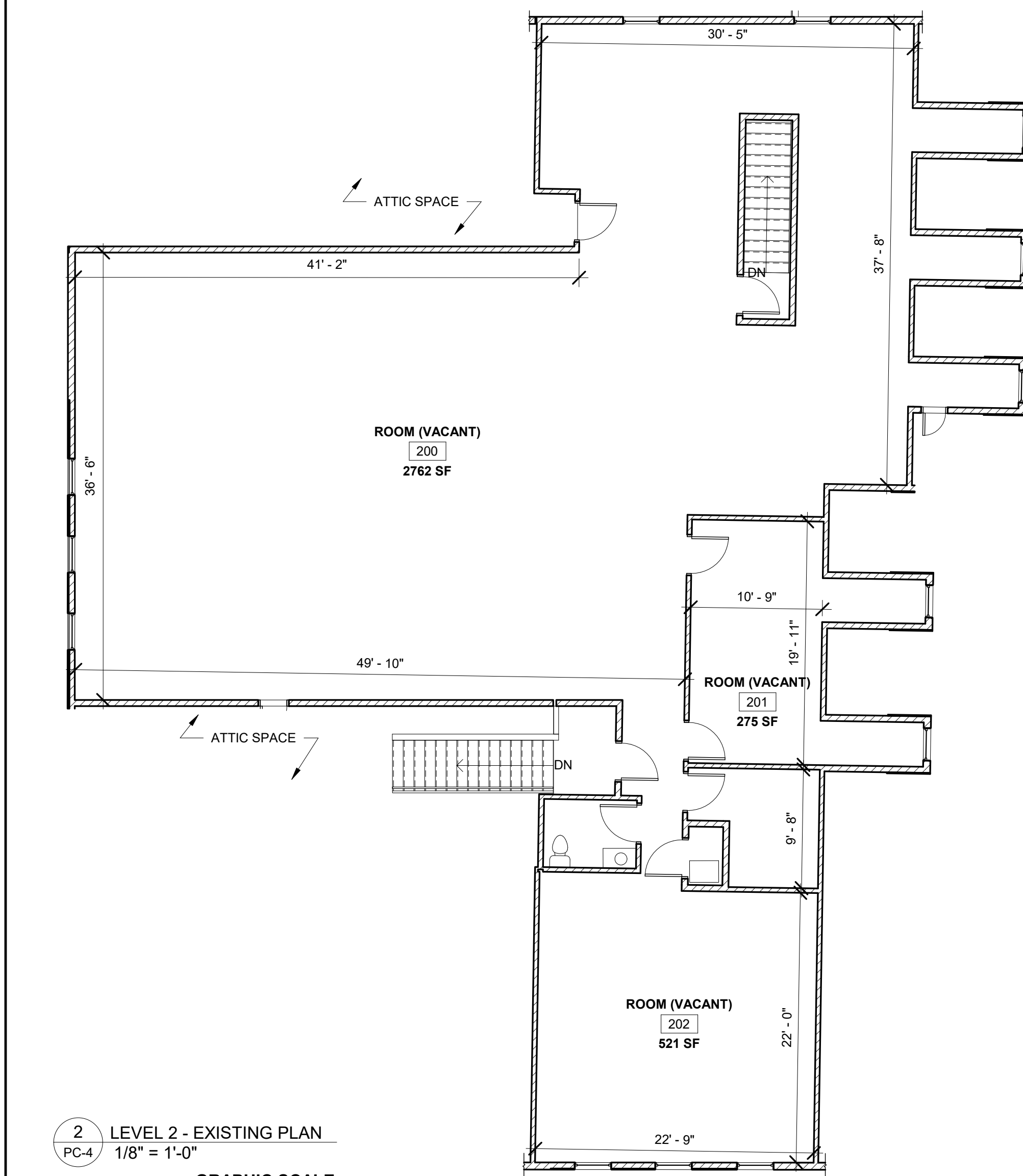
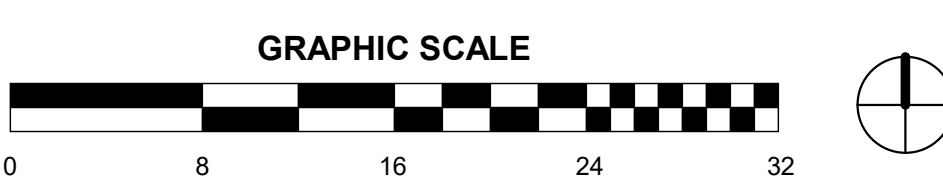
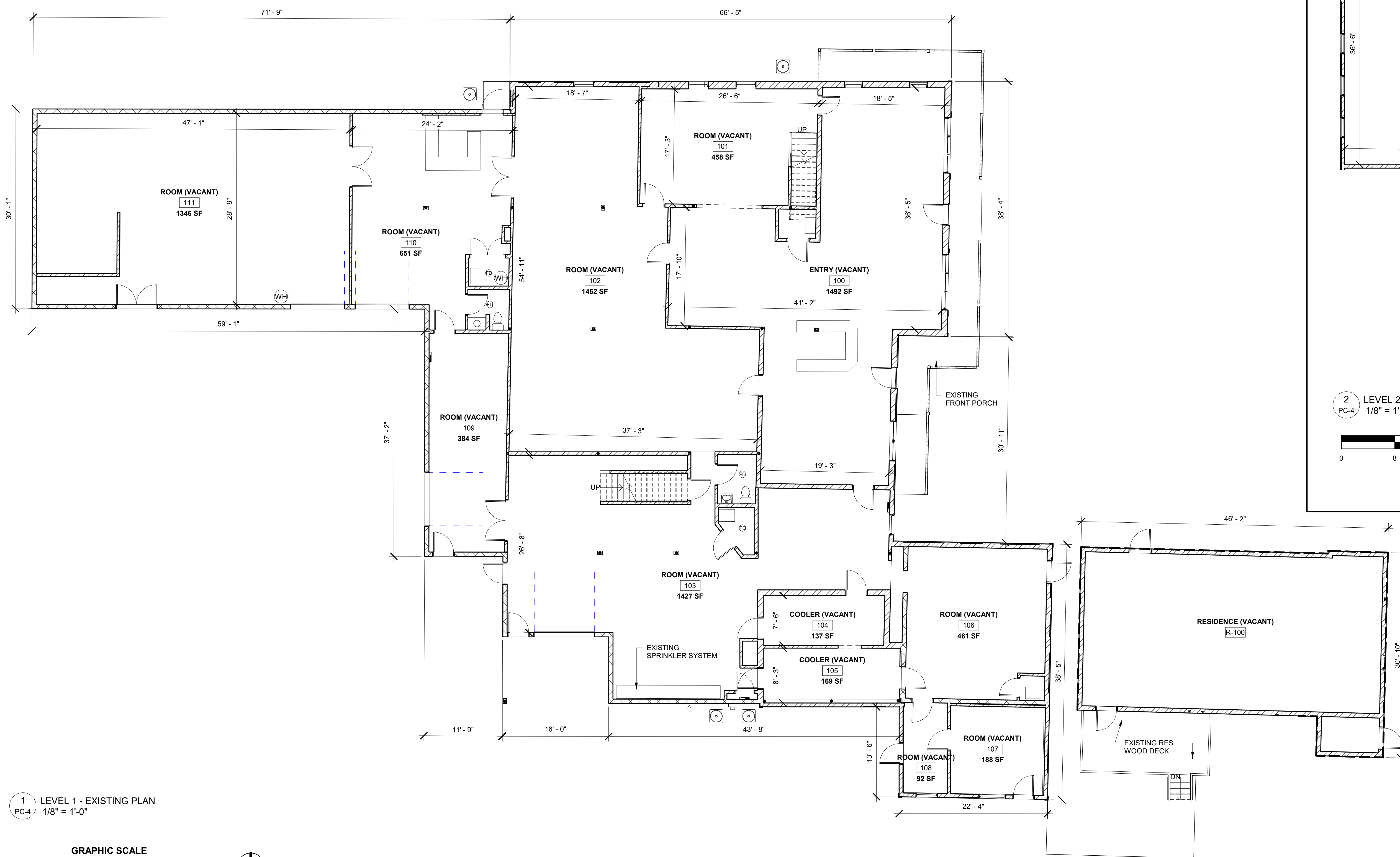
NOTE:
ALL SETBACKS REFLECT THE CURRENT R-3
ZONING DESIGNATION FOR THIS SITE.

THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
Arlington Heights, IL 60004
EXISTING SITE PLAN
1" = 10'-0"
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THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
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EXISTING FIRST AND SECOND FLOOR PLANS
1/8" = 1'-0"
02/20/19

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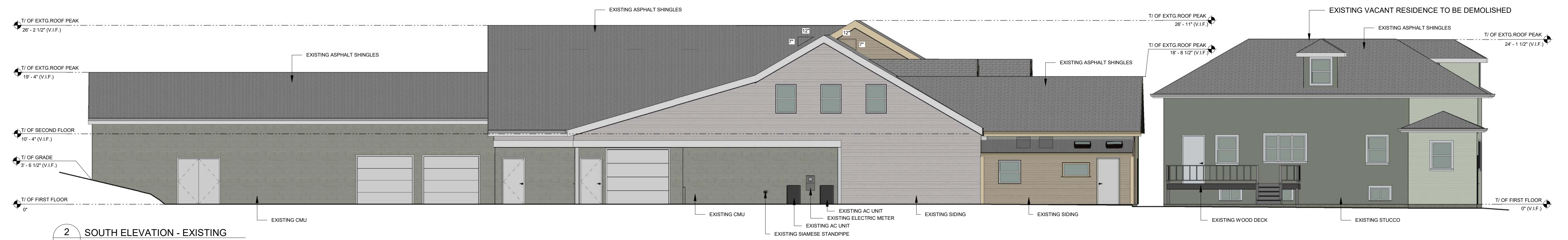
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1 NORTH ELEVATION - EXISTING
PC-5 1/8" = 1'-0"



2 SOUTH ELEVATION - EXISTING
PC-5 1/8" = 1'-0"



3 EAST ELEVATION - EXISTING
PC-5 1/8" = 1'-0"

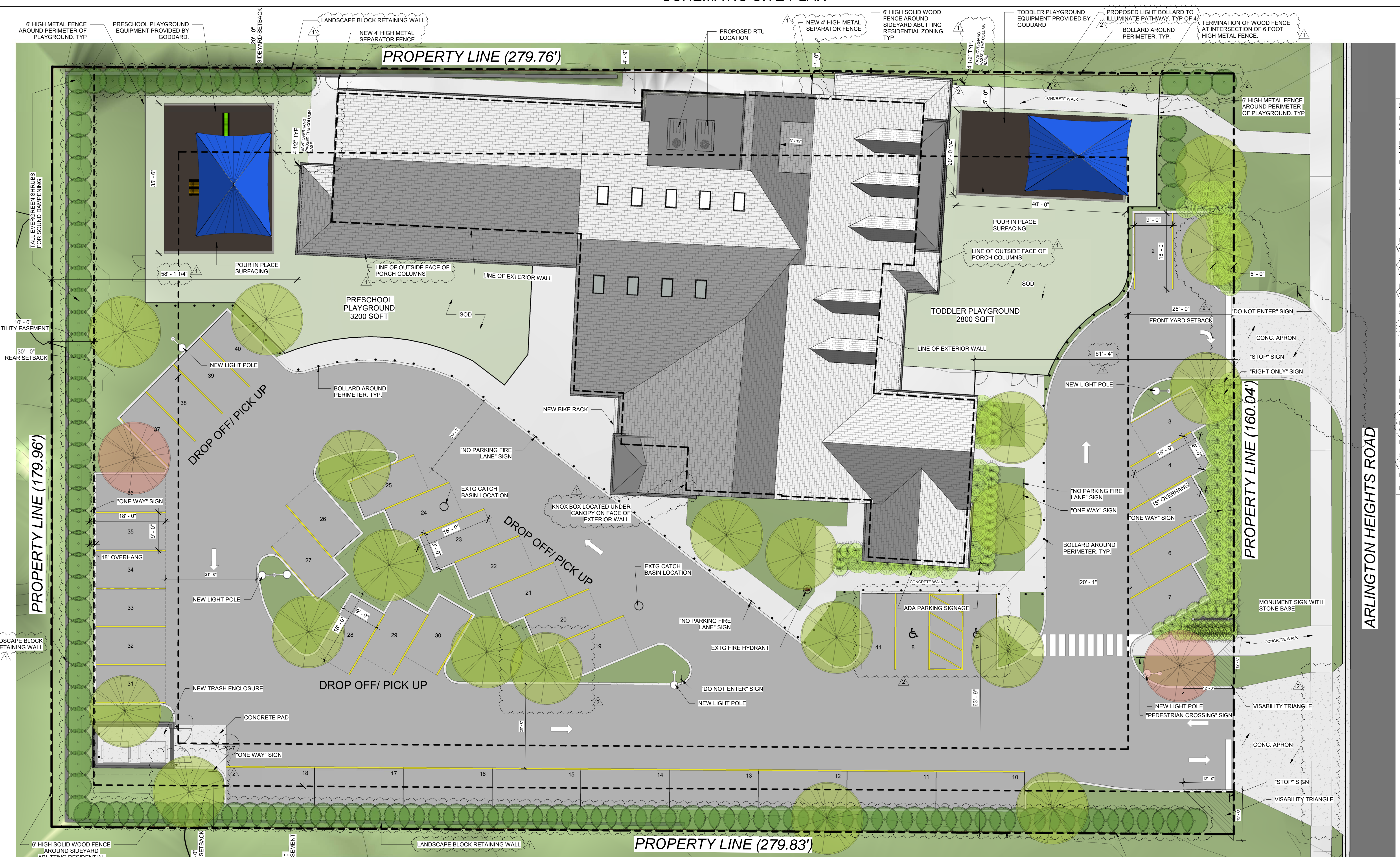


4 WEST ELEVATION - EXISTING
PC-5 1/8" = 1'-0"

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EXISTING ELEVATIONS
1/8" = 1'-0"
02/20/19
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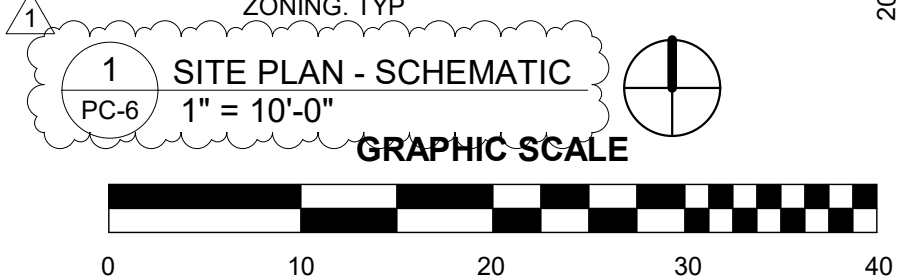
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SITE CALCULATIONS
 Existing Zoning = R3 (PETITION TO CHANGE ZONING TO "OT" OFFICE TRANSITIONAL)
 Following calculations are based off "OT" zoning
 MIN LOT SIZE = 10,000 sqft
 TOTAL LOT AREA = 50,362 sqft
 MAX FAR = 80% of lot area.
 50,362 x .80 = 40,289 sqft
 Total Gross Building Area = 13,259 sqft
 (First Floor = 9134 sqft)
 (Second Floor = 4125 sqft)
 Actual FAR = 13,259 / 50,362 = 26%
 Front Yard Setback = 25'
 Actual Setback = 61.33'
 Side yard Setback = 20'
 Actual Setback North = 1.00'
 Actual Setback South = 63.90'
 Rear Yard Setback = 30'
 Actual Setback = 58.50'
 Max Building Lot Coverage = 40%
 50,362 x .40 = 20,144 sqft
 Actual Building lot Coverage = 24%
 12,000 / 50,362 = 23.82
 Max building Height = 30' & 2 Stories
 Actual Building Height = 27' & 2 Stories

PARKING CALCULATIONS
 Proposed Use = Daycare Center
 Required Parking = 3 Spaces for every 2 employees
 Total number of proposed Staff = 27
 Min Parking Req. = 41 Spaces
 (27 / 2) x 3 = 40.5
 Parking Provided = 41 Spaces
 Spaces allocated for drop off/pickup = 16 spaces
 Min Bicycle parking Req. = 3 Spots
 Bicycle Parking Provided = >3 Spots



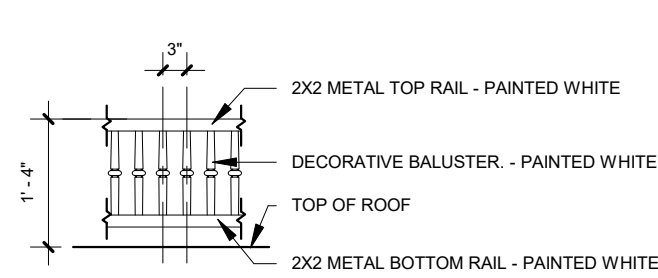
NOTE:
 ALL SETBACKS REFLECT THE PROPOSED "OT" ZONING DESIGNATION FOR THIS SITE.



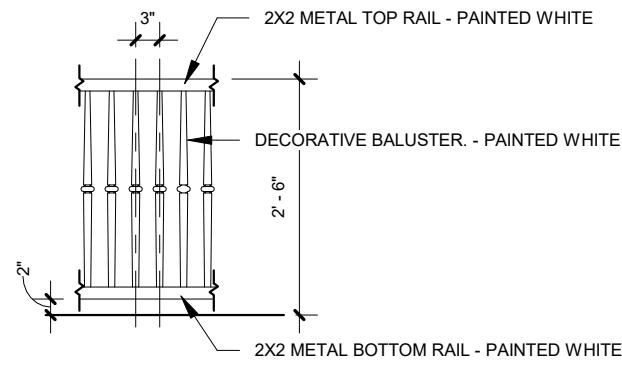
THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
 1316 Arlington Heights Rd
 Arlington Heights, IL 60004
 SCHEMATIC SITE PLAN
 1" = 10'-0"
 02/20/19
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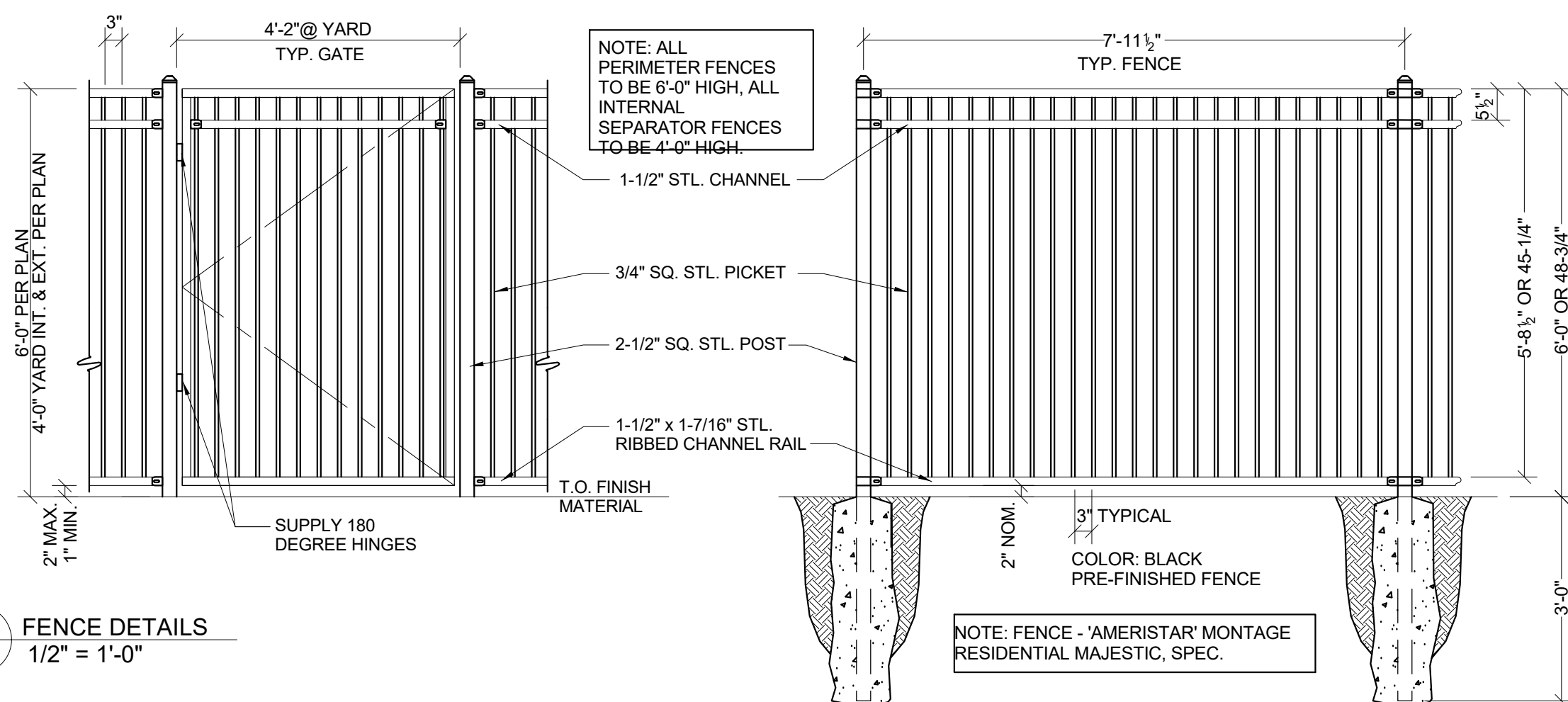
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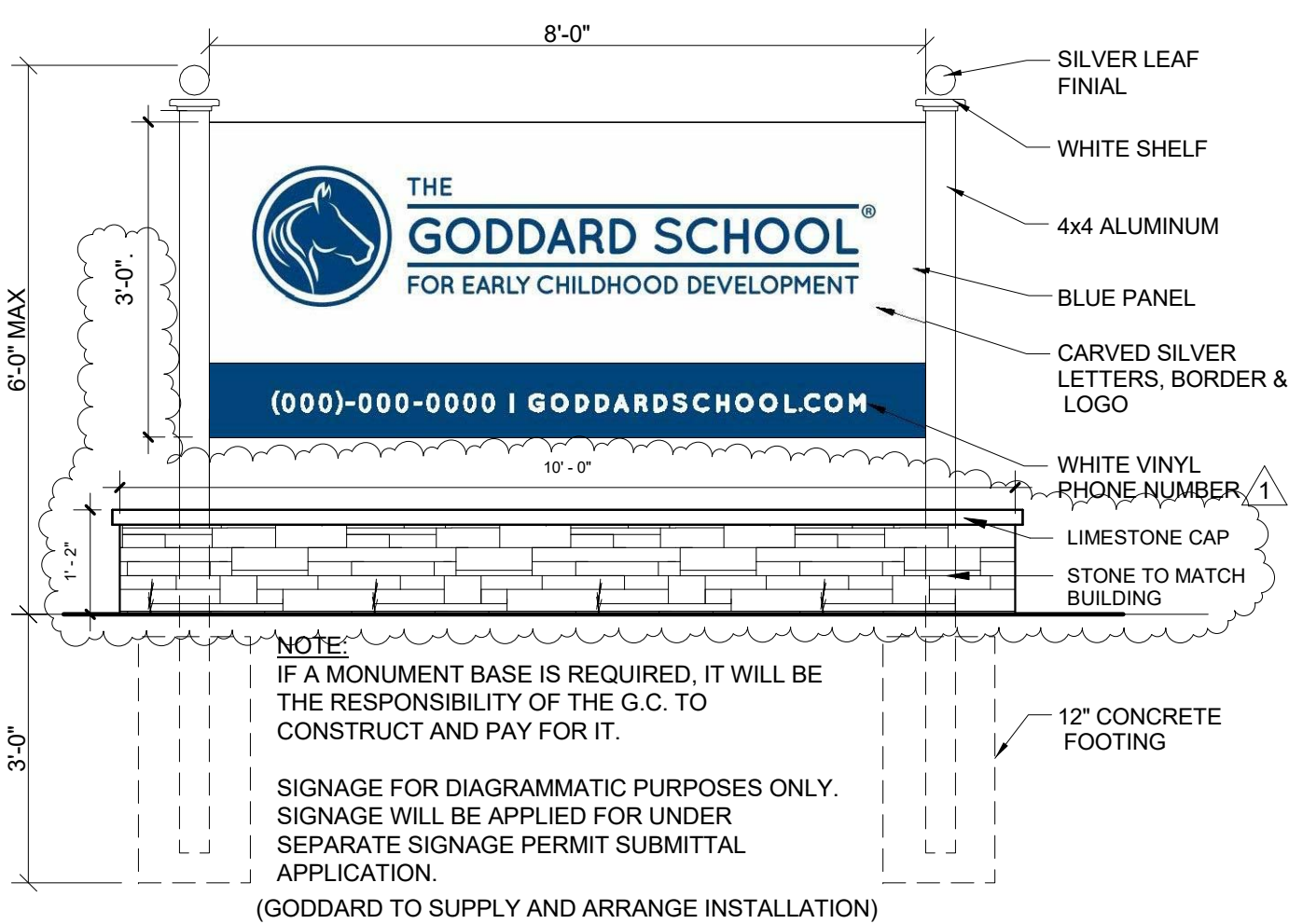
DECORATIVE ROOF RAIL DETAIL
1/2" = 1'-0"



