



# Village of Arlington Heights Building & Life Safety Department

## Interoffice Memorandum

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**To:** Sam Hubbard, Development Planner, Planning and Community Development  
**From:** Deb Pierce, Plan Reviewer, Building & Life Safety Department  
**Subject:** Sigwalt 16 – PUD, Rezoning to R-7, Plat of Subdivision, Variations  
**PC#:** 19-005 – Round 1  
**Date:** April 25, 2019

**General Comments:**

The information provided is conceptual only and subject to a formal plan review.

Sam...

I do not have any comments.

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APR 25 2019  
PLANNING AND COMMUNITY  
DEVELOPMENT DEPARTMENT



Village of Arlington Heights, IL  
Department of Building & Life Safety

Fire Safety Division

Date: 4/16/2018

P.C. Number: 19-005

Project Name: PUD, Rezoning to R-7, Plat of Subdivision, Variations

Project Location: Southern portion block 425

Planning Department Contact: Sam Hubbard, Planning and Community Development

General Comments:

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply.
2. A complete NFPA compliant fire suppression system is required.
3. An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
4. A fire alarm may be required depending on the type of fire sprinkler provided.
5. Shop drawings for fire alarm systems shall be submitted for review and approval prior to system installation.
6. In buildings four or more stories above grade plane, one stairway shall extend to the roof surface, unless the roof has a slope steeper than four units vertical in 12 units horizontal.
7. Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.
8. Buildings shall have approved address numbers.

Date 04-16-18

Reviewed By:

  
Fire Safety Supervisor

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APR 23 2019  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

## **Memorandum**

To: Sam Hubbard, Planning & Community Development  
From: Cris Papierniak, Assistant Director of Public Works  
Date: May 1, 2019  
Subject: 45 S Chestnut Ave (16 Sigwalt) P.C. #19-005

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With regard to the proposed PUD/Rezoning, I have the following comments:

- 1) The water line related comments will be reserved until plumbing submittals show what the intention is within each unit.
- 2) Provide elevations for every sanitary and storm crossing of water main.
- 3) The storm water connection to Sigwalt is mislabeled as sanitary connection.
- 4) The combined sewer line on Sigwalt will be a 30" RCP (the 18" combined sewer will be replaced with a 30")
- 5) The 4" water main on Sigwalt will be abandoned in summer of 2019.
- 6) Submit a maintenance plan for the underground detention basin.
- 7) The existing Village telemetry conduit (encased in concrete) will be impacted for storm MH #8.
- 8) The surface course of roadway shall be milled with a minimum of 2' beyond any roadway trench or cut to ensure smooth transition.
- 9) The project is located in Downtown Arlington Heights and will require brick paver sidewalks (new design with concrete bands), decorative lights and tree grates per Village standards.
- 10) Any work done on sidewalks will meet ADA compliance.
- 11) If approval is provided prior to Village's reconstruction of Sigwalt sewer, contact Mike Pagonos, Village Engineer to coordinate storm sewer taps.

If you have any questions, please feel free to contact me.

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 19-005  
 Petitioner: Taylor Morrison of Illinois, Inc  
1384 Walden Office Square, Suite 300  
Schaumburg, IL 60173 - 847-232-8467  
 Owner: SSO Arlington, LLC  
4205 W. Irving Park Road, 1st Floor  
Chicago, IL 60641  
 Contact Person: Marc McLaughlin  
 Address: 1834 Walden Office Square, Suite 300  
Schaumburg, IL 60173 - 847-232-8467  
 Phone #: 224-223-3316  
 Fax #: \_\_\_\_\_  
 E-Mail: mmclaughlin@taylormorrison.com

P.I.N.# 03-30-425-012,013,014,03-30-425-021,022,023  
 Location: \_\_\_\_\_  
 Rezoning:  Current: R3 Proposed: R7  
 Subdivision:   
 # of Lots: 17 Current: 6 Proposed: 16  
 PUD:  For: 16 row homes  
 Special Use: \_\_\_\_\_ For: \_\_\_\_\_  
 Land Use Variation: \_\_\_\_\_ For: \_\_\_\_\_  
 Land Use: \_\_\_\_\_ Current: vacant residential  
 Proposed: attached SFR  
 Site Gross Area: 41,939 sqft  
 # of Units Total: 16  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: ..... **YES NO COMMENTS**

- a. Underground Utilities
  - Water ..... NO \_\_\_\_\_
  - Sanitary Sewer ..... NO \_\_\_\_\_
  - Storm Sewer ..... NO \_\_\_\_\_
- b. Surface Improvement
  - Pavement ..... YES \_\_\_\_\_
  - Curb & Gutter ..... YES \_\_\_\_\_
  - Sidewalks ..... YES \_\_\_\_\_
  - Street Lighting ..... YES \_\_\_\_\_
- c. Easements
  - Utility & Drainage ..... NO \_\_\_\_\_
  - Access ..... NO POSSIBLE CROSS ACCESS W/425

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC X b. IDOT \_\_\_\_\_
- c. ARMY CORP \_\_\_\_\_ d. IEPA \_\_\_\_\_
- e. CCHD \_\_\_\_\_

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
3. R.O.W. DEDICATIONS? .....	<u>X</u>		_____
4. SITE PLAN ACCEPTABLE? .....		<u>X</u>	_____
5. PRELIMINARY PLAT ACCEPTABLE? .....		<u>X</u>	_____
6. TRAFFIC STUDY ACCEPTABLE? .....		<u>X</u>	_____
7. STORM WATER DETENTION REQUIRED? .....	<u>X</u>		_____
8. CONTRIBUTION ORDINANCE EXISTING? .....		<u>X</u>	_____
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....	<u>X</u>	<u>X</u>	<u>WITHIN 500 FEET</u>
10. WETLAND EXISTING? .....		<u>X</u>	_____

