

VICINITY MAP:



ALL SIGNAGE WILL BE UNDER SEPARATE PERMIT.
GENERAL CONTRACTOR RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS AND HEALTH APPROVALS

McDONALD'S RESTAURANT
CHICAGO REGION

BUILDING INFORMATION:

ADDRESS:
STATE SITE CODE: 121434
STREET ADDRESS: 45 E. GOLF ROAD
CITY: ARLINGTON HEIGHTS
COUNTY: COOK COUNTY
STATE: ILLINOIS

DESIGNER OF RECORD:

DISCIPLINE:	NAME:	COMPANY, ADDRESS	ADDRESS	PHONE#:
ARCHITECT:	CARL L. LINGLE	LINGLE DESIGN GROUP, INC.	158 WEST MAIN STREET, LENA, IL 61048	815-369-9155
CIVIL:	DAN OLSON	WATERMARK ENGINEERING	2631 GINGER WOODS PARKWAY, SUITE 100, AURORA, IL 60502	630-375-1800
STRUCTURAL:	JEFF DRAKE	AMBROSE ENGINEERING	W66 N215 COMMERCIAL CT. CEDARBURG, WI 53012	262-377-7602
MECHANICAL:	JOE THOMAS	WCW ENGINEERING, INC.	760 CREEL DRIVE, WOOD DALE, IL 60191	630-595-8800
PLUMBING:	JOE THOMAS	WCW ENGINEERING, INC.	760 CREEL DRIVE, WOOD DALE, IL 60191	630-595-8800
ELECTRICAL:	BILL HERZKE	DICKERSON ENGINEERING INC.	3343 N. RIDGE AVE., ARLINGTON HEIGHTS, IL 60004	847-966-0290

CONSTRUCTION PROJECT MANAGER:

DISCIPLINE:	NAME:	COMPANY, ADDRESS	ADDRESS	PHONE#:
MANAGER:	CHRIS STEPP	McDONALDS CORPORATION	110 N. CARPENTER STREET, CHICAGO, IL 60607-2101	630-210-2413
PROJECT MANAGER:	JOE KERCHNER	LINGLE DESIGN GROUP, INC.	158 WEST MAIN STREET, LENA, IL 61048	815-369-9155

SCOPE OF WORK:

- NEUTRALIZE MANSARD--CONTINUE WITH EIFS--CORUGATED METAL TOP
- ALL NEW BUILDING SIGNAGE
- REMODEL DINING--NEW FINISHES PER DECOR PACKAGE
- NEW ACUSTICAL CEILING AND GRID THROUGH--OUT DINING
- ADA RESTROOMS REMODEL
- TILE MENU BOARD AREA
- VALANCE OVER SSBS AND FRONT COUNTER
- REPLACE ALL 2X4 LIGHTS WITH RECESSED CANS IN DINING
- DECOR INSTALL BY DECOR SUPPLIER
- ADA SITE UPDATES
- NEW DRIVE THRU EQUIPMENT
- NEW TRASH ENCLOSURE

EIFS NOTE:

THE EIFS SYSTEM MUST BE OF THE WATER-MANAGED VARIETY, AND MUST BE SO DESIGNATED BY THE EIFS MANUFACTURER. A WATER-MANAGED EIFS SYSTEM INCLUDES: MESH REINFORCING AT SHEATHING PANEL JOINTS, A WATERPROOFING MEMBRANE APPLIED OVER THE BUILDING SHEATHING, VERTICAL GROOVES IN THE POLYSTYRENE OR IN THE ADHESIVE TO CHANNEL WATER TO THE BOTTOM OF THE EIFS SYSTEM, DRAINAGE CHANNELS AT THE BOTTOM OF THE EIFS SYSTEM TO ALLOW WATER TO ESCAPE, DRAINAGE CHANNELS ABOVE DOORS AND WINDOWS, AND EXPANSION JOINTS AT DISSIMILAR SHEATHING MATERIALS. IN ADDITION, THE EIFS CONTRACTOR MUST BE CERTIFIED BY THE EIFS MANUFACTURER TO INSTALL A WATER-MANAGED EIFS SYSTEM.

STATEMENT OF COMPLIANCE:

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL UNDER THE LAWS OF THE STATE OF ILLINOIS.



EXPIRES: 11-30-20 DATE: 04-09-19

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ILLINOIS ACCESSIBILITY CODE.

STATE OF IL PROFESSIONAL
DESIGN FIRM LICENSE
EXP: 04/30/19
NUMBER: 184.004642

SYMBOL LEGEND:

	SECTION TAG		DOOR TAG
	DETAIL TAG		ROOM NAME & NUMBER
	ELEVATION TAG		PARTITION TAG
	DETAIL		KEY NOTE
1/4" = 1'-0" DRAWING TITLE			

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	D1.2	DEMO REFLECTED CEILING PLAN
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	D2.0	DEMO EXTERIOR ELEVATION
	D2.1	DEMO EXTERIOR ELEVATION
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	A5.1	WALL SECTIONS & DETAILS
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	A6.0	DOOR & HARDWARE SCHEDULE
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	S1.1	FOUNDATION PLAN
	S1.2	ROOF FRAMING PLAN
	S3.1	SECTIONS AND DETAILS
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	P1.2	WASTE AND VENT PIPING
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	P3.0	DETAILS
	P4.0	GENERAL NOTES
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	E6.0	LIGHTING CONTROLS
	E7.0	POS RISER DIAGRAM
		CIVIL
		SEE CIVIL COVER SHEET



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ISSUED DATE: 05/02/19



REVISIONS	DATE	DESCRIPTION
#	DATE	DESCRIPTION
1	05/02/19	PERMIT REVIEW BID SET
2	06/04/19	OWNER COMMENTS

STATE ID:	121434
NATIONAL #:	13514
PROJECT NUMBER:	18-444
DRAWN BY:	RP
CHECKED BY:	CLL

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
T1.0

FIRE ALARM MODIFICATIONS ARE TO BE DETERMINED IN THE FIELD BY CONTRACTOR. DEFERRED PERMITS AND WORK TO BE FILED BY APPROVED SUB-CONTRACTOR WITH THE AUTHORITY HAVING JURISDICTION.

4

OCCUPANCY ALLOWANCE					
SECTION 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT					
FUNCTION OF SPACE	ALLOWANCE	AREA	EXISTING OCCUPANTS	PROPOSED OCCUPANTS	—
ASSEMBLY WITH FIXED SEATS	SEE PLAN	—	56	48	
ASSEMBLY W/ OUT FIXED SEATS (STANDING SPACE)	5 NET	80 S.F.	16	16	
KITCHEN, COMMERCIAL (BASED ON FULL KITCHEN)	200 GROSS	—	10	10	
					—
TOTAL OCCUPANCY ALLOWANCE			82	74	—

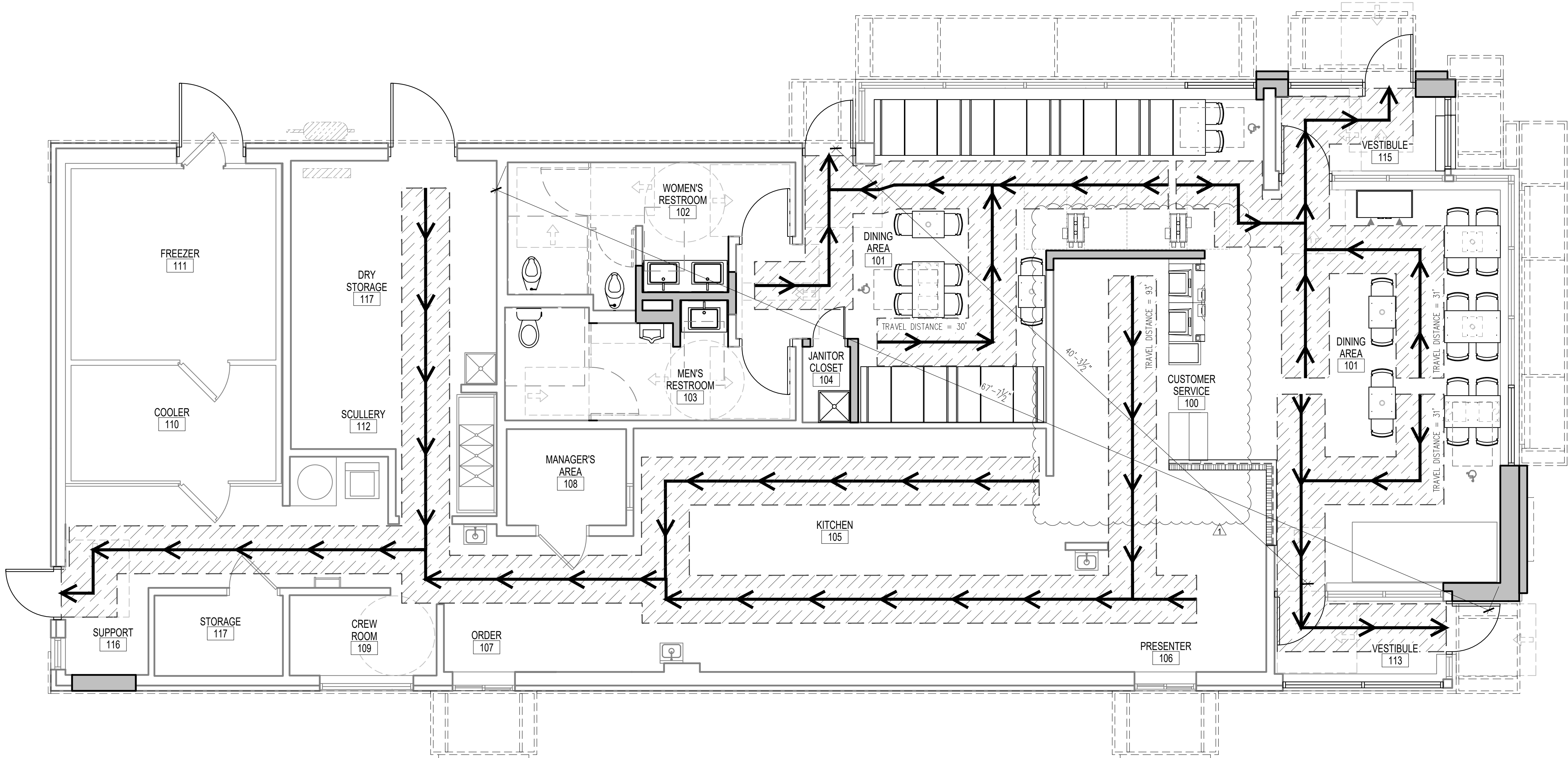
TOTAL SEATING:	48	NOTE: A. SEATING CONFIGURATION IS SHOWN FOR REFERENCE ONLY. ACTUAL CONFIGURATION MAY VARY. B. SEE SHEET G2.0 & A4.0 FOR ADA CLEARANCES
TOTAL REQUIRED ACCESSIBLE SEATING (5% OF TOTAL):	3	
ACCESSIBLE SEATING PROVIDED:	3	

LEGEND

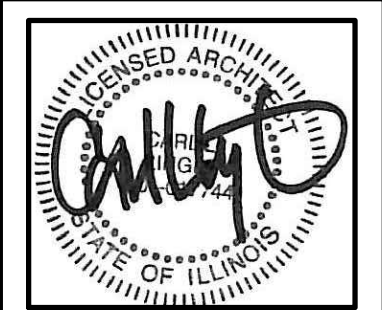
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INDICATES 36" MIN. EGRESS PATH UNLESS NOTED OTHERWISE

BUILDING INFORMATION	
BUILDING CODES:	
BUILDING CODE	2009 INTERNATIONAL BUILDING CODE W/ AMENDMENTS
MECHANICAL CODE	2009 INTERNATIONAL MECHANICAL & FUEL GAS CODE W/ AMENDMENTS
ELECTRICAL CODE	ELECTRICAL CODE OF THE VILLAGE OF ARLINGTON HEIGHTS
PLUMBING CODE	ILLINOIS PLUMBING CODE W/ AMENDMENTS
FIRE/ LIFE SAFETY CODE	2009 INTERNATIONAL FIRE PREVENTION CODE
ENERGY CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS
ACCESSIBILITY CODE	ILLINOIS STATE ACCESSIBILITY CODE
STRUCTURE:	
EXISTING BRICK AND CMU LOAD BEARING WALLS, METAL ROOF FRAMING, NEW METAL FRAMING WHERE APPLICABLE	
BUILDING INFO:	
OCCUPANCY:	USE GROUP A2 (RESTAURANT)
CONSTRUCTION TYPE:	V-B, ALARMED, NOT SPRINKLED
NUMBER OF STORIES:	SINGLE STORY
BUILDING HEIGHT:	16'-10 1/2" (MAIN BLDG. PARAPET) 18'-2 1/2" (ENTRANCE ELEMENT)
GROSS BUILDING AREA: EXISTING 3287 S.F.	



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ISSUED DATE: 05/02/19

McDonald's
USA, LLC
45 E. GOLF ROAD
ARLINGTON HEIGHTS, IL 60005

REVISIONS	DATE	DESCRIPTION
#	05/02/19	PERMIT REVIEW BID SET
1	06/04/19	OWNER COMMENTS

STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
BUILDING
INFORMATION
PLAN

SHEET NUMBER:
T2.0

GENERAL NOTES

EXAMINATION OF EXISTING CONDITIONS:
VISIT THE SITE AND CAREFULLY EXAMINE THE BUILDING ELECTRICAL SYSTEMS SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK, BEFORE SUBMITTING PROPOSALS. SUBMISSION OF A PROPOSAL WILL BE EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS BECAUSE OF DIFFICULTIES ENCOUNTERED, WILL NOT BE RECOGNIZED. GC TO CAMERA EXISTING DRAINS TO MAKE SURE LINES ARE CLEAR AND NOT COLLAPSED BEFORE WORK HAS BEGUN.