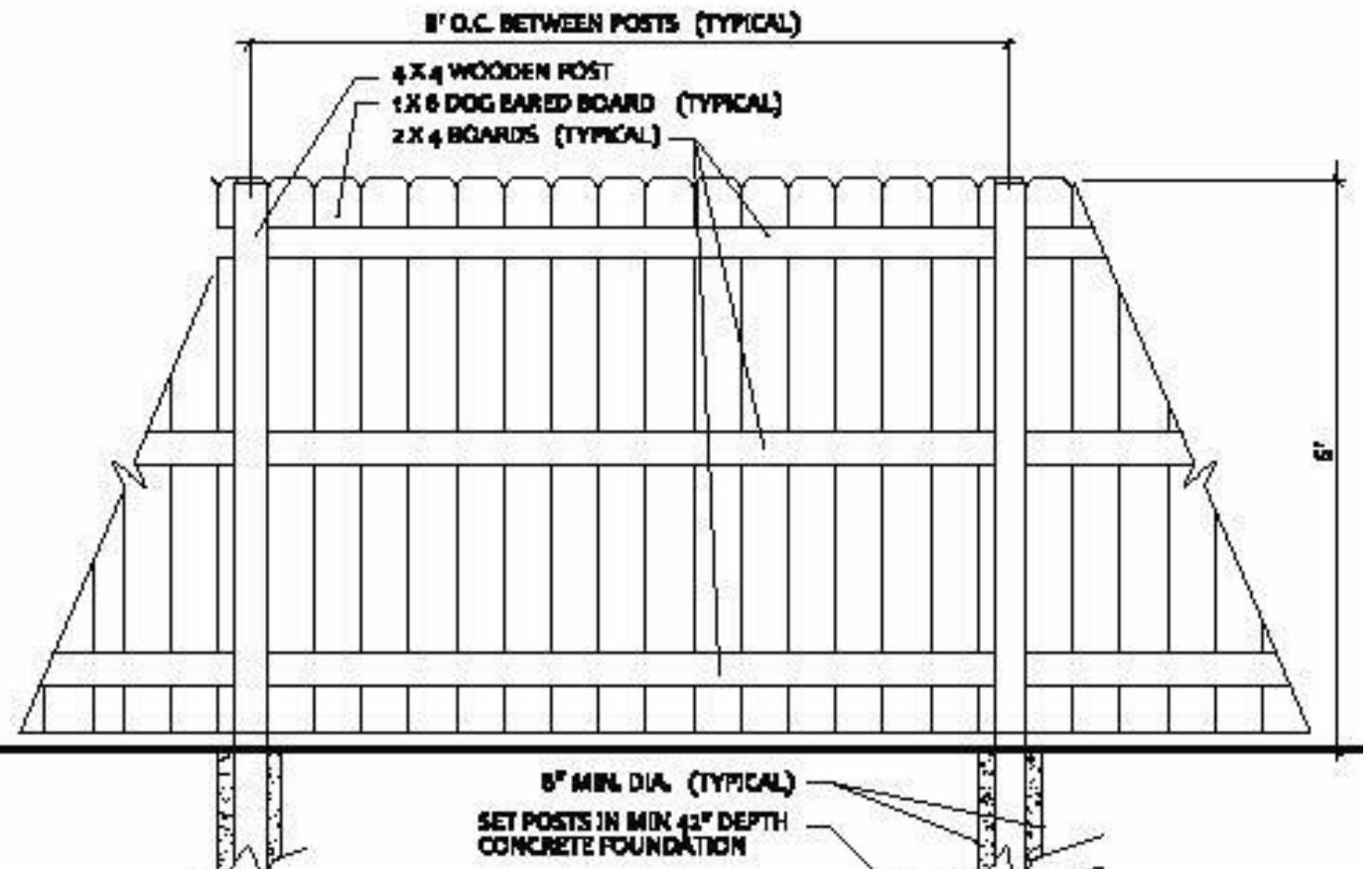
DECORATIVE FENCE DETAIL
1/2" = 1'-0"



6 FENCE DETAILS
1/2" = 1'-0"



7 MONUMENT SIGN DETAIL
1/2" = 1'-0"

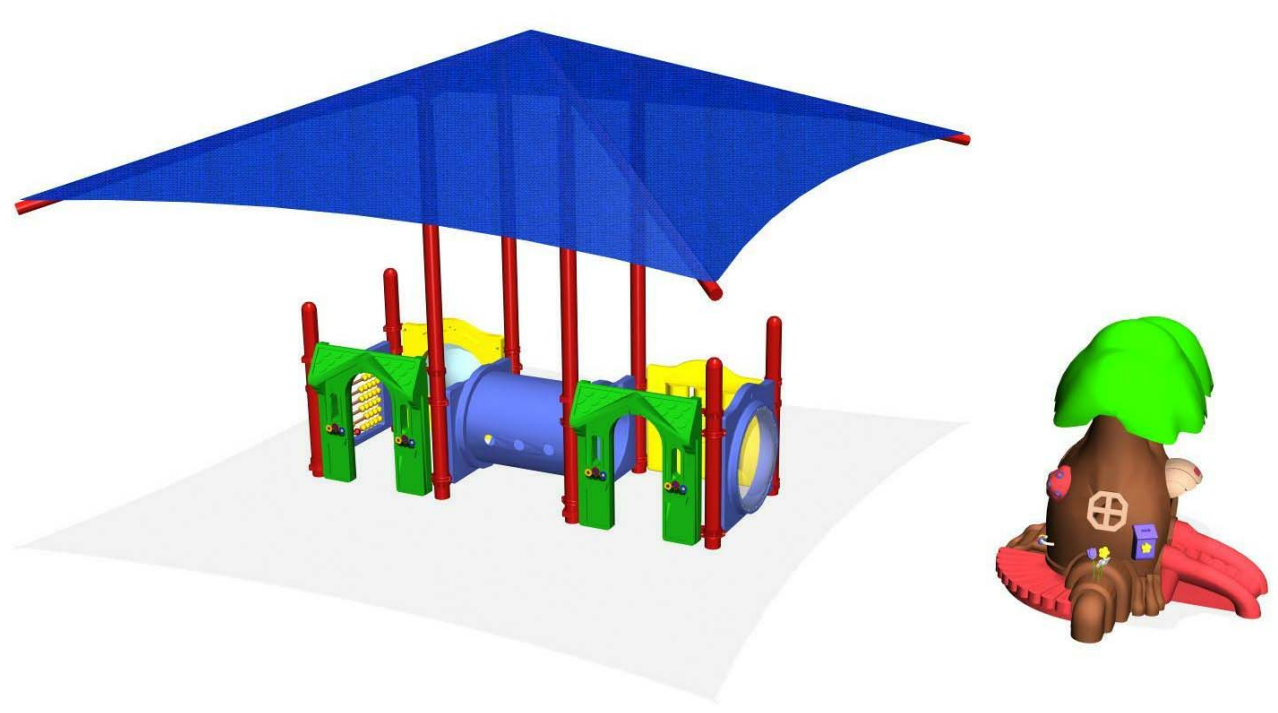


DOG EARED FENCE ELEVATION
SCALE: 1/4" = 1'-0"

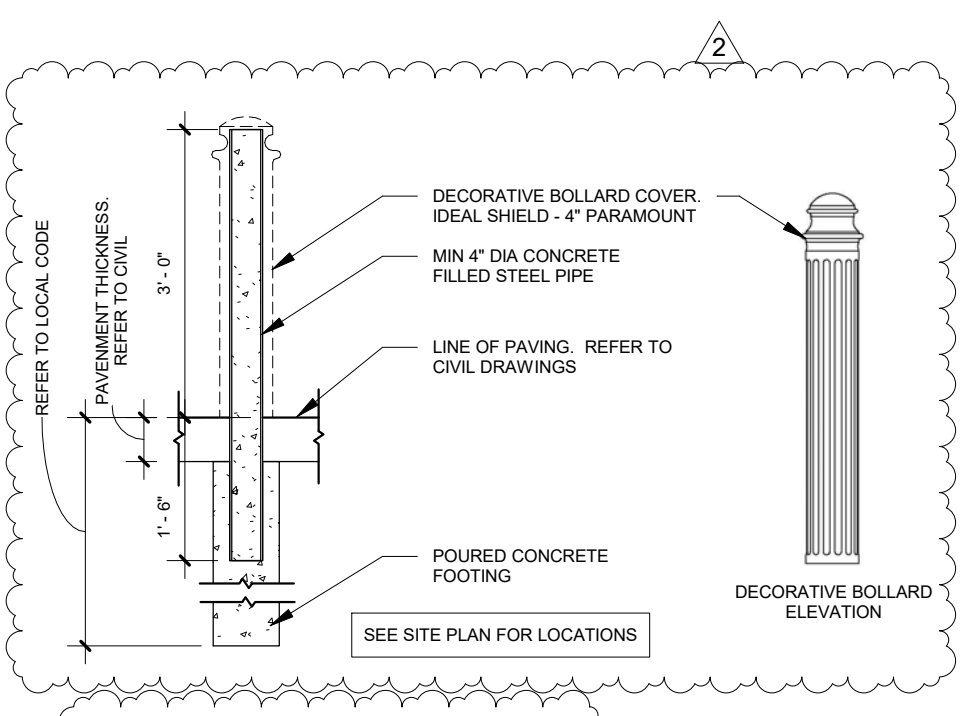
12 WOOD FENCE DETAIL
1/2" = 1'-0"



9 PRESCHOOL PLAYGROUND AXON
PC-7

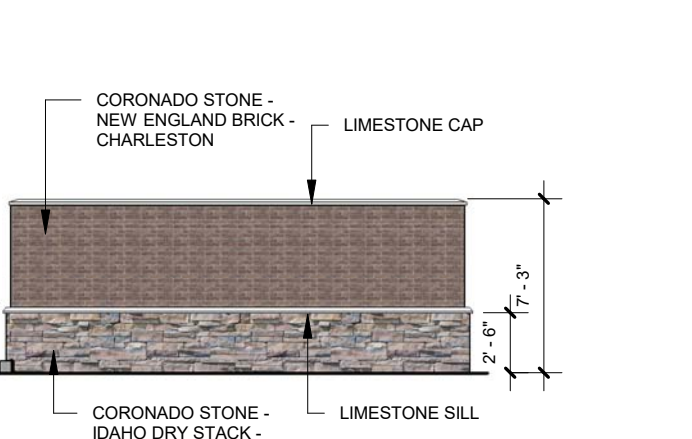


8 INFANT/ TODDLER PLAYGROUND AXON
PC-7

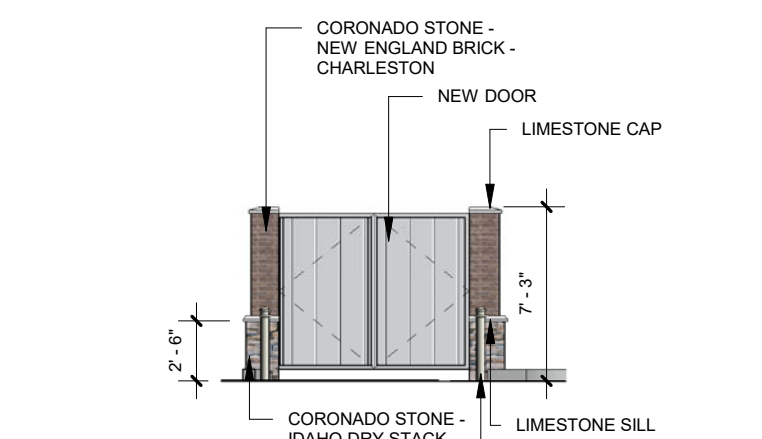


13 BOLLARD DETAIL - TYP
1/2" = 1'-0"

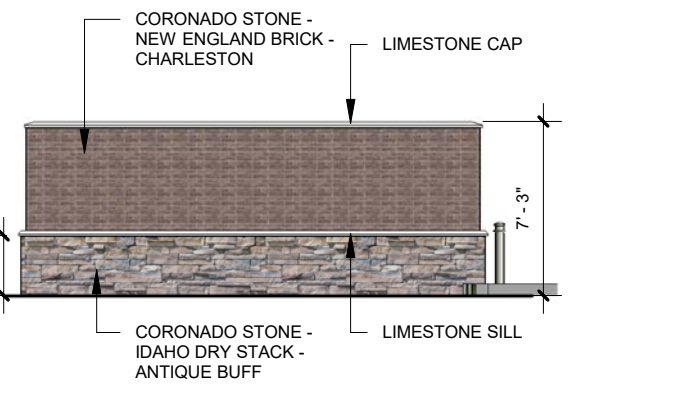
1 TRASH ENCLOSURE PLAN
PC-7
3/16" = 1'-0"



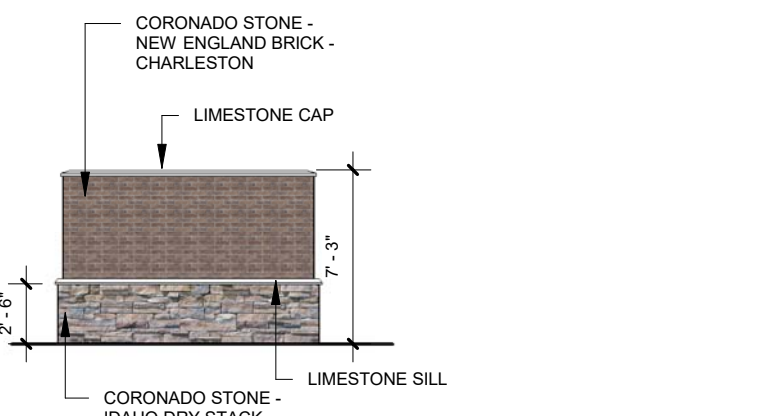
2 TRASH ENCLOSURE - NORTH ELEVATION
PC-7
1/8" = 1'-0"



4 TRASH ENCLOSURE - EAST ELEVATION
PC-7
1/8" = 1'-0"



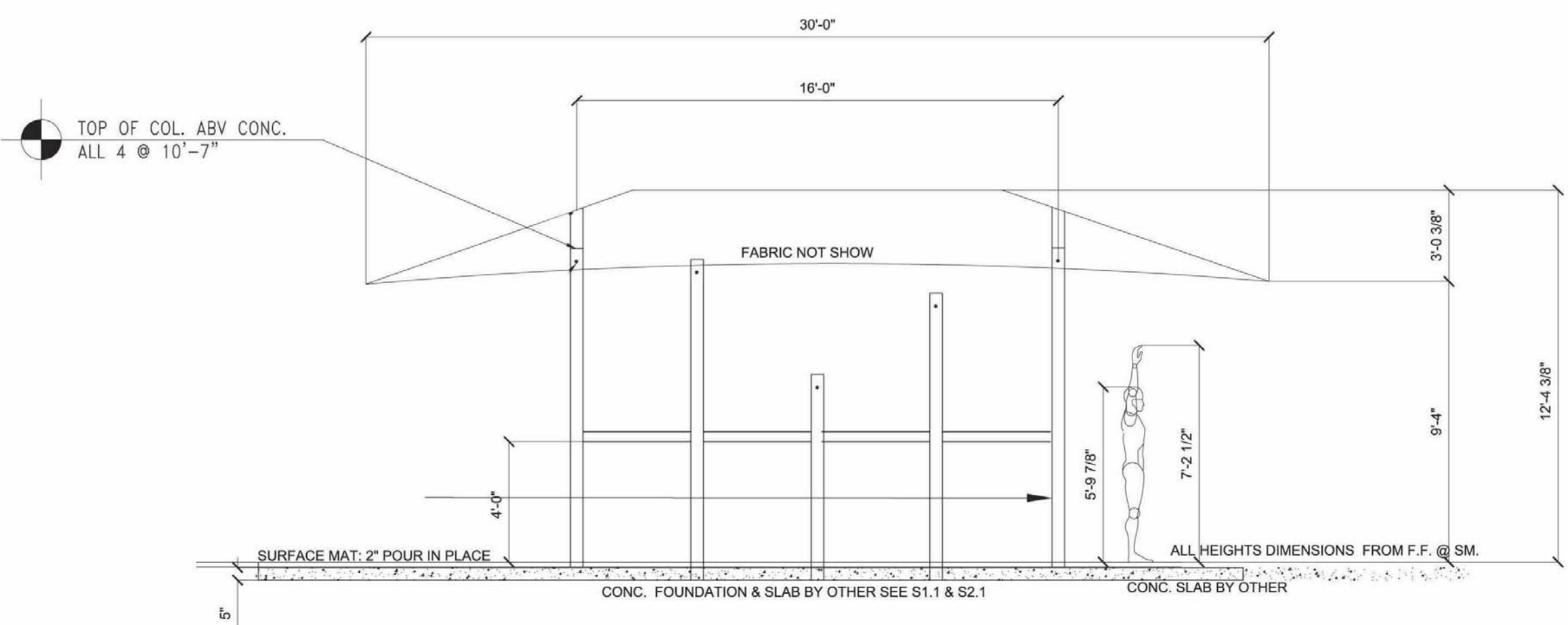
3 TRASH ENCLOSURE - SOUTH ELEVATION
PC-7
1/8" = 1'-0"



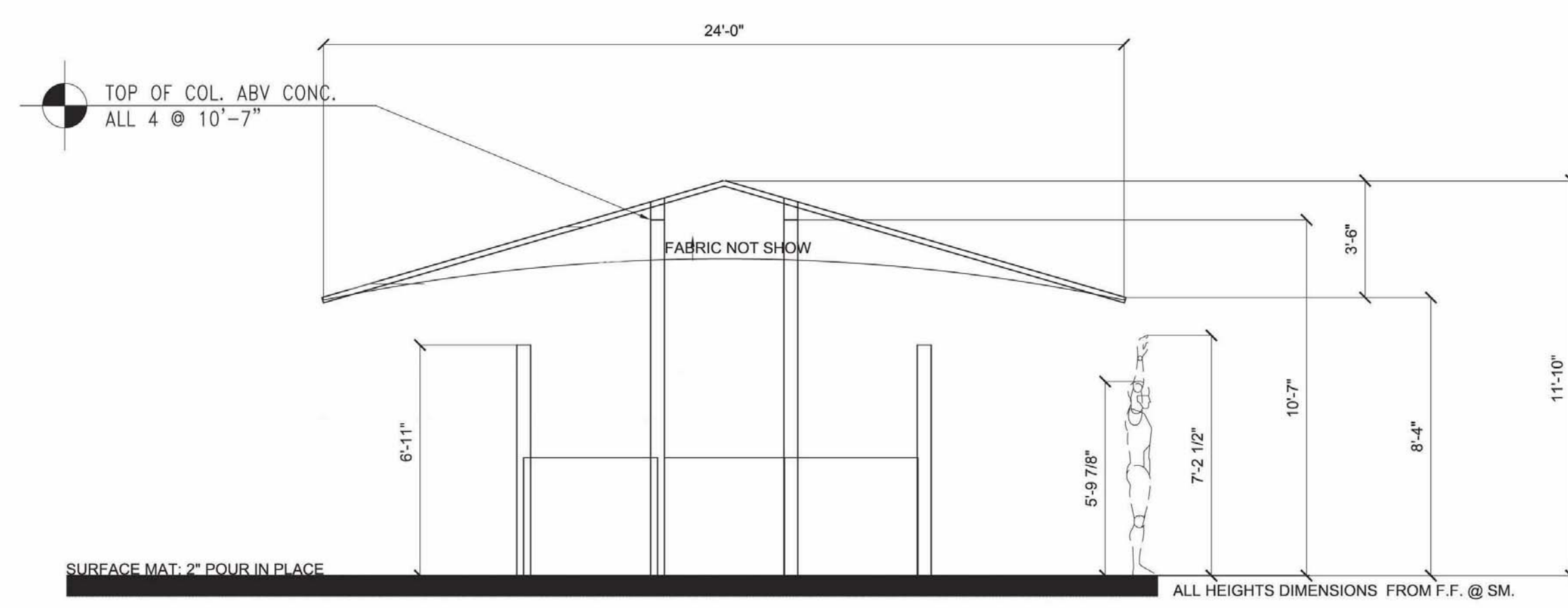
5 TRASH ENCLOSURE - WEST ELEVATION
PC-7
1/8" = 1'-0"

FINISH LEGEND

- JAMES HARDIE - HARDIE PLANK - LAP SIDING - KHAKI BROWN
- CORONADO - THIN BRICK - NEW ENGLAND BRICK - CHARLESTON
- CORONADO - STONE - IDAHO DRY STACK - ANTIQUE BUFF