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: RWG Eng., LLC  
 DATE OF PLANS: 4-12-19

Michael J. Pagan 4/30/19  
 Director VILLAGE ENGINEER Date

**PLAN COMMISSION PC #19-005**  
**Sigwalt 16**  
**45 S Chestnut Ave**  
**PUD, Rezoning to R-7, Plat of Subdivision, Variations**  
**Round 1**

**RECEIVED**  
**MAY 01 2019**  
**PLANNING & COMMUNITY**  
**DEVELOPMENT DEPARTMENT**

- 1) The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
- 2) Since a subdivision is being proposed the plans must meet all subdivision requirements. Final engineering plans for all public improvements must be approved prior to the final plat of subdivision approval. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. An Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would include public sidewalk and all right-of-way improvements required by the Planning Department which may include but not limited to street lights and parking lanes. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
- 3) Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System: NAD\_1983\_StatePlane\_Illinois\_East\_FIPS\_1201\_Feet  
Projection: Transverse\_Mercator  
False\_Easting: 984250.00000000  
False\_Northing: 0.00000000  
Central\_Meridian: -88.33333333  
Scale\_Factor: 0.99997500  
Latitude\_Of\_Origin: 36.66666667  
Linear Unit: Foot\_US  
Geographic Coordinate System: GCS\_North\_American\_1983  
Datum: D\_North\_American\_1983  
Prime Meridian: Greenwich  
Angular Unit: Degree

- 4) The Final Plat of Subdivision must be reviewed and approved by Engineering prior to final Plan Commission approval. The original signed mylar Final Plat of Subdivision, containing all non-Village signatures, shall be submitted one week before the scheduled date of the final Plan Commission meeting. Village Code Section 29-209 also requires a digital copy of the plat to be provided on disk to the Village. The petitioner shall acknowledge that they accept this understanding.

- 5) The proposed detention/retention facility will be a private system and as such will not be the Village's responsibility to maintain. If a basin is proposed, the basin requires a 1-foot freeboard with an overflow weir at the 6" line. The basin requires a 5' flat zone around the perimeter before the top of slope begins. Provide calculations for sizing the weir. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village Engineer for an editable version of the OUMA.
- 6) If a wet bottom basin is proposed, the basin shall be constructed with a minimum depth of no less than six feet (6'). A safety ledge, five feet (5') wide, back pitched towards the shore three inches (3"), at three feet (3') below normal water level (NWL) must be provided. The side slopes leading down to the basin's NWL must be 5:1 maximum. Provisions, such as a recirculation pump, must be made to keep the pond nuisance free.
- 7) The preliminary detention calculations are acceptable.
  - a) Final approval will require final engineering plans including calculations for storage provided and details of the detention system.
  - b) If the detention storage system will be located under pavement, it must be designed to AASHTO HS-25 loading standard.
  - c) The outlet pipe in the special restrictor structure must have a trap with a removable hood. For reference is a removal hood detail from the Metropolitan Water Reclamation District.
  - d) Since the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.
- 8) Regarding the permeable pavers, the following items shall be addressed at final engineering:
  - a) The top of the CA-7 stone layer cannot be higher than the surrounding ground to avoid detained water from "bleeding" out of the side of the facility.
  - b) Provide existing and proposed elevations of the finished grade, and also provide the proposed elevations of the bottom of the CA07 stone layer.
  - c) At time of permit, provide a copy of the manufacturer's brochure showing specifications for their permeable paver system.
- 9) If on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.

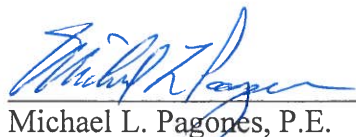
- 10) Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case a Pierce Quantum. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the Pierce Quantum.
- 11) Per the Fire Department, fire lanes adjacent to buildings must be able to support the responding vehicle (Pierce Velocity or Pierce Quantum). A fully loaded engine is 49,800 lbs. Fire lanes require a heavy duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-50 Binder, and 4" CA-6 Stone Subbase. For the proposed permeable pavers, provide additional information to show that the structural number of the proposed cross section is equivalent to the above referenced asphalt pavement section.
- 12) Coordinate possible fire lane cross access with the parcel located north of the proposed development.
- 13) The Professional Engineer stamp expiration date provided on the cover page of the engineering plans is not current. Provide current expiration date.
- 14) Regarding the Highland Ave driveway and pedestrian access route:
  - a) The proposed ADA ramps and pedestrian access route at the Highland Ave entrance are currently shown at an angle. The preferred alignment would have the north receiving ADA ramp in alignment with the public sidewalk south of the new driveway.
  - b) Sidewalk takes precedence through the driveway, with curb stopping on either side of the sidewalk.
  - c) All sidewalk and ADA ramps shall meet the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way dated July 26, 2011.
- 15) Verify the depth of the Village cable located in the parkway to confirm there are no conflicts with the proposed storm sewer and water main.
- 16) Provide additional information on the power lines to be relocated.
- 17) The proposed water main is not a public main and therefore must not be located in the right-of-way. Revise the plans accordingly.
- 18) Master meters shall be required at both connection points. In the event the petitioner chooses to install individual meters in the units, the units would not be supplied, maintained or read by the Village.
- 19) The proposed sanitary sewer on Highland Ave is located close to the property line. The line shall be relocated such that all structures are located on private property and not encroaching on the public right-of-way.