DEMOLITION GENERAL NOTES:

- D1. CONTRACTOR SHALL VISIT SITE, AND DOCUMENT EXISTING CIRCUITS SERVING LIGHTS, FIXTURES, RECEPTACLES, PLUG-IN STRIPS, MOTORS, AND SPECIAL POWER EQUIPMENT WITHIN LIMITS OF DEMOLITION, PRIOR TO SUBMITTING A PROPOSAL.
- D2. LIMITS OF DEMOLITION AREA SHALL BE AS INDICATED ON DEMOLITION PLAN/ELEVATIONS.
- D3. CAREFULLY REVIEW THE DRAWINGS FOR ADDITIONAL ITEMS TO BE REMOVED AND/OR RELOCATED. INCLUDE ALL COSTS IN BASE BID FOR REMOVAL, DISCONNECTING, OR RELOCATION OF EQUIPMENT AFFECTED BY DEMOLITION OF OTHER TRADES, OF OTHER TRADES.
- D4. EXISTING ELECTRICAL EQUIPMENT NOT SHOWN ON THESE DRAWING; HOWEVER, REQUIRED TO BE REMOVED AND/OR RELOCATED BY DEMOLITION, SHALL BE INCLUDED IN SCOPE OF WORK.
- D5. COORDINATE WITH OWNER'S REPRESENTATIVE, AT TIME OF BIDDING, THE LOCATION FOR STORING SALVAGEABLE EQUIPMENT.
- D6. PROVIDE TEMPORARY LIGHTING/POWER, DURING AND AFTER DEMOLITION FOR ALL AREAS WITHIN LIMITS OF THIS CONTRACT. SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE. UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT, REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING, POWER AND WIRING.
- D7. SHUTDOWN OF ANY SERVICE TO EQUIPMENT REMAINING SHALL ONLY BE FOR THE TIME AGREED UPON BY OWNER'S REPRESENTATIVE. SUCH SHUTDOWN SHALL BE IN WRITING WITH COPY TO ARCHITECT.
- D8. ELECTRICALLY DISCONNECT ALL ELECTRICAL EQUIPMENT BEING REMOVED BY DEMOLITION BACK AT PANEL BOARD. AFTER TESTING TO DETERMINE "POWER-OFF" TO EQUIPMENT, REMOVE AND DISPOSE OF EQUIPMENT, UNLESS SPECIFICALLY NOTED OTHERWISE.
- D9. ALL CONDUIT AND WIRE REMOVED SHALL BE REMOVED COMPLETELY BACK TO SOURCE, AND WHERE REQUIRED BRANCH OVER-CURRENT PROTECTION DEVICES PROPERLY LABELED "SPARE".
- D10. ALL VERTICAL FEEDERS AND PANEL BOARDS IN WALLS, BEING REMOVED, SHALL REMAIN, UNTIL OWNER'S REPRESENTATIVE HAS DETERMINED METHOD OF RELOCATION OR REMOVAL. HOWEVER, REMOVAL/RELOCATION COSTS SHALL BE INCLUDED IN BID PROPOSAL.
- D11. ALL CONDUIT AND WIRE FOR EQUIPMENT LOCATED OUTSIDE AREA OF DEMOLITION SHALL REMAIN IN SERVICE. THE EXACT METHOD OF RE-ROUTING NEW CONDUIT AND WIRE TO EQUIPMENT REMAINING SHALL BE COORDINATED WITH WORK OF OTHER TRADES, PRIOR TO ANY INSTALLATION.
- D12. ALL EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK SHALL BE RE-ROUTED CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
- D13. ALL NEW FEEDERS SHALL BE INSTALLED AND CONNECTED, BEFORE ANY EXISTING FEEDERS ARE DISCONNECTED AND REMOVED, UNLESS NOTED OTHERWISE.
- D14. REMOVE EXISTING CEILING TILES AND LIGHTS, WHERE SO REQUIRED, TO PROPERLY INSTALL NEW ELECTRICAL WORK IN CONCEALED CEILING SPACES. REINSTALL TILES AND LIGHTS TO MATCH EXISTING FINISHES UPON COMPLETION OF THE WORK.
- D15. EXISTING LIGHT FIXTURES AND SWITCHES, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND THEIR ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR LIGHTING WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D16. EXISTING RECEPTACLES, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND THEIR ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR EQUIPMENT WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D17. EXISTING TELEPHONE AND DATA OUTLETS, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND THEIR ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR EQUIPMENT WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D18. EXISTING FIRE ALARM EQUIPMENT, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND ITS ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR EQUIPMENT WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D19. EXISTING SOUND SYSTEM EQUIPMENT AND SPEAKERS, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND THEIR ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR EQUIPMENT WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D20. EXISTING SECURITY SYSTEM EQUIPMENT, LOCATED WITHIN THE LIMITS OF DEMOLITION, AND ITS ASSOCIATED CONDUIT AND WIRING SHALL BE ELECTRICALLY DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE. PROVIDE NEW CONDUIT AND WIRE (TO MATCH EXISTING), TO MAINTAIN CONTINUITY OF SERVICE FOR EQUIPMENT WHICH SHALL REMAIN BOTH INSIDE AND OUTSIDE THE AREA OF DEMOLITION.
- D21. EXISTING CONNECTION TO CIRCUIT BREAKER PANEL MOUNTED ON EQUIPMENT TO REMAIN.

DIVISION 1 - GENERAL NOTES

- A) CONSTRUCTION OBSERVATION SERVICES
1. DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES. IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. LINLEE DESIGN GROUP, INC. AVAILS ITSELF TO THE CLIENT, CONTRACTOR AND OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX AND E-MAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS.
- B) EXAMINATION
1. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO ACQUAINT HIMSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO ITS CONDITIONS.
 2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY DESIGNER/ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. THE DESIGNER/ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENT CONFLICTS, ERRORS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS OR ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. FAILURE TO NOTIFY THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK WILL RESULT IN THE CONTRACTOR CORRECTING SUCH ITEMS AT THE CONTRACTOR'S EXPENSE.
 4. THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, AND DO NOT INDICATE OR SPECIFY IN DETAIL, EVERY CONDITION AND COMPONENT OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL AND EQUIPMENT MANUFACTURER'S REQUIREMENTS, INDUSTRY STANDARDS AND FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.
 5. PRIOR TO ACCEPTANCE OF SUB-CONTRACTOR BIDS AND COMMENCEMENT OF CONSTRUCTION, GENERAL CONTRACTOR TO PROVIDE ALL SUB-CONTRACTORS ACCESS TO A FULL SET OF CONSTRUCTION DOCUMENTS.
 6. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.
 7. GENERAL CONTRACTOR SHALL VISIT PROPOSED JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS & LOCATIONS OF UTILITIES. FAILURE OF GENERAL CONTRACTOR TO VISIT JOB SITE PRIOR TO BIDDING WILL RESULT IN FORFEITURE OF EXTRA COMPENSATION FOR TIME AND MONEY.
 8. THE GENERAL CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES TO VERIFY ALL ELEVATIONS, SIZES, LOCATIONS AND CONNECTION POINTS FOR ALL UTILITIES AFFECTED BY THIS PROJECT. THE GENERAL CONTRACTOR SHALL COORDINATE AND OBTAIN ALL PERMITS FOR, AND ENSURE ALL UTILITIES ARE TURNED ON PRIOR TO COMPLETION OF WORK.
- C) CONTRACTS
1. REFER TO GENERAL CONTRACTOR'S EXECUTED CONTRACT FOR DETAILS.
- D) INSURANCE
1. REFER TO GENERAL CONTRACTOR'S EXECUTED CONTRACT FOR DETAILS.
- E) STANDARDS AND CODES
1. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE DESIGNER/ARCHITECT.
 2. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION.
 3. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM.
 4. CONFLICTS: IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
 5. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.
 6. CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING CODES.
 7. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY AND FINAL COMPLETION.
 8. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF HIS CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
 10. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
 11. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING CODES.
 12. THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.

- F) LAYOUT OF WORK
1. EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA COMPENSATION.
 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR LAY OUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS OF THE BUILDING, UTILITIES, AND OTHER WORK EXECUTED UNDER THE CONTRACT.
 4. DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.
 5. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.
 6. DIMENSIONS KNOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
 7. THE ARCHITECT AND HIS CONSULTANTS WILL NOT HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE WORK, THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK.
 8. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.
 9. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THE DESIGNER/ARCHITECT SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE DESIGNER/ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF SUCH INTERPRETATIONS MADE BY OTHERS.
 10. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS.
 11. DRAWINGS AND DIAGRAMS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY, NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN LOCATIONS FOR MECHANICAL AND ELECTRICAL ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE.
 12. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE CONTRACTOR'S PROPOSAL.
 13. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT BEFORE PROCEEDING.
- G) ALTERATIONS
1. ARRANGE WITH OWNER/OPERATOR A CONVENIENT TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND BUILDING MANAGEMENT REQUIREMENTS.
 2. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE AND REPLACE ANY WORK NECESSARY OR INDICATED ON THE DRAWINGS, CUT ALL NECESSARY OPENINGS AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING, OUT OF ALIGNMENT OR ADJUSTMENT, MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR DAMAGED SHALL BE DEMOLISHED, REPLACED, RESTORED OR SATISFACTORILY REPAIRED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- H) HAZARDOUS MATERIALS
1. ASBESTOS AND HAZARDOUS WASTE EXCLUSION: THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (AND IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO, THE PREPARATION OF REPORTS, DESIGNS, DRAWINGS, AND SPECIFICATIONS, AND RELATED TO THE INVESTIGATION DETECTION OF HAZARDOUS MATERIALS ON THE SITE.
- I) CONTRACTOR USE OF PREMISES
1. CONSTRUCTION OPERATIONS: LIMITED TO AREAS NOTED ON DRAWINGS.
 2. TIME RESTRICTIONS FOR PERFORMING WORK: VERIFY WITH CONSTRUCTION MANAGER & LOCAL CODES.
 3. UTILITY OUTAGES AND SHUTDOWN SHALL BE COORDINATED WITH THE LANDLORD/OWNER.
 4. AT ALL TIMES CONDUCT OPERATIONS TO INSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC. COMPLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY.
 5. ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.
 6. PERFORM DEMOLITION WORK AND SUCH SPRINKLER WORK, CONCRETE SAW CUTTING, PAINTING AND SIMILAR WORK CAUSING EXCESSIVE NOISE, DUST OR ODORS DISTURBING BUILDING OCCUPANTS, OR ANY WORK DISRUPTING TENANTS OR PUBLIC TRAFFIC WITHIN THE BUILDING, AFTER HOURS OR AT TIMES AND IN SUCH A MANNER AS OTHERWISE APPROVED BY OWNER/OPERATOR/CONST. MGR.
 7. COORDINATE USE OF PREMISES FOR WORK WITH THE LANDLORD/OWNER.
 8. LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER/OPERATOR/CONST. MGR.

- J) FINISH NOTES
1. ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.
 2. REPAIR AND PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES.
 3. ALL CODE-REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED.
 4. THE CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
 5. COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE & WALL-HUNG EQUIPMENT.
- K) GENERAL CLEANING
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TRASH REMOVAL, INCLUDING TRASH MADE BY ALL OTHER TRADES, AND SHALL KEEP THE SPACE CLEAN AND CLEAR OF REFUSE AT ALL TIMES.
 2. GENERAL CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE STORE AT THE COMPLETION OF THE PROJECT, AND BEFORE TURNING OVER THE STORE TO THE OWNER. WORK IS TO INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES.
- L) PUNCH LIST / CLOSE-OUT
1. UPON NOTIFICATION, THE OWNER'S REPRESENTATIVE SHALL PREPARE A PUNCH LIST OF THE PROJECT AND THE GENERAL CONTRACTOR SHALL MAKE GOOD ALL PUNCH LIST ITEMS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO FINAL PAYMENT.
- M) RECORD DRAWINGS / WARRANTIES
1. THE CONTRACTOR SHALL LEAVE A COPY OF REDLINED AS-BUILT DRAWINGS AT THE STORE UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE STORE AT THE COMPLETION OF THE PROJECT, AND BEFORE TURNING OVER THE STORE TO THE OWNER. WORK IS TO INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES.
 2. UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT IS MADE, THE CONTRACTOR SHALL SECURE AND DELIVER TO THE OWNER ALL GUARANTEES AND/OR WARRANTIES ON ALL EQUIPMENT SUPPLIED AND/OR INSTALLED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS, AND ALL OPERATIONS / MAINTENANCE MANUALS. (SEE BUY-OUT PACKAGE FOR MORE DETAILS)
- N) GUARANTEE
1. THE GENERAL CONTRACTOR SHALL GUARANTEE THE WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.



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STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
G1.0

SHEET NUMBER:

G2.0




GENERAL DEMOLITION NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THE ARCHITECT IN CASE OF DISCREPANCIES. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK ~~W/~~ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
5. VERIFY ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED ~~W/~~ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.

7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. RETURN TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR SLABS TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NAIL SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
11. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE MCDONALD'S AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.
12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

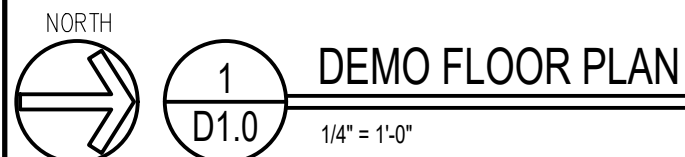
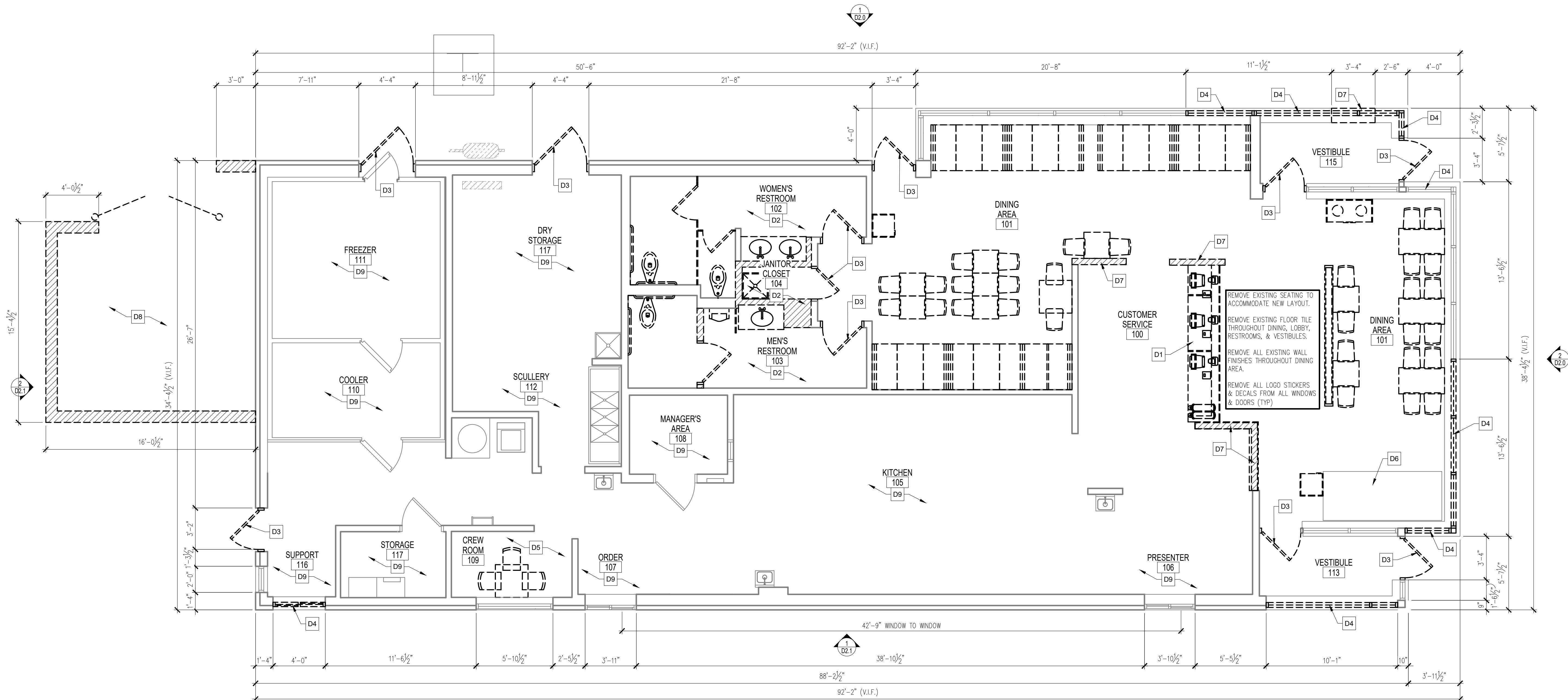
13. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
14. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SINKY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
16. REMOVE ANY EXISTING TABLE AND CHAIRS AS NECESSARY ON PROJECT.
17. REMOVE EXISTING CONCRETE CURBS AS NECESSARY TO ACCOMMODATE NEW WORK.
18. REMOVE EXISTING EXTERIOR DECORATIVE WOOD TRIM AS NECESSARY ON PROJECT.
19. REMOVE EXISTING ASPHALT PARKING LOT, GUARDRAILS AND BOLLARDS AS NECESSARY ON PROJECT TO ACCOMMODATE NEW WORK.