10 PRESCHOOL EQUIPMENT ELEVATION
PC-7

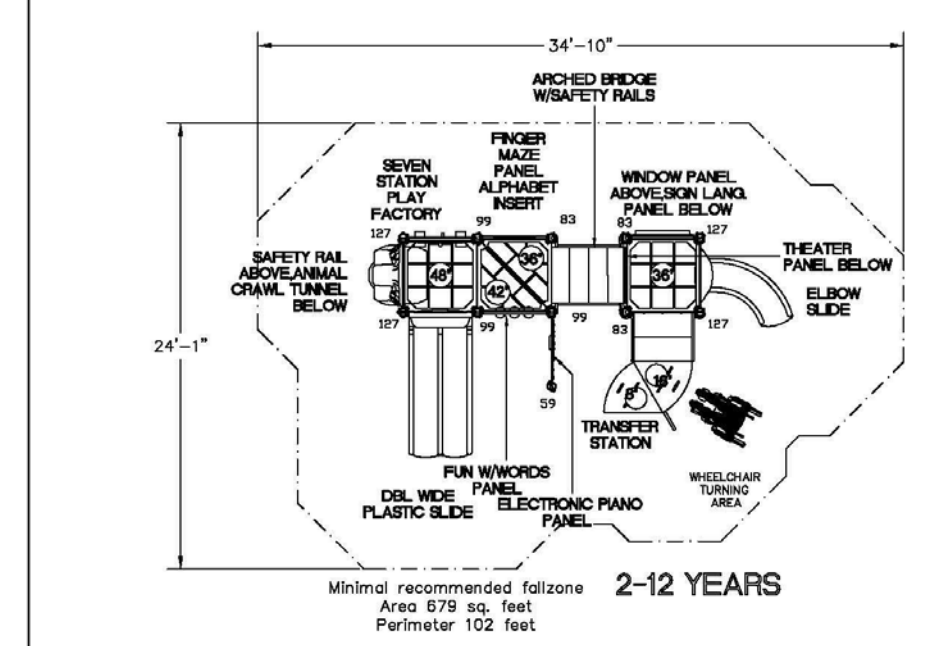


11 INFANT/TODDLER EQUIPMENT ELEVATION
PC-7

General Notes:

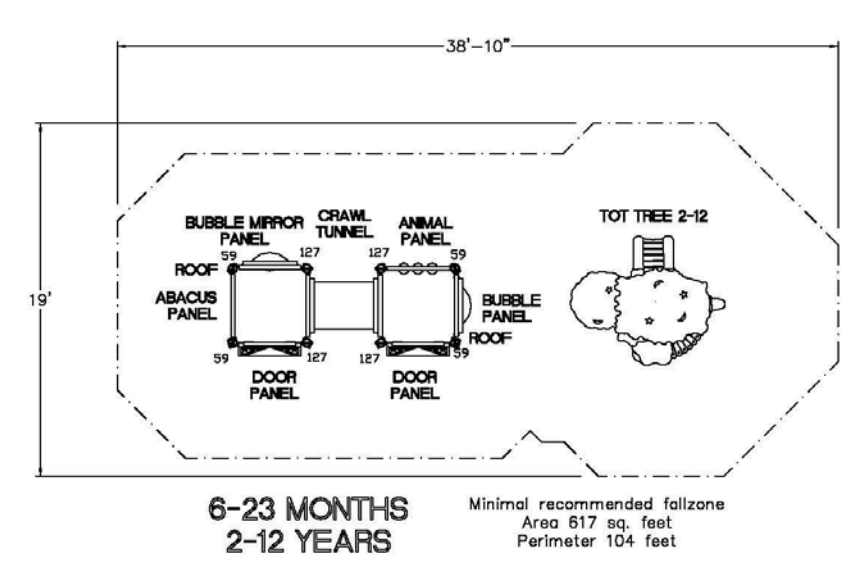
Age Group 6-23 months 2-5 years
 5-12 years 2-12 years

- The Americans with Disabilities Act (ADA) may require that you make your park and/or playground accessible when viewed in its entirety. Please consult your legal counsel to determine if the ADA applies to you.
- For playground equipment to be considered accessible, accessible surfacing must be utilized in applicable areas.
- Although a particular playground design may not meet the proposed Access Board Regulations in regards to the appropriate number of ground level events, the actual playground may be in compliance when considering existing play components.
- All deck heights are measured from top of ground cover.
- Fall absorbing ground cover is required under and around all play equipment.
- The minimum recommended fall zone around the entire playstructure is shown. This zone is to be free of all tripping or collision hazards (i.e. roots, rocks, border material, etc).
- All post lengths are identified by text showing the post lengths. I.e. 98 represents a 98 inch post.
- Not all equipment may be appropriate for all children. Supervision is required.



Playground Layout Compliance:

- ASTM F1487 - Playground Equipment for Public Use.
- CPSC Handbook for Public Playground Safety.



LEED points for this structure
2

Little Sites COMMERCIAL
Playgrounds Fun & Easy!

Project: Goddard Pkg M 1-15

LTCPS rep:
Joleen Boyer
LTCPS
573-760-7327

Kid Builder:
Post Material: Galvanized
Post Color: Red
Accent Color: Yellow
Panel Color: Multi
Slide Color: Kakadu Blue
Roof Color: Blue
Hex Wedge: None
Hex Rib: None
Mounting: 1.5 G.C.

Drawn by: Gabe Lindsey
Date: 4/14/2015
DWG Name: QUD064803
Scale: 1/8" = 1'-0"
Approved by:

LTCPS - Farmington
One Iron Mountain Drive
Farmington, Missouri 63640
Voice: 1-800-325-8828
Fax: 573-756-0319

No.	Description	Date
1	Round 1 Response	2/1/19
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GODDARD SCHOOL DEVELOPMENT SITE DEVELOPMENT PLAN

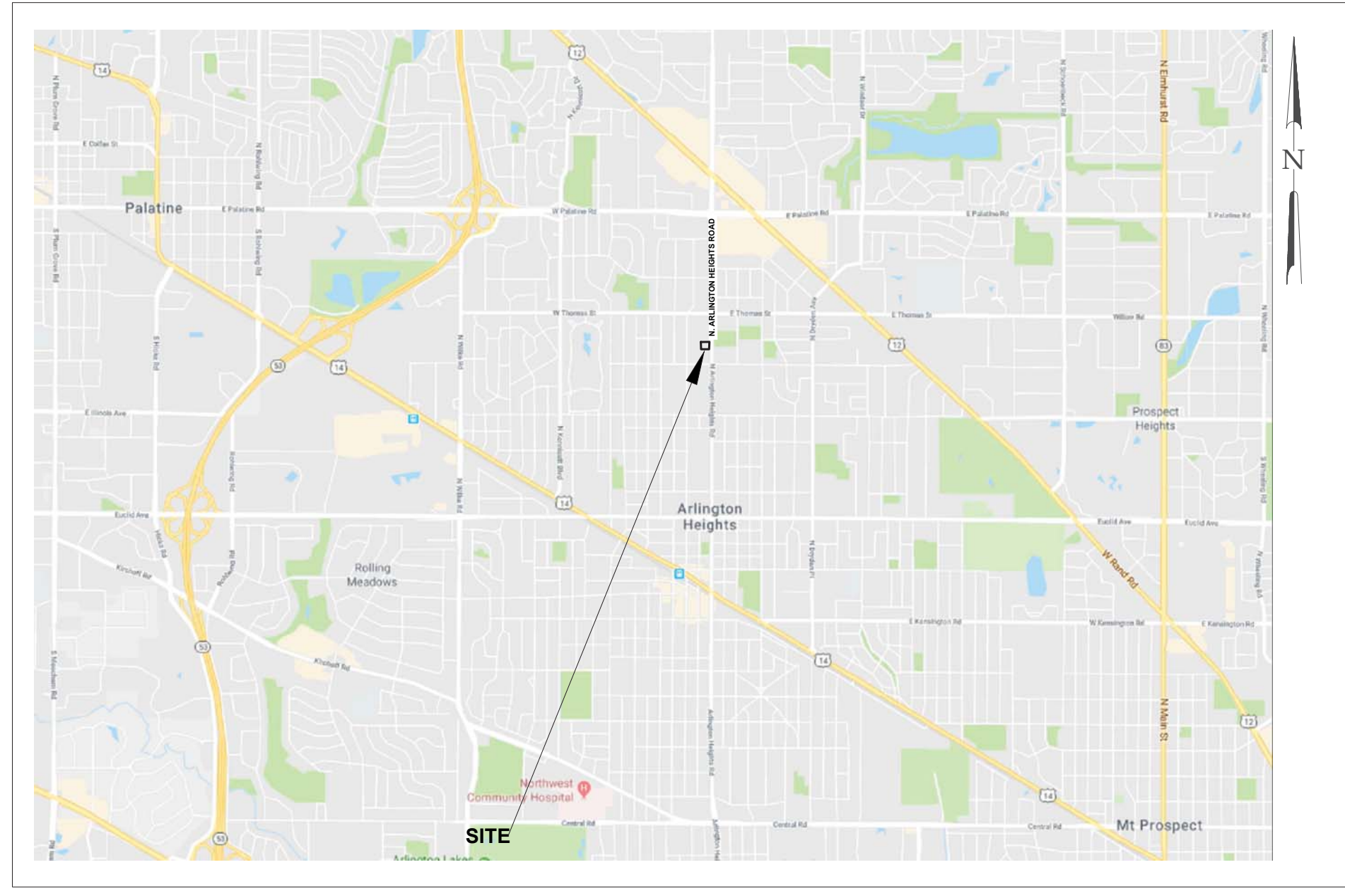
1316 N. ARLINGTON HEIGHTS RD., ARLINGTON HEIGHTS, COOK COUNTY, IL PRELIMINARY PLAN

SECTION: 20
TOWNSHIP: 42N
RANGE: 11E

PIN: 03-20-302-045

BENCHMARK INFO
SITE BENCHMARK IS CUT CROSS ON WEST CONCRETE CURB NEAR NORTHEAST CORNER OF PROPERTY ELEV. 701.84
ELEVATIONS SHOWN HEREON ARE IN RELATION TO VILLAGE OF ARLINGTON HEIGHTS MONUMENT NO. 34 BEING A 3" DIAMETER BRASS DISK SET IN CONCRETE LOCATED ±50 FT. EAST OF THE CENTERLINE OF ARLINGTON HEIGHTS ROAD AND ±27 FT. NORTH OF THE CENTERLINE OF MAUDE AVENUE ELEV.= 702.70 (NAVD 1988)

SITE LOCATION MAP



AERIAL MAP



DRAWING INDEX:

1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION & SEDIMENTATION CONTROL PLAN
- 2.1. TREE REMOVAL & PRESERVATION PLAN
3. PROPOSED GRADING & DRAINAGE PLAN – OVERALL SITE
4. PROPOSED UTILITIES PLAN – OVERALL SITE
5. GEOMETRIC PLAN – OVERALL SITE
6. CONSTRUCTION NOTES (NOT INCLUDED)
7. STANDARD DETAILS (NOT INCLUDED)
8. IDOT DETAILS (NOT INCLUDED)
9. IDOT DETAILS CONTI...(NOT INCLUDED)
10. IDOT DETAILS CONTI...(NOT INCLUDED)
11. IDOT DETAILS CONTI...(NOT INCLUDED)

**SANITARY SEWER ROUTE MAP
TO BE PROVIDED IN
DETAILED DESIGN**

PROJECT NARRATIVE

GENERAL: PROPOSED SCHOOL IS PROPOSED ON A 1.156 AC. PARCEL WITH PARKING LOT & EXISTING BUILDINGS.

AREA SUMMARY:
TOTAL AREA OF SITE: 1.156 ACRES
DISTURBED AREA OF SITE: 0.946 ACRES

SPECIAL PROTECTION AREAS: NO FLOODPLAIN WITHIN 100' OF SITE. THERE ARE NO WETLANDS WITHIN 100' OF SITE.

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE SITE.

COMBINED/SEPARATE SEWER AREA INFO: PROPOSED PROJECT IS LOCATED IN A COMBINED SEWER AREA.

DETENTION/VOLUME CONTROL FACILITY: DETENTION (SITE AREA<3AC.) IS NOT REQUIREMENT PER MWRD. DETENTION IS REQUIRED PER LOCAL REQUIREMENTS. VOLUME CONTROL(SITE AREA>0.5AC.) IS REQUIRED PER MWRD REGULATIONS.

SANITARY SEWERS: EXISTING SANITARY SERVICES FROM THE BUILDING TO BE REUSED.

SOILS/INFILTRATION RATE: SILTY CLAYS

GROUNDWATER ELEVATION: SEASONAL GROUNDWATER TABLE IS BELOW 15' PER SOILS REPORT

**STORM SEWER ROUTE MAP
TO BE PROVIDED IN
DETAILED DESIGN**

NOTE

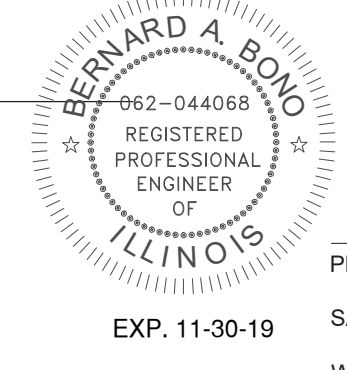
The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

*Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:
J.U.L.I.E. 1 (800) 892-0123*

1. I HEREBY CERTIFY THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO STORMWATER DRAINAGE, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
2. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PROPOSED IMPROVEMENT IS NOT LOCATED IN FLOOD PROTECTION AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.

ENGINEER  DATE _____

	LEGEND:	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	—>—>	—>—>
WATER LINE	—v—v—	—v—v—
STORM SEWER LINE	—>—>	—>—>
STORM MANHOLE	○	●
SANITARY MANHOLE	○	■
COMBINED SEWER	—>—>	—>—>
COMBINED MANHOLE	○	■
CATCH BASIN	○	●
INLET	○	■
WATER VALVE VAULT	○	○
WATER VALVE	○	○
GRADE	---	---
DRAINAGE DIVIDE	---	---
CURB & GUTTER	---	---
CLEANOUT	○	○
DOWNSPOUT (ROOF DRAINS)	○	○
WATER B. BOX	○	○
TREE PROTECTION FENCE	---	---
CONSTRUCTION FENCE	---	---
INLET FILTER BASKET	○	○
TRAFFIC DIRECTION PAVEMENT MARKING	---	---
FIRE HYDRANT	○	○
RETAINING WALL WRAILING	---	---
TOP OF CURB	TIC XXX.XX	TIC XXX.XX
BOTTOM OF CURB	B/C XXX.XX	B/C XXX.XX
TOP OF CURB	TIC XXX.XX	TIC XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
WALK	W XXX.XX	W XXX.XX
BOTTOM OF WALK	B/W XXX.XX	B/W XXX.XX
DESPRESSED CURB	D/C XXX.XX	D/C XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
MOUNTABLE CURB	M/C XXX.XX	M/C XXX.XX
	B/C XXX.XX	B/C XXX.XX

DATE	ISSUE	PROJECT STAFF	REVISIONS
06-25-2018	A	PROJECT MANAGER	PRELIMINARY PLAN
07-29-2018	B	ENGINEER	REVISIONS TO PRELIMINARY PLAN
08-19-2018	C	ENGINEER	REVISIONS TO PRELIMINARY PLAN
		TECHNICIAN	

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BERNARD A. BONO
062-044068
REGISTERED
PROFESSIONAL
ENGINEER
OF
ILLINOIS
EXP. 11-30-19

TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP
GODDARD SCHOOL DEVELOPMENT
1316 N. ARLINGTON HTS. RD., ARLINGTON HEIGHTS, IL

NOT FOR CONSTRUCTION

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PROJECT NUMBER: 18139
START DATE: JUNE 21, 2018
GRAPHIC SCALE: 0
SCALE: NTS
SHEET NUMBER: 1 OF 11

ALL UTILITIES TO THE BUILDING TO BE DEMOLISHED MUST BE ABANDONED IN ACCORDANCE WITH VILLAGE REQUIREMENTS.

-REPLACE ALL SIDEWALK SQUARES ACROSS THE FRONTAGE THAT RESULT IN PONDING. -REPLACE ALL DAMAGED SIDEWALK ACROSS THE FRONTAGE DUE TO DEMOLITION.

REMOVE EXISTING CRASH POSTS

EXISTING FIRE HYDRANT TO REMAIN.

EXISTING BUILDING TO REMAIN.

EXISTING SANITARY SERVICE TO REMAIN.

REMOVE BUILDING. DISCONNECT EXISTING SERVICES AT CLEANOUT.

EXISTING STORM SEWER SYSTEM AND TIE-IN TO REMAIN.

PROVIDE INLET PROTECTION TO CATCH BASIN-2, 3 & 3A

EXISTING WATER SERVICE TO REMAIN.

CONCRETE WASHOUT

REMOVE EXISTING POLES & TIMBER BORDERS

BEST MANAGEMENT PRACTICES SEQUENCE

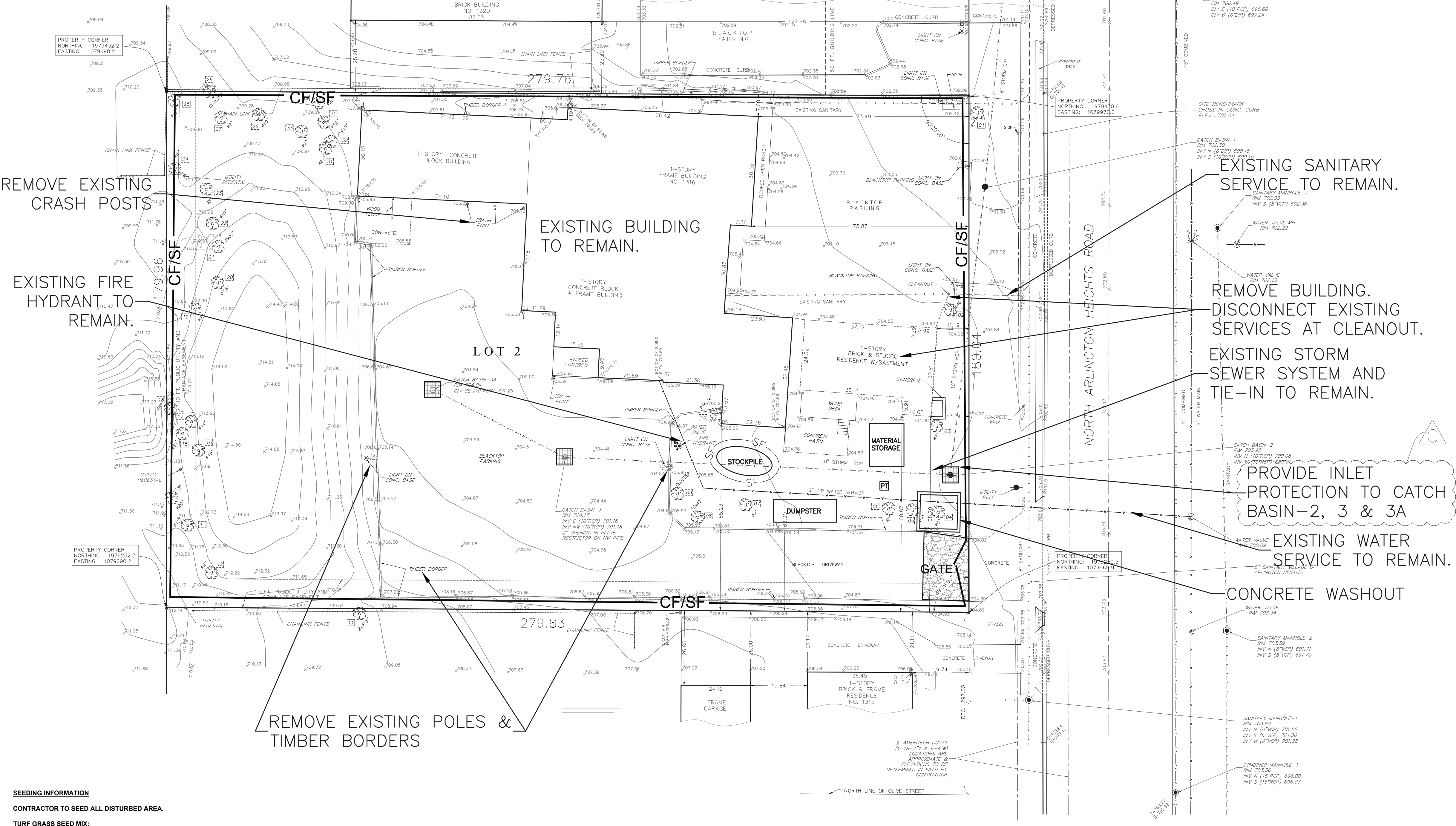
- NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DEMOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PERIOD. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS. PHASE - 1 1. INSTALL TREE PROTECTION FENCING AND EROSION CONTROL SILT FENCE, INLET FILTER BASKETS, MAINTAIN THROUGH OUT PROJECT...

EARTHWORK / EROSION & SEDIMENTATION CONTROL

- 1) All construction activities that involve earthwork shall meet the National Pollutant Discharge Elimination System Phase II requirements: a) Submittal of a Notice of Intent (NOI) to EPA...

DEMOLITION NOTES

- 1. Install temporary tree protection fencing prior to any demolition work. 2. Install temporary 6' high chain link fence around the proposed work area as shown on the drawing. Contractor to call utility at 1-800-892-0123. minimum of 48 hours prior to initiating any excavation or demolition...