TRAFFIC:

- 20) The entrance/exit driveway width is required to be 24 ft. face to face of curb by Village Code. Curb return radii must be 20 ft. radii minimum.
- 21) The geometric alignment for the entrance/exit driveway into the internal parking lot needs to provide turning templates to verify if delivery, garbage, and fire emergency vehicles to get in and turn around to pull out forward, instead of having to back out. The internal 5 ft. radius of the right angle curve needs to be softened into a compound or tapered geometric transition to allow two vehicles to pass each other through this 90 degree turn.
- 22) The garage access for units 1; 5 & 6; 12 & 13; 16, does not accommodate vehicles to pull in to these garages, and back out in order to proceed forward back to the entrance/exit driveway. As such the 2-3 cars parked in these units can only pull into their garage, and must back out across 2-4 other unit's garage door openings, or have other access deficiencies. Pulling into or backing out of units 5 & 13 garages may not be possible if one car is already in the garage.
- 23) The sight distance for vehicles exiting the proposed driveway looking north must be evaluated to verify if oncoming traffic can be seen past the bay of cars parked under the parking garage.
- 24) Clarify if the proposed driveway to be bituminous or concrete.

PRELIMINARY PLAT OF SUBDIVISION:

- 25) The plat was reviewed against the attached Preliminary Plat of Subdivision Checklist. Use the checklist to complete items 12 & 13.
- 26) For the Final Plat of Subdivision, use the attached Final Plat of Subdivision Checklist.

  
Michael L. Pagones, P.E. 4/30/19  
Village Engineer Date

Attachments:

- Preliminary Plat of Subdivision Checklist (1 page)
- Final Plat of Subdivision Checklist (3 pages)
- Contacts for Plat Signatures (1 page)
- Sample Utility Signature Blocks (1 page)
- Pierce Quantum turning analysis (3 pages)
- Removal Hood Detail from MWRD



**Preliminary Plat of Subdivision Checklist**  
**Municipal Code Section 29-201(b)(1 – 13)**

- 1. The name of the proposed subdivision.
- 2. A north-point indication, scale, date of preparation of the Preliminary plat, and by whom prepared.
- 3. A legal description of land proposed to be subdivided, by section, township and range, and other terms as used in describing land on the records of the Recorder of Deeds or Registrar of Titles, Cook County, Illinois.
- 4. Sufficient information to locate accurately the proposed subdivision in relation to its general neighborhood, by means of references to streets, railroad lines, recorded plats, etc. If the foregoing references cannot be made, then a vicinity plat showing the location of the proposed subdivision, drawn to a smaller scale, shall accompany the Preliminary plat.
- 5. The description and location of all survey monuments, existing and to be erected, in the area of the proposed subdivision.
- 6. The boundary lines of the proposed subdivision, drawn to accurate scale and bearing, and a statement of the total area encompassed by the boundary lines.
- 7. The location and dimensions of streets, easements, improvements and utilities within and immediately contiguous to the proposed subdivision, as well as the location and dimensions of major features such as railroad lines, airports, water courses, lakes and exceptional topography.
- 8. The location, dimensions and layout of proposed streets, alleys, and sidewalks of the proposed subdivision.
- 9. The layout, number, dimensions and area of each lot of the proposed subdivision.
- 10. The location, dimensions and layout of all parcels of land intended to be dedicated for public use, such as parks and other open spaces, or reserved for the use of all subdivision property owners, together with an indication of the nature of each such use within the proposed subdivision.
- 11. The location, dimensions and layout of all public utility easements in the proposed subdivision.
- 12. The location and dimensions of all building setback lines in the proposed subdivision.
- 13. The names and last known addresses of the owners of the land proposed to be subdivided, the subdivider and all owners of land immediately adjoining the land proposed to be subdivided.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com) .

**Final Plat of Subdivision Checklist**  
**Municipal Code Section 29-209(a – t)**

- a. The date of preparation of the final plat and by whom prepared.
- b. The boundary of the plat, based on accurate traverse, with angles and lineal dimensions.
- c. All permanent survey monuments, markers and bench marks.
- d. Exact location, width and name of all streets within and adjoining the plat, and the exact location and widths of all cross walkways.
- e. True angles and distances to the nearest established street lines or official monuments, not less than three.
- f. Municipal, township, county and section lines accurately tied to the lines of the subdivision by distances and angles.
- g. Radii, internal angles, points and curvatures, tangent bearings and lengths of all arcs.
- h. All easements for rights of way established for public use and utilities.
- i. All lot numbers and lines, with accurate dimensions given in hundredths of feet.
- j. Accurate outlines and legal descriptions of all areas dedicated or reserved for public use, with the proposed uses indicated thereon; and all areas to be reserved by deed covenant for the common use of all property owners; together with the proposed uses indicated thereon.
- k. The text of protective covenants, approved by the Plan Commission, relating to the proposed subdivision.
- l. An endorsement by the County Clerk in the form acceptable to Cook County, that there are no delinquent, forfeited, foreclosed or purchased general taxes, or unpaid current general taxes, against the land proposed to be subdivided.
- m. A summary of all restrictions applicable to any part of such subdivision concerning building restrictions, use restrictions, building setback lines and similar matters.
- n. A deed of dedication in the form set forth in Section 29-217(a):  
The Final plat shall contain a deed of dedication substantially as follows:

"We, the undersigned, (Names), owners of the real estate shown and described herein, do hereby lay off, plat and subdivide said real estate in accordance with the within plat. This subdivision shall be known and designated as (Name), an addition to the Village of Arlington Heights, Cook County. All streets and alleys and public open spaces shown and not heretofore dedicated are hereby dedicated to the public. Front and side yard building setback lines are established as shown on this plat, between which lines and the property lines of the streets, there shall be erected or maintained no building or structure. There are strips of ground, (Number) feet in width, as shown on this plat and marked 'Easement' reserved for the use of public utilities for the installation of water and sewer mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. No permanent or other structures are to be erected or maintained upon

these strips of land, but owners of lots in this subdivision shall take their titles subject to the rights of the public utilities, and to the rights of the owners of other lots in this subdivision.

