



# Village of Arlington Heights Building & Life Safety Department

## Interoffice Memorandum

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**To:** Sam Hubbard, Development Planner, Planning and Community Development  
**From:** Deb Pierce, Plan Reviewer, Building & Life Safety Department  
**Subject:** 1316 N Arlington Heights Rd – Goddard School Daycare  
**PC#:** 18-023 – Round 1  
**Date:** November 27, 2018

**General Comments:**

The information provided is conceptual only and subject to a formal plan review.

Sam –

I have reviewed the Round 1 submittal for the address referenced above and offer the following comments:

1. The tenant development design of this space shall be based on I-4 occupancy per the 2009 International Building Code.
2. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretcher in its horizontal, open position, provided the cab size shall not be less than 60 inches by 85 inches, and shall be identified by the International Symbol for emergency medical services (Star of Life). The Symbol shall be not less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame.

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DEVELOPMENT DEPARTMENT



Village of Arlington Heights, IL  
Department of Building & Life Safety

Fire Safety Division

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NOV 20 2018  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

Date: 11/19/2018

P.C. Number: 18-023 Round 1

Project Name: Goddard school Daycare

Project Location: 1316 N Arlington Heights Rd.

Planning Department Contact: Sam Hubbard, Planning and Community Development

General Comments:

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply.
2. Plan shall comply with special requirements for Day Care as provided for in the Life Safety Code.
3. Fire department connections shall be located on the street side of buildings, fully visible and located at the main front entrance of the building and within a maximum travel distance of 100 feet to the nearest fire hydrant and in accordance with the NFPA standard applicable to the system design. The location of fire department connections shall be approved.
4. The fire sprinkler shall be tested and certified for the proposed use. Any changes require separate permits to be obtained.
5. Fire protection equipment and service rooms shall be identified in an approved manner.
6. Approved access shall be provided and maintained for all fire protection equipment to permit immediate safe operation and maintenance of such equipment. No fencing shall obstruct access to fire equipment.
7. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.
8. A fully functional fire alarm shall be installed per NFPA 72.
9. Shop drawings for fire alarm systems shall be submitted for review and approval prior to system installation.
10. Visible alarm notification appliances shall be provided in public areas and common areas. A visible exterior weatherproof alarm notification device shall be located within closest proximity to the front main entrance of the building or tenant space.
11. A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance.
12. A key box (Know Box) shall be provided and contain keys to gain necessary access as required by the fire code official.

13. Exit signs shall be illuminated at all times and have emergency power backup.
14. Buildings shall have approved address numbers.
15. Signs shall be posted on both sides of an approach of any fire lane stating "NO PARKING – FIRE LANE". Signs shall have arrows indicating the area of parking restriction.
16. Fire lane signs shall be white with red three-inch letters. The dimensions of the sign shall be 12 inches horizontally and 18 inches vertically. These signs shall be installed so that the top of the sign is no less than 6 feet nor more than 6 feet above grade.
17. All new elevators shall be equipped with emergency key opening devices at all landings. The location and specific type of device shall be approved by the Fire Department.
18. If the elevator uses an automatic dialer, the ten digit number 847-590-3470 shall be used. If bidirectional communication is available and is used, the elevator should call 911. The phone line used to dial 911 must have the correct address information affiliated with that phone line.
19. **Emergency Signs required for elevators** shall be 7 inches by 5 inches and read as follows: IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS.
20. At least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretcher in its horizontal, open position, provided the cab size shall be not less than 60 inches by 85 inches, to accommodate an ambulance stretcher in its horizontal, open position; and shall be identified by the International Symbol for emergency medical services (Star of Life). The Symbol shall be not less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame.

Date 11-19-18

Reviewed By:   
Fire Safety Supervisor

PUBLIC WORKS DEPARTMENT


PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-023  
 Petitioner: Amir Khowaja  
1584 E. Citadel Ct.  
Palatine, IL  
 Owner: Cynthia F. Platt Trust  
126 S. Dunton Ave  
Arlington Heights, IL 60005  
 Contact Person: Amir Khowaja  
 Address: 1584 E. Citadel Ct.  
Palatine, IL  
 Phone #: 773-817-0917  
 Fax #: \_\_\_\_\_  
 E-Mail: khowaja83@hotmail.com

P.I.N.# 03-20-302-045-0000  
 Location: 1316 N. Arlington Heights Rd.  
 Rezoning:  Current: R-3 Proposed: OT  
 Subdivision: \_\_\_\_\_  
 # of Lots: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 PUD:  For: Daycare  
 Special Use: \_\_\_\_\_ For: N/A  
 Land Use Variation:  For: Allow daycare  
within OT district  
 Land Use: \_\_\_\_\_ Current: Vacant  
 Proposed: Daycare  
 Site Gross Area: 50,362 sqft  
 # of Units Total: N/A  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