5
LEGEND

- | | |
|---|--|
|  | EXISTING WALL CONSTRUCTION TO REMAIN INCLUDING GLAZING, DOORS, ETC. |
|  | EXISTING ITEMS TO BE REMOVED |
|  | EXISTING WALLS TO BE REMOVED |
| | INTERIOR WALLS: REMOVED FROM BOTTOM OF STRUCTURE TO TOP OF SLAB
UNLESS NOTED OTHERWISE. |

KEY NOTES

TAG	DESCRIPTION
D1	REMOVE EXISTING FRONT COUNTER AND EQUIPMENT, SEE SHEET 44.2 FOR NEW FRONT COUNTER
D2	REMOVE EXISTING RESTROOM AND JANITOR CLOSET WALLS, DOORS, FIXTURES, AND FLOORING AS REQUIRED TO ACCOMMODATE NEW LAYOUT AND FINISHES.
D3	REMOVE EXISTING DOORS & FRAMES & PREPARE OPENING FOR NEW DOOR & FRAME.
D4	REMOVE EXISTING WINDOWS. PREPARE OPENING FOR NEW BUILDING MATERIALS.
D5	REMOVE EXISTING CREW ROOM FINISHES, DECOR AND FURNITURE TO ACCOMMODATE NEW FINISHES, DECOR AND FURNITURE
D6	DISASSEMBLE EXISTING SELF SERVE BEVERAGE STATION (SSBB) AS REQUIRED TO ACCOMMODATE NEW LAYOUT. SSBB TO BE BROUGHT TO LIKE NEW CONDITION BEFORE REINSTALLING.
D7	PORTION OF EXISTING WALL TO BE REMOVED. PREPARE OPENING FOR NEW BUILDING MATERIALS.
D8	REMOVE EXISTING TRASH ENCLOSURE AND GATE.
D9	NO PROPOSED WORK IN THIS AREA.

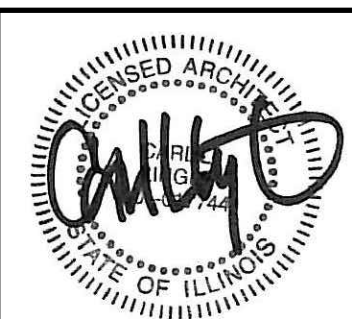


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1	06/04/19	OWNER COMMENTS

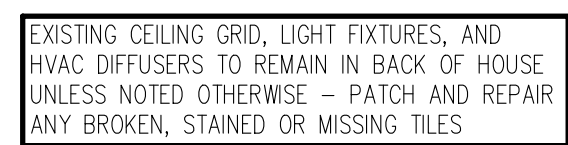
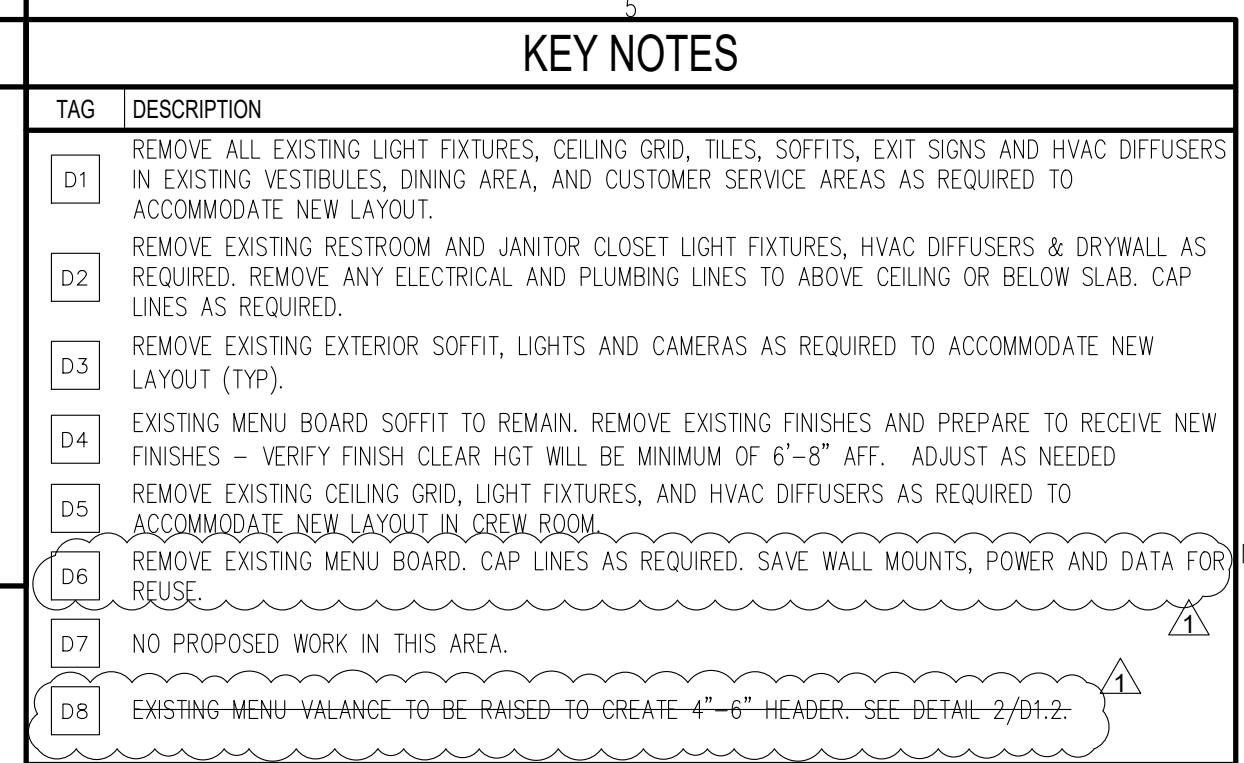
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NATIONAL #:	1351
PROJECT NUMBER:	18-44
DRAWN BY:	R
CHECKED BY:	CL

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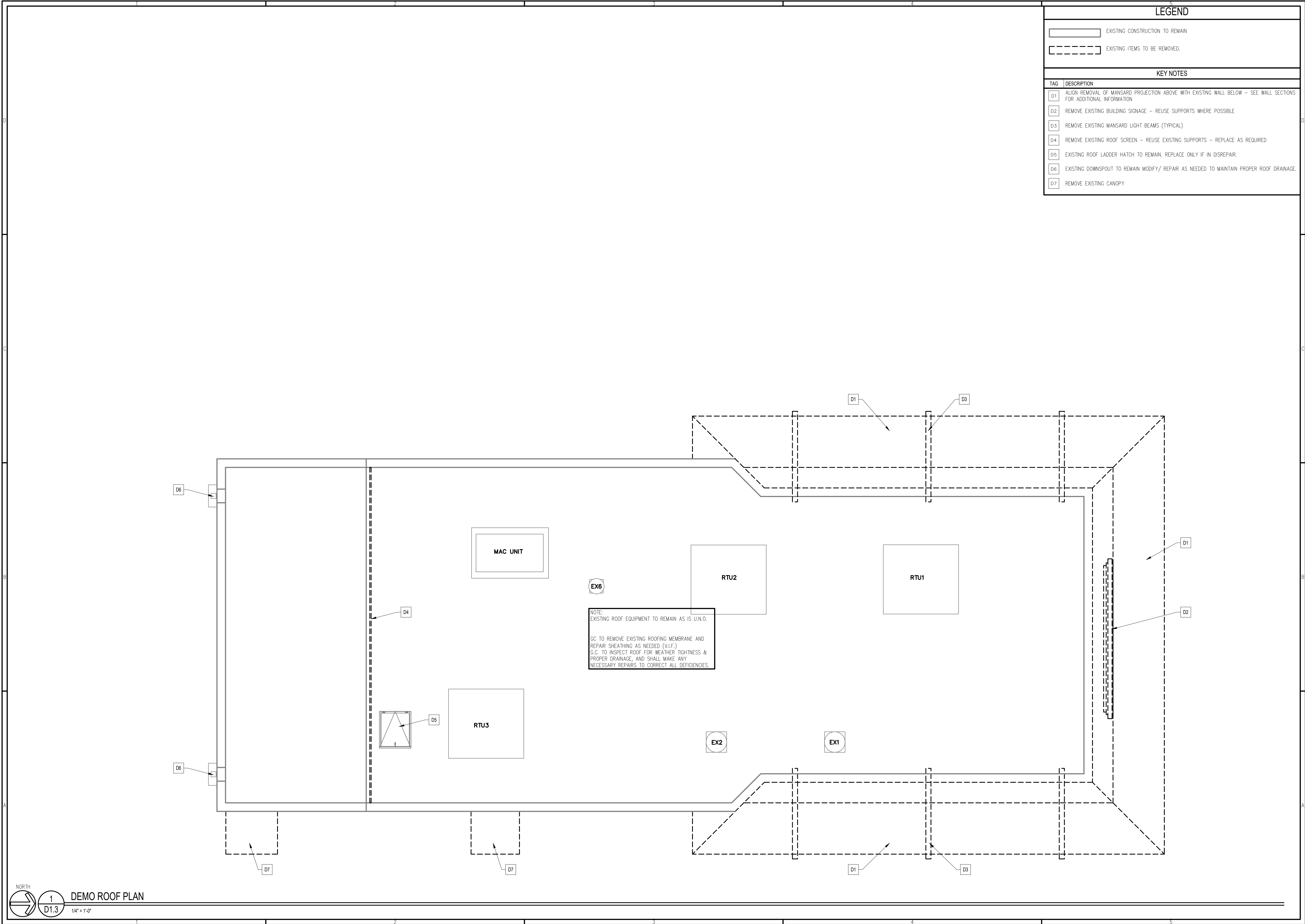
DEMOLITION
FLOOR
PLAN

SHEET NUMBER:

D1.0



D1.2



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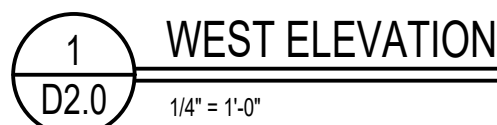
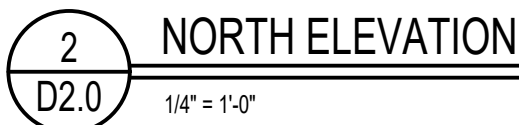
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REVISIONS	DATE	DESCRIPTION
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STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
DEMOLITION
ROOF
PLAN

SHEET NUMBER:
D1.3



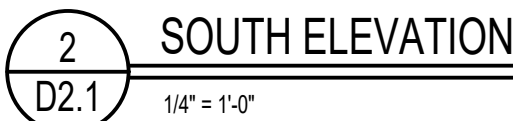
TAG	DESCRIPTION
D1	ALIGN REMOVAL OF MANSARD PROJECTION ABOVE WITH EXISTING WALL BELOW – SEE WALL SECTIONS FOR ADDITIONAL INFORMATION
D2	REMOVE EXISTING BUILDING SIGNAGE – REUSE SUPPORTS WHERE POSSIBLE – REPLACE AS REQUIRED
D3	REMOVE EXISTING MANSARD LIGHT BEAMS (TYPICAL)
D4	REMOVE EXISTING SOFFIT LIGHTING AND EXISTING SECURITY CAMERAS (TYP). COORDINATE RELOCATION/ DISPOSAL OF SECURITY CAMERAS WITH CM
D5	REMOVE EXISTING FASCIA TRIM (TYP)
D6	REMOVE EXISTING DOORS & FRAMES & PREPARE OPENING FOR NEW DOOR.
D7	HATCHED AREA INDICATE EXISTING STOREFRONT, DOOR AND WALL TO BE REMOVED AS REQUIRED TO ACCOMMODATE NEW LAYOUT
D8	REMOVE EXISTING WINDOW, PREPARE OPENING FOR NEW BUILDING MATERIALS.
D9	REMOVE EXISTING WALL LIGHT.
D10	REMOVE EXISTING CANOPY.
D11	REMOVE EXISTING ROOF SCREEN – REUSE EXISTING SUPPORTS – REPLACE AS REQUIRED
D12	REMOVE EXISTING PARAPET CAP FLASHING
D13	REMOVE PORTION OF EXISTING DOWNSPOUT AS REQUIRED TO ACCOMMODATE NEW LAYOUT
D14	EXISTING DOWNSPOUT TO REMAIN MODIFY/ REPAIR AS NEEDED TO MAINTAIN PROPER ROOF DRAINAGE
D15	REMOVE EXISTING TRASH ENCLOSURE, GATE AND BOLLARDS

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SHEET NUMBER:

D2.0



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NATIONAL #:	13514
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**DEMO LITION
EXTERIOR
ELEVATIONS**

SHEET NUMBER:


D2.1

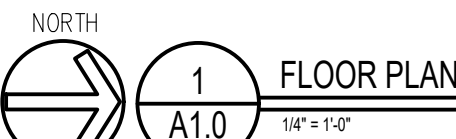


1. INTERIOR DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
2. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE "A" UNLESS NOTED OTHERWISE.
3. SEE SHEET A6.0 FOR DOOR SCHEDULE & DOOR TYPES
4. SEE FINISH PLAN ON SHEET A1.4 FOR ROOM FINISHES
5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY:
FOREST PERMA-SIGN
1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802
www.forestpermasigns.com
6. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
7. GENERAL CONTRACTOR SHALL COORDINATE WITH THE FIRE INSPECTOR ON ANY UPGRADES OR FURTHER REQUIREMENTS FOR FIRE EXTINGUISHERS.
8. SEE SHEET A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES
9. PROVIDE TACTILE EXIT SIGNS AT EXIT DOORS AT 60" A.F.F. TO CENTER OF SIGN.