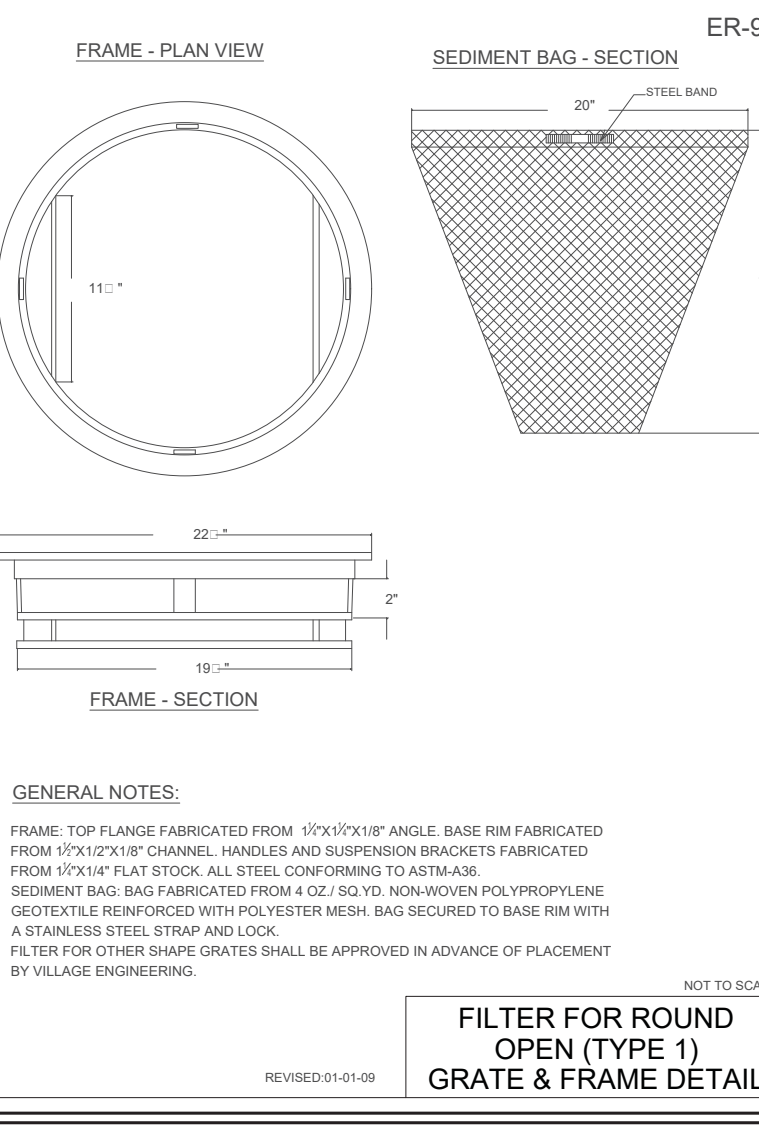
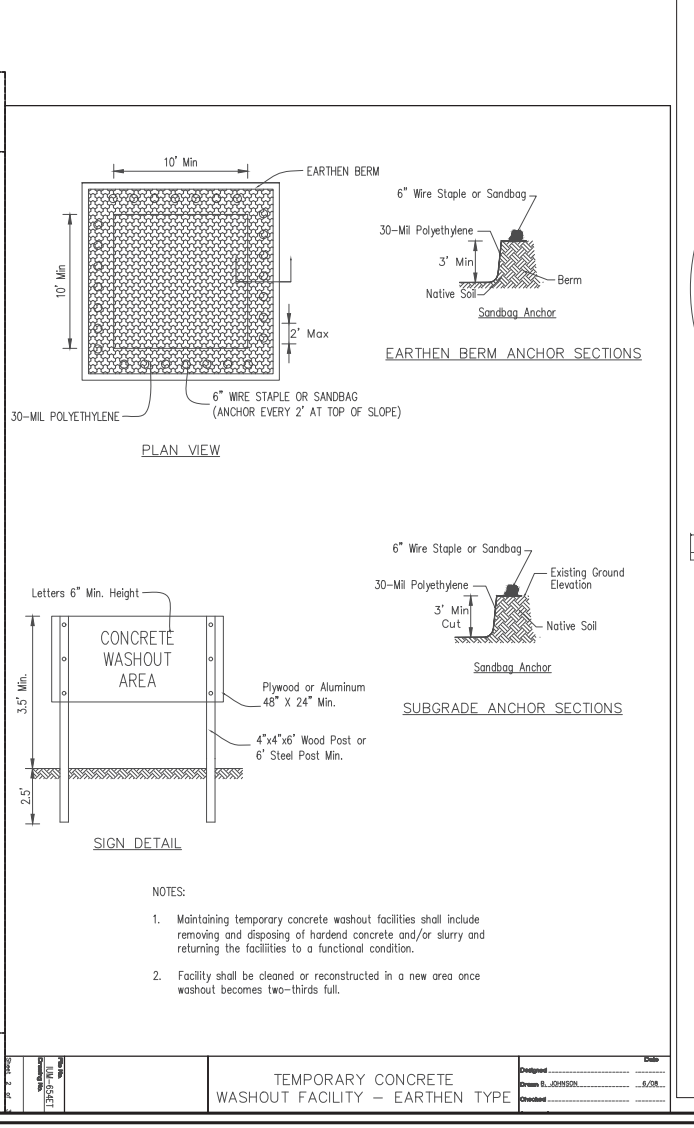
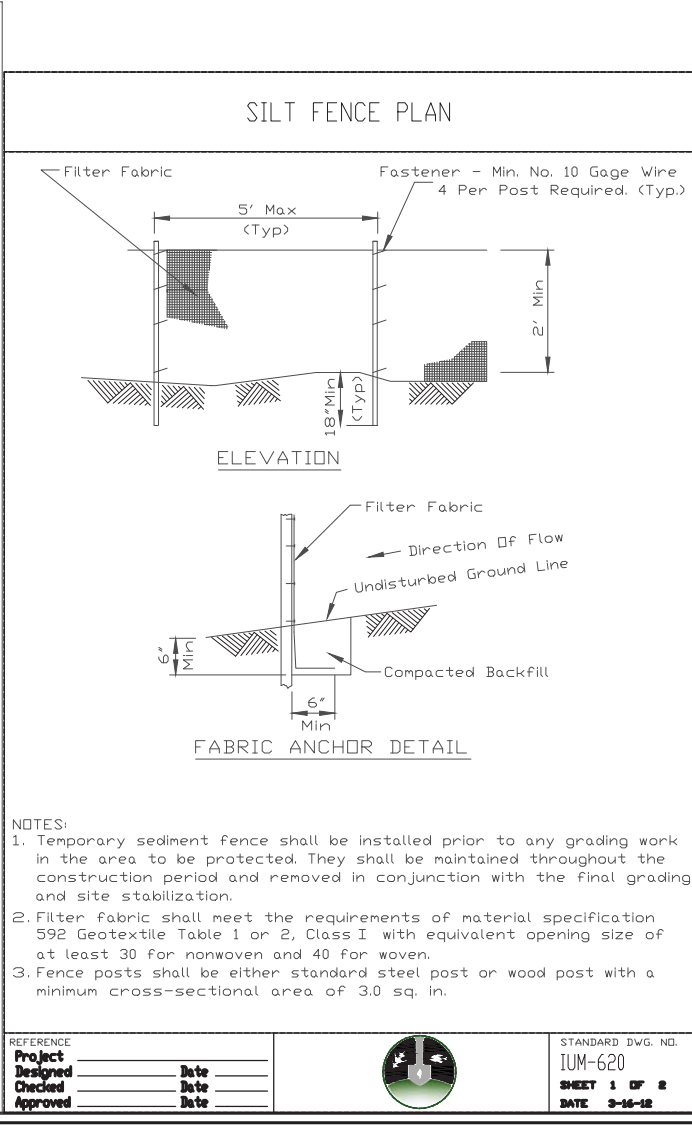
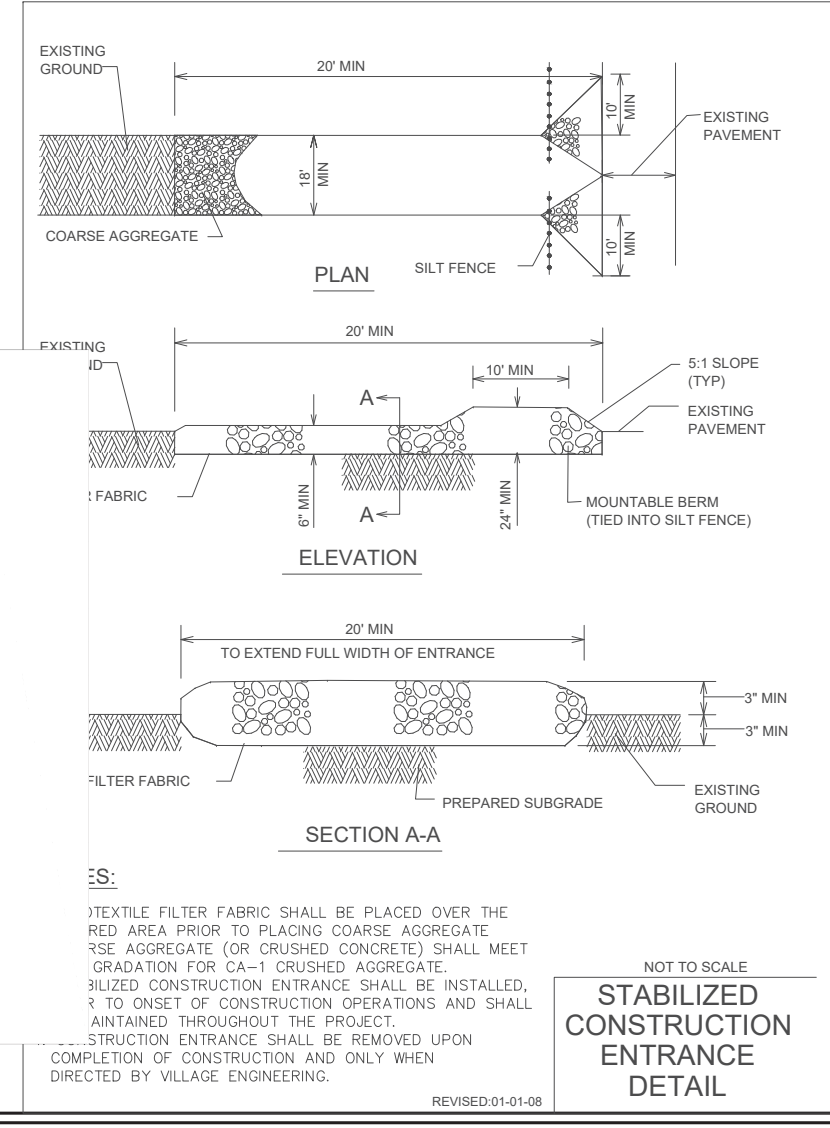
SEEDING INFORMATION CONTRACTOR TO SEED ALL DISTURBED AREA. TURF GRASS SEED MIX:

FURNISH AND APPLY SUNNY TURF GRASS SEED MIX (TIMOTHY-33.3% / ORCHARDGRASS-33.3% / KENTUCKY BLUEGRASS-33.3%, SEEDING RATE=70 LBS./ACRE AND COMMON OATS=30 LBS./ACRE FOR A TOTAL 100 LBS./ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1 WEEK OF THE COMPLETION OF FINAL GRADING.

Table with columns: Species, lbs./acre, and Seeding Dates (Jan-Dec). Rows include Oats, Cereal Rye, Winter Wheat, and Winter Mulch.

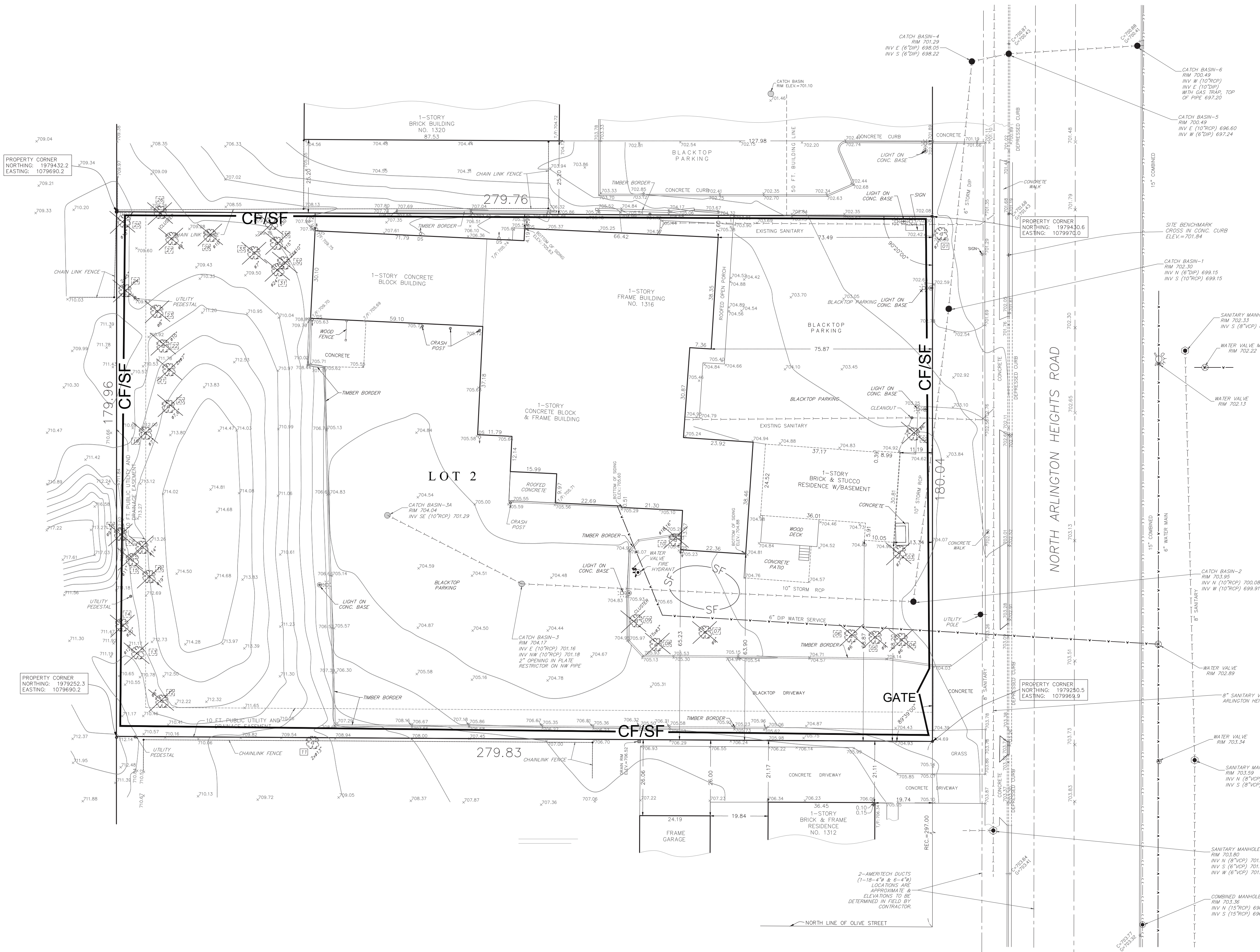
SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

Calendar grid showing construction sequence from JAN to NOV for various activities like CONSTRUCTION SEQUENCE, TEMPORARY CONSTRUCTION EWTs, etc.



1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES. 2) THE SCHEDULE MUST CONDUCE WITH SEQUENCE OF CONSTRUCTION.

Project information including DATE (05-25-2018), REVISIONS, PROJECT STAFF (PROJECT MANAGER, ENGINEER, ENGINEER, TECHNICIAN), PROJECT NAME (GODDARD SCHOOL DEVELOPMENT AND SEDIMENTATION CONTROL PLAN), and SHEET NUMBER (2 OF 11).



Tag	Common Name	Scientific Name	Size	Cond.	Form	Notes	REMOVE	NO ACTION	ROOT PRUNE
1	Colorado Spruce	<i>Picea pungens</i>	7	4	3	Trunk decay.		X	
2	Cherry	<i>Prunus spp.</i>	6	2	2	Weeping form.	X		
3	Cherry	<i>Prunus spp.</i>	7	2	2	Weeping form.	X		
4	Colorado Spruce	<i>Picea pungens</i>	6	2	4	One sided.	X		
5	Callery Pear	<i>Pyrus calleryana</i>	9	2	3	Included bark.	X		
6	Crabapple	<i>Malus spp.</i>	6	2	3	One sided.	X		
7	Callery Pear	<i>Pyrus calleryana</i>	9	2	2		X		
8	Pussy Willow	<i>Salix discolor</i>	3" x 15	2	3		X		
9	River Birch	<i>Betula nigra</i>	4,4,4,2	2	3	One sided.	X		
10	Boxelder	<i>Acer negundo</i>	18,16	2	3	Included bark.	X		
11	Boxelder	<i>Acer negundo</i>	13,13	2	3	Included bark.		X	
12	Boxelder	<i>Acer negundo</i>	8	3	3		X		
13	Boxelder	<i>Acer negundo</i>	12	3	4	One sided.	X		
14	Boxelder	<i>Acer negundo</i>	20	3	5	Leaning, dieback.	X		
15	Mulberry	<i>Morus alba</i>	11	4	4	Overtopped, dieback.	X		
16	Boxelder	<i>Acer negundo</i>	19	3	5	Leaning, dieback.	X		
17	Mulberry	<i>Morus alba</i>	14	4	5	Laying on ground, dieback.	X		
18	Mulberry	<i>Morus alba</i>	9	5	5	Trunk decay, dieback.	X		
19	Boxelder	<i>Acer negundo</i>	7	4	5	Leaning.	X		
20	Mulberry	<i>Morus alba</i>	7	4	4		X		
21	Mulberry	<i>Morus alba</i>	7,7	3	4		X		
22	Green Ash	<i>pernysylvanica</i>	10	6	6	Dead.	X		
23	Boxelder	<i>Acer negundo</i>	8	5	5	Nearly dead, leaning.	X		
24	Black Cherry	<i>Prunus serotina</i>	5,5	3	4		X		
25	Boxelder	<i>Acer negundo</i>	18	6	6	Dead.	X		
26	Silver Maple	<i>Acer saccharinum</i>	18,15,13	2	3		X		
27	Silver Maple	<i>Acer saccharinum</i>	9	3	4		X		
28	Silver Maple	<i>Acer saccharinum</i>	10	3	4	Leaning.	X		
29	Silver Maple	<i>Acer saccharinum</i>	30	2	3	One sided.	X		
30	Boxelder	<i>Acer negundo</i>	15	3	5	Leaning, on roof.	X		
31	Boxelder	<i>Acer negundo</i>	24	3	4		X		
32	Boxelder	<i>Acer negundo</i>	10,10	3	4		X		
33	Boxelder	<i>Acer negundo</i>	7	3	5	Leaning.	X		

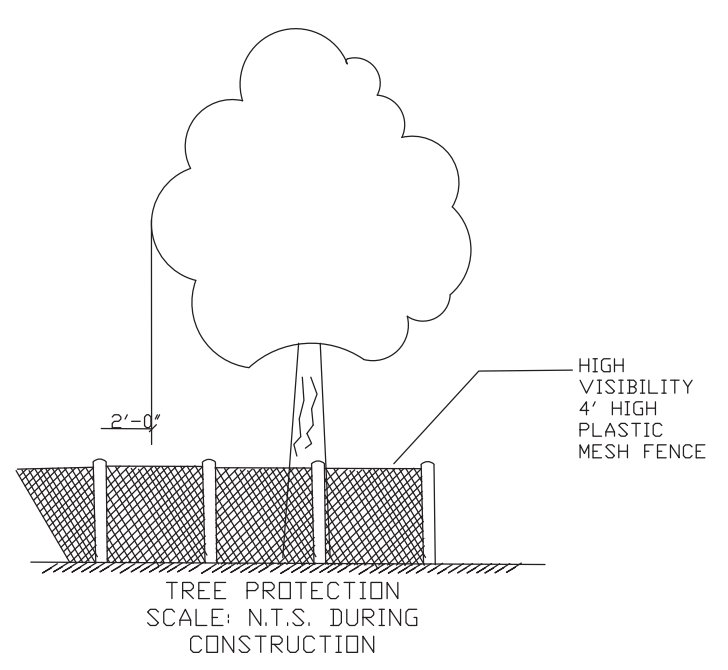
Tree Condition. A visual assessment and rating of the overall health and vigor of the tree, as follows:

- 1 - Excellent
- 2 - Very Good
- 3 - Good
- 4 - Below Average
- 5 - Poor
- 6 - Dead

Tree Form. A visual assessment and rating of the form of the tree, as follows:

- 1 - Excellent
- 2 - Very Good
- 3 - Good
- 4 - Below Average
- 5 - Poor
- 6 - Dead

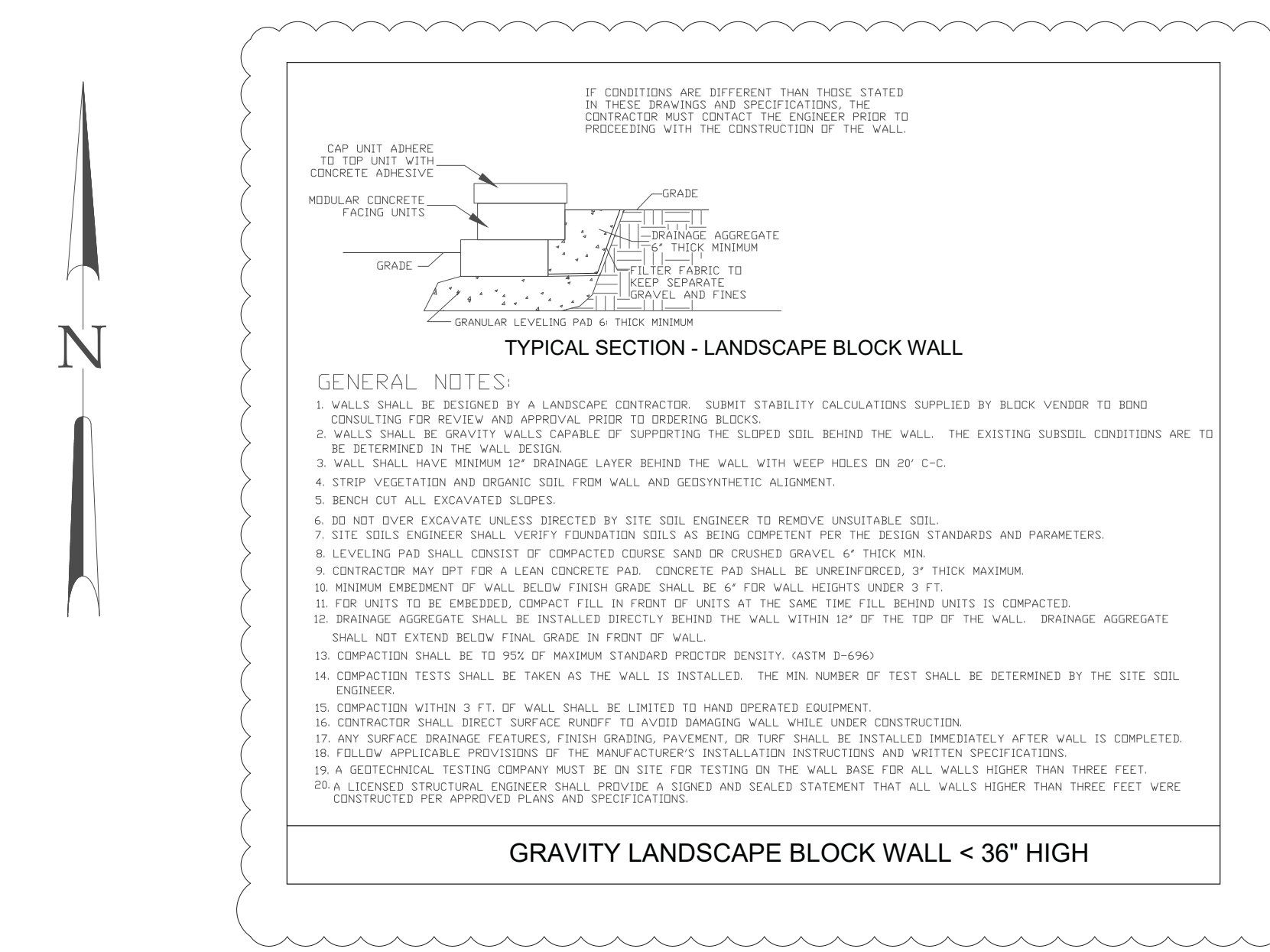
Prepared by: David Coulter, Osage Inc.
ISA Certified Arborist #L-0094 (Exp. 12/31/19)