	<u>EXISTING IMPROVEMENT</u>	<u>REQUIRED IMPROVEMENT</u>	<u>COMMENTS</u>
1. <u>UTILITIES:</u>			
Water	_____	_____	_____
Metering	_____	_____	_____
Backflow	_____	_____	_____
Sanitary Sewer	_____	_____	_____
Storm Sewer	_____	_____	_____
2. <u>SURFACE:</u>			
Pavement	_____	_____	_____
Curb & Gutter	_____	_____	_____
Sidewalks	_____	_____	_____
Street Lighting	_____	_____	_____
3. <u>GENERAL COMMENTS:</u>			

  
 AST - Director 12-6-18  
Date

Approved as noted

## **Memorandum**

To: Sam Hubbard, Planning & Community Development  
From: Cris Papierniak, Assistant Director of Public Works  
Date: December 7, 2018  
Subject: 1316 N. Arlington Heights Rd., PC#18-023 Round 1

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With regard to the rezoning PUD, variations for 1316 N Arlington Heights Rd., I have the following comments:

- 1) There are utility and drainage easements located on the west and south side of the property. Ensure that there are no permanent structures located over these easements.
- 2) The existing 6x3 water meter is obsolete, it must be replaced.
- 3) The existing domestic and fire backflow devices are obsolete, replace them with approved RPZ devices.
- 4) If the building that is going to be demolished has a separate water service, it must be abandoned at the respective water main.
- 5) More detail is required regarding the underground detention basin, restricted outlet and maintenance plan for the basin.
- 6) Arlington Heights Public Works will make further comments after construction plans have been submitted.

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(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: ..... **YES NO COMMENTS**

- a. Underground Utilities
  - Water ..... **NO**
  - Sanitary Sewer ..... **NO**
  - Storm Sewer ..... **NO**
- b. Surface Improvement
  - Pavement ..... **NO**
  - Curb & Gutter ..... **NO**
  - Sidewalks ..... **NO**
  - Street Lighting ..... **NO**
- c. Easements
  - Utility & Drainage ..... **NO**
  - Access ..... **NO**

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2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC  b. IDOT
- c. ARMY CORP \_\_\_\_\_ d. IEPA \_\_\_\_\_
- e. CCHD \_\_\_\_\_

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS? .....		<input checked="" type="checkbox"/>	
4. SITE PLAN ACCEPTABLE? .....		<input checked="" type="checkbox"/>	
5. PRELIMINARY PLAT ACCEPTABLE? .....			<b>N/A</b>
6. TRAFFIC STUDY ACCEPTABLE? .....		<input checked="" type="checkbox"/>	
7. STORM WATER DETENTION REQUIRED? .....	<input checked="" type="checkbox"/>		
8. CONTRIBUTION ORDINANCE EXISTING? .....		<input checked="" type="checkbox"/>	
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....		<input checked="" type="checkbox"/>	
10. WETLAND EXISTING? .....		<input checked="" type="checkbox"/>	

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: AKA ARCHITECTS  
 DATE OF PLANS: 11/13/18 **BOND ENGINEERING**  
 Director Michael P. [Signature] 11/29/18 Date  
 Village Engineer

**PLAN COMMISSION PC #18-023**  
**Goddard School Daycare**  
**1316 N Arlington Heights Rd**  
**Rezoning, PUD, Variations**  
**Round 1**

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

13. The proposed detention system will be a private system and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village Engineer for an editable version of the OUMA.
14. Final approval will require final engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. The detention storage system located under the pavement must be designed to AASHTO HS-25 loading standard. The minimum restrictor size allowed, for maintenance reasons, is 2". The 2" restrictor must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. Since the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot. An MWRD Permit will also be required.
15. Fire lanes adjacent to buildings must have a minimum pavement width as directed by the Fire Department to accommodate the tower truck's outriggers. Fire lanes require a heavy duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-50 Binder, and 4" CA-6 Stone Subbase. Concrete driveway apron to be 8" thick. Revise the heavy duty pavement cross section
16. The proposed concrete retaining wall, landscaping, and a portion of the parking lot are located within the 10 ft utility easement. The petitioner must provide written permission from all utility companies.


17. The retaining wall should be placed a minimum of 1 ft from the property line. Provide a detail of the retaining wall and footing. Correct the grades shown for the NW corner of the property, and provide additional grades along the north property line.
18. The ADA ramps must meet the Public Rights of Way Accessibility Guidelines (PROWAG). Detectable warning panels are only required at driveways if there is a traffic control device (stop sign), the north driveway currently does not show a stop sign.
19. The sidewalk through the driveways along Arlington Heights Rd must be 8" thick.
20. The proposed storm sewer plan is incomplete. Provide pipe sizes, inverts, the connection from the proposed 60" restrictor manhole to the existing system, and all necessary details including the underground detention system.