EXISTING WALL CONSTRUCTION

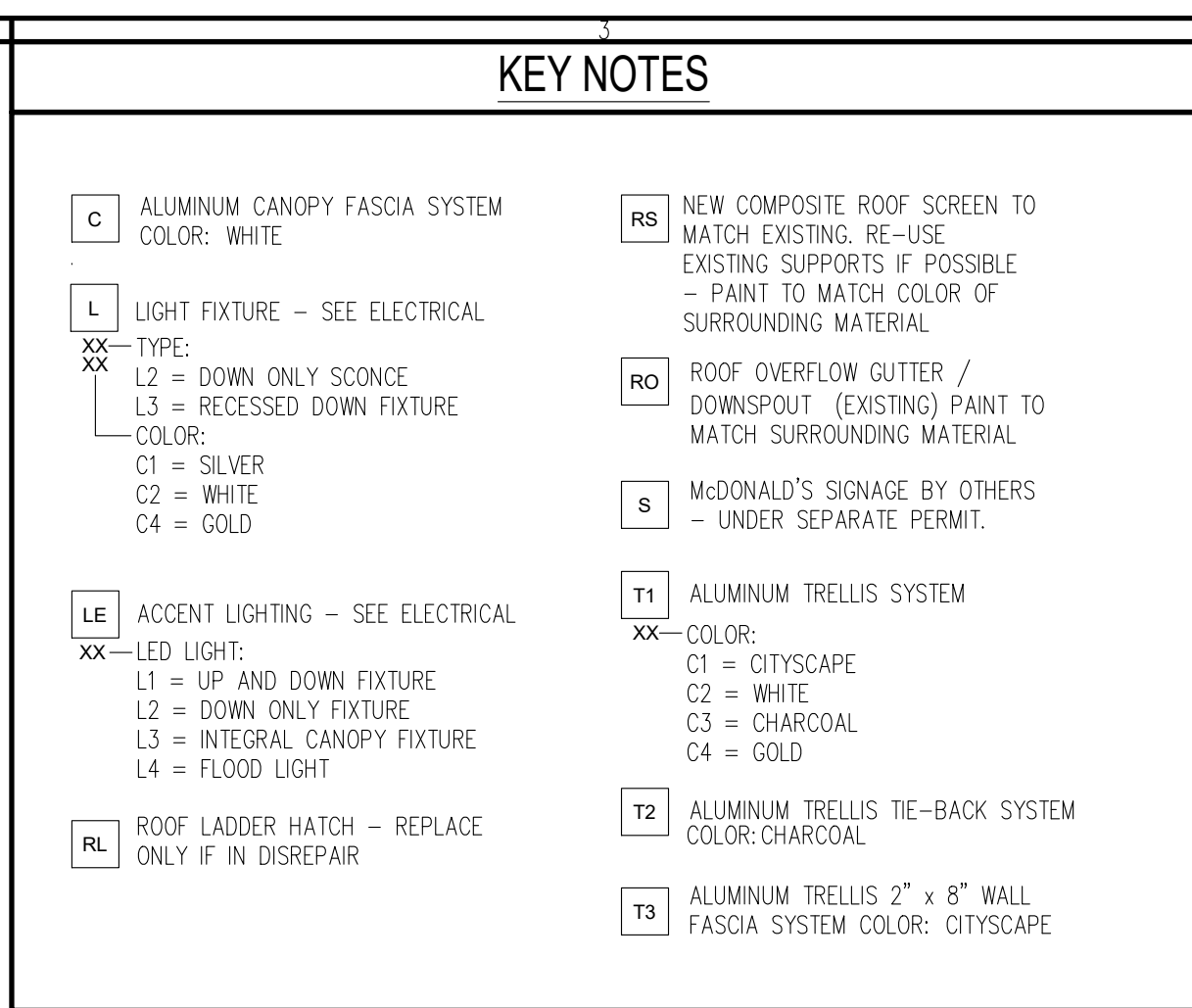
NEW WALL

TAG	DESCRIPTION
1	SEE SHEET A4.2 FOR NEW FRONT COUNTER DETAILS.
2	LEVEL LANDING @ EXT. DOOR W/ MAX. 2% SLOPE AWAY FROM BUILDING. * FROST FOOTING * PROPER MANEUVERING CLEARANCE * REFER TO SITE/CIVIL PLANS
3	NO PROPOSED WORK IN THIS AREA.
4	NEW FLOORING & WALL MATERIAL THROUGHOUT. SEE SHEET A1.4 FOR LIMITS AND TYPE.
5	INFILL WALL - MATCH EXISTING CONSTRUCTION
6	G.C./ O/O TO ENSURE FOLLOWING MAINTAINED IN CREW ROOM: • 5'-0" ADA TURNING RADIUS • LEAST 5% OF COAT HOOKS @48" AFF OR BELOW. • 30"x48" MIN CLEAR SPACE AT SEATING AREA
7	NEW WALL FINISHES IN CREW ROOM
8	EXTEND EXISTING MENU BOARD VALANCE. 6'-8" A.F.F. MIN. CLR. 
9	EXISTING MENU BOARD SOFFIT TO REMAIN. VERIFY FINISH CLEAR HGT WILL BE MINIMUM OF 6'-8" AFF. ADJUST AS NEEDED
10	INSTALL TACTILE EXIT SIGN, REFER TO DETAIL 1/1 G2.0



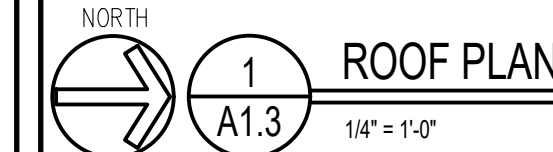
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A1.0



- ## 4 ROOFING NOTES
1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING
 2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 3 OF THIS SHEET
 3. PROVIDE PREFABRICATED METAL CURBS AS NECESSARY. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SECT'S. PROVIDE CURB LEVELER IN AREAS WHERE ROOF DECK IS PITCHED.
 4. FOR EXACT LOCATION OF ANY NEW EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
 5. CRICKETS MUST BE INSTALLED AT ALL HVAC UNITS EXHAUST FANS AND COMPRESSOR RAILS, BY GENERAL CONTRACTOR.
 6. ALL WOOD USED ON ROOF DECK TO BE PRESSURE TREATED.

LEGEND - ROOF PLAN	
L.P.	LOW POINT
H.P.	HIGH POINT
←	DIRECTION OF DRAINAGE
← ^{AP}	TRELLIS SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE AT 1/4" PER FOOT



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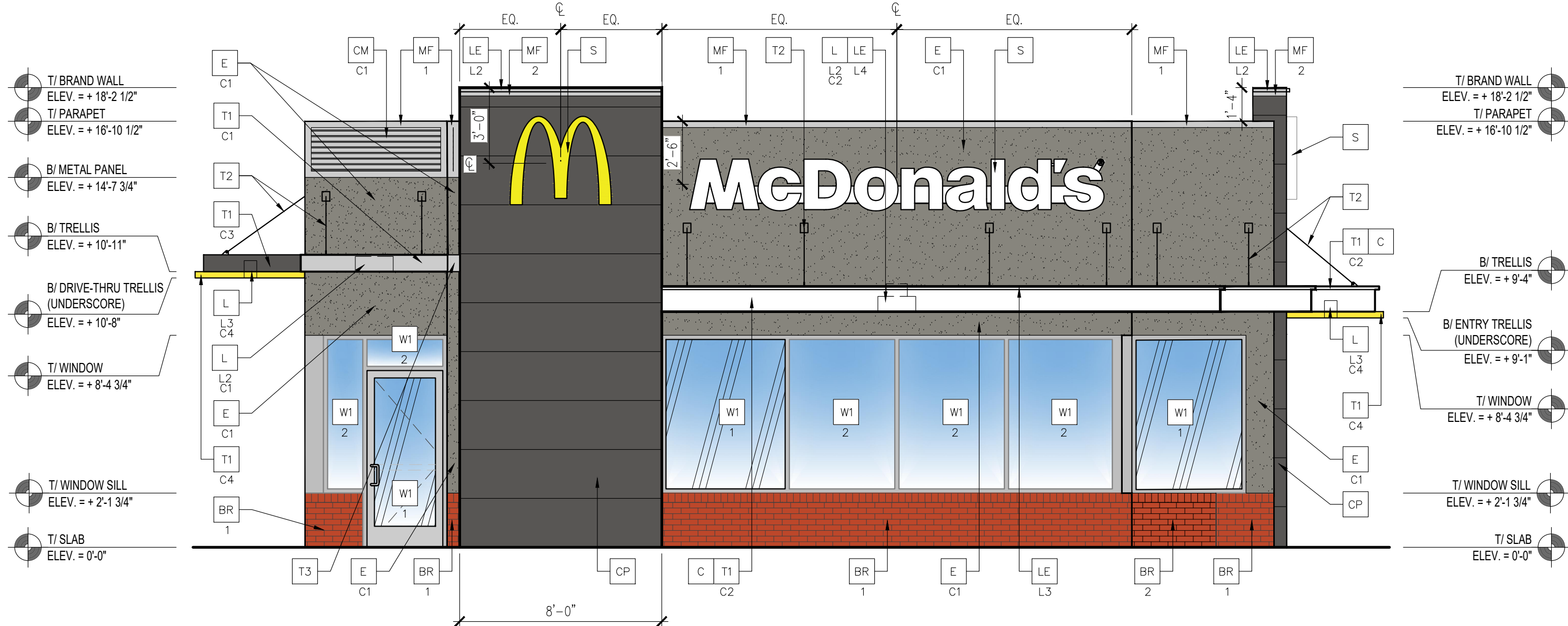
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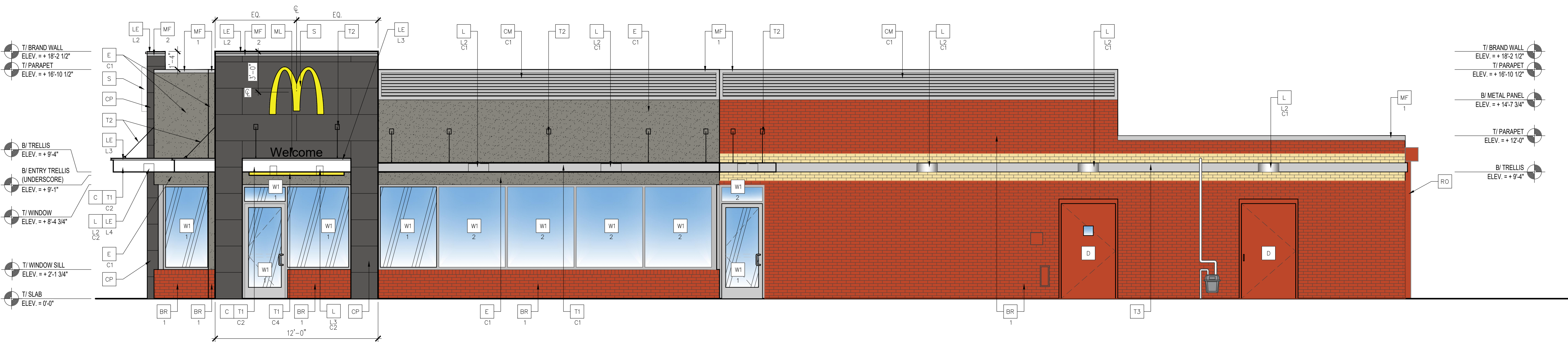
ROOF
PLAN

SHEET NUMBER:

A1.3



2 NORTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

NOTE:
1. EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. PAINT TRASH CORRAL INCLUDING DOORS, BOLLARDS ETC. TO MATCH MAIN BUILDING COLOR.

GLAZING NOTES:
1. ALL GLAZING SHALL MEET SAFETY GLAZING REQUIREMENTS PER CURRENT INTERNATIONAL BUILDING CODE CHAPTER 24.
2. HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS:
2.1. DOORS
2.2. GLAZING ADJACENT TO DOORS: ADJACENT TO A DOOR WITH 24" AND WHERE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE
2.3. WINDOWS:
2.3.1. EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SF
2.3.2. BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR
2.3.3. TOP EDGE OF GLAZING IS GREATER THAN 36" ABOVE THE FLOOR
2.3.4. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PANE OF GLAZING
3. MIN CATEGORY CLASSIFICATION OF GLAZING USING CPSC 16 16 CFR PART 1201, (IBC TABLE 2406.2)
3.1. CLASS 1, UNO
3.2. CLASS 2:
3.2.1. EXPOSED SURFACE AREA OF ONE SIDE OF ONE LITE IS MORE THAN 9 SF
SAFETY GLAZING IDENTIFICATION:
1. AS INDICATED THE GLAZING IN HINGED DOORS SHALL BE SAFETY GLAZING. EACH PANE OF SAFETY GLAZING SHALL BE PERMANENTLY LABELED. IBC, SECTION 2406.3(1)

ELEVATION KEY NOTES:

COLOR SCHEME: MODERN SCHEME

BR FACE BRICK - MODERN
XX-TYPE:
1 = EXISTING MASONRY TO REMAIN.
2 = NEW MASONRY TO MATCH EXISTING.
C2 = EXISTING MASONRY TO BE PAINTED: IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
CM CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A5.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
CP FIBER CEMENT PANEL BY NICHHA ILLUMINATION SERIES - PAINT IRON MOUNTAIN 2134-30 JOINT CAULK: OSI QUAD CONTACT: MATT STEPHENSON (770) 805-9466
D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

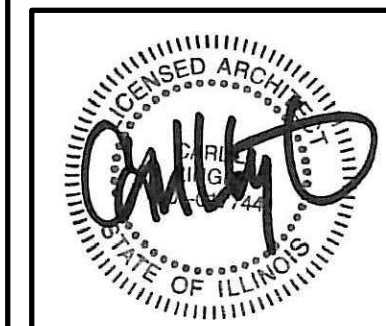
E EXTERIOR INSULATION FINISH SYSTEM (EIFS) MODERN 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL
XX-TYPE:
HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
COLOR: STATOTONE HIGH PERFORMANCE COLORANT - MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
GR GUARDRAIL
L LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY SCONCE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
C4 = GOLD
LE ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
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L4 = FLOOD LIGHT

MF METAL FASCIA (COLOR: CITYSCAPE)
X-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
ML METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER
PB PIPE BOLLARD - PAINTED YELLOW
X-TYPE:
1 = EXISTING - REPLACE IF NECESSARY
S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
RO ROOF DRAIN / OVERFLOW PIPE (EXISTING)
PAINT TO MATCH SURROUNDING MATERIAL

RO ROOF DRAIN / OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATERIAL
RS NEW COMPOSITE ROOF SCREEN TO MATCH EXISTING. RE-USE EXISTING SUPPORTS IF POSSIBLE - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
T1 ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
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C4 = GOLD
T2 ALUMINUM TRELLIS TIE-BACK SYSTEM
COLOR: C3 = CHARCOAL
T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
W1 NEW STOREFRONT AND GLAZING
X-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES - MATCH EXISTING FRAMING
2 = EXISTING WINDOW TO REMAIN



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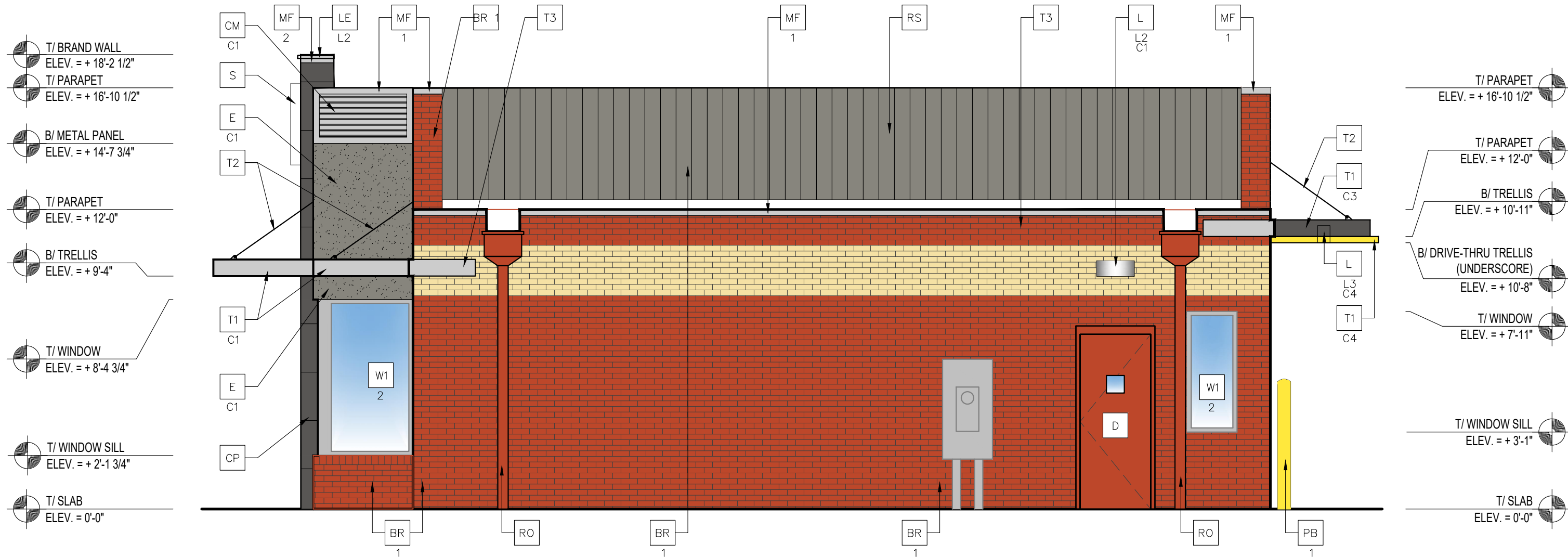
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REVISIONS	DATE	DESCRIPTION	PERMIT REVIEW BID SET	OWNER COMMENTS
#	05/02/19	06/04/19		