(Additional dedications and protective covenants, or private restrictions, would be inserted here upon the subdivider's initiative or the recommendation of the Plan Commission or Village Board; important provisions are those specifying the use to be made of the property and, in the case of residential use, the minimum habitable floor area.)

The foregoing covenants (or restrictions), are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 20\_\_\_\_ [25 year period is suggested], at which time said covenants (or restrictions) shall be automatically extended for successive periods of ten years unless indicated otherwise by negative vote of a majority of the then owners of the building sites covered by these covenants (or restrictions), in whole or in part, which said vote will be evidenced by a petition in writing signed by the owners and duly recorded. Invalidation of any one of the foregoing covenants (or restrictions) by judgment or court order shall in no way affect any of the other various covenants (or restrictions), which shall remain in full force and effect.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected or maintained in violation, is hereby dedicated to the public, and reserved to the several owners of the several lots in this subdivision and to their heirs and assigns.

WITNESS our hands and seals this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

Before me the undersigned Notary Public, in and for the County and State aforesaid, personally appeared (Names), and each separately and severally acknowledged the execution of the foregoing instrument as his or her voluntary act and deed, for the purposes therein expressed.

WITNESS my hand and notarial seal this \_\_\_\_ day of 20 \_\_\_\_\_.

\_\_\_\_\_  
Notary Public"

- o. A blank certificate of approval in the form set forth in Section 29-217(b).  
The Final plat shall contain a certificate of approval as follows:

"Under the authority provided by 65 ILCS 5/11-12 as amended by the State Legislature of the State of Illinois and Ordinance adopted by the Village Board of the Village of Arlington Heights, Illinois, this plat was given approval by the Village of Arlington Heights AND MUST BE RECORDED WITHIN SIX MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD, OTHERWISE IT IS NULL AND VOID.

APPROVED by the Plan Commission at a meeting held \_\_\_\_\_

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

APPROVED by the Village Board of Trustees at a meeting held \_\_\_\_\_

\_\_\_\_\_  
President

\_\_\_\_\_  
Village Clerk

APPROVED by the Village Collector  
\_\_\_\_\_

APPROVED by the Village Engineer  
\_\_\_\_\_”

- p. A certification by a registered surveyor in the form set forth in Section 29-217(c). The Final plat shall contain a certificate signed by an Illinois Registered Land Surveyor in substantially the following form:

“I, (Name), hereby certify that I am an Illinois Registered Land Surveyor in compliance with the laws of the State of Illinois, and that this plat correctly represents a survey completed by me on (Date); that all monuments and markers shown thereon actually exist, and that I have accurately shown the materials that they are made of.

\_\_\_\_\_  
Signature

(SURVEYOR'S SEAL)

Illinois Land Surveyor  
No. \_\_\_\_\_”

- q. A notarized statement from the owner indicating the school district in which each tract, parcel, lot or block lies.
- r. A certificate in the form as required by the Illinois Department of Transportation or Cook County Highway Department, respectively, when any new street or new driveway will access one of these Department's streets.
- s. The parcel index numbers of all lots contained within the plat shall be included on the plat of subdivision.
- t. A block stating "Send Tax Bill To: (Name/Address)." The actual name and address shall be provided by the developer.
- u. Provide a location to identify the address of each new lot.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com) .

## ***Contacts for Plat Signatures***

<p>Mr. Frank Gautier <b>Comcast Cable</b> 688 Industrial Drive Elmhurst, IL 60126</p>	<p>224-229-5853 <a href="mailto:Frank_Gautier2@comcast.com">Frank_Gautier2@comcast.com</a> Alternates: Bob Schulter (Department Supervisor), Martha Agieras (Assistant) <a href="mailto:Bob_Schulter@comcast.ncom">Bob_Schulter@comcast.ncom</a> <a href="mailto:Martha_Gieras@comcast.com">Martha_Gieras@comcast.com</a></p> <p style="text-align: center;"><i>Per Frank: Request that completed plat data be shared with Comcast in advance of signature, and that the plat be physically provided at their 688 Industrial Drive office at a mutually agreed date and time.</i></p>
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<p>Mr. Mark Cozzi <b>ComEd</b> Three Lincoln Center, 4th Floor Oakbrook Terrace, IL 60181</p>	<p>630-576-6530 <a href="mailto:Mark.Cozzi@ComEd.com">Mark.Cozzi@ComEd.com</a></p>
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<p>Ms. Kim Augustine <b>NICOR Gas</b> 300 W Terra Cotta Ave Crystal Lake, IL 60014</p>	<p>630-338-2976 <a href="mailto:kaugust@aglresources.com">kaugust@aglresources.com</a></p>
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<p>Ms. Sue E. Manshum ROW Engineer <b>Ameritech</b> 1391 Abbot Ct Buffalo Grove, IL 60089</p>	<p>847-465-6086 <a href="mailto:sm9231@att.com">sm9231@att.com</a></p>
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<p>Mr. Dominick Silvio <b>WOW Internet Cable</b> 4350 Weaver Parkway Warrenville, IL 60555</p>	<p>630-536-3121 <a href="mailto:dominick.silvio@wowinc.com">dominick.silvio@wowinc.com</a></p>
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<p>Ms. Abigail Robinson <b>IDOT Permits</b> 201 W Center Court Schaumburg, IL 60196</p>	<p>847-705-4541 <a href="mailto:Abigail.L.Robinson@illinois.gov">Abigail.L.Robinson@illinois.gov</a></p>
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<p>Mr. Michael Sterr, P.E. Permit Division Head, Construction Bureau <b>Cook County Department of Transportation and Highways</b> 69 W Washington St 24th Floor Chicago, IL 60602</p>	<p>312-603-1670 <a href="mailto:michael.sterr@cookcountyil.gov">michael.sterr@cookcountyil.gov</a> <a href="mailto:hwy.permits@cookcountyil.gov">hwy.permits@cookcountyil.gov</a></p>
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**Sample Signature Blocks**