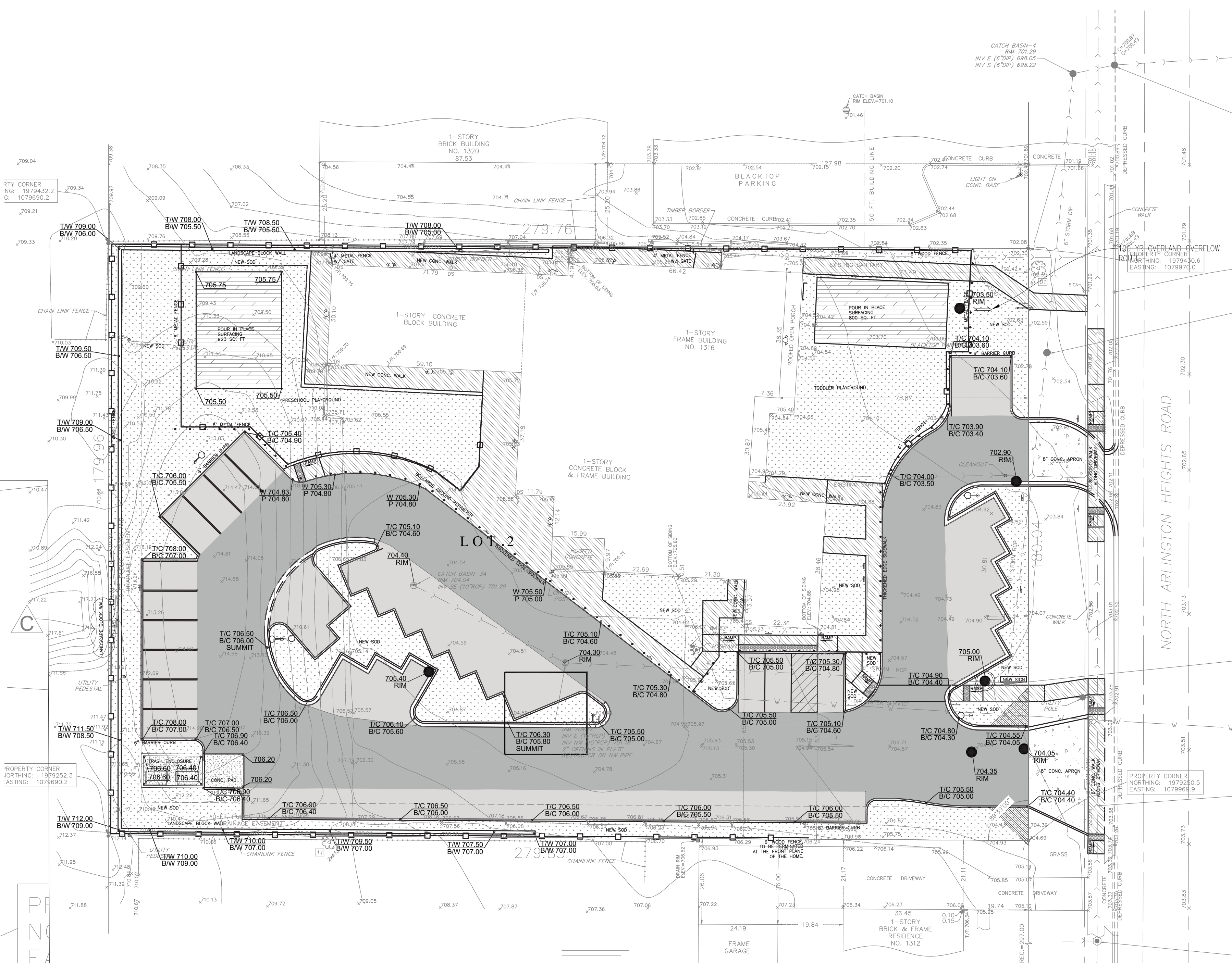
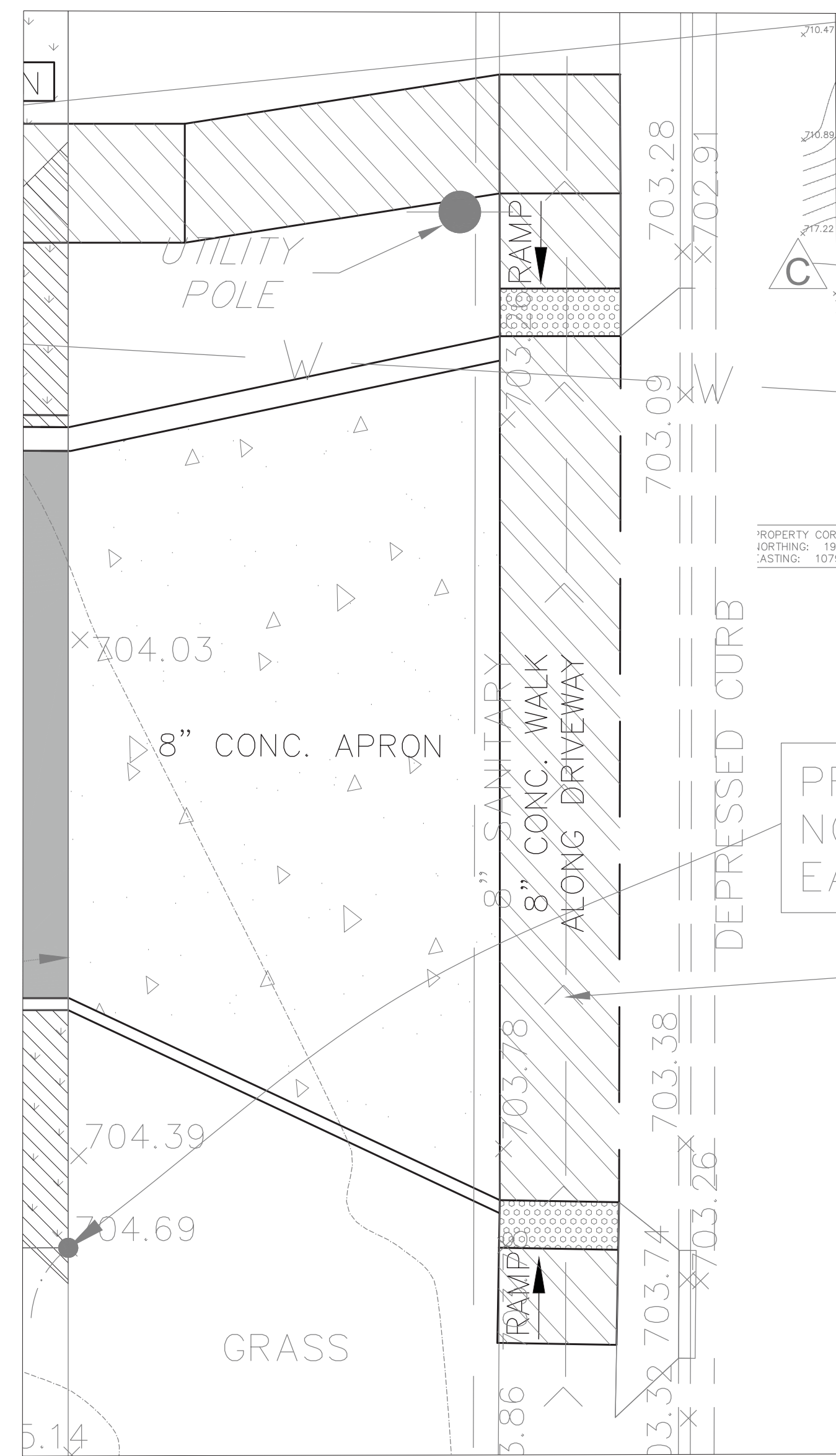
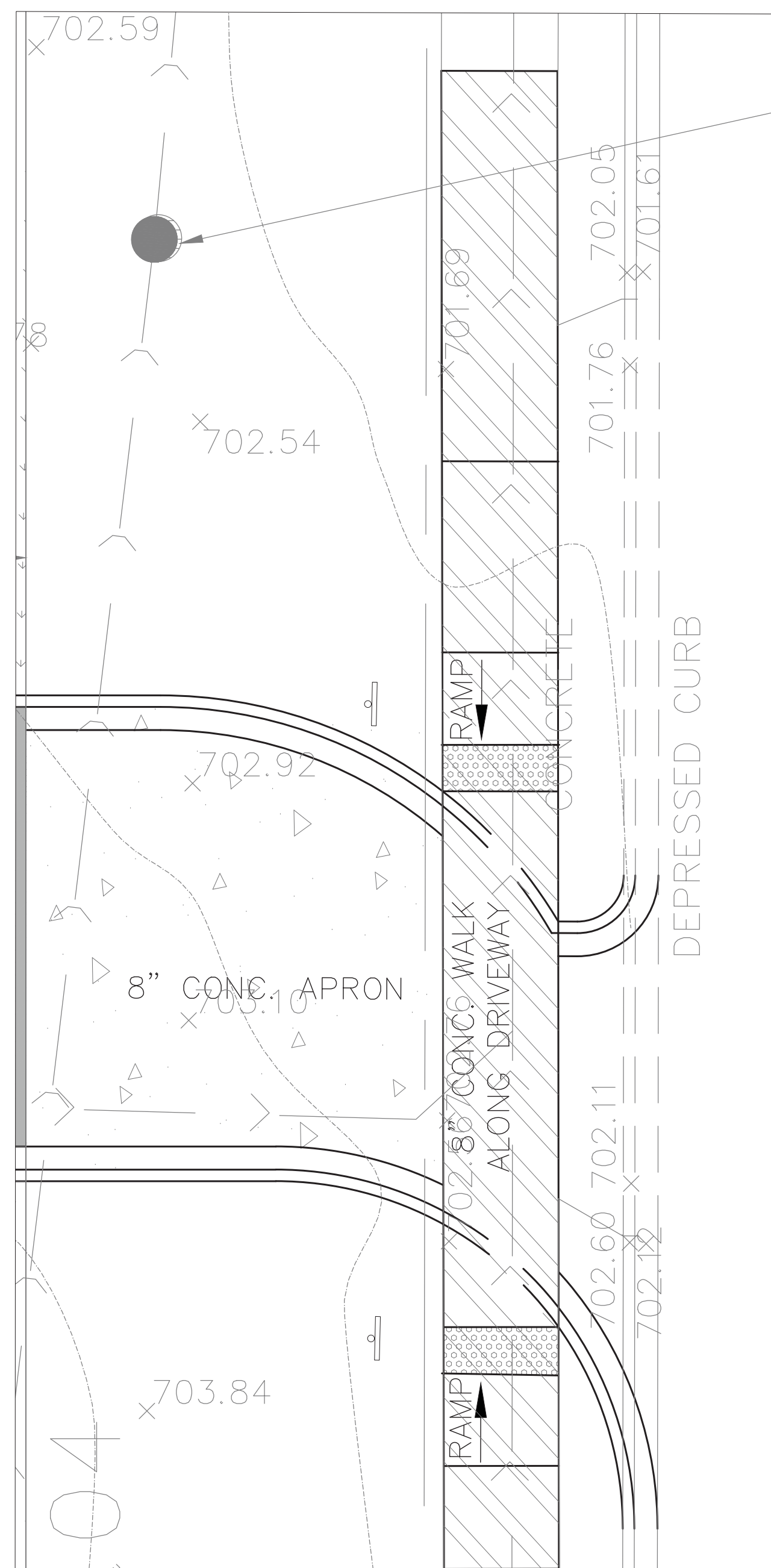
DATE	ISSUE	PROJECT STAFF	REVISIONS
05-25-2018	A	PRELIMINARY PLAN	
05-25-2018	B	REVISIONS TO PRELIMINARY PLAN	
05-25-2018	C	REVISIONS TO PRELIMINARY PLAN	

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bbono@bonoconsulting.com

TREE REMOVAL & PRESERVATION PLAN
GODDARD SCHOOL DEVELOPMENT
1316 N. ARLINGTON HTS. RD., ARLINGTON HEIGHTS, IL



GRAVITY LANDSCAPE BLOCK WALL < 36" HIGH



DETENTION SUMMARY (LOCAL REQUIREMENTS - IN VAULT & STONE VOIDS)

TOTAL DETENTION REQUIRED = 2,249 CU. FT.

VOLUME IN VAULT	=	312 CU. FT.
VOLUME IN VAULT (BELOW OUTLET)	=	2,187 CU. FT.
VOLUME IN STONE VOIDS	=	306 CU. FT.
TOTAL DETENTION PROVIDED	=	2,524 CU. FT.
VOLUME CONTROL REQUIRED (MWRD)	=	2,289 CU. FT.
VOLUME CONTROL PROVIDED (MWRD)	=	2,493 CU. FT.
HWL	=	703.50
OVERFLOW ELEVATION	=	703.50

DATE	ISSUE	PROJECT STAFF	REVISIONS
06-25-2018	A	B. BOND	PRELIMINARY PLAN
07-19-2018	B	A. VERTI	REVISIONS TO PRELIMINARY PLAN
08-19-2018	C	TECHNICAL	REVISIONS TO PRELIMINARY PLAN

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bbono@bonoconsulting.com

PROPOSED GRADING & DRAINAGE PLAN
OVERALL SITE
GODDARD SCHOOL DEVELOPMENT
1316 N. ARLINGTON HTS. RD., ARLINGTON HEIGHTS, IL

NOT FOR CONSTRUCTION

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PROJECT NUMBER: 18139
START DATE: JUNE 21, 2018
GRAPHIC SCALE: 1" = 20'-0"
SCALE: 1" = 20'-0"
SHEET NUMBER: 3 OF 11



Goddard School, Arlington Heights

Date: 9.18.18

	Existing		Proposed	
	Sq. Ft.	Acres	Sq. Ft.	Acres
Project Area	50,362.25	1.156		
Building	10,331.96	0.237	9,137.18	0.210
Walks, Play Ground & Conc.	1,531.89	0.035	8,366.64	0.192
Access & Parking	19,420.56	0.446	19,565.38	0.449
Impervious Area	31,284.41	0.718	37,069.50	0.851
Pervious Area	19,077.84	0.438	13,292.75	0.305
Disturbed area of Site	0.946	Ac.		
Increase in Impervious Area	0.133			

MWRD (MOD.RATIONAL METHOD)
100 YEAR

Project: 1316 N. Arlington Heights Rd., Arlington Heights
Date: 9.18.18

Project No: Computed By: AV

DETENTION FOR INCREASE IN IMPERVIOUS ONLY

Increase in Impervious Area of Site

Disturbed Area of Site	0.946	acres
Inc. in Impervious Area of site	0.133	acres

Release Rate = 0.18*0.133 = 0.024 Per Arlington Heights

Developed Disturbed Area of Site/Proposed Land Use Type	Runoff Coefficient	Area (Acres)	Percentage
Impervious	0.95	0.133	100.0%
Grass & Landscaping	0.50	0.000	0.0%
Surface Ponding	1.00	0.000	0.0%

Composite Characteristics: 0.95 0.133 100.0%

BULLETIN 70 STORM EVENT

Storm Duration (Min)	Storm Duration (Hours)	Rainfall Intensity (Inch/Hour)	Inflow Rate (CFS)	Release Rate (CFS)	Storage Rate (CFS)	Storage Required (Acres-Feet)
5	0.08	10.90	1.38	0.024	1.35	0.009
10	0.17	10.02	1.27	0.024	1.24	0.017
15	0.25	8.20	1.04	0.024	1.01	0.021
20	0.33	7.30	0.92	0.024	0.90	0.025
30	0.50	5.60	0.71	0.024	0.68	0.028
40	0.67	4.58	0.58	0.024	0.55	0.031
50	0.83	3.97	0.50	0.024	0.48	0.033
60	1.00	3.56	0.45	0.024	0.43	0.035
90	1.50	2.68	0.34	0.024	0.31	0.039
120	2.00	2.24	0.28	0.024	0.26	0.043
180	3.00	1.62	0.20	0.024	0.18	0.045
240	4.00	1.40	0.18	0.024	0.15	0.051
300	5.00	1.17	0.15	0.024	0.12	0.052
360	6.00	0.95	0.12	0.024	0.10	0.048
420	7.00	0.83	0.10	0.024	0.08	0.047
480	8.00	0.75	0.09	0.024	0.07	0.047
540	9.00	0.68	0.09	0.024	0.06	0.046
600	10.00	0.63	0.08	0.024	0.06	0.046
660	11.00	0.59	0.07	0.024	0.05	0.046
720	12.00	0.55	0.07	0.024	0.05	0.046
1080	18.00	0.39	0.05	0.024	0.03	0.038
1440	24.00	0.32	0.04	0.024	0.02	0.033
2160	36.00	0.22	0.03	0.024	0.00	0.012
2880	48.00	0.17	0.02	0.024	0.00	-0.010

Required Detention Volume: 2,249 Acre-Feet

A = 0.133 Acres	Impervious	0.133 Acres	C Value
	Surf. Ponding	0.000 Acres	1
	Landscape	0.000 Acres	0.5
C = 0.900			

Release Rate: 0.024 cfs

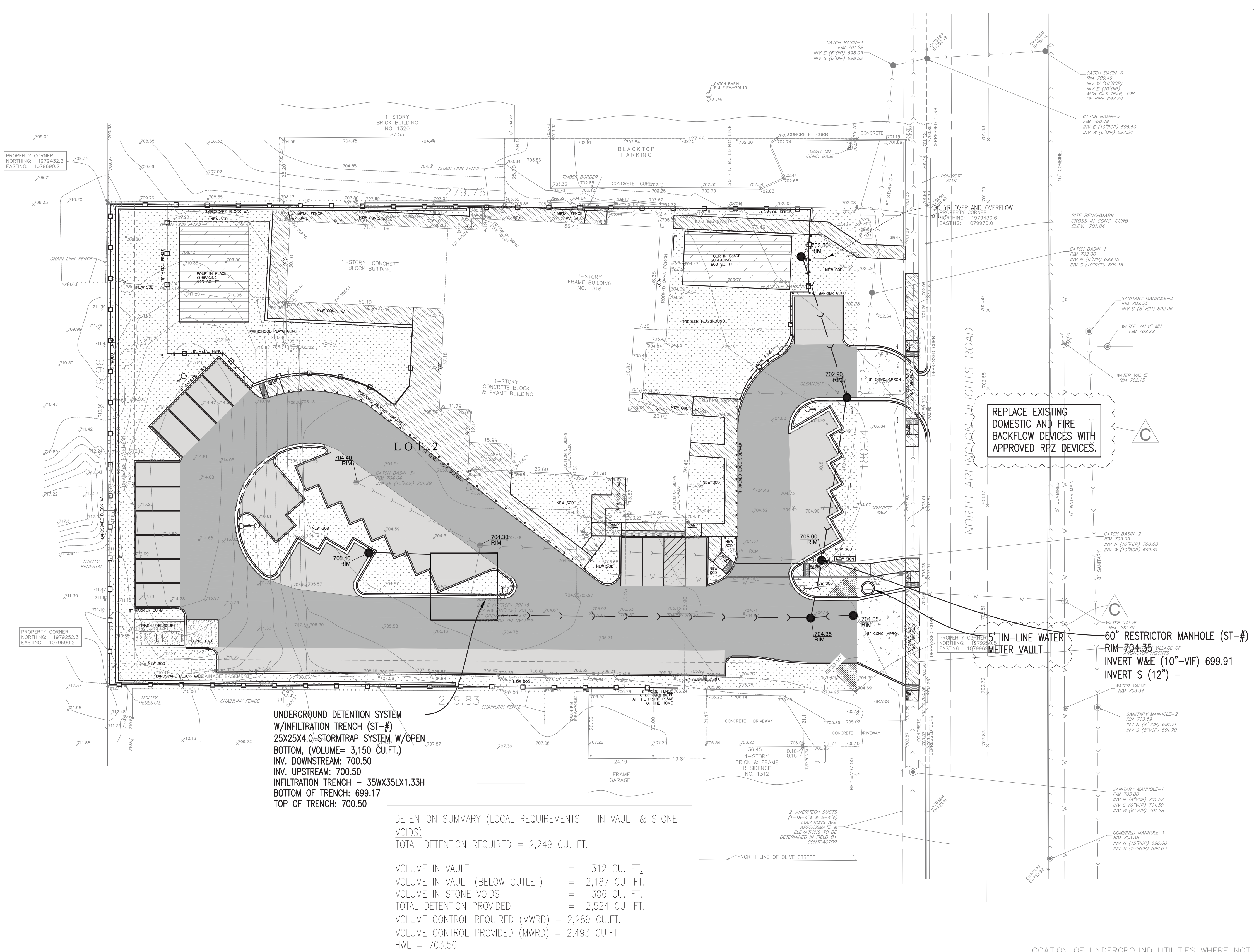
MWRD VOLUME CONTROL (New Impervious Area)	Impervious Area	Times 1"	Required Volume
	27,463	0.083	2,289 ft ³

RESTRICTOR CALCULATION

Orifice Design		
Require O = 0.024 cfs	Det. HWL = 703.50	
Cd = 0.61	Orifice Invert: 699.91	
Max. Head = 3.55	Orifice Cent. 699.95	
Orifice Area: 0.0039		
Calculated Max. Restrictor Discharge: 0.036		

Restrictor Diameter = 0.85 inches

USE 0.85" DIAMETER PLATE RESTRICTOR



Release Rate: 0.024 cfs

MWRD VOLUME CONTROL (New Impervious Area)

Impervious Area	Times 1"	Required Volume
27,463	0.083	2,289 ft ³

RESTRICTOR CALCULATION

Orifice Design		
Require O = 0.024 cfs	Det. HWL = 703.50	
Cd = 0.61	Orifice Invert: 699.91	
Max. Head = 3.55	Orifice Cent. 699.95	
Orifice Area: 0.0039		
Calculated Max. Restrictor Discharge: 0.036		

Restrictor Diameter = 0.85 inches

USE 0.85" DIAMETER PLATE RESTRICTOR

DATE	ISSUE	PROJECT STAFF
09-25-2018	A PRELIMINARY PLAN	B. BOYD
10-19-2018	B REVISIONS TO PRELIMINARY PLAN	A. VERTI
02-19-2019	C REVISIONS TO PRELIMINARY PLAN	C. VERTI

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PROPOSED UTILITY PLAN
OVERALL SITE
GODDARD SCHOOL DEVELOPMENT
1316 N. ARLINGTON HTS. RD., ARLINGTON HEIGHTS, IL

NOT FOR CONSTRUCTION

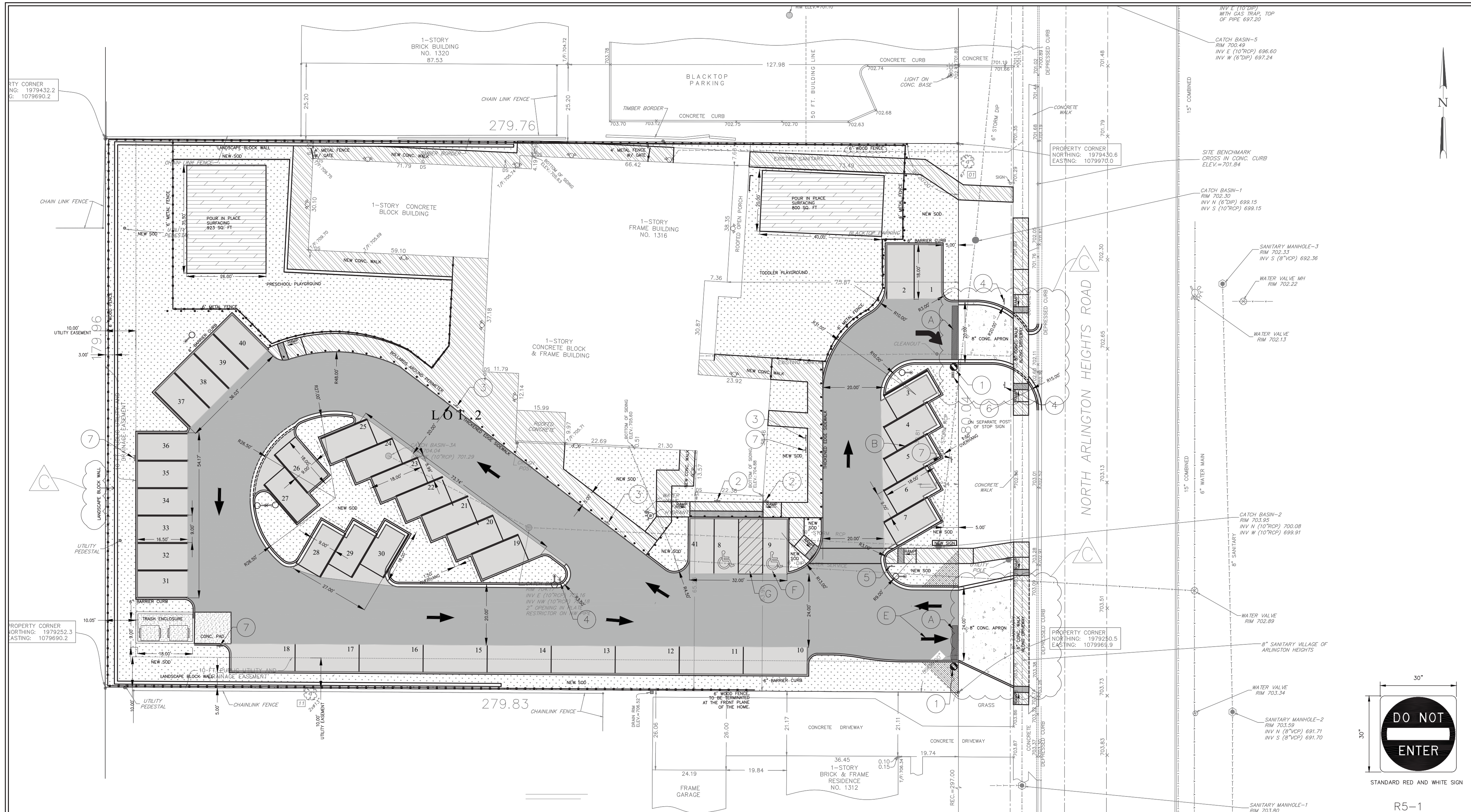
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PROJECT NUMBER: 18139
START DATE: JUNE 21, 2018
GRAPHIC SCALE: 1"=20'-0"
SCALE: 1"=20'-0"
SHEET NUMBER: 4 OF 11