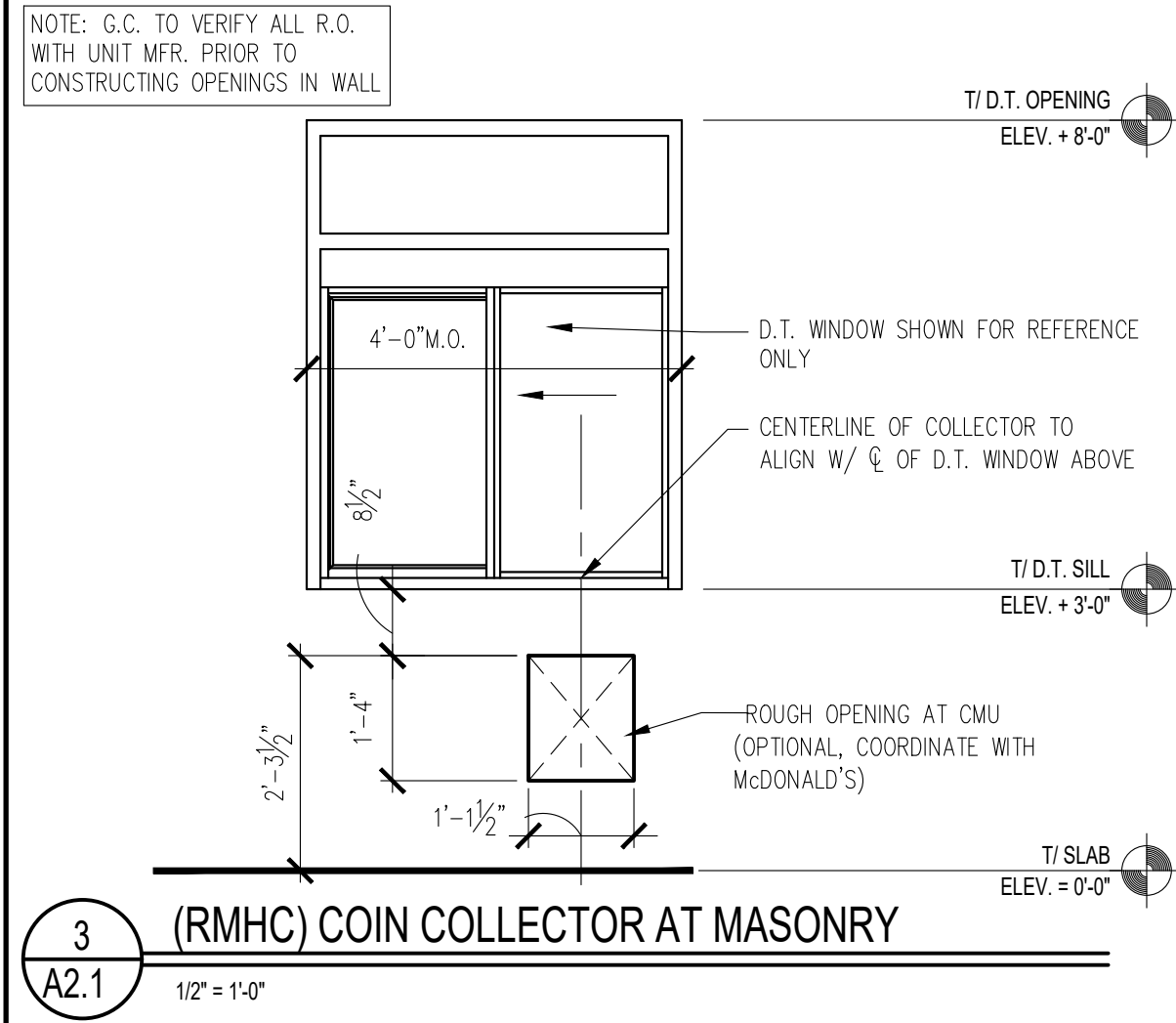
STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
EXTERIOR ELEVATIONS

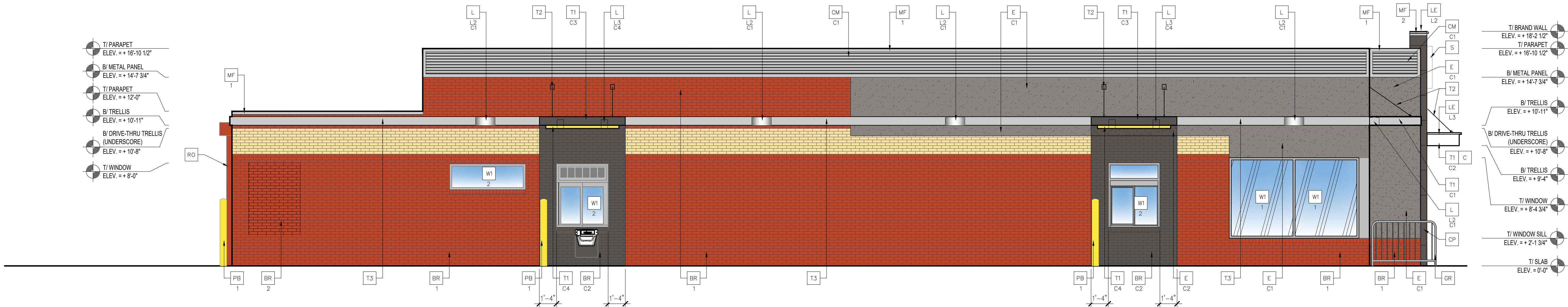
SHEET NUMBER:
A2.0



2 SOUTH ELEVATION
1/4" = 1'-0"



3 (RMHC) COIN COLLECTOR AT MASONRY
1/2" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

NOTE:
1. EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. PAINT TRASH CORRAL INCLUDING DOORS, BOLLARDS ETC. TO MATCH MAIN BUILDING COLOR.

GLAZING NOTES:
1. ALL GLAZING SHALL MEET SAFETY GLAZING REQUIREMENTS PER CURRENT INTERNATIONAL BUILDING CODE CHAPTER 24.
2. HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS:
2.1. DOORS
2.2. GLAZING ADJACENT TO DOORS: ADJACENT TO A DOOR WITH 24" AND WHERE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE
2.3. WINDOWS:
2.3.1. EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SF
2.3.2. BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR
2.3.3. TOP EDGE OF GLAZING IS GREATER THAN 36" ABOVE THE FLOOR
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X-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES - MATCH EXISTING FRAMING
2 = EXISTING WINDOW TO REMAIN

ELEVATION KEY NOTES:

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2	06/04/19	OWNER COMMENTS		

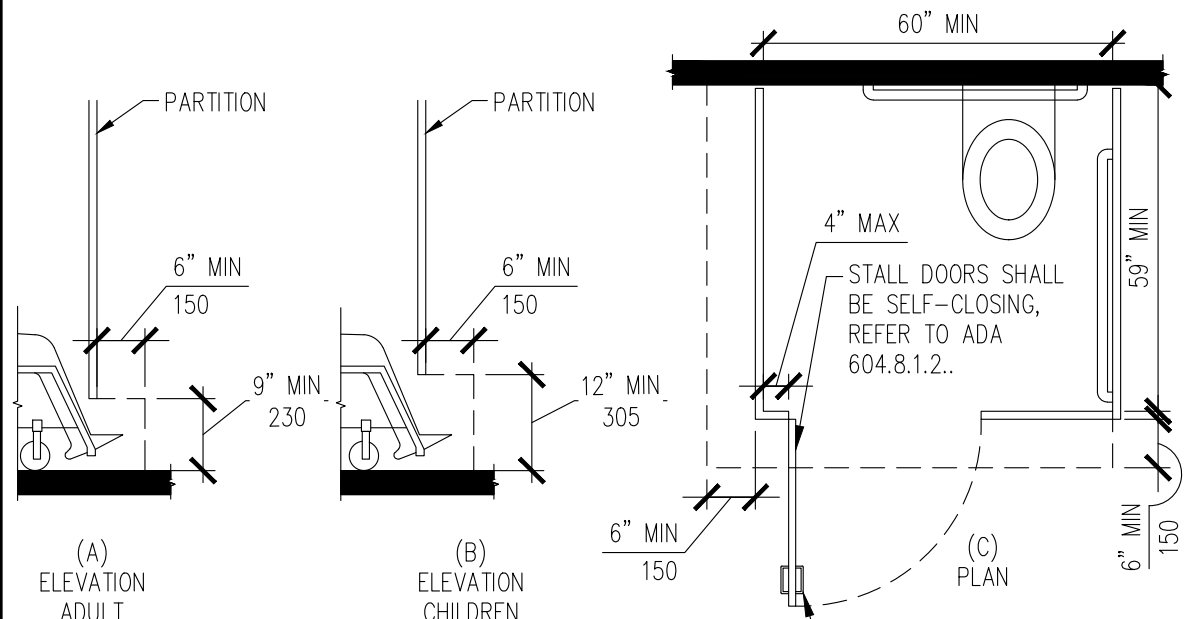
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NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
EXTERIOR ELEVATIONS

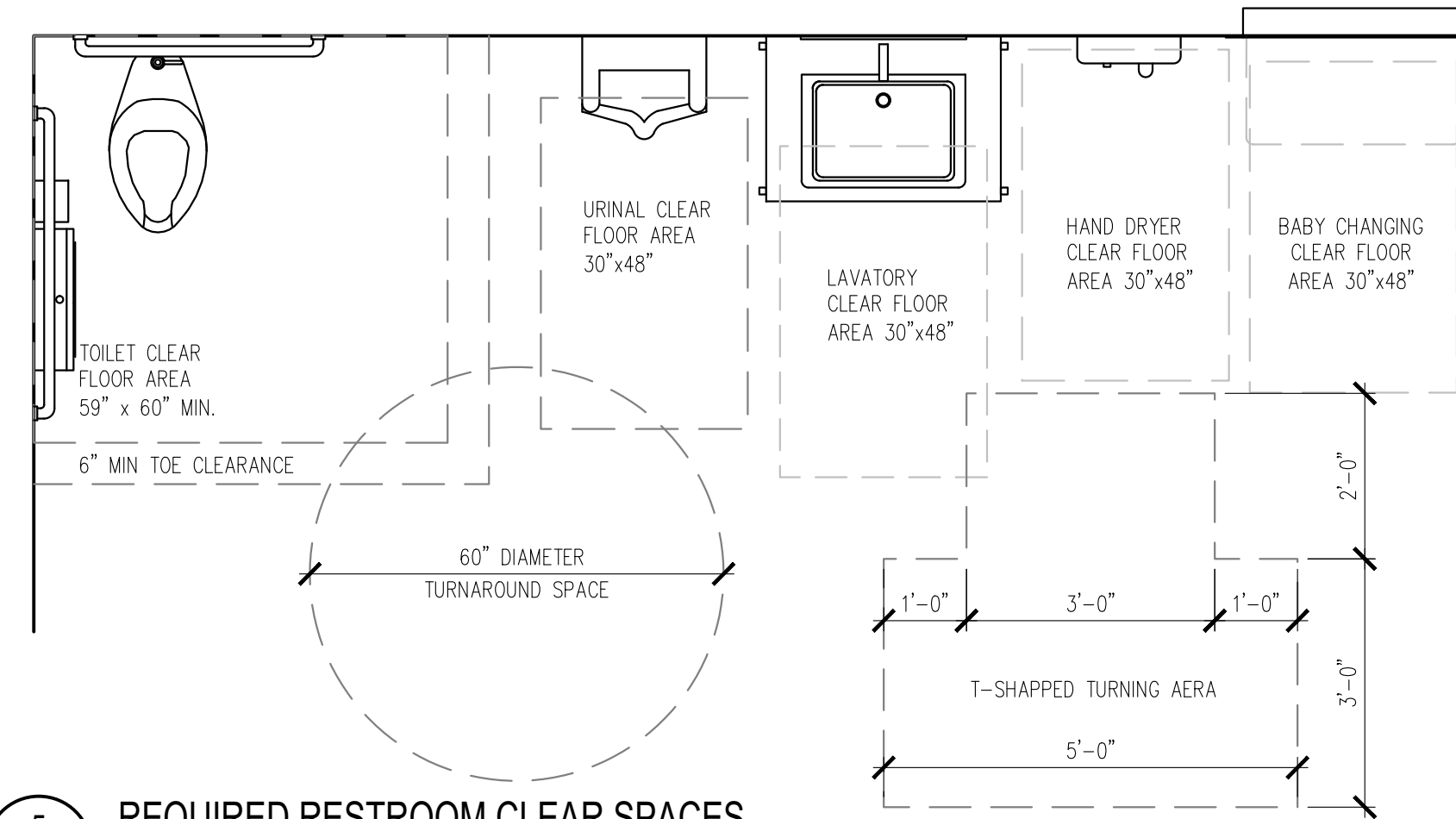
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A2.1

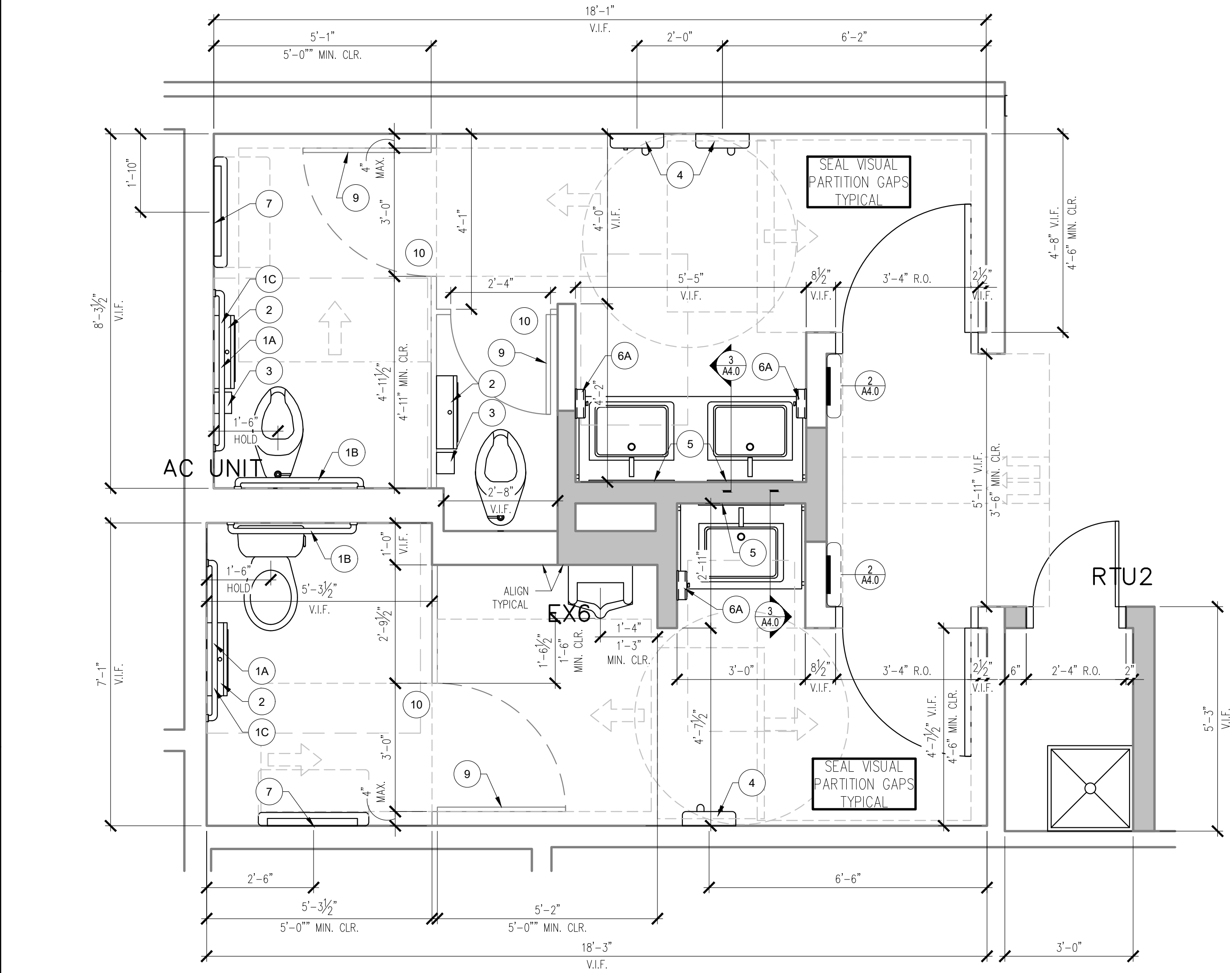
EXCEPTION: TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IN A COMPARTMENT GREATER THAN 62 INCHES (1575 mm) DEEP WITH A WALL-HUNG WATER CLOSET OR 65 INCHES (1650 mm) DEEP WITH A FLOOR-MOUNTED WATER CLOSET. TOE CLEARANCE AT THE SIDE PARTITION IS NOT REQUIRED IN A COMPARTMENT GREATER THAN 66 INCHES (1675 mm) WIDE. TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IN A COMPARTMENT FOR CHILDREN'S USE THAT IS GREATER THAN 65 INCHES (1650 mm) DEEP.