COMMONWEALTH EDISON COMPANY  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

AMERITECH/SBC  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

NICOR GAS  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

COMCAST CABLE  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

WIDE OPEN WEST, LLC  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

Receiver: Fax: 06/03/2005 9:40AM Fax Station: Norman J. Toberman Assoc

06/03/05 FRI 10:45 FAX 020 832 3280

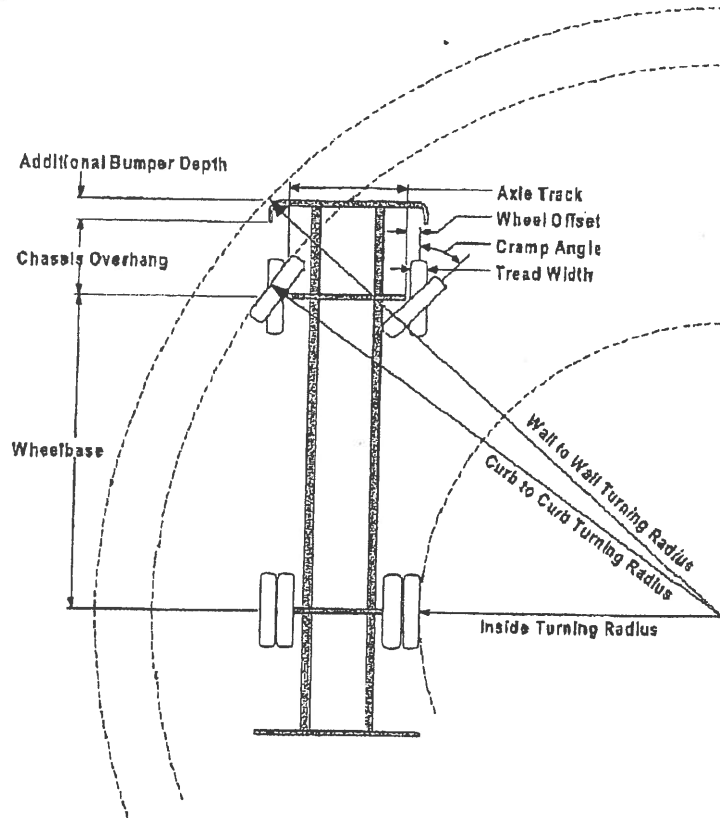
TECH SERVICE

004



# Turning Performance Analysis

6/3/2005



**Parameters:**

Inside Cramp Angle:	40.00 °
Axle Track:	82.92 in.
Wheel Offset:	5.25 in.
Tread Width:	17.40 in.
Chassis Overhang:	65.99 in.
Additional Bumper Depth:	22.00 in.
Front Overhang:	146.60 in.
Wheelbase:	257.00 in.

**Calculated Turning Radii:**

Inside Turn:	24 ft. 4 in.
Curb to Curb:	40 ft. 0 in.
Wall to Wall:	47 ft. 6 in.

**Comments:**

Aerial Application  
 JOB# 1:1807 FOR REFERENCE ONLY

Components	PRIDE #	Description
Front Axle	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, DLX/Qtm/AXT
Front Tires	0052978	Tires, Goodyear, 425/65R22.50 20 ply G286 tread
Chassis	0050220	Dash-2000 Chassis
Front Bumper	0012246	Bumper, 22" extended - all chassis'
Aerial Device	0022160	Aerial, 100' Pierce Platform

**Notes:**

- Actual Inside Cramp Angle may be less due to highly specialized options.
- Curb to Curb turning radius calculated for a 9.00 inch curb.
- Reduce turning radius by 33% if vehicle is equipped with all-wheel steer.

Received Fax Station: Jun 03 2005 9:40AM Fax Station: Norman J. Toberman Assoc

06/03/05 FRI 10:45 FAX 920 832 3260

TECH SERVICE

005



# Turning Performance Analysis

6/3/2005

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**Definitions:**

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- Inside Cramp Angle      Maximum turning angle of the front inside tire.
- Axle Track                King-pin to king-pin distance of the front axle.
- Wheel Offset             Offset from the center-line of the wheel to the king-pin.
- Tread Width             Width of the tire tread.
- Chassis Overhang        Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
- Additional Bumper Depth    Depth that the bumper assembly adds to the front overhang.
- Wheelbase                Distance between the center lines of the vehicle's front and rear axles.
- Inside Turning Radius     Radius of the smallest circle around which the vehicle can turn.
- Curb to Curb Turning Radius    Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
- Wall to Wall Turning Radius    Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.



TURNING PERFORMANCE ANALYSIS

OF

A PIERCE QUANTUM CHASSIS

FRONT AXLE	FRONT BRAKES	FRONT TIRES	CRAMP ANGLE	BUMPER TO AXLE DIM.
FL -943	DISC	385/65R22.5	45 DEG.	92.5 IN.
WHEELBASE	WHEEL OFFSET	FRONT AXLE TRACK		
184 INCHES	4.12	83.86 INCHES		

INSIDE TURNING RADIUS MEASURED TO THE CENTERLINE OF THE  
INSIDE TIRE : 256.10 INCHES OR 21.34 FEET.

\*\*\*\*\*

OUTSIDE TURNING RADIUS MEASURED TO THE CENTERLINE OF THE  
OUTSIDE TIRE : 307.02 INCHES OR 25.59 FEET.

\*\*\*\*\*

CURB TO CURB TURNING RADIUS CALCULATED FOR A 9.00 INCH CURB  
HEIGHT : 316.55 INCHES OR 26.38 FEET.