#### TRAFFIC

21. Please identify the preparer and have the traffic report submitted, signed & sealed.
22. The evaluation of the site driveways as explained in the traffic report does not match the attached site plans.
23. The plans do not indicate any restrictions for northbound left turns into the northerly most driveway.
24. If it is decided that the northerly driveway is meant to be right turn in only, the width of the north driveway must be reduced, and configured with a right turn in only geometric radius, in conformance with I.D.O.T. standards.
25. The configuration of the diagonal parking area in front of the building, and exit onto the south driveway poses the following operational concerns:
  - a.) Northbound traffic turning left from Arlington Heights Road into the southerly driveway, cannot be confronted with a vehicle from the parking area in front of the building turning left, seeking to merge into south driveway outbound traffic queued up trying to exit onto Arlington Heights Road. Any traffic blocking the inbound movements will subject inbound vehicles to severe collision potential in Arlington Heights Road.
  - b.) The striped right & left turn permitted discharge from the drive aisle in front of the building into the southerly full access driveway is not designed to support right turns with the squared off 90 degree corner. Although more circuitous, designation of right turn only operation back through the south drop off parking area is strongly recommended.
  - c.) This intersection should be posted with 'Do Not Enter' signs so drivers are not thinking they can go in the wrong direction, (northbound), in front of the building.
  - d.) If the northerly driveway was revised to a right turn exit and the drive aisle for the parking along the east side of the building were revised to northbound only instead of southbound, it may address the operational concerns near the southerly driveway.

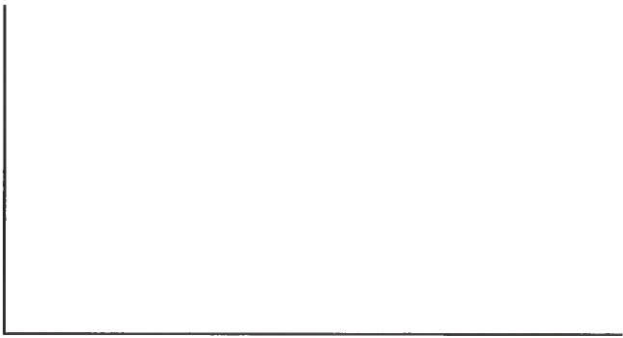


26. Please provide the observed values, or computations for the available gaps shown in Table 2. Also indicate if the defined permissible gap length, (i.e. 7seconds, - 9 seconds for both left turns in as well as right and left turns out of the property.
27. There is some confusion regarding the capacity analysis results shown in Tables 5 and 6, compared to the number of available gaps indicated in Table 2. How can the exiting left turn movement be operating at a Level of Service F, with 78.2 seconds of delay per movement, if there are 793 clear gaps? What is the reduction in gap time if northbound left turns are overlapping with exiting eastbound left turning movements?
28. There are several typographical errors in the Tables, (3#, Weekday morning totals 141 vehicles, not 133, there are two Table #6's , and the Table 6 on page 20 has columns mislabeled.)
29. With the expectation of 24 employees, and occupancy of an commensurate number of parking stalls on site occupied by employees, 10-12 stalls would be left over to service 70 inbound morning parents in the peak hour that each have to sign in and walk their children into the classroom. Are there similar Goddard School facilities in the area that would be close to observe this peaking operation, and adequate availability of parking capacity to manage peak loading?
30. All work in Arlington Heights Road right-of-way requires and I.D.O.T. permit.
31. The illumination along the south residential and east roadway property lines exceeds Village maximums. Revisions and possible relocation of the poles might be required to establish acceptable spillover limits.

  
Michael L. Pagones, P.E.      11/29/18  
Village Engineer      Date

Attachments:

Onsite Utility Maintenance Agreement



**ONSITE UTILITY MAINTENANCE AGREEMENT**

WHEREAS, \_\_\_\_\_, an (LLC? Corporation?), or its affiliates, (“RESPONSIBLE ENTITY”) is the legal title holder of the following described real estate commonly referred to as \_\_\_\_\_ (address) \_\_\_\_\_, Arlington Heights, Illinois, 6000\_, containing \_\_\_\_\_ acres, more or less, situated in the Village of Arlington Heights, Illinois and legally described as follows: (the “PROPERTY”):

\*\*\* Insert legal description, or attach as Exhibit A \*\*\*

PIN Numbers: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

WHEREAS, \_\_\_\_\_ (print name) \_\_\_\_\_, (“OWNER”) desires to develop the PROPERTY; and