6 TOILET COMPARTMENT DETAILS
A4.0 N.T.S.



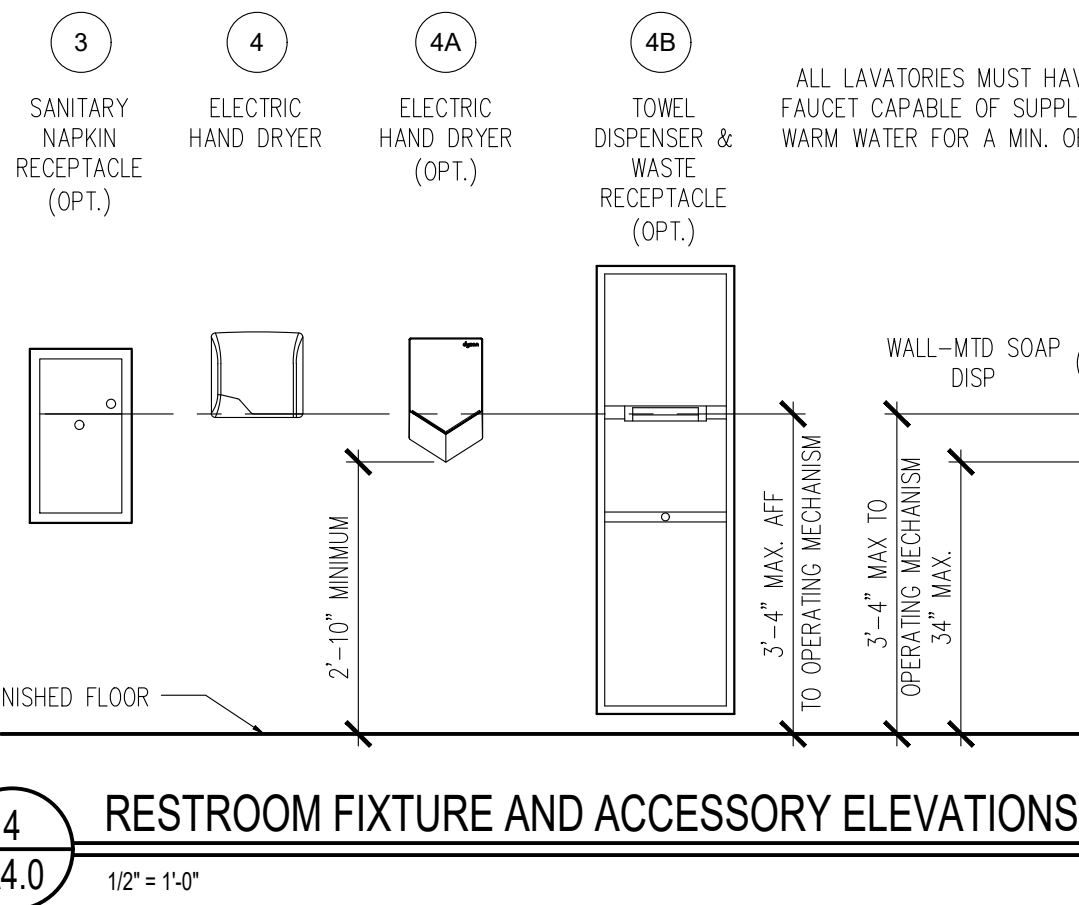
5 REQUIRED RESTROOM CLEAR SPACES
A4.0 1/2" = 1'-0"



1 ENLARGED RESTROOMS FLOOR PLANS
A4.0 1/2" = 1'-0"

- NOTES
- ALL DIMENSIONS SHOWN ARE TAKEN FROM FINISH TO FINISH
 - SEE SHEET A1.0 FOR PARTITION TYPES
 - SEE SHEET A6.0 FOR DOOR SCHEDULES
 - SEE 384/A4.0 FOR FIXTURE MOUNTING HEIGHTS
 - SEE 1/A1.4 FOR FINISHES
 - SEE DOOR CLEARANCE DETAILS ON SHEET G2.0 FOR REQUIRED DOOR CLEARANCE.

- UNLESS OTHERWISE NOTED, ALL ITEMS SHALL BE FURNISHED AND INSTALLED BY THE G.C.
- GRAB BARS TO BE 1 1/2" IN DIAMETER AND INSTALLED NO MORE THAN 1 1/2" FROM WALL TO EDGE OF BAR. GRAB BARS MUST BE ABLE TO WITHSTAND A 250 LBS. FORCE AND HAVE NO SHARP OR ABRASIVE EDGES.
- CLEAR FLOOR SPACE OF 30X48 SHALL BE MAINTAINED AT ALL CONTROL AND OPERATING MECHANISMS. (E.G., PAPER TOWEL DISPENSER). SEE ELEV. OR ACCESSORY SCHED. FOR ACCESSIBLE MOUNTING HEIGHTS.

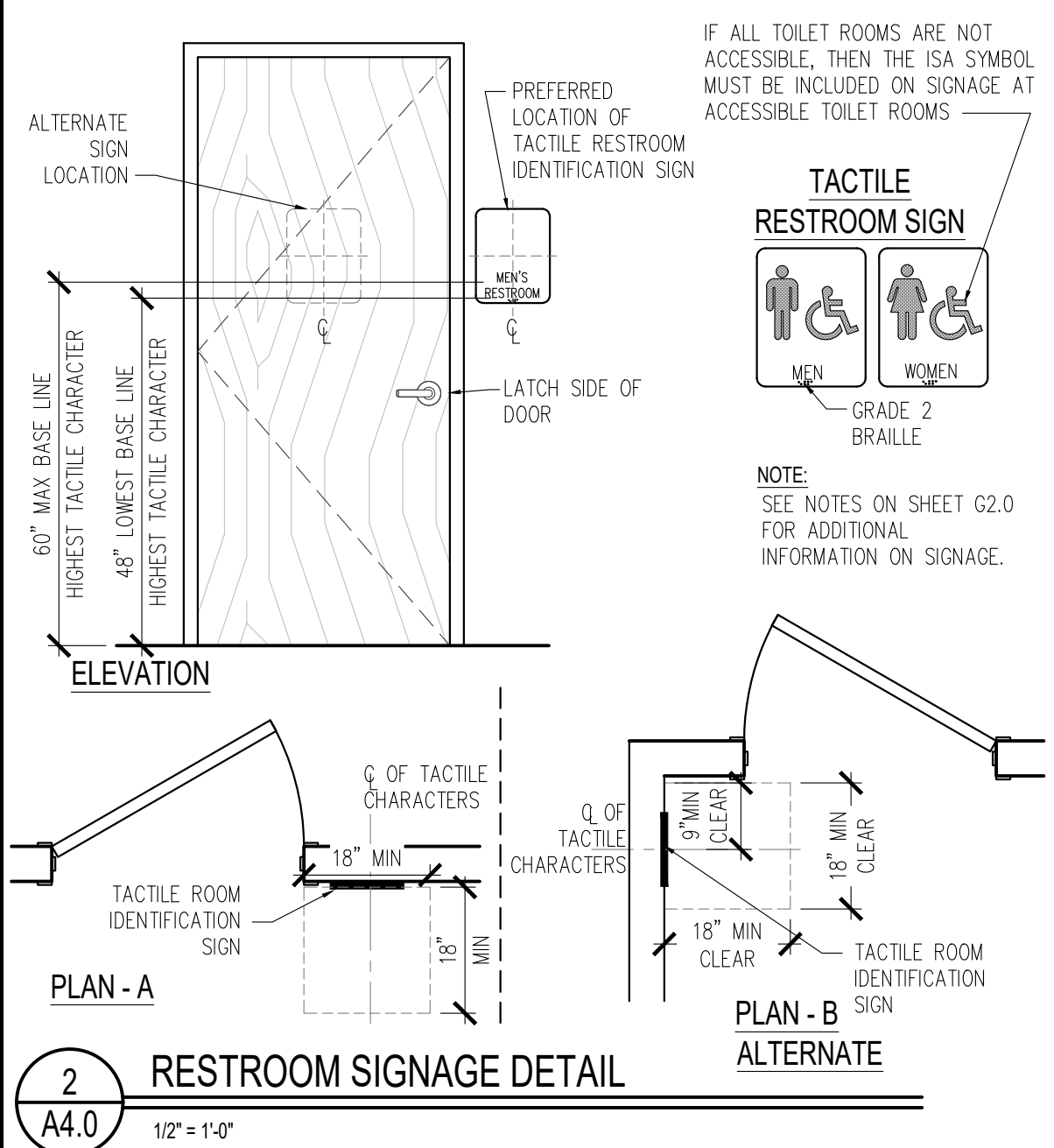
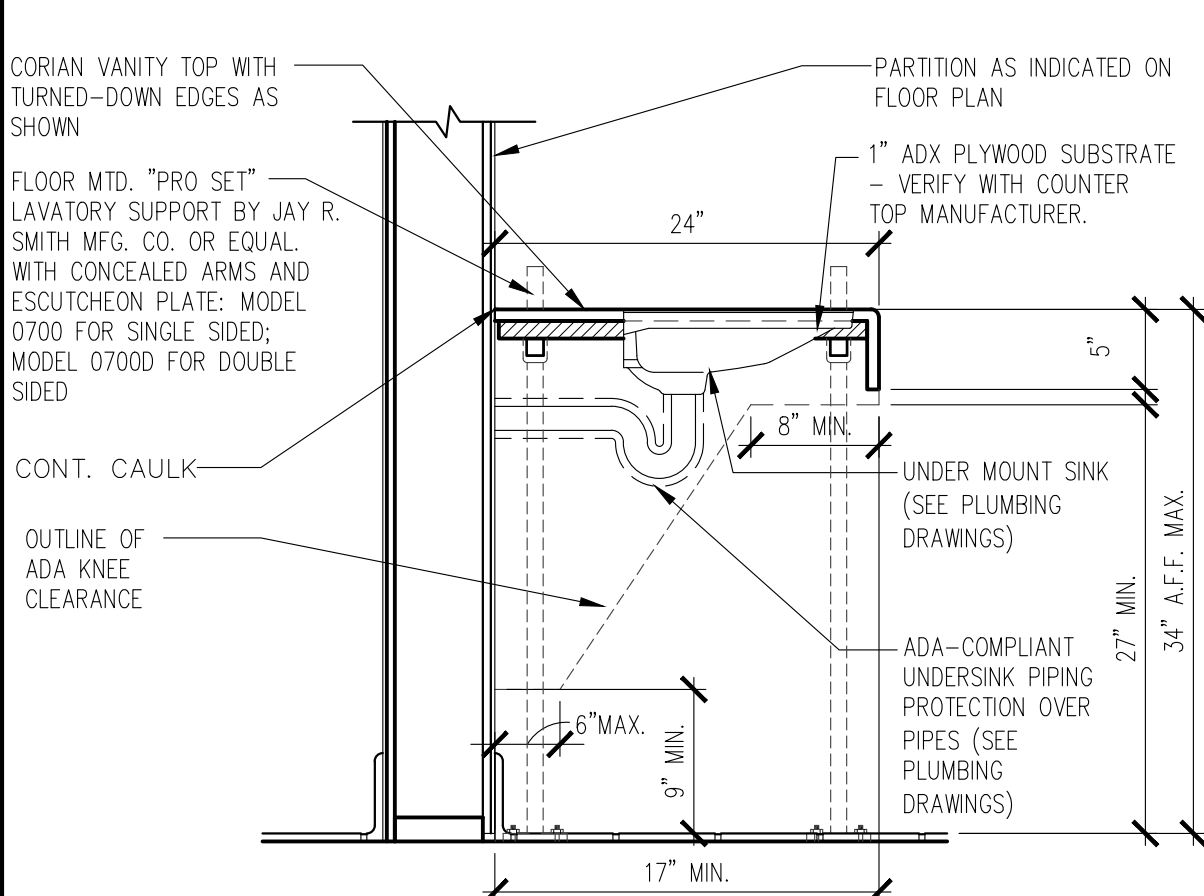


4 RESTROOM FIXTURE AND ACCESSORY ELEVATIONS
A4.0 1/2" = 1'-0"

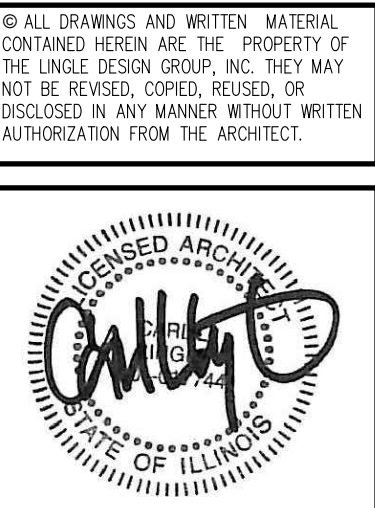
RESTROOM ACCESSORY SCHEDULE

	ITEM (SEE NOTE 2)	MFR MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
1A	GRAB BAR 42"	BOBRICK B-6806X42	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	(1) 2x6 4'-0" LONG CENTER MOUNTED
1B	GRAB BAR 36"	B-6806X36		
1C	GRAB BAR 24"	B-6806X24		
2	TOILET TISSUE DISPENSER, JUMBO, SURFACE MOUNTED	BRADLEY 5424	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
3	SANITARY NAPKIN RECEPTACLE, RECESSED (OPTIONAL)	BOBRICK B-354	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
4	HAND DRYER, ENERGY EFFICIENT MODEL, ADA, ALUMINUM BRUSHED	WORLD DRYER L-971 SlimDry	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
4A	HAND DRYER, ENERGY EFFICIENT MODEL, ADA, SPRAYED NICKEL	DYSON AIRBLADE V	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
4B	TOWEL DISPENSER & WASTE RECEPTACLE, COMBINATION, RECESSED (OPTIONAL)	BOBRICK B-3974	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
5	MIRROR, CHANNEL FRAME	BOBRICK B-165 2436	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
6	SOAP DISPENSER, COUNTER MOUNTED, 6" SPOUT (OPTIONAL)	BOBRICK B-82216	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
6A	SOAP DISPENSER, WALL-MOUNTED	BOBRICK B-2112	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
7	BABY CHANGING TABLE, HORIZONTAL, SURFACE MOUNT, ADA COMPLIANT, ALL PLASTIC	KOALA KARE KB200-01	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS
7A	BABY CHANGING TABLE, HORIZONTAL, SURFACE MOUNT, ADA COMPLIANT, PLASTIC W/ S/S VENEER	KOALA KARE KB110-SSWM	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS
8	DIAPER CONTAINER (OPTIONAL)	-	BY OWNER	
9	CLOTHES HOOK	BRADLEY 917	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	
10	TOILET PARTITIONS SENTINEL OVERHEAD-BRACED	BRADLEY SERIES 400	HUGHES SUPPLY (866) 310-3576 MCDCCOORD@HAJOCA.COM	STAINLESS STEEL (ALT. LAMINATE) VERIFY PRIOR TO BID