\*\*\*\*\*

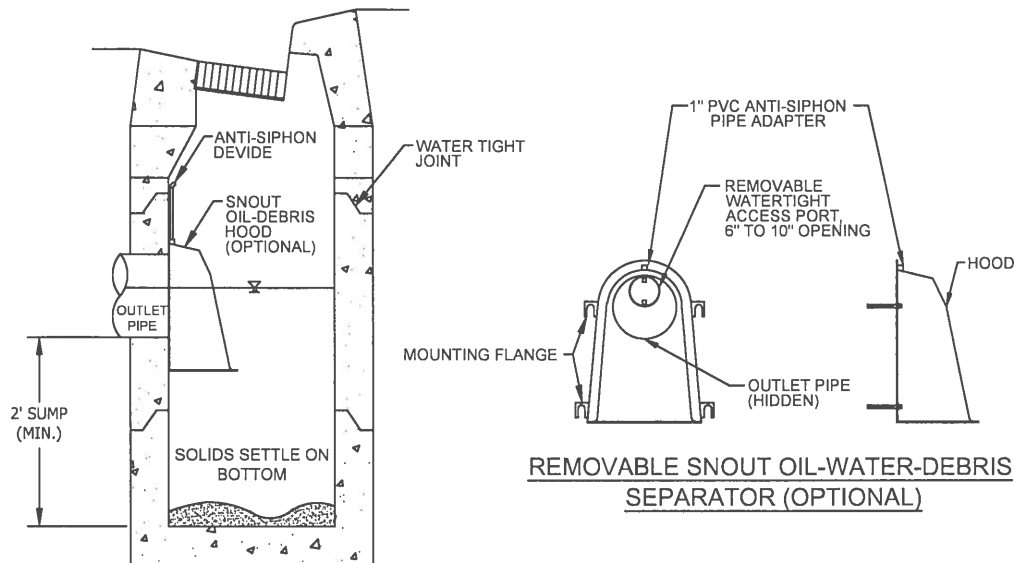
WALL TO WALL TURNING RADIUS MEASURED USING AN AXLE TO BUMPER  
DIMENSION OF 92.50 INCHES : 375.18 INCHES OR 31.27 FEET.

\*\*\*\*\*

ACTUAL WHEEL CRAMP ANGLE MAY BE LESS DUE TO OPTIONS  
REDUCE TURNING RADIUS BY 33% IF VEHICLE IS EQUIPPED WITH ALL-WHEEL STEER

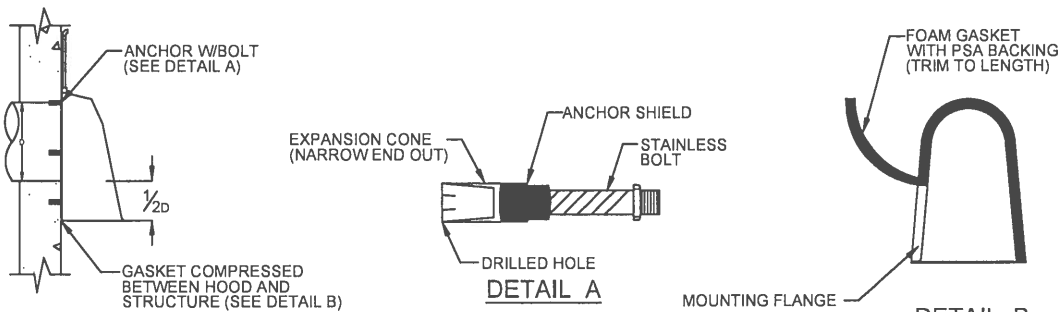
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CATCH BASIN WITH OPTIONAL HOOD

REMOVABLE SNOUT OIL-WATER-DEBRIS SEPARATOR (OPTIONAL)



OUTLET PIPE

DETAIL B

NOTES:

1. ALL HOODS SHALL BE CONSTRUCTED OF A FIBERGLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
2. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL).
3. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LARGER THAN PIPE SIZE).
4. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
5. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
6. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
7. THE REMOVABLE HOOD SHALL BE ATTACHED TO THE STRUCTURE WITH THE SLOTTED TABS MOUNTED OVER 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKETS.
8. POSITION HOOD SUCH THAT BOTTOM FLANGE IS AT A DISTANCE OF 1/2" OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".
9. RESTRICTOR AND SNOUT WHEN PAIRED SHOULD BE INSTALLED IN SUCH A WAY THAT RESTRICTOR AND SNOUT REMAIN INSPECTABLE.
10. RESTRICTOR AND SNOUT HOOD SHALL BE CURVED TO INSIDE RADIUS OF STRUCTURE AND WATERTIGHT.

NOT TO SCALE





# Arlington Heights Fire Department Plan Review Sheet

P. C. Number 19-005

Project Name Sigwalt 16 PUD

Project Location 45 S Chestnut

Planning Department Contact Sam Hubbard

## General Comments

Round 1

General Comments:

- 1) Sprinkler system installed per code.
- 2) Any Fire Department connections will be located at the front of the building. The Fire Connections will be fully visible and accessible and located within 100' of a accessible fire hydrant capable of providing the needed flow.
- 3) Install a fully operational annunciator panel or alarm panel at the main front entrance or to meet the Fire Departments needs.
- 4) Knox Box(s) shall be installed to meet the Fire Departments needs.

**NOTE: PLAN IS CONCEPTUAL ONLY  
SUBJECT TO DETAILED PLAN REVIEW**

Date April 22, 2019

Reviewed By: LT. Mark Aleckson

# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

RECEIVED

APR 23 2019

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

### DEPARTMENT PLAN REVIEW SUMMARY

**Sigwalt 16 PDU**  
**45 S. Chestnut Ave.**

#### Round 1 Review Comments

**04/23/2019**

**1. Character of use:**

The character of use is consistent with the area. It will be necessary to limit access to the grounds, especially benches or pergola areas. This is recommended to limit access and loitering. The addition of Trespass signs is recommended.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights Code. Special attention should be given to those outside common areas- ie courtyard and parking lot. Landscaping must not create hiding locations and should provide for natural surveillance.