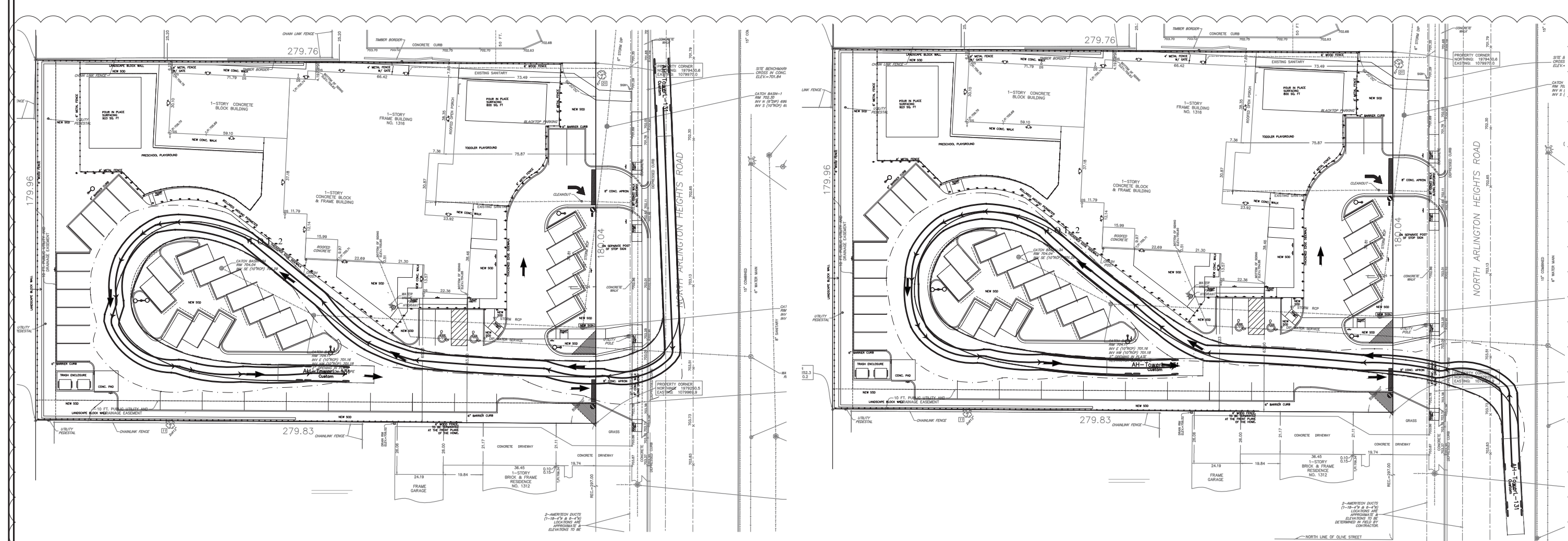
LOCATIONS OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @ 1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

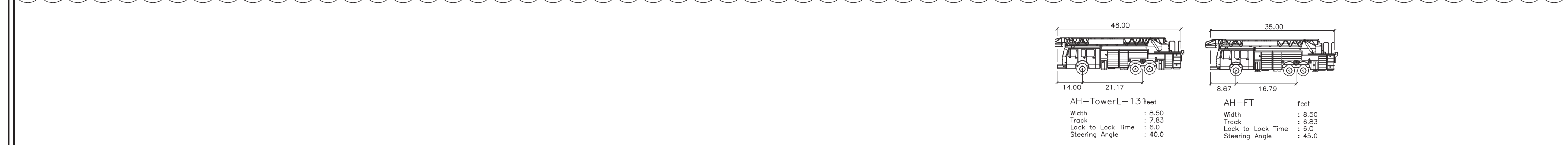


- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL /COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
 - ALL CURBED RADII ARE TO BE 3' MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB AND RADII ARE BACK OF CURB OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITION AS PREPARED BY OTHERS & BCI CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE REMOVED UNDER PROPOSED BUILDINGS AND ABANDONED ELSEWHERE AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY OTHERS.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - TOTAL LAND AREA IS 1.156 +/- ACRES, DISTURBED AREA OF SITE 0.946 +/- ACRES.
 - NO WETLANDS WERE PRESENT ON THIS SITE.
 - THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."
 - MONUMENT AND/OR PYLON SIGNS SHALL BE CONSTRUCTED BY OWNER ASSIGNED CONTRACTOR.
 - ALL ROADWAY AND PARKING IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - ALL SIDEWALK CROSS-SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.



FIRE TRUCK TURNING RADIUS PLAN- SOUTH BOUND

FIRE TRUCK TURNING RADIUS PLAN-NORTH BOUND

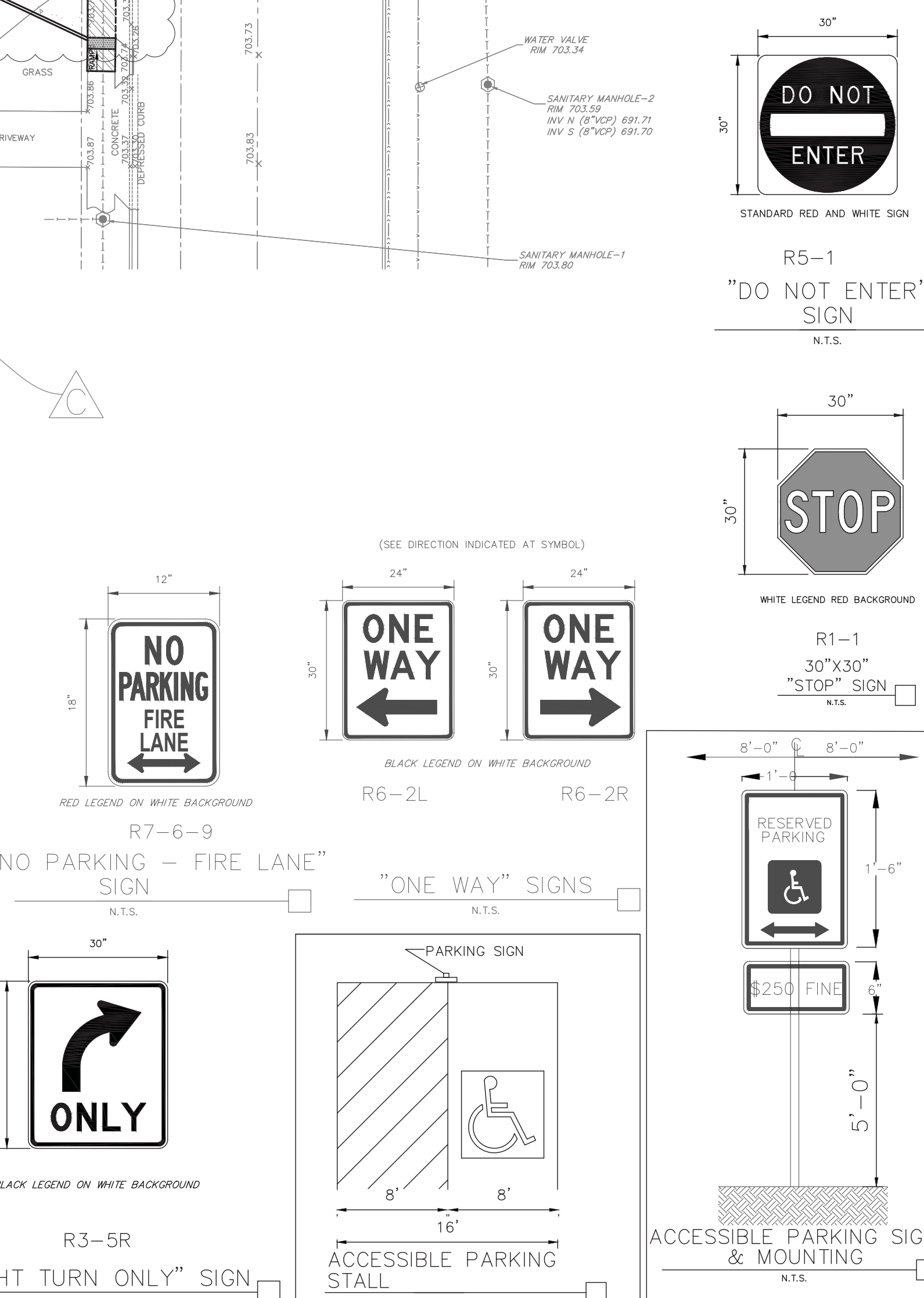


1"=50'-0"

PAVEMENT MARKING LEGEND	
(A)	24" WHITE SOLID STOP BAR
(B)	4" YELLOW SOLID LINE
(C)	8" SOLID WHITE LINE
(D)	LETTERS & SYMBOLS PAVEMENT MARKINGS
(E)	TRAFFIC FLOW DIRECTIONAL ARROWS
(F)	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS-SEE DETAIL
(G)	4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
(H)	4" SOLID WHITE LINE

SIGNAGE LEGEND	
(1)	STOP SIGN (R1-1)
(2)	ACCESSIBLE PARKING SIGN (R7-8)
(3)	NO PARKING SIGN FIRE LANE (R8-31)
(4)	DO NOT ENTER (R5-1)
(5)	PEDESTRIAN CROSSING SIGN
(6)	RIGHT TURN ONLY SIGN (R3-5R)
(7)	ONE WAY SIGN (R6-2L/R)

PAVEMENT LEGEND	
	HEAVY DUTY PAVEMENT 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2-1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 5" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, 4" AGGREGATE BASE COURSE CA-6, TYPE B
	STANDARD DUTY PAVEMENT (NOT USED) 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 8" AGGREGATE BASE COURSE CA-6, TYPE B
	CONCRETE APRON/PAVEMENT 8" CONCRETE PAVEMENT (W/6X6 W/1.4 WWF)* 4" COMPACTED AGGREGATE BASE CA-6, TYPE B
	CONCRETE PADS - TRASH CORAL & UTILITY PADS 8" CONCRETE PAVEMENT W/6X6 W/1.4 WWF* 4" COMPACTED AGGREGATE BASE CA-6, TYPE B
	SIDEWALKS 5" PORTLAND CEMENT CONCRETE - 8" PORTLAND CEMENT CONCRETE WITHIN DRIVEWAYS 4" COMPACTED AGGREGATE BASE COURSE, TYPE B
	IDOT PAVEMENT RESURFACING 1-1/2" SURFACE COURSE
	DETECTABLE WARNING AND DEPRESSED CURB REPLACEABLE RED POLYMER COMPOSITE PLATES



DATE	REVISIONS	ISSUE	PROJECT STAFF
08-25-2018		A	PROJECT MANAGER
08-29-2018		B	ENGINEER
08-29-2018		C	ENGINEER
08-29-2018		D	TECHNICIAN

BCI
BONO CONSULTING, INC.
CIVIL ENGINEERS

1018 BUSSE HIGHWAY PH: (847) 823-3300
PARK RIDGE, IL 60068 FAX: (847) 823-3303
bbono@bonoconsulting.com

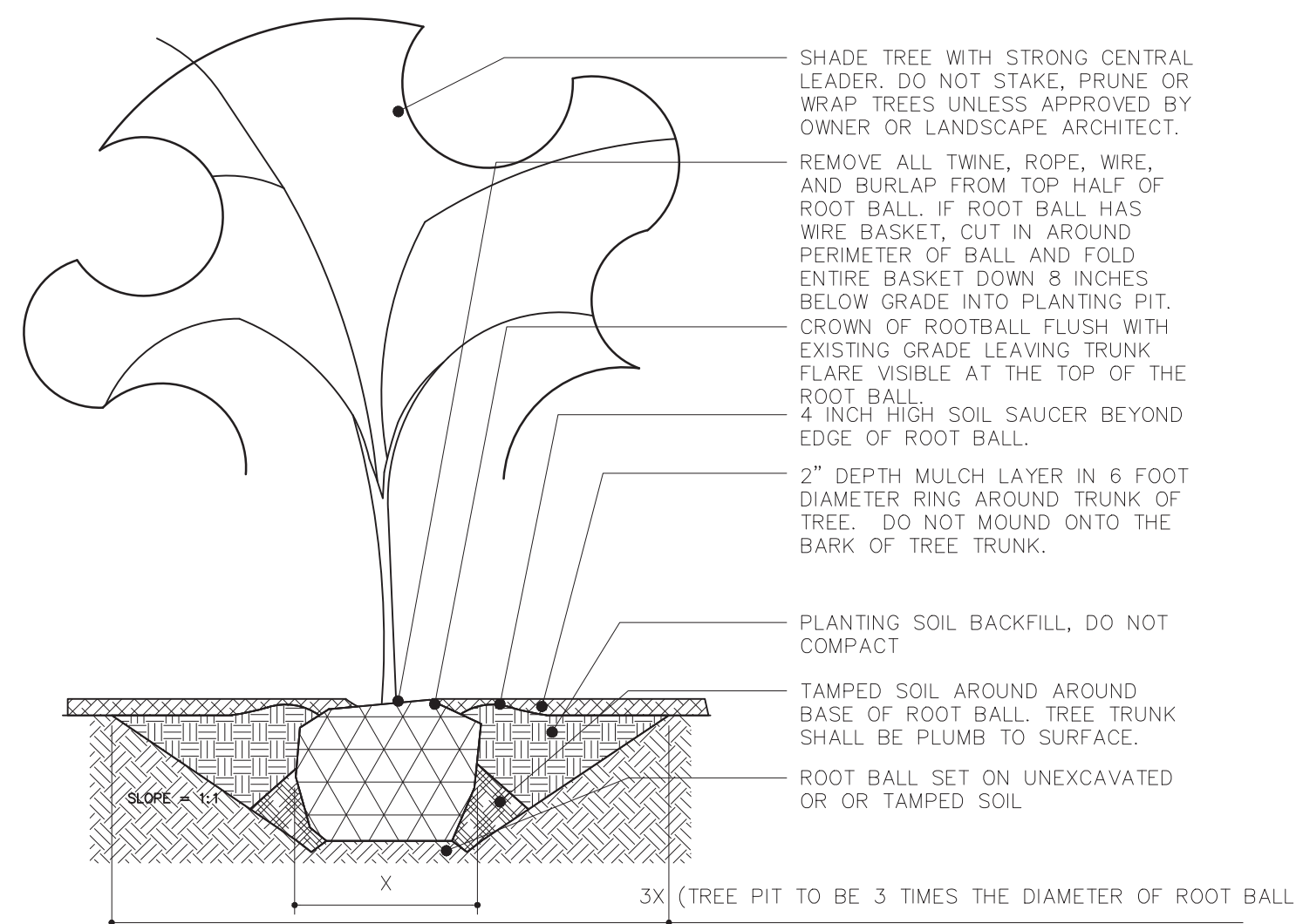
SITE PLAN & GEOMETRIC PLAN
OVERALL SITE

GODDARD SCHOOL DEVELOPMENT
1316 N. ARLINGTON HTS. RD., ARLINGTON HEIGHTS, IL

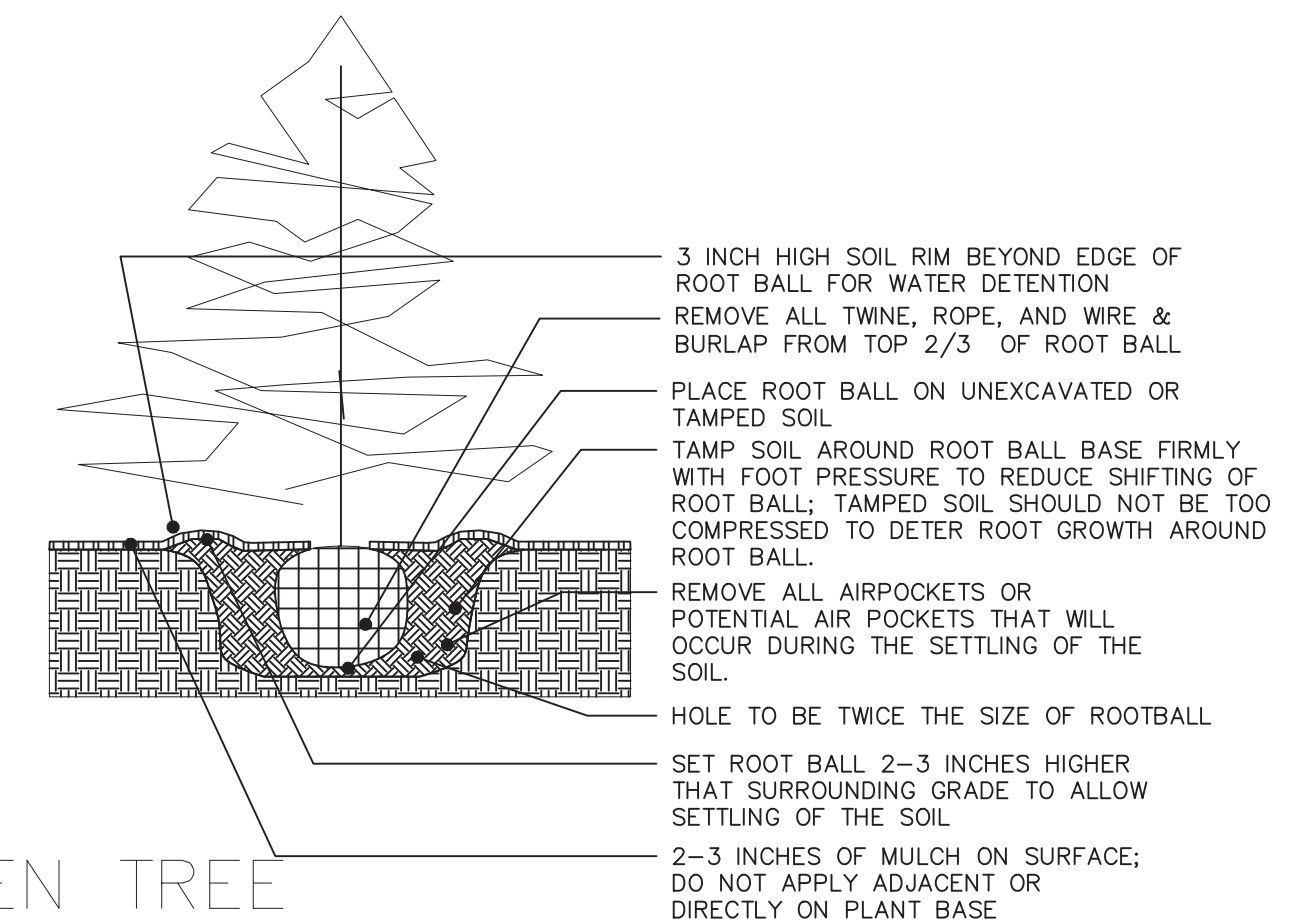
NOT FOR CONSTRUCTION

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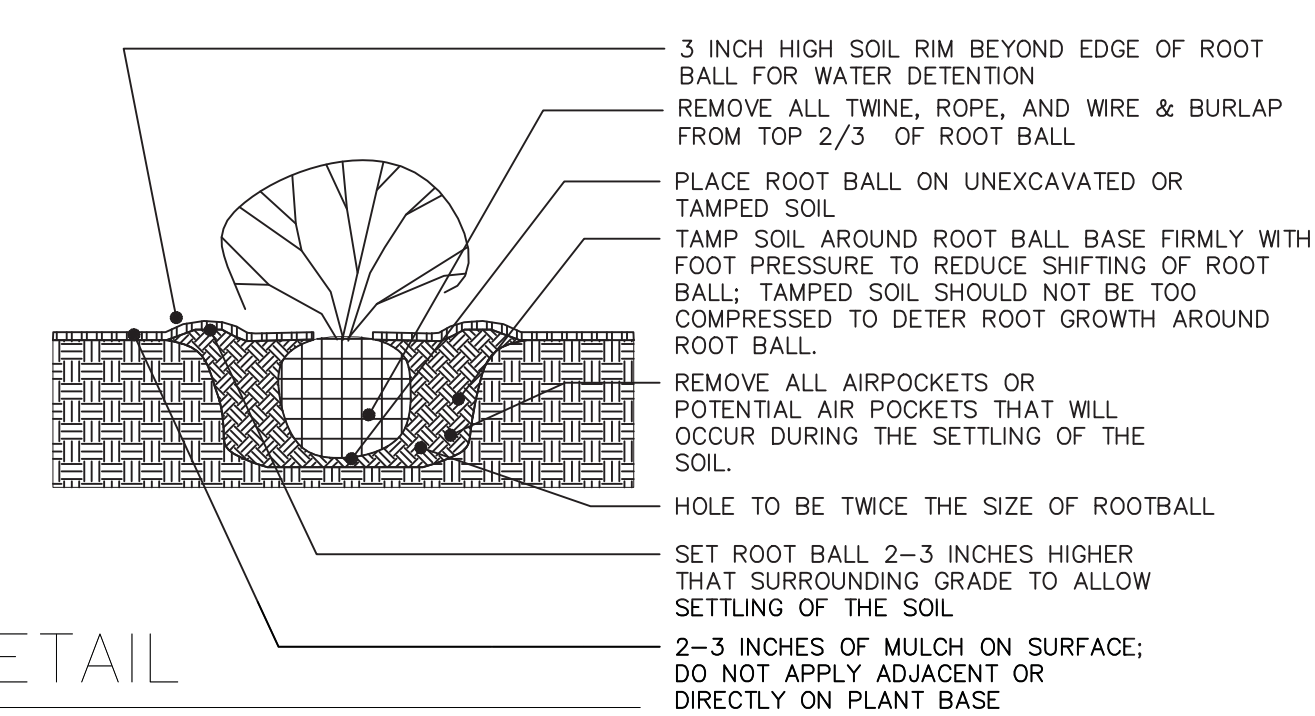
PROJECT NUMBER: 18139
START DATE: JUNE 21, 2018
GRAPHIC SCALE: 20 0 20
SCALE: 1"=20'-0"
SHEET NUMBER: **5** OF **11**



SHADE TREE PLANTING DETAIL
SCALE: 1/4"=1'-0"