- NOTES
- SEE 4/A4.0 FOR ACCESSORY MOUNTING HEIGHTS
 - SELECT ONE ITEM FROM ITEM GROUPS 4, 6, & 7 VERIFY WITH AREA CONSTRUCTION MANAGER.
 - CUT BACK-UP SUPPORTS BETWEEN STUDS SO FACE OF SUPPORT IS FLUSH W/WALL STUD



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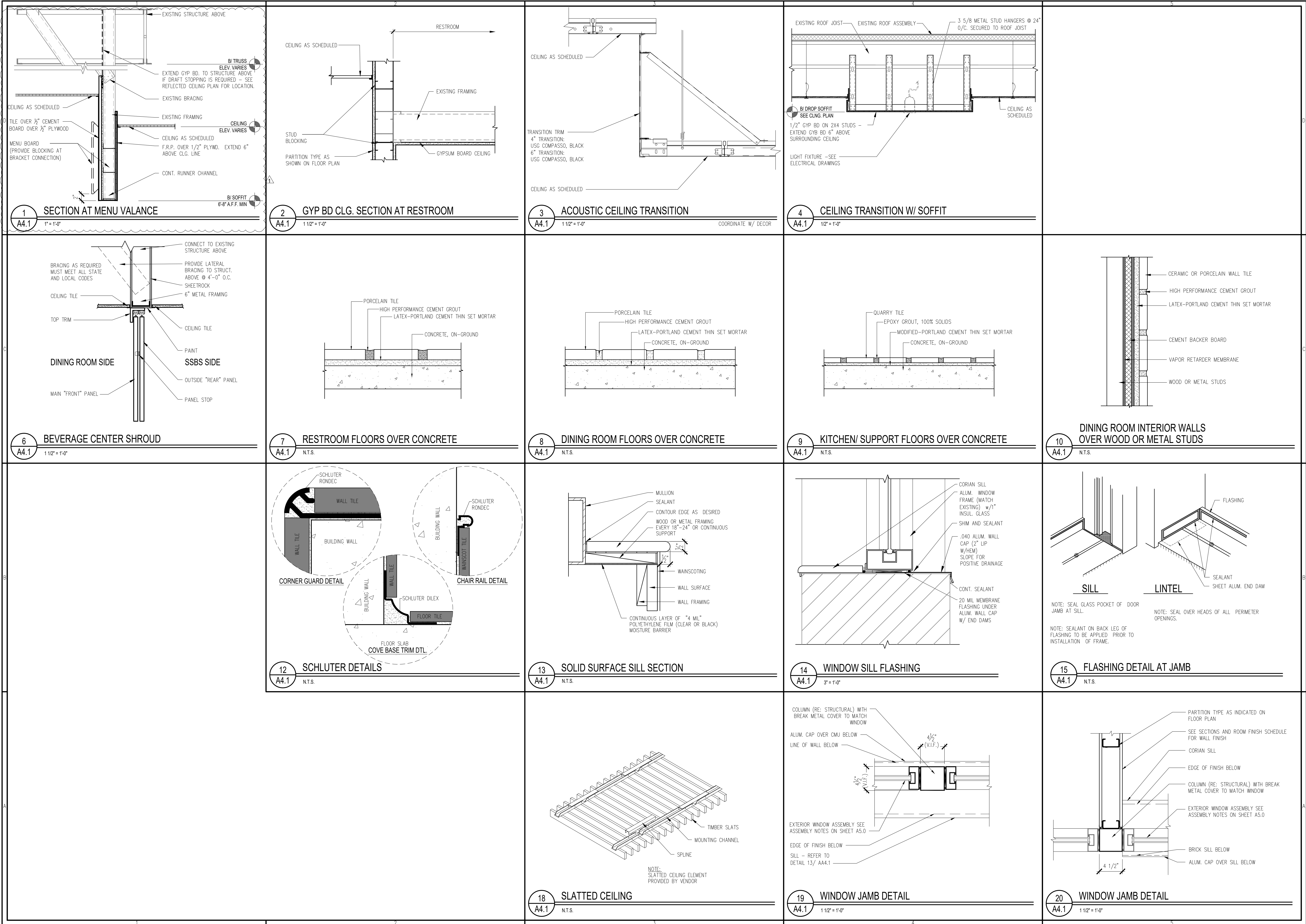
REVISIONS	DATE	DESCRIPTION	PERMIT REVIEW BID SET	OWNER COMMENTS
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STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
ENLARGED RESTROOM PLAN & DETAILS

SHEET NUMBER:

A4.0



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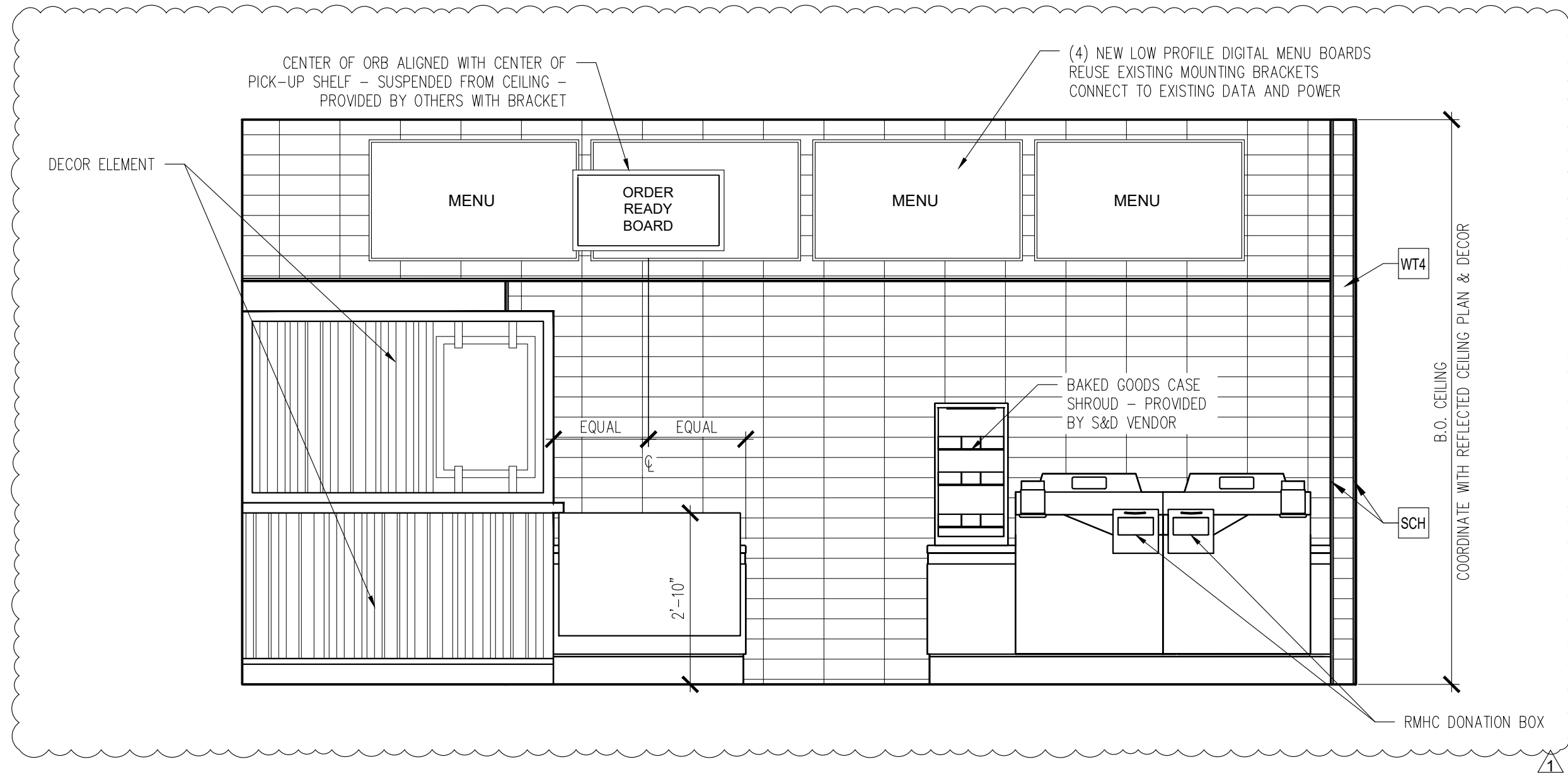
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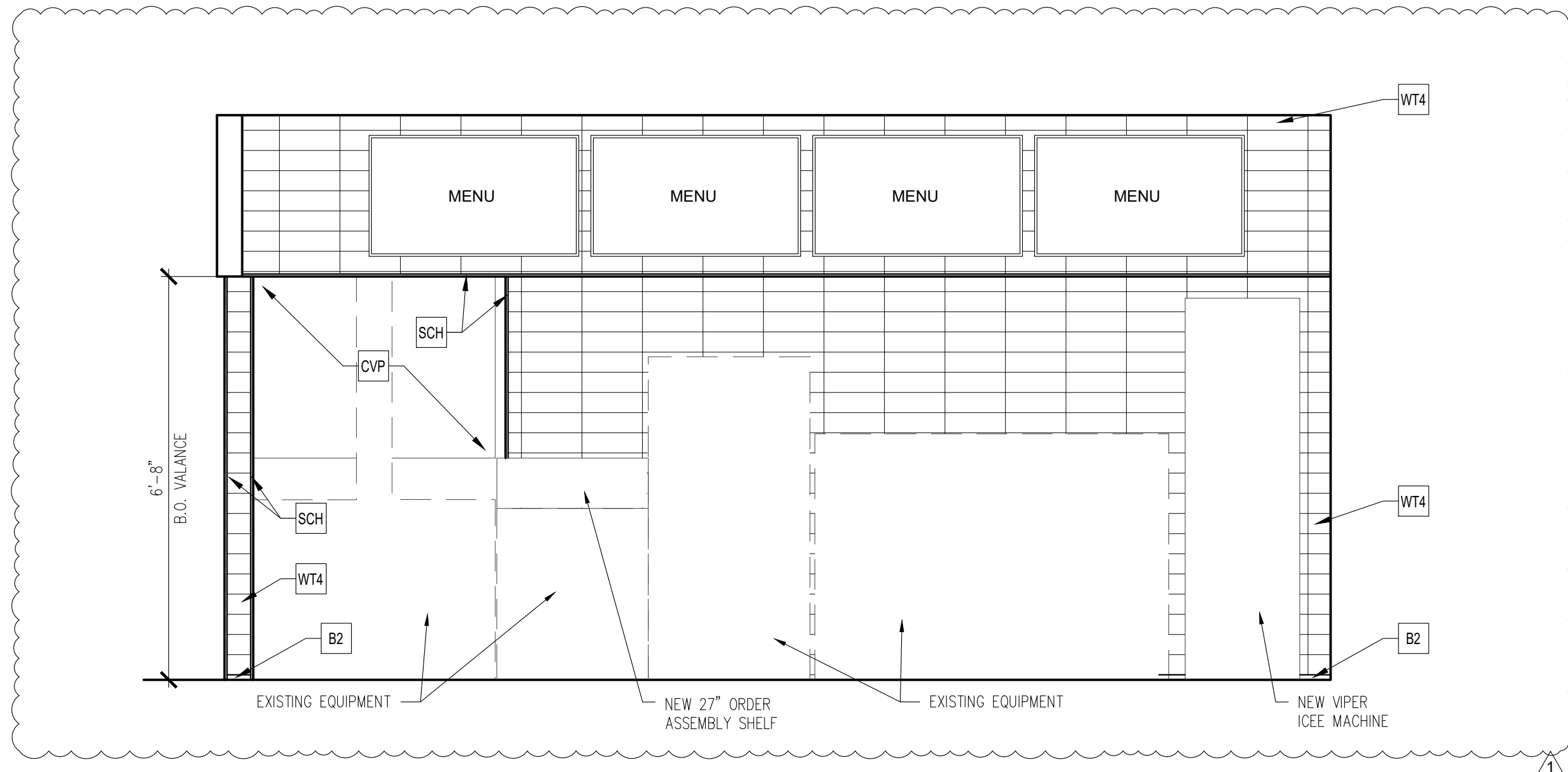
DETAILS

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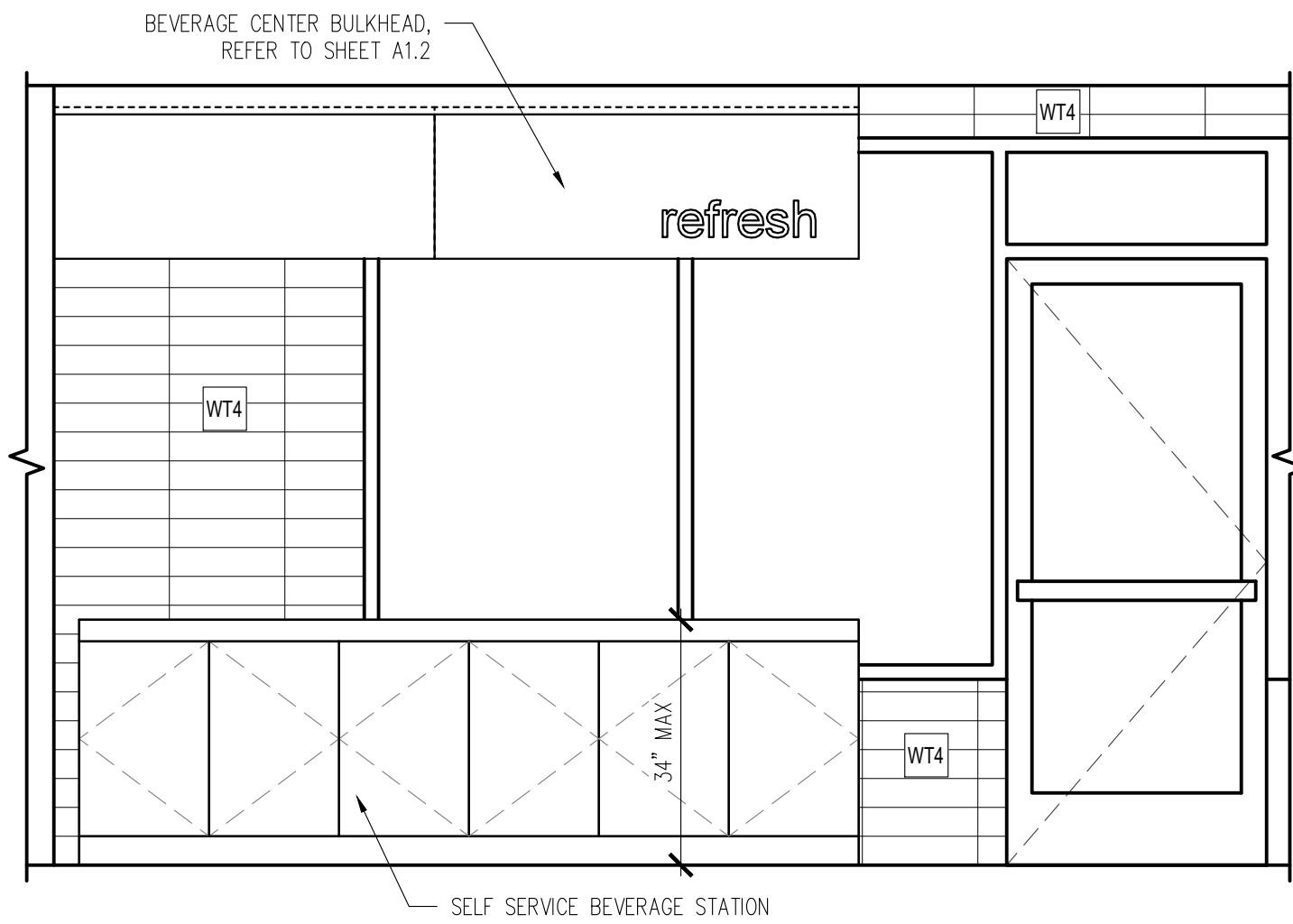
A4.1