WHEREAS, it is necessary to service said parcel with **sanitary sewers, storm sewers and stormwater management facilities, domestic water mains**; and

WHEREAS, the **sanitary sewers, storm sewers and stormwater management facilities, and domestic water mains** servicing the property are not located within public rights-of-way or dedicated easements; and

WHEREAS, the Village of Arlington Heights ("VILLAGE") does not maintain **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains** on privately owned property; therefore

1. It is hereby AGREED by the RESPONSIBLE ENTITY, its successors and assigns that at no expense to the VILLAGE, the RESPONSIBLE ENTITY, its successors and assigns shall:

- a. Maintain all sanitary sewers and appurtenances thereunto appertaining located upon said premises, all as shown on the Final Engineering Plans prepared by \_\_\_\_\_ (Engineering Firm) \_\_\_\_\_ dated \_\_\_\_\_, and approved by the VILLAGE, or any amended plans as agreed to and approved by both parties, copies which are on file with the Engineering Department of the VILLAGE.
- b. Maintain all water mains and appurtenances located upon said premises from the master meter vaults. **Maintain the water service line and appurtenances from the valve at the water main to the building. The Village will maintain the proposed hydrant assembly in the public ROW.**
- c. Maintain all storm sewers and appurtenances, including detention vault, located upon said premises.
- d. Maintain the utilities as itemized above in accordance with the latest edition of the Village of Arlington Heights Municipal Code.
- e. Maintain all private roadways, parking areas, and pavement lighting facilities located on said premises as shown on said Final Engineering Plans in accordance with the latest edition of the Village of Arlington Heights Municipal Code.

2. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the aforementioned **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains** in accordance with the requirements of the VILLAGE, or should they allow a public nuisance to exist, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

3. It is further AGREED that, barring a need for immediate action, should the RESPONSIBLE ENTITY not begin corrective action within four (4) hours of notification of an emergency situation where property damage is occurring or is in imminent danger of occurring as a result of dysfunction of the **sanitary sewers, storm sewers and stormwater management facilities, or domestic water mains**, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such

time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

4. It is further AGREED that the RESPONSIBLE ENTITY shall save the VILLAGE harmless from any and all claims for damages resulting from the VILLAGE interrupting service to the property due to the failure of the RESPONSIBLE ENTITY to perpetually maintain the systems as described above and any other claims or damages arising out of this Agreement and the ownership of the facilities described herein.

5. This Agreement shall be binding between all successors and assigns and shall be a covenant running with the land as here and before legally described.

6. This Agreement shall be recorded in Cook County, Illinois.

This Agreement is entered into the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

For: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

State of Illinois )  
                          ) SS  
County of Cook )

I, \_\_\_\_\_, a Notary in and for said County, in the State

aforesaid, CERTIFY that \_\_\_\_\_ personally known to me to be the same person whose name is subscribed on the foregoing instrument appeared before me this day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their free and voluntary act, and as the voluntary act of

\_\_\_\_\_, an (LLC? Corporation?), for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public

For: Village of Arlington Heights,  
an Illinois municipal corporation

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

State of Illinois )  
                          ) SS  
County of Cook )

I, \_\_\_\_\_, a Notary in and for said County, in the State

aforesaid, CERTIFY that \_\_\_\_\_ personally known to me to be the same person whose name is subscribed on the foregoing instrument appeared before me this day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their free and voluntary act, and as the voluntary act of the **Village of Arlington Heights, an Illinois municipal corporation**, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public



# Arlington Heights Fire Department Plan Review Sheet

P. C. Number 18-023

Project Name Goddard School Daycare

Project Location 1316 N. Arlington Heights Road

Planning Department Contact Sam Hubbard

## General Comments

### Round 1

1. The Fire Department will defer to Don Lay from the Fire Safety Division as to whether the change of occupancy changes any code requirements for an existing structure. For example, the building is to be fully sprinkled.
2. Locate a Knox Box at the main front entrance.
3. The Fire Department requests an auto turn diagram using Arlington Heights Tower 131. Please include the turn from the east drive to the south drive.
4. The Fire Department Connection shall be located at the main front entrance of the building, be fully visible and accessible. It shall be located within a maximum travel distance of 100 feet to the nearest fire hydrant capable of delivering the required fire flows.
5. Install a fully operational annunciator panel or alarm panel at the main front door.
6. Section 503 requires that the unobstructed width of fire apparatus roads must not be less than 20 feet, exclusive of the shoulders, for building less than 30 feet in height. Your widths are less than the 20 feet requirement.