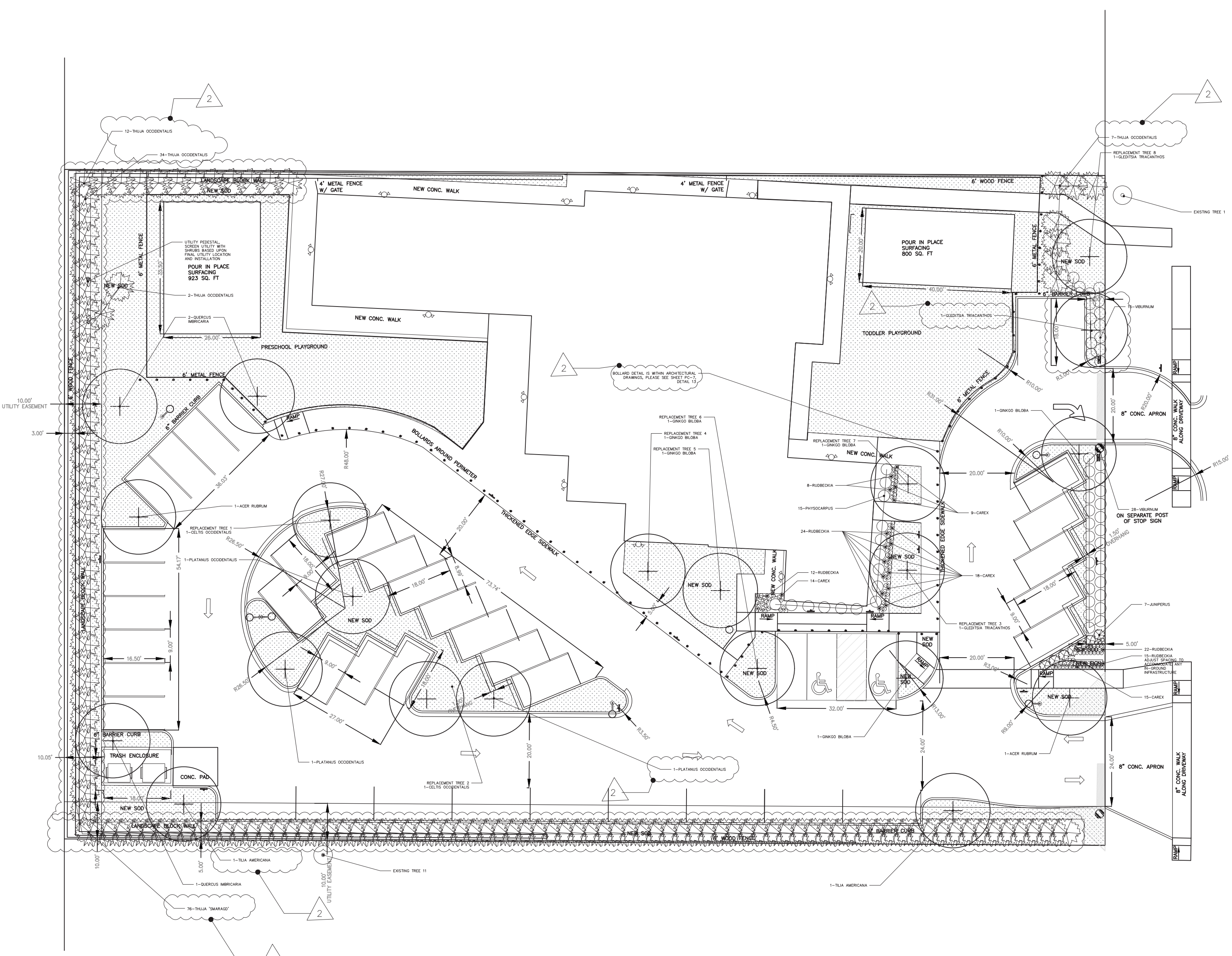
EVERGREEN TREE PLANTING DETAIL
SCALE: 1/4"=1'-0"



SHRUB DETAIL
SCALE: 1/4"=1'-0"

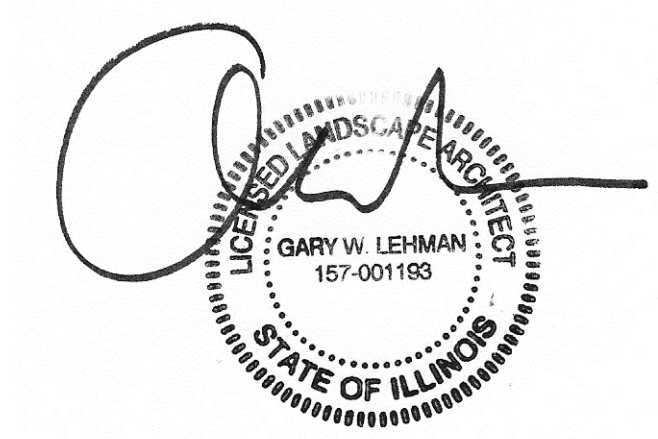
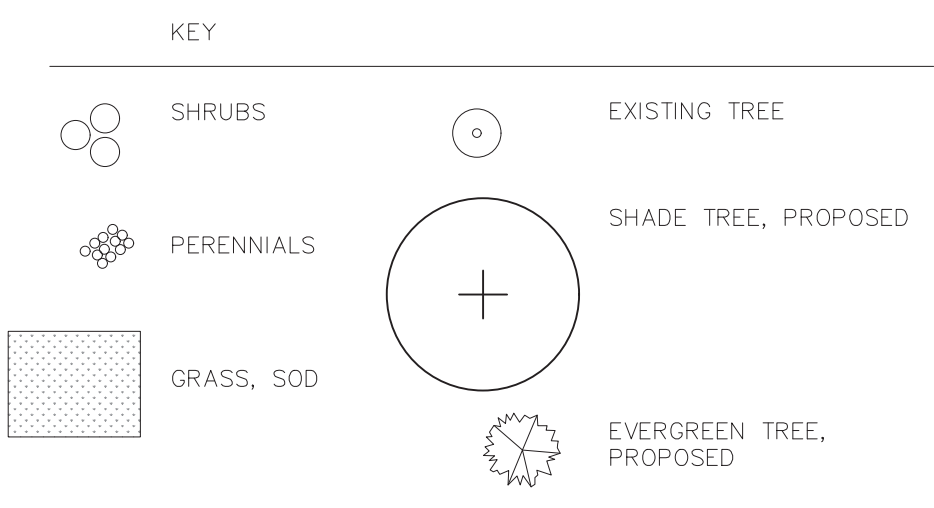
Botanical Name	Common Name	Quantity	Size	Condition	Notes
Shade Trees					
<i>Acer rubrum</i> 'October Glory'	October Glory	2	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare.
<i>Celtis occidentalis</i>	Hackberry	2	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare.
<i>Ginkgo biloba</i>	Ginkgo	4	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare. MALE ONLY, FEMALE VARIETIES NOT ACCEPTABLE DUE TO FRUIT.
<i>Gleditsia triacanthos</i> 'Inermis'	Thornless Honeylocust	3	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare.
<i>Platanus occidentalis</i>	American Sycamore	3	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare.
<i>Quercus imbricaria</i>	Shingle Oak	3	4" caliper	B&B	Trees shall be a single straight trunk with a strong leader; branches shall be cleared to 6 feet above the root flare.
<i>Tilia americana</i>	American Linden	2	4" caliper	B&B	Trees should be similar in variety and character.
Evergreen Trees					
<i>Thuja occidentalis</i> 'Wintergreen'	Wintergreen Arborvitae	66	6 foot height	B&B	Rootballs to be worked around the proposed landscape retaining wall.
<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Arborvitae	76	6 foot height	B&B	Rootballs to be worked around the proposed landscape retaining wall.
Shrubs and Perennials					
<i>Carex 'Ice Dance'</i>	Ice Dance Sedge	56		1 gallon	
<i>Physocarpus opulifolius</i> 'Diabolo'	Diabolo Ninebark	15	30 inch height	5 gallon	
<i>Viburnum dentatum</i>	Arrowwood Viburnum	43	3 foot height	B&B	
<i>Rudbeckia hirta</i>	Black-eyed Susan	81		1 gallon	
<i>Juniperus procumbens</i> 'Nana'	Blue Star Creeping Juniper	7	12 inch height	3 gallon	maintain low height at 12 inches

PLANT SCHEDULE



- GENERAL NOTES:
- THE DRAWING HAS BEEN PREPARED BY A LANDSCAPE ARCHITECT, GARY LEHMAN, REGISTERED IN THE STATE OF ILLINOIS, 157-001193.
 - DRAWINGS HAVE BEEN REFERENCED WITH CURRENT CIVIL AND ARCHITECTURAL PLANS.
 - ALL PLANTING AREAS THAT ARE NOT IDENTIFIED AS GRASS OR SOD, SHALL BE MULCHED AS SPECIFIED WITHIN THE TREE DETAIL.
 - ALL PLANTING MUST BE MAINTAINED AND IN HEALTHY CONDITION TILL THE COMPLETION OF THE PROJECT.
 - REPLACEMENT TREES WERE ADDED TO THE SITE DUE TO THE REMOVAL OF EXISTING TREES (SEE SHEET 2.1), A TOTAL OF 8 TREES WERE ADDED, AND NOTED AS "REPLACEMENT TREES," ON THE LANDSCAPE PLAN. THIS WAS BASED UPON THE INTERPRETATION OF CODES 6.15-5.4 AND 6.15-5.3b.
 - DETAIL FOR THE FENCING AND THE BOLLARDS ARE LOCATED ON THE ARCHITECTURAL AND CIVIL ENGINEERING PLANS.

SITE LANDSCAPE LAYOUT ADJUSTED TO REFLECT SITE PLAN ADJUSTMENT. QUANTITY CHANGES ARE NOTED IN REVISION CLOUDS.



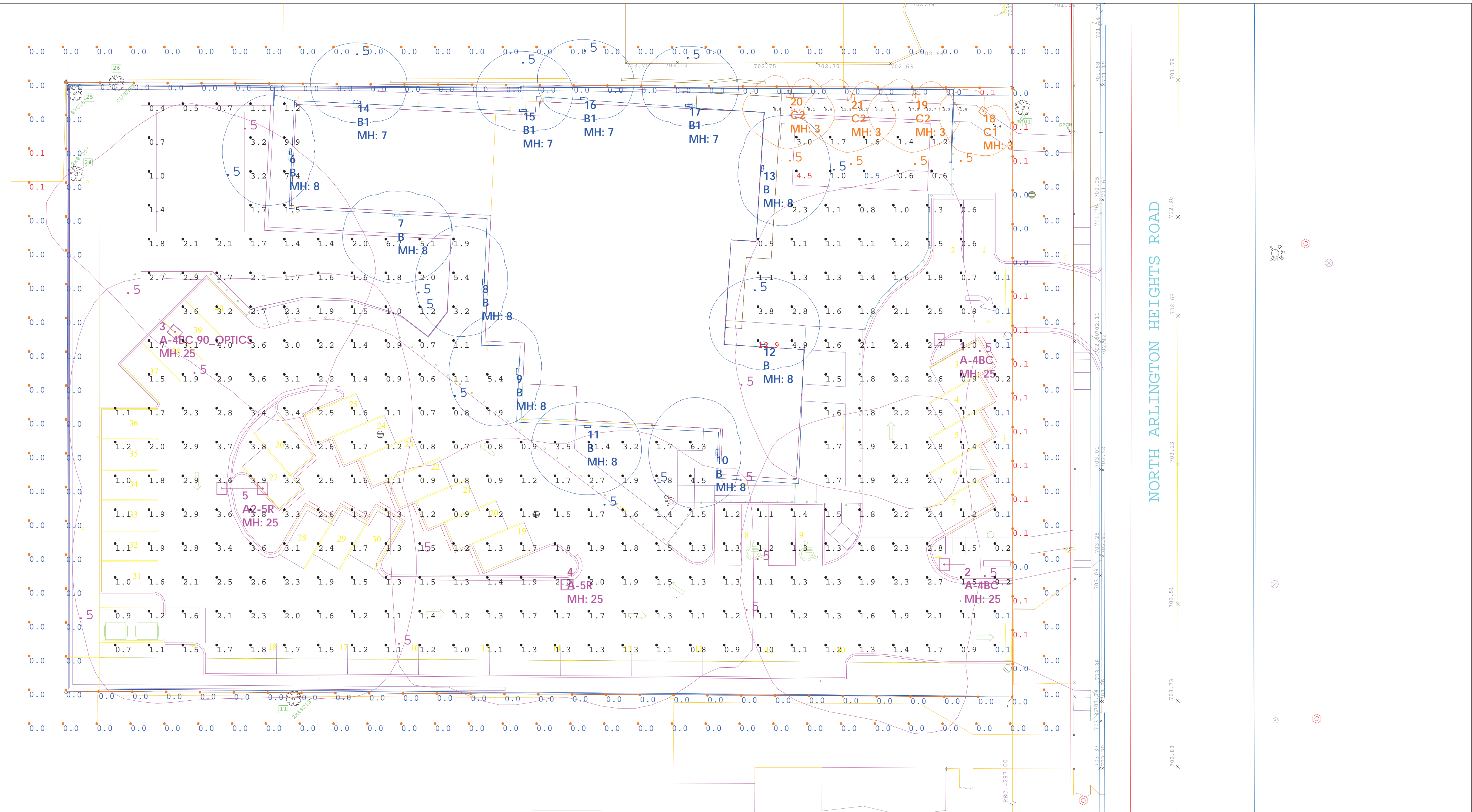
DATE	REVISIONS	ISSUE	PROJECT STAFF
01/30/19		1	PROJECT MANAGER: G. LEHMAN/ELA
02/18/19		2	REVIEW PLANS: G. LEHMAN/ELA
			ENGINEER: G. LEHMAN/ELA
			TECHNICIAN: G. LEHMAN/ELA

STUDIO
833 N. TULLMAN AVENUE
CHICAGO, ILLINOIS 60659
773.732.0311
www.gstudiodesign.net

LANDSCAPE PLANS
GODDARD SCHOOL DEVELOPMENT
13116 N. ARLINGTON HEIGHTS ROAD
ARLINGTON HEIGHTS, ILLINOIS

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PROJECT NO.: 00101
ISSUE DATE: FEB. 18, 2019
SCALE: SHEET NUMBER
L1



Scale: 1 inch= 16 Ft.

Symbol	Qty	Label	Arrangement	Lum. Watts	Arr. Watts	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	[MANUFAC]
[Symbol]	2	A-4BC	SINGLE	109.78	109.78	9332	9332	0.900	VP-S-48L-110-4K7-4-BC	Hubbell Lighting Inc
[Symbol]	1	A-4BC 90_OPTICS	SINGLE ROTATED OPTICS	109.78	109.78	9332	9332	0.900	VP-S-48L-110-4K7-4-BC ROTATED R/OPTICS	Hubbell Lighting Inc
[Symbol]	1	A-5R	SINGLE	108	108	12374	12374	0.900	VP-S-48L-110-4K7-5R	Hubbell Lighting Inc, dba Beac
[Symbol]	1	A2-5R	BACK-BACK	108	216	12374	24748	0.900	VP-S-48L-110-4K7-5R	Hubbell Lighting Inc, dba Beac
[Symbol]	8	B	SINGLE	29.1	29.1	3060	3060	0.900	SG1-30-4K7-FT	HUBBELL OUTDOOR LIGHTING
[Symbol]	4	B1	SINGLE	20.9	20.9	2310	2310	0.900	SG1-20-4K7-FT	HUBBELL OUTDOOR LIGHTING
[Symbol]	1	C1	SINGLE	13.9	13.9	1117	1117	0.900	KB6-Y4-C-1040	ARCHITECTURAL AREA LIGHTING
[Symbol]	3	C2	SINGLE	30	30	2062	2062	0.900	KB6-Y4-C-2040	ARCHITECTURAL AREA LIGHTING

LumNo	Label	X	Y	Z	Orient	Tilt
1	A-4BC	156	31.5	25	180	0
2	A-4BC	157.5	-35	25	180	0
3	A-4BC 90_OPTICS	80.5	37.5	25	320	0
4	A-5R	40	-35	25	270	0
5	A2-5R	-56	-12.5	25	0	0
6	B	-42	87	8	176	0
7	B	-10	68	8	270	0
8	B	15	48.5	8	178	0
9	B	25	22	8	177	0
10	B	84	-2	8	180	0
11	B	46	5.5	8	267	0
12	B	98	30	8	87	0
13	B	98	82	8	355	0
14	B1	-22	102	7	85	0
15	B1	27	99.5	7	85	0
16	B1	45	103	7	84	0
17	B1	76	101	7	86	0
18	C1	163	99	3	235	0
19	C2	143	103	3	265	0
20	C2	106	104	3	265	0
21	C2	124	103	3	265	0

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
GODDARD SITE_Planar	Illuminance	Fc	1.89	12.9	0.1	18.90	129.00	READINGS TAKEN @ GRADE LEVEL
NE PLAYGROUND	Illuminance	Fc	1.61	4.5	0.5	3.22	9.00	READINGS TAKEN @ GRADE LEVEL
NORTH WALKWAY	Illuminance	Fc	8.86	19.8	0.1	88.60	198.00	READINGS TAKEN @ GRADE LEVEL
PROPERTY LINE_RES	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.	READINGS TAKEN @ GRADE LEVEL
PROPERTY LINE_COMM	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.	READINGS TAKEN @ GRADE LEVEL

Parking Lot Design Guide	Basic (for typical conditions) lux/ftc	Basic Enhanced Security (In consideration of personal security or vandalism) lux/ftc	Security (security lighting for public spaces) lux/ftc	High Security (security lighting for public spaces) lux/ftc
Minimum Horizontal Illuminance (Measured on parking surface without any shadowing from any object)	2.0/0.2	5.0/0.5	10.0/1.0	30.0-60.0/3.0-6.0
Uniformity Ratio Maximum - to - Minimum	20:1	15:1	15:1	*4:1 *Avg-Min
Minimum Vertical Illuminance (for facial recognition measured at 5' above the parking surface at the point of lowest horizontal illuminance)	1.0/0.1	2.5/0.25	5.0-8.0/0.5-0.8	12-60/1.2-6.0

Recommendations based on RP-33-99, RP-20-98, 9th Edition IESNA Lighting Handbook

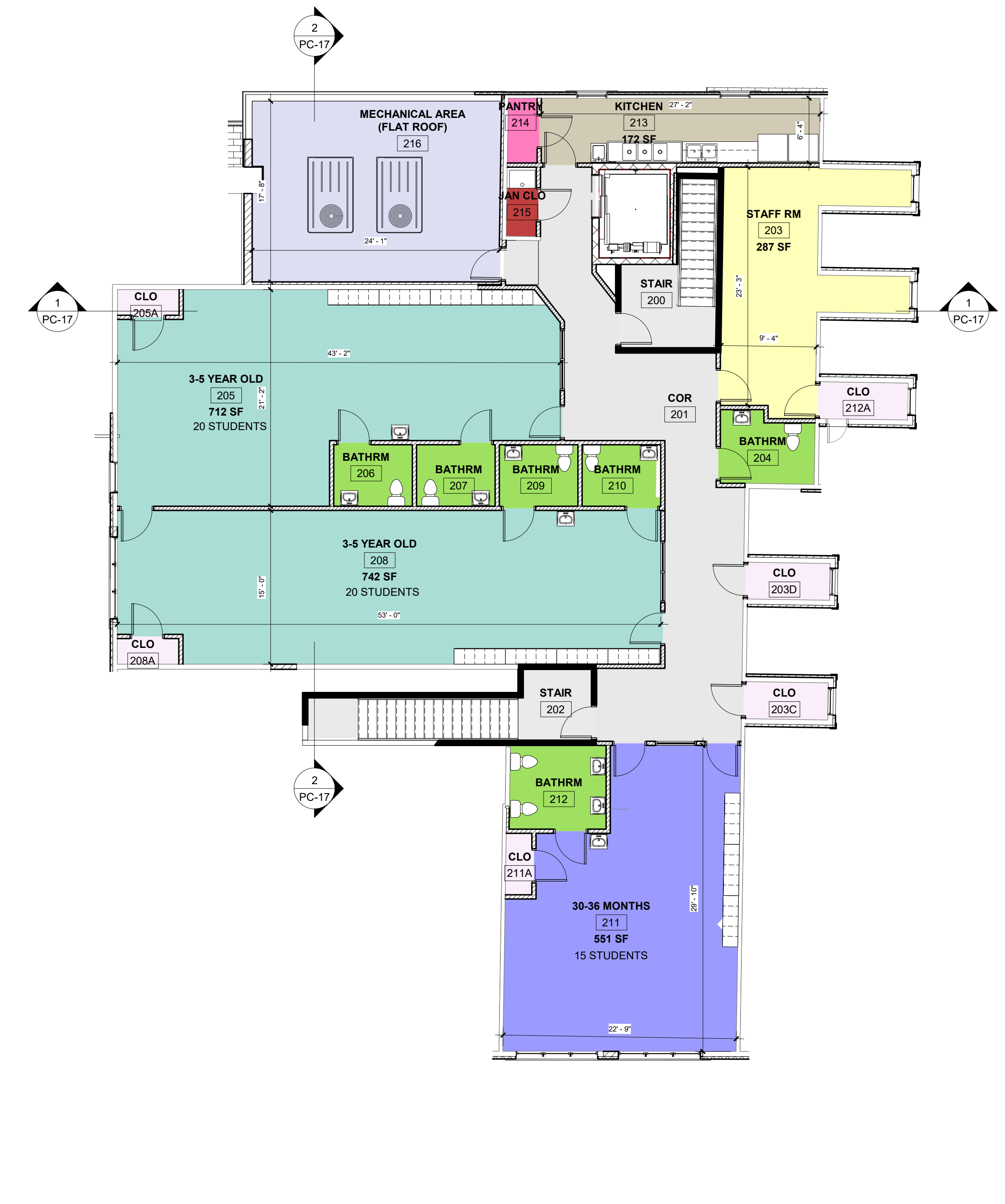
Lighting calculations were prepared by the designer of this document. We warrant that the calculations were prepared in accordance with the applicable standards and that the calculations were prepared in good faith. We do not warrant that the calculations are correct or that the lighting system will perform as intended. The user of this document is responsible for the design and construction of the lighting system.



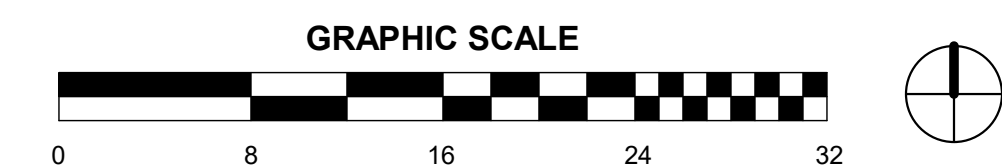
#	Date	Comments
1	2/01/19	Round 1 Response
2	2/20/19	Round 2 Response

Drawn By: Jose Saucedo
 Drawn By: jose.saucedo@pg-enlighten.com
 Date: 2/15/2019
 Scale: 1" = 16'

Project Name:
Goddard - Site Photometrics
 Client Name:
 Aidan Quinn - Atul Karkhanis Architects, Ltd.