**3. Present traffic problems?**

With the construction of Arlington 425 imminent, there will be increased traffic flow to an already congested downtown area. The Police Department has concerns about the traffic flow at Highland/Sigwalt and Highland/Campbell and again recommend a four way stop sign at those intersections.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

-The area around the parking lot entrance/exit should be clear of obstructions. Vehicle traffic entering and exiting the parking lot must be able to view other vehicles and pedestrians. Street parking adjacent to the entrances/exits should be prohibited. Warning lights/audible signals could be used to signal that vehicles are exiting.

**6. General comments:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

A. Ovington #330  
Alexandra Ovington, Crime Prevention Officer  
Community Services Bureau

D. Hajek #557  
Doug Hajek, Sergeant  
Community Services Bureau

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 19-005  
 Petitioner: Taylor Morrison of Illinois, Inc  
1384 Walden Office Square, Suite 300  
Schaumburg, IL 60173 - 847-232-8467  
 Owner: SSO Arlington, LLC  
4205 W. Irving Park Road, 1st Floor  
Chicago, IL 60641  
 Contact Person: Marc McLaughlin  
 Address: 1834 Walden Office Square, Suite 300  
Schaumburg, IL 60173 - 847-232-8467  
 Phone #: 224-223-3316  
 Fax #: \_\_\_\_\_  
 E-Mail: mmclaughlin@taylormorrison.com

P.I.N.# 03-30-425-012,013,014,03-30-425-021,022,023  
 Location: \_\_\_\_\_  
 Rezoning:  Current: R3 Proposed: R7  
 Subdivision:   
 # of Lots: 17 Current: 6 Proposed: 16  
 PUD:  For: 16 row homes  
 Special Use: \_\_\_\_\_ For: \_\_\_\_\_  
 Land Use Variation: \_\_\_\_\_ For: \_\_\_\_\_  
 Land Use: \_\_\_\_\_ Current: vacant residential  
 Proposed: attached SFR  
 Site Gross Area: 41,939 sqft  
 # of Units Total: 16  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

No comments.

**RECEIVED**  
 APR 24 2019  
 PLANNING & COMMUNITY  
 DEVELOPMENT DEPARTMENT

[Signature] 4-22-19  
 Environmental Health Officer Date

[Signature] 4/23/19 Director  
 tor Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

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 Proposed: attached SFR  
 Site Gross Area: 41,939 sqft  
 # of Units Total: 16  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

**(Petitioner: Please do not write below this line.)**

YES      NO

1.  \_\_\_\_\_ COMPLIES WITH COMPREHENSIVE PLAN?
2.  \_\_\_\_\_ COMPLIES WITH THOROUGHFARE PLAN?
3.  \_\_\_\_\_ VARIATIONS NEEDED FROM ZONING REGULATIONS?  
(See below.)
4.  \_\_\_\_\_ VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?  
(See below.)
5.  \_\_\_\_\_ SUBDIVISION REQUIRED?
6.  \_\_\_\_\_ SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?  
(See below.)

**Comments:**

PLEASE SEE ATTACHED COMMENTS.

 5/1/19  
 \_\_\_\_\_ Date

# Planning & Community Development Dept. Review

May 1, 2019



## REVIEW ROUND 1

Project: Southern 1/3 of Block 425 – Taylor Morrison Townhomes  
Sigwalt 16

Case Number: PC 19-005

### **General:**

7. The Plan Commission must review and approve the following actions:
  - a. A rezoning from R-3, One-Family Dwelling District into the R-7, Multiple-Family Dwelling District.
  - b. A Planned Unit Development (PUD) to allow the construction of a 16-unit single-family attached rowhome development.
  - c. Preliminary and Final Plat of Resubdivision to subdivide the subject property into individual lots for each townhome unit.
  - d. Variation to Chapter 28, Section 5.1-7.2, Minimum Area for Zoning District, to allow the R-7 District to be approx. 1.39 acres where code requires a minimum of 2 acres for the R-7 District.
  - e. Variation to Chapter 28, Section 5.1-7.6, Required Minimum Yards, to allow a front yard setback along Highland Avenue to be 12' where code requires a 25' setback.
  - f. Variation to Chapter 28, Section 5.1-7.6, Required Minimum Yards, to allow a front yard setback along Chestnut Avenue to be 17' where code requires a 25' setback.
  - g. Variation to Chapter 28, Section 5.1-7.6, Required Minimum Yards, to allow a side yard setback (north) to be 8' where code requires a 15' setback.
  - h. Variation to Chapter 28, Section 5.1-7.10, Spacing Between Multi-Family Buildings, to allow 5' spacing between principal buildings where code requires 25' spacing.
  - i. Variation to Chapter 28, Section 10.2-8, to allow a two-way driveway width of 22' where code requires a minimum of 24' for a two-way drive aisle.
  - j. Variation to Chapter 28, Section 10.2-9, to allow tandem parking spaces.
  - k. It should be noted that the property is proposed to be subdivided into individual units for each townhome, which will require variations for each lot based on the R-7 setback and bulk standards, although the overall development will comply with bulk standards and with most setback standards.
  
8. Section 9.8(i) of the Zoning Code requires that all PUD's include a preliminary construction schedule and phasing plan. Please provide the required preliminary construction schedule, which includes information on the approximate date of construction start, the number of construction phases and the starting and completion date for each phase, and details on what will be constructed in each phase, as well as a construction staging plan. The construction phasing plan shall include the anticipated number of construction workers and where they will park during each phase of construction, the type and amount of construction vehicles per phase and where they will be staged, the location of material storage, and information on anticipated lane closures, including info on where the closures will take place and the general timeframe for each closure.
  