**NOTE: PLAN IS CONCEPTUAL ONLY  
SUBJECT TO DETAILED PLAN REVIEW**

Date November 30, 2018 Reviewed By: LT. Mark Aleckson

# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

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### DEPARTMENT PLAN REVIEW SUMMARY

**Goddard School Daycare**  
**1316 N. Arlington Heights Road**  
**PC#18-023**

#### Round 1 Review Comments

**11/27/2018**

**1. Character of use:**

The character of use is consistent with the area and is not a concern.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights code. Areas should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, and other criminal activity. If there is a playground with equipment special attention should be given to illuminating the playground and the surrounding area.

**3. Present traffic problems?**

There are no traffic problems at this location.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

This development may create additional traffic problems especially during drop off and pick up times. There should be traffic control signage in the parking lot for the Goddard School for no left turn (northbound) onto Arlington Heights Road.

**6. General comments:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

-It appears there is a fence around the playground areas of the property- any access gates to this area should be locked/secured nightly to reduce unauthorized access- i.e. theft, trespassing, vandalism, underage drinking etc.- to the area after hours. Consider installing a fence higher than 4 ft, one that allows natural surveillance of the property but limits access to unauthorized persons. Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations.

-Access control to the building and/or classroom areas must be considered. Consider numbering the exterior doors.

- The vestibule entrance to the facility needs to be secured and entry gained through buzzer. If entry into the building is made by unwanted persons, the reception area should have procedures in place to prohibit access to the rest of the facility.
- Toys and items used on playground should be stored inside building or locked sheds.

FRG #272

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Brandi Romag, Crime Prevention Officer  
Community Services Bureau

Approved by:

DH #557  
Supervisor's Signature



# Arlington Heights Police Department

## Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: [policemail@vah.com](mailto:policemail@vah.com).

Arlington Heights Police Department  
200 E. Sigwalt Street  
Arlington Heights, IL 60005-1499  
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department  
200 E. Sigwalt Street, Arlington Heights, IL. 60005  
Attention: Police Administration

[Print Form \(To Mail\)](#)

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

### IN CASE OF EMERGENCY PLEASE CALL:

#### Contact #1

Name

Address/City

Telephone Number

Cell Number

#### Contact #2

Name

Address/City

Telephone Number

Cell Number

#### Alarm System

No

Yes

Phone number:

Alarm Company Name

HEALTH SERVICES DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

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Palatine, IL  
 Phone #: 773-817-0917  
 Fax #: \_\_\_\_\_  
 E-Mail: khowaja83@hotmail.com

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 Special Use: \_\_\_\_\_ For: N/A  
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within OT district  
 Land Use: \_\_\_\_\_ Current: Vacant  
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 # of Units Total: N/A  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

Building permit plans must comply with the attached Food Service Plan Review Requirements.

Sean Freres, LEHP [Signature] 11/30/18  
 Environmental Health Officer \_\_\_\_\_ Date

RECEIVED

DEC - 3 2018

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

James McCalister [Signature] 11/30/18  
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 tor Date



Village of Arlington Heights  
Health & Human Services Department  
33 S. Arlington Heights Rd.  
Arlington Heights, IL 60005  
(847) 368-5760

## Food Service Plan Review Requirements

The Village of Arlington Heights has adopted the Illinois Department of Public Health Food Service Sanitation Code. Copies may be obtained by visiting [www.idph.state.il.us](http://www.idph.state.il.us) or calling 630/293-6800.

For a complete plan review, drawings to scale must be submitted containing the information noted below. This list, while not necessarily complete, highlights areas of concern and common reasons for plan rejection.