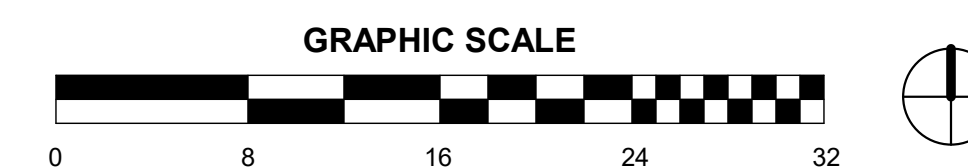
1 LEVEL 1 - SCHEMATIC FLOOR PLAN
PC-15
1/8" = 1'-0"



ROOM LEGEND

- 3-5 YEAR OLD
- 6WKS-12 MONTHS
- 12-18 MONTHS
- 18-24 MONTHS
- 24-30 MONTHS
- 24-36 MONTHS
- 30-36 MONTHS
- BATHRM
- CLO
- COR
- DIRECTOR OFFICE
- ELE CLO
- ELEV. ELE CLOSET
- ENTRY
- JAN CLO
- KITCHEN
- LAUNDRY
- MULTI PURPOSE RM
- OWNER OFFICE
- PANTRY
- SPRINKLER RM
- STAIR

2 LEVEL 2 - SCHEMATIC FLOOR PLAN
PC-15
1/8" = 1'-0"



ROOM LEGEND

- 3-5 YEAR OLD
- 30-36 MONTHS
- BATHRM
- CLO
- COR
- JAN CLO
- KITCHEN
- MECHANICAL AREA (FLAT ROOF)
- PANTRY
- STAFF RM
- STAIR

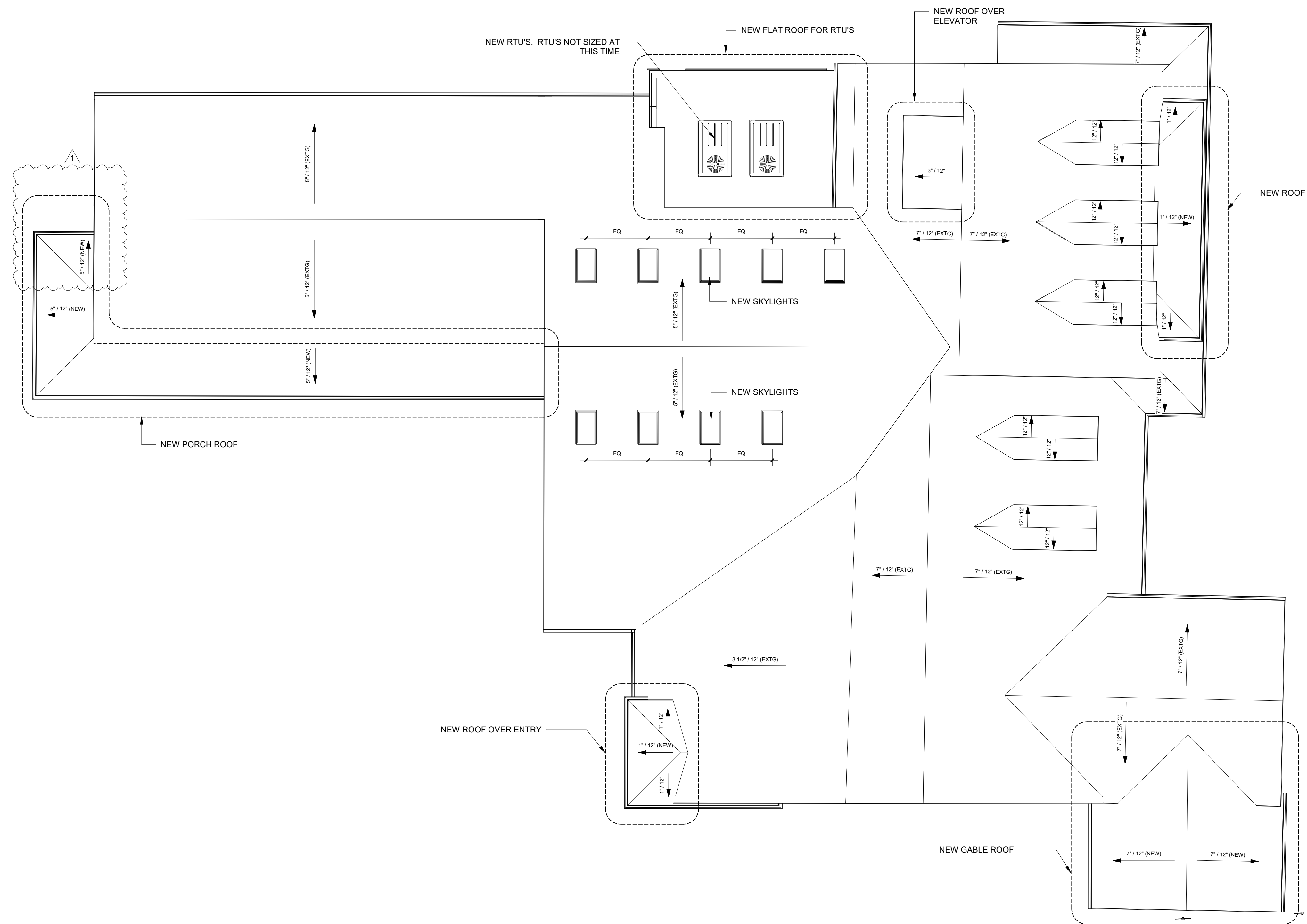


NOTE:
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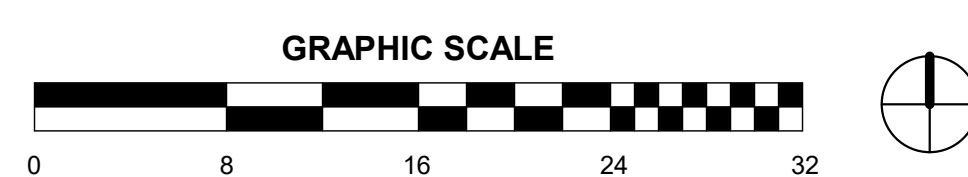
THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
Arlington Heights, IL 60004
SCHEMATIC FIRST AND SECOND FLOOR PLANS
1/8" = 1'-0"
02/20/19
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No.	Description	Date
1	Round 1 Response	2/1/19
2	Round 2 Response	2/19/18

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2514 WEST PETERSON AVENUE
CHICAGO, IL 60659
PHONE: 773.508.5533 FAX: 773.508.5757
www.akarchitects.com



1 ROOF PLAN - SCHEMATIC
PC-16 1/8" = 1'-0"

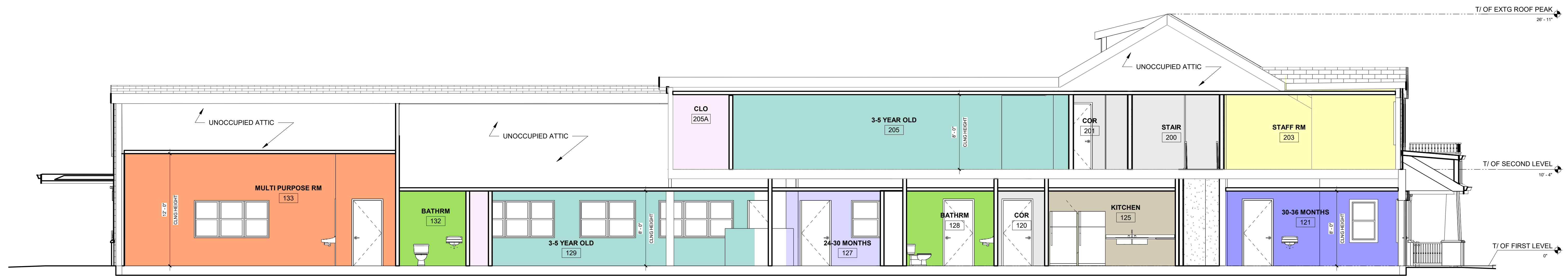


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ROOF PLAN - SCHEMATIC
1/8" = 1'-0"
02/20/19
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No.	Description	Date
1	Round 1 Response	2/1/19
2	Round 2 Response	2/19/18

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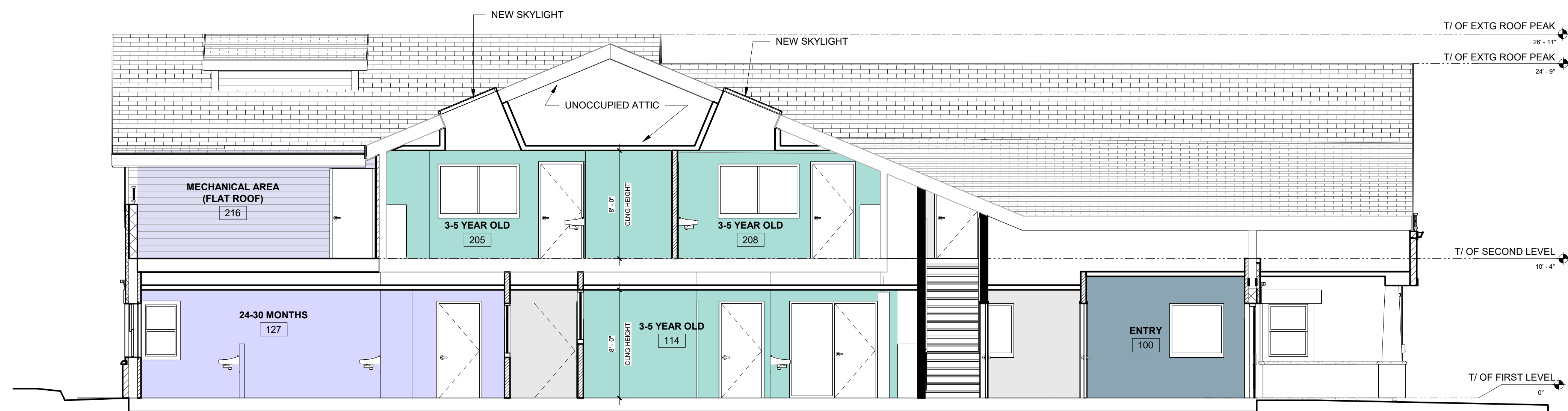
THE GODDARD SCHOOLSM
FOR EARLY CHILDHOOD DEVELOPMENT



ROOM LEGEND

- 3-5 YEAR OLD
- 24-30 MONTHS
- 30-36 MONTHS
- BATHRM
- CLO
- COR
- KITCHEN
- MULTI PURPOSE RM
- STAFF RM
- STAIR

1 LONGITUDINAL SECTION
PC-17 3/16" = 1'-0"



ROOM LEGEND

- 3-5 YEAR OLD
- 24-30 MONTHS
- COR
- ENTRY
- MECHANICAL AREA (FLAT ROOF)
- STAIR

2 SCHEMATIC CROSS SECTION
PC-17 3/16" = 1'-0"

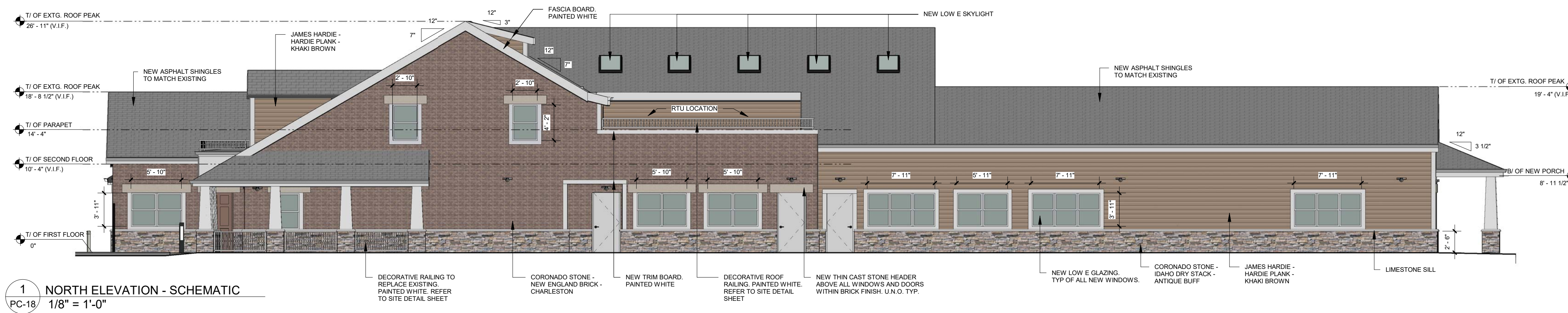
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SCHEMATIC SECTION
3/16" = 1'-0"
02/20/19
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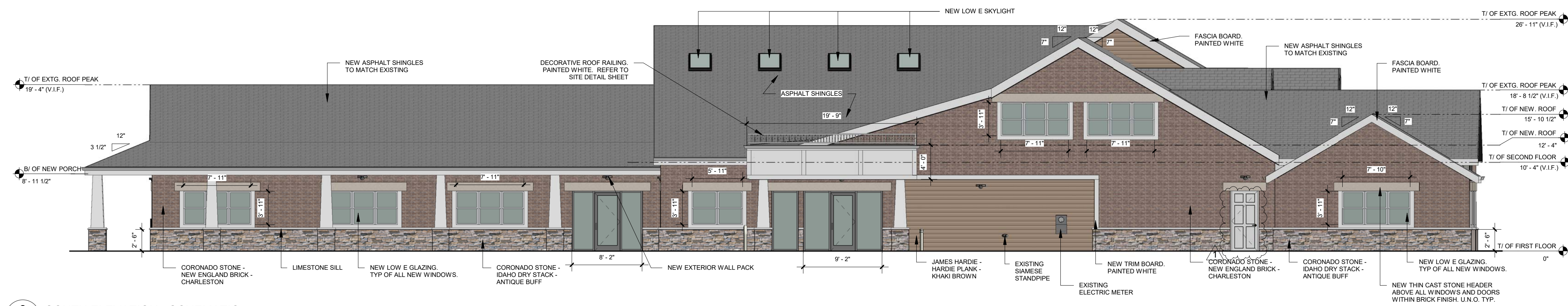
No.	Description	Date
1	Round 1 Response	2/1/19
2	Round 2 Response	2/19/18

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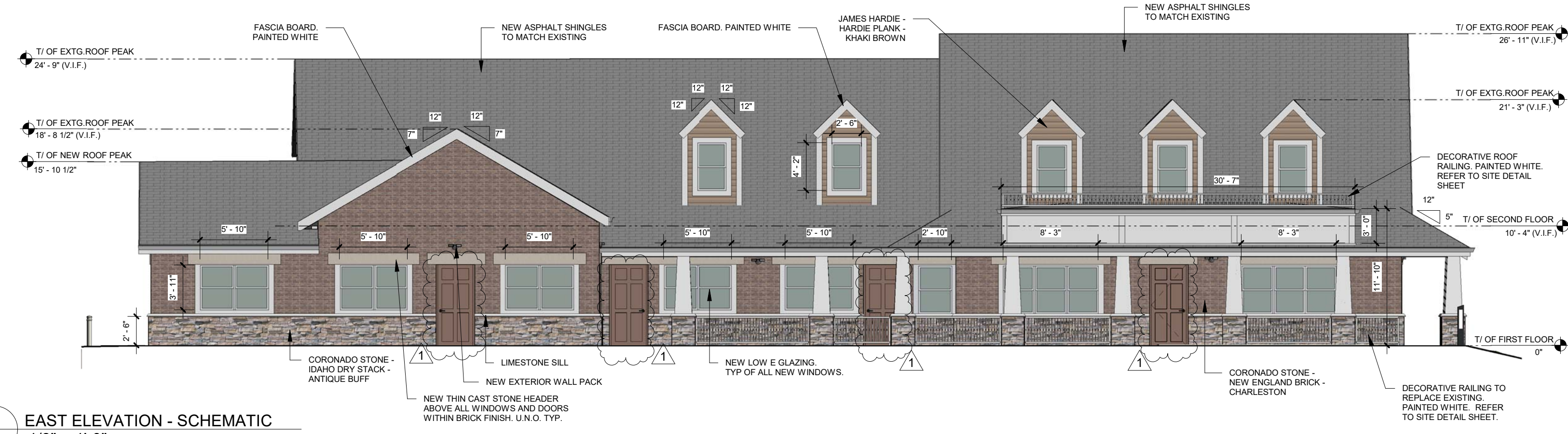




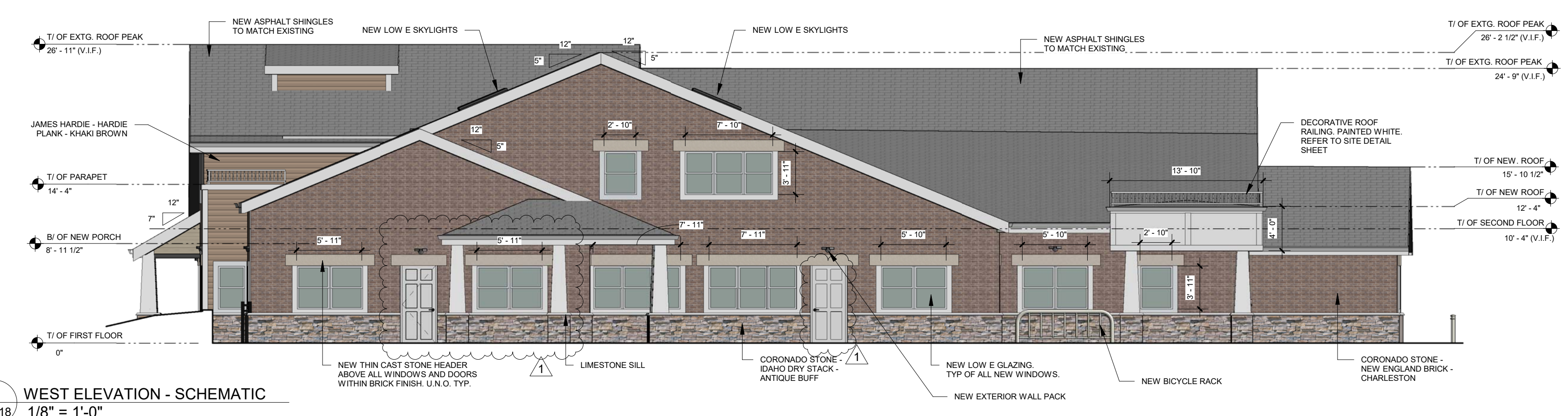
1 NORTH ELEVATION - SCHEMATIC
PC-18 1/8" = 1'-0"



2 SOUTH ELEVATION - SCHEMATIC
PC-18 1/8" = 1'-0"



3 EAST ELEVATION - SCHEMATIC
PC-18 1/8" = 1'-0"



4 WEST ELEVATION - SCHEMATIC
PC-18 1/8" = 1'-0"

FINISH LEGEND		
	JAMES HARDIE - HARDIE PLANK - LAP SIDING - KHAKI BROWN	
	CORONADO - THIN BRICK - NEW ENGLAND BRICK - CHARLESTON	
	CORONADO - STONE - IDAHO DRY STACK - ANTIQUE BUFF	

NOTE:
ALL EXISTING WINDOWS TO BE REPLACED WITH DOUBLE PANE LOW E.

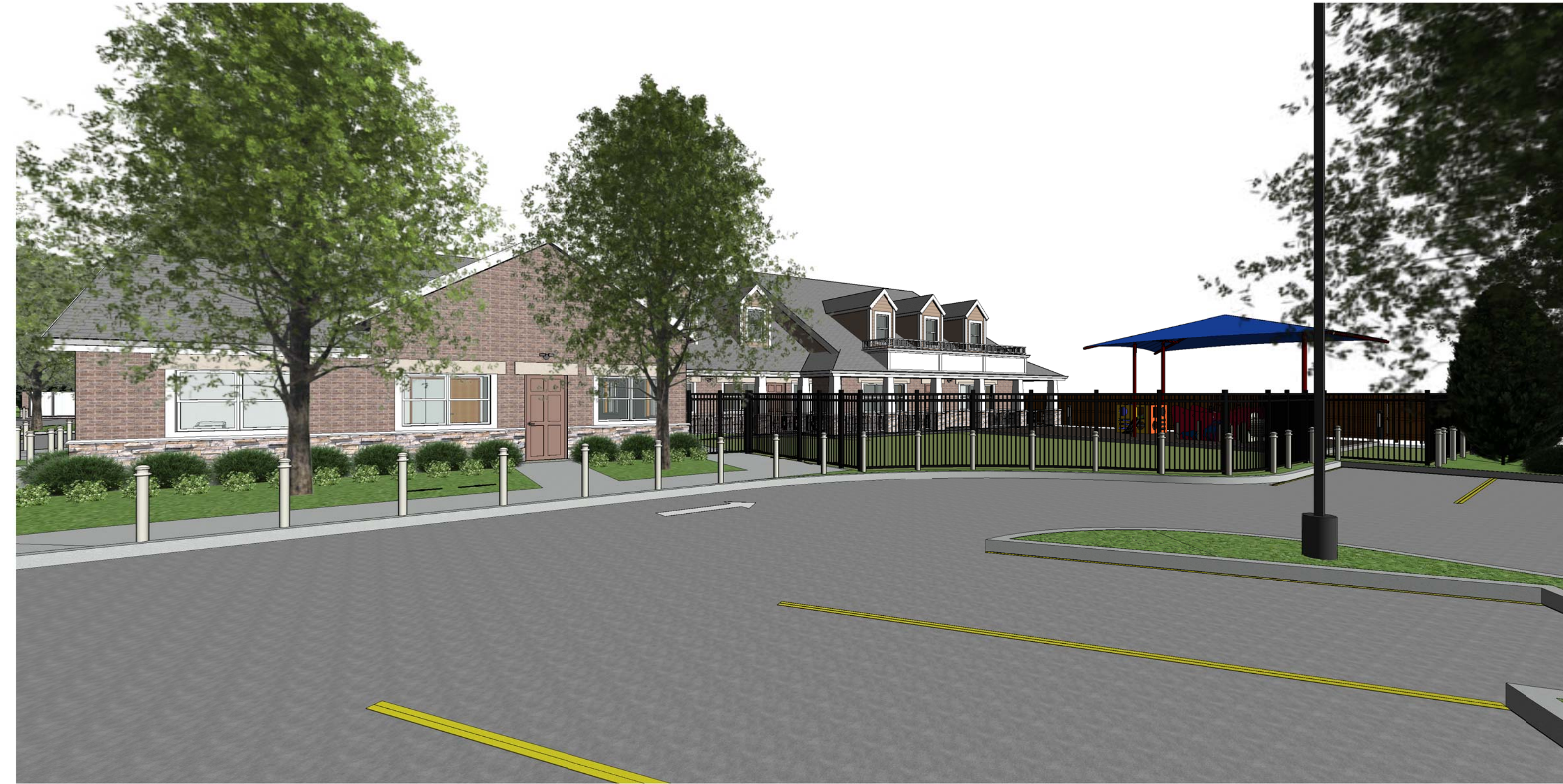
No.	Description	Date
1	Round 1 Response	2/11/19
2	Round 2 Response	2/19/18



1 MAIN ENTRANCE PERSPECTIVE
PC-19



3 MAIN ENTRANCE PERSPECTIVE 2
PC-19



2 FRONT PERSPECTIVE
PC-19



4 FRONT PERSPECTIVE 2
PC-19

THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
1316 Arlington Heights Rd
Arlington Heights, IL 60004
COLORED RENDERING

02/20/19

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No.	Description	Date
1	Round 1 Response	2/1/19
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AERIAL PERSEPCTIVE 1



AERIAL PERSEPCTIVE 2

THE GODDARD SCHOOL OF ARLINGTON HEIGHTS
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AERIAL VIEW

02/20/19
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No.	Description	Date
2	Round 2 Response	2/19/18