9. School, Park, and Library contributions will be required prior to the issuance of a building permit. Your response to the affordable housing policy has been received and will be evaluated by the Housing Commission as part of the zoning entitlement process.
  
10. Please ensure that all plans and/or studies to be resubmitted as a result of the Round 1 Department review comments include a revision date.

### **Site Plan:**

11. Streetscape along Chestnut should be modified to be consistent the proposed streetscape to the north (widening of Chestnut to include parking along the east side of the street). Please revise the plans to show this improvement.
12. The plans appear to show that the existing overhead lines on the north side of Sigwalt that traverse directly south across Sigwalt, along the north side of Sigwalt, and diagonally across Sigwalt to the southwest corner of Sigwalt and Chestnut will all remain. These overhead lines should be buried or relocated as part of this development proposal. Can the existing telephone and electric utility boxes located along Sigwalt Street be relocated to the rear of the site or put underground?
13. Staff would like to discuss the potential merits of parking bump-outs at Sigwalt/Highland and Sigwalt/Chestnut and installation of these improvements may be required.
14. Previous iterations of the plans showed fencing in the front yard areas. Is fencing still proposed?
15. Other than the proposed transformer at the rear of the property, will there be any other ground mounted utility or mechanical equipment (switch gear, generators, meters, utility pedestals, AC units, etc.). Any/all proposed ground mounted utility/mechanical equipment must be appropriately located and screened.
16. The KLOA study recommended the provision of high-visibility crosswalks across the driveway entrance to the subject property. Please show these on the plans.
17. Given the 8' of ROW dedication along Highland Avenue, the proposed servicewalks for each unit extend well into the ROW. Maintenance of these servicewalks will be the responsibility of the homeowners and the Village will not maintain said service walks to each unit.

**Building:**

18. Please provide the projection distance of the proposed bay windows. Bay windows may not project more than 3' into a required front, rear, or exterior side yard.

**Plat of Subdivision:**

19. Please clarify if you are proceeding with Preliminary and Final Plat of Subdivision concurrently or separately. The submitted plat of subdivision was reviewed under the assumption that you are proceeding with Preliminary approval first, then returning for Final Plat approval at a future date.
20. Please revise the title of the plat to clarify whether it is preliminary or final. If you are proceeding with Final Plat approval, please note that the Final Plat, as approved by the Engineering Dept., must be printed on mylar and submitted to the Village, with signatures obtained from all parties except those to be coordinated by the Village, no less than one week prior to the Plan Commission hearing date. If this requirement cannot be met, you can proceed with Preliminary Plat approval with Final Plat approval obtained at a future date (i.e. a separate Plan Commission meeting would be needed). No public notice is required for Final Plat of Subdivision approval.
21. Please note that final engineering must be approved by the Engineering Dept. no less than one week prior to appearance before the Village Board for Final Plat of Subdivision approval. Additionally, please note that all applicable engineering fees and surety bonds, public improvement deposits, and recording fee's must be provided one week prior to appearing before the Village Board for Final Plat approval. If this requirement cannot be met, you can proceed with Preliminary Plat approval with Final Plat approval obtained at a future date (i.e. a separate Plan Commission meeting would be needed). No public notice is required for Final Plat of Subdivision approval.
22. Please clarify if each townhome unit will be placed on a separate subdivided lot. Currently, the Plat of Subdivision only places each building on separate platted lots. Since variations will be required for each townhome lot, please revise the plat to show the individual lots and the necessary variations can be incorporated into the Plat approval process. Otherwise, when a final plat of Subdivision is prepared that shows individual lots for each unit, another public notice and Plan Commission hearing would be required for the needed variations.



23. A draft of the proposed Declaration of Conditions, Covenants, and Restrictions (if any are proposed) is required for Final Plat of Subdivision approval, per Section 29-209(k) of Chapter 29 of the Municipal Code.
24. Please revise the Plat to show the required setbacks (20' to south, 25' to east, 25' to west, 15' to north).
25. Please cross-hatch area of ROW dedication.
26. The corresponding lot number in parenthesis next to the PINs at the top left-hand corner of the plat do not match the existing lots as shown on the plat.

Prepared by: SAM J. WAZAR

Sigwalt 16  
45 S. Chestnut  
PC 19-005  
4/29/19

- 1) Provide additional landscaping on the south end adjacent to unit #6 and #12. Overall, the landscaping is minimal and it is recommended that additional landscaping be provided. Along Sigwalt, Chestnut and Highland provide additional understory trees. On the north elevation adjacent to unit #1 and #16, vary the landscaping and increase the height to soften the elevation.
- 2) Along Highland Avenue, the streetscape shall match the Downtown. Incorporate the brick pavers and the site furnishings that are consistent with the Downtown streetscape.
- 3) Increase the size of the shade trees in the courtyard at the ends of the parking row so that they are a minimum of 4" caliper (Chapter 28. Section 6.15).
- 4) Incorporate permeable pavers within the drive aisle. The crosswalk near Highland shall be striped.
- 5) It is recommended that specialty pavement such as brick pavers be provided for the private walkways.
- 6) Will the three buildings be constructed at once? If not please provide an interim landscape plan.
- 7) The proposed Linden trees along Sigwalt may potentially conflict with the existing overhead utility lines. Please evaluate the placement and species of the proposed trees.
- 8) Landscape screening must be provided for any utility/mechanical areas located at grade so that they are fully screened.
- 9) A landscape compliance bond in the amount of 30% of the landscaping costs will be required. In addition, a \$4 tree fee is required for each lineal foot of frontage.