- 1. Floor Plan for Operation.** Designation of various areas (service areas, food preparation, dry storage, numbers and locations of seats, restrooms, break areas, etc).
  - 2. General Layout.** Location of equipment fixtures (cross-reference to an equipment schedule) including distances above the floor, between other pieces of equipment, whether on legs or casters, etc.
  - 3. Food Service Equipment.** All equipment must be commercial and listed with NSF or equivalent in both construction and installation. Used equipment must be inspected for approval prior to installation. Equipment schedules must contain manufacturer and model numbers for each piece of food service equipment. Equipment spec sheets are required for all new equipment.
  - 4. Plumbing fixtures.** Location and type must be shown in overhead and schematic design. Include provisions for drainage from condensate for refrigerators and freezers, ice machines, soda or water stations, steam tables, etc. The location of all floor drains and sinks must also be shown. All 3 compartment sinks, dish machines, prep sinks, ice machines, steam tables, and condensate lines must have an air-gap (open-site drain) on the waste line. All hub drains, floor sinks, and floor drains must be located on the toe-edge of, or adjacent to, the equipment to facilitate cleaning. Facilities cooking or performing food prep must have a grease trap. Newly constructed facilities having cooking that produces grease or vapors, or where 3 compartment sinks or food prep sinks are located in two or more areas are required to have an exterior grease trap. Dish machines and garbage grinders may not drain through the grease trap. All ice machines must be air cooled.
  - 5. Sinks.** Sinks that are mandatory to be installed include:
    - three compartment sink with integral drain boards
    - mop/utility sink
    - hand sink in preparation areas (including bars) and dish areas (more than one may be required)
    - food prep sink (depending on type of operation)
- Hot and cold running water are required at all sinks. The water must be tempered by means of a mixing valve. A metering faucet must provide at least 10 seconds of running water.
- 6. Ventilation Requirements.** Adequate ventilation must be provided throughout the facility to remove excessive heat, steam, vapors, smoke, fumes, and noxious odors. Submit specifics on ventilation hoods for Fire Code review.
  - 7. Floors, Walls, and Ceilings.** The surfaces in all food preparation, dishwashing rooms, and toilet rooms must be smooth, light colored, non-porous, and easily cleanable. Ceiling tiles may not contain fissures, and must be vinyl coated above food prep areas. Cove base must be provided at all floor/wall junctures. Grouting for all floor tiles must be sealed to be non-porous. Non-slip finishes may only be installed in traffic areas, not under equipment.
  - 8. Lighting.** Artificial light sources must be installed to provide at least 20 footcandles of light in all food prep areas, dish areas, and wash rooms. All walk-in refrigeration/freezer units, dry storage areas, dining rooms during cleaning, and other areas must be provided with at least 10 footcandles of light. All light fixtures over, near, or within food preparation, display, or service areas, and dish areas, must be shielded to prevent broken glass from falling onto food. This includes heat lamps.
  - 9. Dry Storage Areas.** A minimum of 25% of the food preparation area must be set aside for dry storage. Provide calculations showing how the dry storage requirement is met. Show dimensions and numbers of tiers for each shelving unit. All shelving must be at least 6 inches above the floor, and 18 inches below the ceiling. Remember that carry-out operations require more storage space for disposable containers.

**10. Other Storage Areas.** Provide storage for the following and indicate their locations: refrigerated and frozen storage, both clean and dirty dish storage, kitchen utensils, employee belongings and coats, and all cleaning supplies and toxic chemicals. Provide a mop and broom storage rack over the mop/utility sink.

**11. Garbage and Refuse Disposal.** An adequately sized solid waste storage site must be provided. The area must be paved, curbed, and graded to the front to prevent the accumulation of liquids. Visual screening for the area must be provided.

**12. Outer Openings.** No doors or windows may be left open and unscreened. All doors must be self-closing and tight-fitting. Provide screening of at least 16 mesh per inch for any windows to be opened. Air curtains and self-closing automatic windows must be installed on drive-through windows. Doors to outdoor dining areas must have operable air curtains installed above if outdoor wait staff are provided.

**13. Other Concerns.** All conduits and plumbing pipes must be installed inside the walls. If this is not possible, they must be at least 1 inch from the wall and 6 inches above the floor to facilitate cleaning.

**14. Menu.** A copy of the proposed menu must be submitted.

**15. Smoking.** No smoking is allowed in any enclosed space, including bars, private offices, or outdoor dining areas. Smoking is not allowed within 15 feet of any door, and ashtrays and other smoking materials may not be within 15 feet of the doors.

**16. Certified Food Service Manager.** At least one IDPH certified Food Service Manager must be present at all times foods are handled in high-risk establishments. Medium risk establishments need at least one certified Manager on staff.

### **Installation Standards for Food Service Equipment**

Equipment must be mounted with a minimum of 6 inches of clear space underneath. In lieu of the clear space, equipment may be equipped with casters or placed on a raised solid masonry or sealed metal platform. The platform must be at least 2 inches high, sealed at all edges, and sealed to the floor. Necessary space for air intake must be provided for any units that need ventilation. If fresh air is provided, any air intake openings must be screened with a minimum of 16 mesh per inch screening.

Equipment that is not easily moveable must also be sealed to the wall, or meet the following minimum clearances to facilitate cleaning:

- When the distance to be cleaned is less than 2 feet in length, the width of the clear unobstructed space must not be less than 5 inches.
- When the distance to be cleaned is between 2 and 4 feet, the width of the clear unobstructed space must not be less than 8 inches.
- When the distance to be cleaned is greater than 4 feet, the width of the clear unobstructed space must not be less than 12 inches.

### **Other Considerations**

A valid Business License is required to operate a food service facility in the Village of Arlington Heights. Contact the Licensing Coordinator in the Building Department at 847/368-5560.

A special use permit may be required for your location. Contact the Planning & Community Development Department at 847/368-5200 to inquire about the requirements.

No alcoholic beverages may be sold without first obtaining a Village Liquor License. Contact the Liquor License Officer at 847/368-5100.

Other licenses may be required as well. It is up to the owner and/or operator of each facility to obtain all of the required State and Local licenses prior to opening.

An early consultation between the Health & Human Services Department and the persons planning to build and/or operate a food service establishment can be beneficial. We may also be able to answer any questions you may have during the process. Contact the Health & Human Services Department at 847/368-5760 or by fax at 847/368-5980.

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 18-023  
 Petitioner: Amir Khowaja  
1584 E. Citadel Ct.  
Palatine, IL  
 Owner: Cynthia F. Platt Trust  
126 S. Dunton Ave  
Arlington Heights, IL 60005  
 Contact Person: Amir Khowaja  
 Address: 1584 E. Citadel Ct.  
Palatine, IL  
 Phone #: 773-817-0917  
 Fax #: \_\_\_\_\_  
 E-Mail: khowaja83@hotmail.com

P.I.N.# 03-20-302-045-0000  
 Location: 1316 N. Arlington Heights Rd.  
 Rezoning:  Current: R-3 Proposed: OT  
 Subdivision: \_\_\_\_\_  
 # of Lots: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 PUD:  For: Daycare  
 Special Use: \_\_\_\_\_ For: N/A  
 Land Use Variation:  For: Allow daycare  
within OT district  
 Land Use: \_\_\_\_\_ Current: Vacant  
 Proposed: Daycare  
 Site Gross Area: 50,362 sqft  
 # of Units Total: N/A  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

YES      NO

1.  \_\_\_\_\_ COMPLIES WITH COMPREHENSIVE PLAN?
2.  \_\_\_\_\_ COMPLIES WITH THOROUGHFARE PLAN?
3.  \_\_\_\_\_ VARIATIONS NEEDED FROM ZONING REGULATIONS?  
(See below.)
4. \_\_\_\_\_  VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?  
(See below.)
5. \_\_\_\_\_  SUBDIVISION REQUIRED?
6. \_\_\_\_\_  SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?  
(See below.)

Comments:

PLEASE SEE ATTACHED COMMENTS.

12-3-18

Date



# Planning & Community Development Dept. Review

December 3, 2018

## REVIEW ROUND 1

Project: Goddard School – Amirali Khowaja  
1316 N. Arlington Heights Rd.

Case Number: PC 18-021

### General:

7. The Plan Commission must review and approve the following actions:
  - a. Rezoning of the subject property from the R-3 District to the O-T District.
  - b. Planned Unit Development approval to allow a day care facility on the subject property.
  - c. Land Use Variation to allow a day care facility within the O-T District.
  - d. Variation to Chapter 28, Section 5.1-9.3(b), to reduce the required side yard setback on the north from 20 feet to **UNKNOWN** feet. The extent of this variation will be determined once additional information has been provided. See comment #12.
  - e. Variation to Chapter 28, Section 6.5-2, to allow accessory structures (playground equipment) in the front yard where accessory structures are restricted to the rear yard only.
  - f. Variation to Chapter 28, Section 6.13-3(a) to allow a 6' tall open fence in the front yard where code restricts open fences in the front yard to 36-inches in height.
8. Projects cannot be scheduled to appear before the Plan Commission until an executed contract for purchase has been provided. Please provide an executed contract for purchase of the site. Sensitive information from the contract can be redacted.
9. Will there be any daily/weekly deliveries expected? If so, what will be delivered and what time will deliveries occur? What size of delivery truck will be used? Where will delivery vehicles park?
10. Please provide specifications on the proposed retaining wall (materials, color, spec sheet).
11. Section 9.8(i)4 requires that all PUD's provide a preliminary construction staging plan. Please provide said plan.
12. What times of day are the outdoor play areas used?
13. On all future revisions, please ensure that all plans and studies include a revision date.

### Site Plan:

14. On sheet PC-6, it appears that the front yard setback is not measured from the closest point of the building to the property line abutting Arlington Heights Rd. Please add a measurement from the closest point on the front of the building to property line abutting Arlington Heights Road and adjust the data in the "Site Calculations" on sheet PC-6 accordingly.
15. Where an attached porch exists on a building, the building setback must be measured from the exterior of the column of said attached porch. Please provide a measurement on PC-6 that shows the shortest distance from the exterior porch column to the northern property line. Additionally, please do the same for the rear yard relative to the western property line. Please adjust the data in the "Site Calculations" accordingly. Finally, eaves can only encroach 4'-2" passed the required 20' side yard setback. Please clarify how far the eaves on the porch project passed the face of the column base to the north.

16. All roofed surfaces must be included in the building lot coverage calculation. Please update this calculation in the "Site Calculations" to include the all roofed surfaces (covered porches, roofed entryways, roofed accessory structures, etc.).
17. The visibility triangle on sheet PC-6 is incorrect (it is flipped). Additionally, it does not appear to start at the property line. The 12' must be measured north along the property line from the intersection of the property line and drive aisle, and then west from the drive aisle at the intersection of the drive aisle and the property line. Then the legs of these dimensions can be connected to create the triangle. Please add said triangle on the southern side of the access drive as well.
18. The proposed 6' tall wood fence is not shown on the engineering site plans.
19. The perspective renderings make the retaining wall appear to be 5'-6' in height. However, the engineering plans show the proposed retaining wall to be, on average, about 2.5'-3' tall. What will the maximum height of the retaining wall be, and where will this occur? What will the average height of the retaining wall be along the north, west, and southern elevations? There appears to be an error in the retaining wall measurements in the northwest corner of the site. Please correct. Please add additional T/W and B/W measurements to the retaining wall along the northern property line.
20. Please explore an alternative layout for the rear parking spaces, similar to below, which would create more greenspace in the rear, reduce impervious surfaces, and allow for less stormwater runoff. Essentially, the rear drive and parking areas would be more parallel to the circle drive, with the green area below (approximately) as increased greenspace. If the existing configuration is necessary, you're encouraged to reduce the length of the parking stalls to 16.5' to allow for 6.5' of landscaped area at the rear of the site.



**Landscaping:**

21. Along the northern property line, the eastern terminus of the wooden fence should stop where the proposed metal fence connects to it (i.e. it should not continue east towards Arlington Heights Road). Please substitute plantings in this area instead of the fence to provide for the required screen.
22. Please clarify why there is a note on PC-7 that says internal fencing is to be 4' tall. All other documents indicate that internal fencing (i.e. the metal fences around the play areas) will be 6' tall.
23. Please identify any proposed ground mounted mechanical equipment (AC units, generators, transformers, utility pedestals, switchgear, etc.) on the site plans and landscape plans and screen all units appropriately.

**Parking/Traffic:**

24. The KLOA study contained minimal information on the adequacy of the proposed parking areas. Please provide details on similar Goddard School facilities in the Chicagoland area, including the square footage of each facility, the licensed capacity of children, the number of employees, and the number of parking spaces.
25. Will certain spaces be dedicated for employee parking? Page 20 of the KLOA study states that "parents or guardians will enter the turn-around from the east and travel along the south side of the site, stopping to park in one of the 14 spaces provided on the interior of the turn-around." This comment alludes to the rear 10 spaces along the western side of the site being reserved for employee parking. Would the 14 parking spaces be adequate for drop-off/pick-up parking? Given the one-way orientation of the eastern parking spaces, if no spaces can be found in the turn-around area, then a parent would need to leave the site to access the additional parking spaces in front of the building. It is strongly encouraged that the petitioner re-evaluate the site circulation as per Engineering comment #25d, which would appear to address this concern.
26. The KLOA study states that the northern access drive will be a right-in access drive only. The site plans appear to show a full access drive in this location. Please clarify and adjust the plans accordingly.
27. The Illinois Accessibility Code has recently been amended to allow accessible spaces to share an accessible aisle. One additional parking space can be gained by orienting the accessible spaces in this manner. It is recommended the plans be modified to accommodate for this change.

**Market Study:**

28. What characteristics of the Goddard School set it apart from the other day care facilities that are within the study. Are there services, prices, features, etc., that Goddard provides that are not provided by their competitors?
29. Please note that several of the other day care facilities included in the market study have informed the Village that they are not at capacity, however, the market study indicates that they are full.

Prepared by: 



Goddard School Daycare  
1316 N. Arlington Heights Road  
PC #18-023  
November 30, 2018

**Landscape Comments**

- 1) The ends of all parking rows must include an island with a 4" caliper shade tree (Chapter 28, section 6.16-1.2b). Please provide an island and a 4 inch caliper shade tree in the northwest corner at the end of the 4 parallel parking spaces.
- 2) It is recommended that landscaping be added along the front elevation. The landscaping should consist of a mix of shrubs and perennials.
- 3) Please provide a detail of the proposed bollard.
- 4) It is recommended that a more salt tolerant shrub be considered in place of the proposed Hick Yews along Arlington Heights Road.
- 5) Along the south property line, stop the fence at the front plane of the house to the south and incorporate 6 foot high Arborvitae up to the vision triangle at the drive aisle. The Arborvitae must be planted so that they provide a solid screen.
- 6) If there are any utility meters or mechanical units, they must be screened with landscaping or another appropriate method of screening.
- 7) A landscape compliance bond in the amount of 30% of the landscaping costs will be required at the time of building permit. In addition, a \$4 tree fee is required for each lineal foot of frontage.