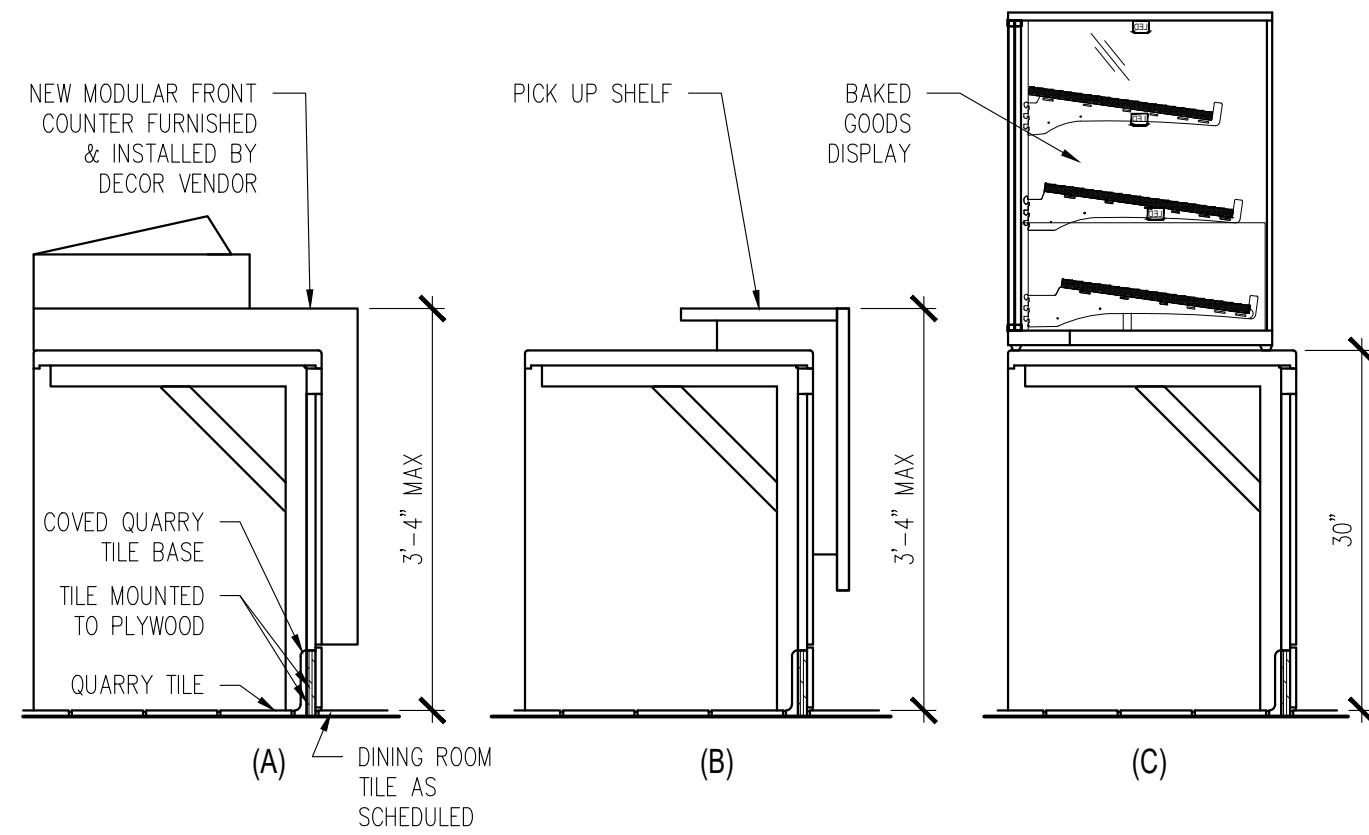
5
A4.2
ELEVATION
1/2" = 1'-0"



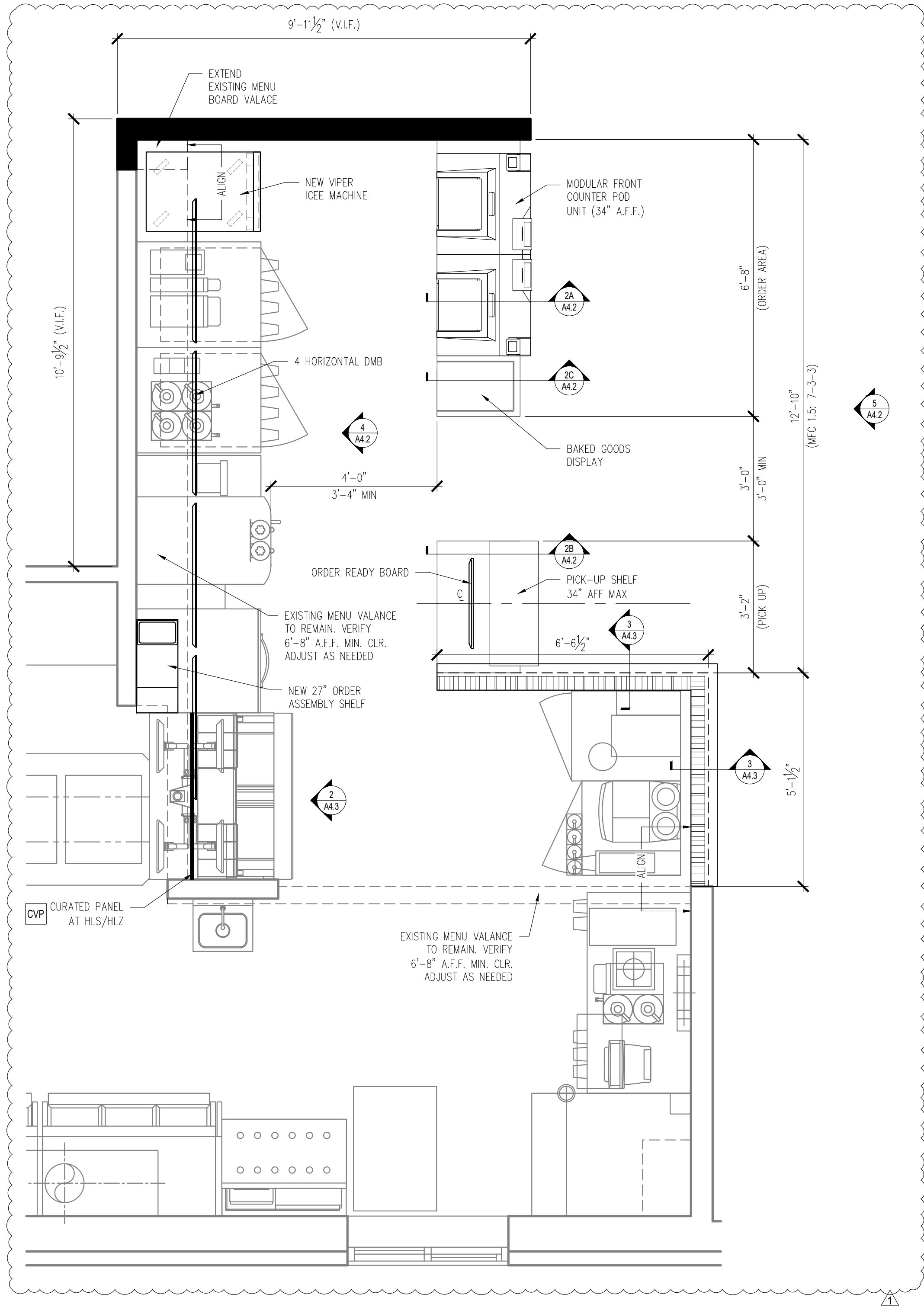
4
A4.2
ELEVATION
1/2" = 1'-0"



3
A4.2
ELEVATION AT SELF SERVE BEVERAGE
1/2" = 1'-0"



2
A4.2
FRONT COUNTER SECTIONS
3/4" = 1'-0"



1
A4.2
FRONT COUNTER PLAN
1/2" = 1'-0"

KEY NOTES

** COORDINATE ALL FINISHES WITH MCDONALD'S ACM PRIOR TO INSTALLATION

B2 BASE TRIM PER FINISH SCHEDULE SHEET A1.4

CVP LIGHT CURATED VIEW PANEL:
COLOR: WILSONART - FASHION GRAY D381-60

LAM LAMINATE PER FINISH SCHEDULE SHEET A1.4

WT4 WALL TILE PER FINISH SCHEDULE SHEET A1.4

NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&D VENDOR

SCH SCHLUTER TRIM PER FINISH SCHEDULE SHEET A1.4



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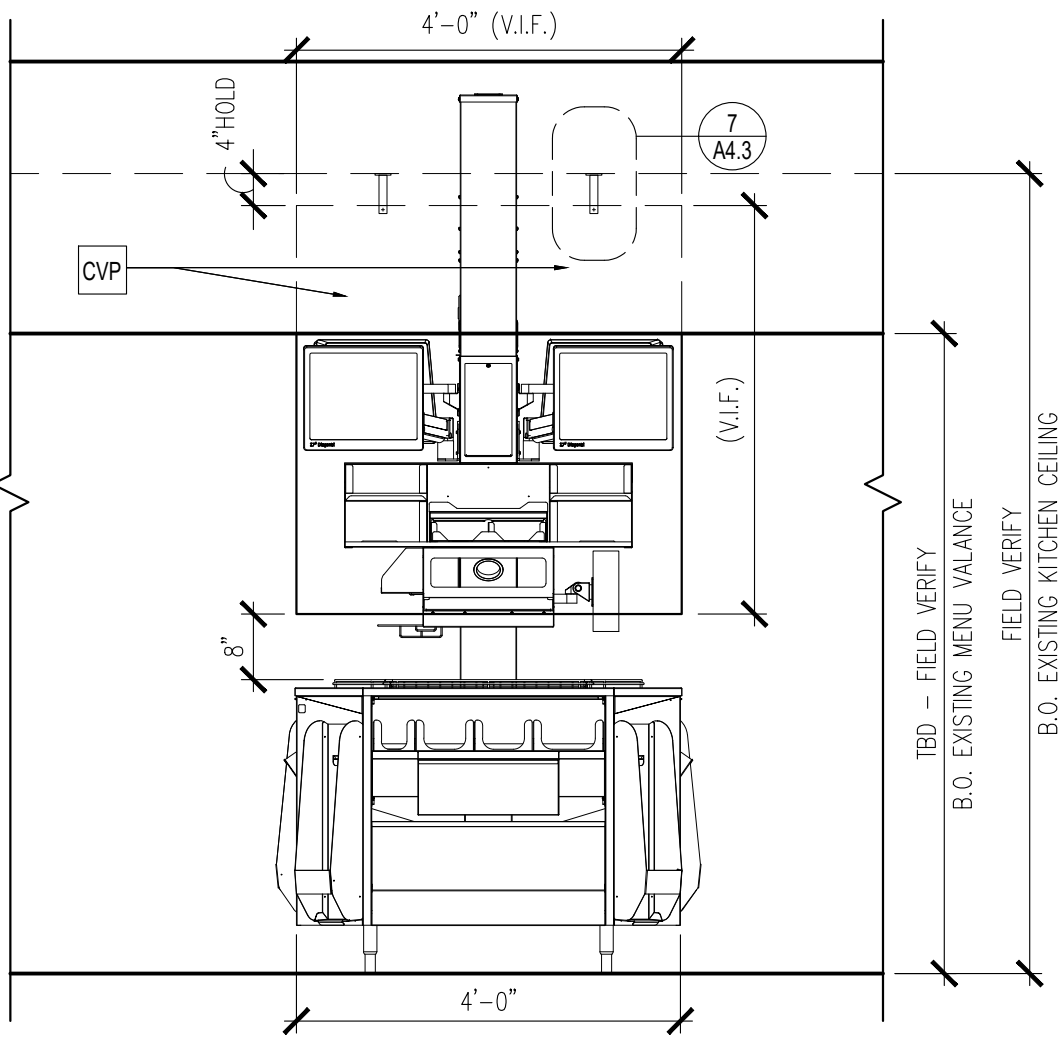
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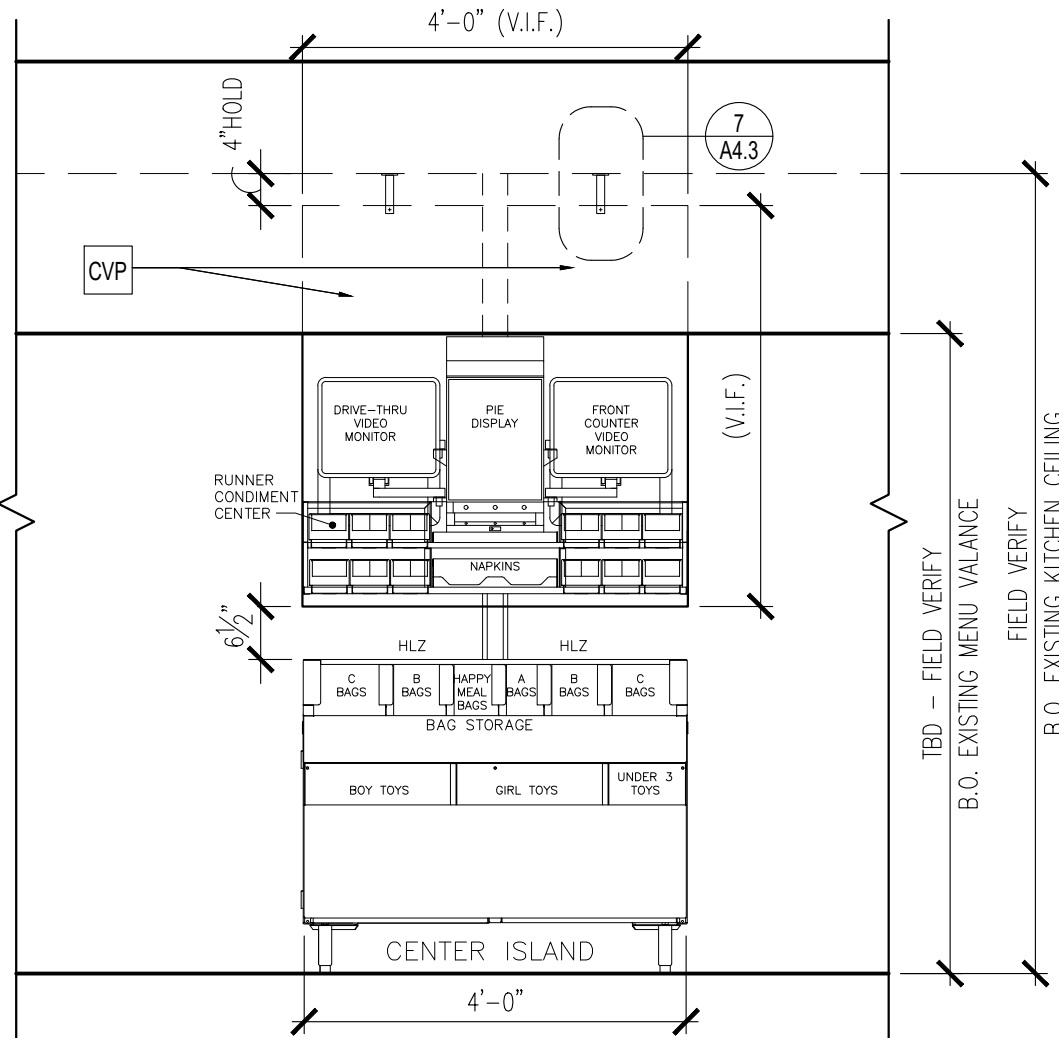
SHEET TITLE:
**ENLARGED
FRONT COUNTER
PLAN & DETAILS**

SHEET NUMBER:

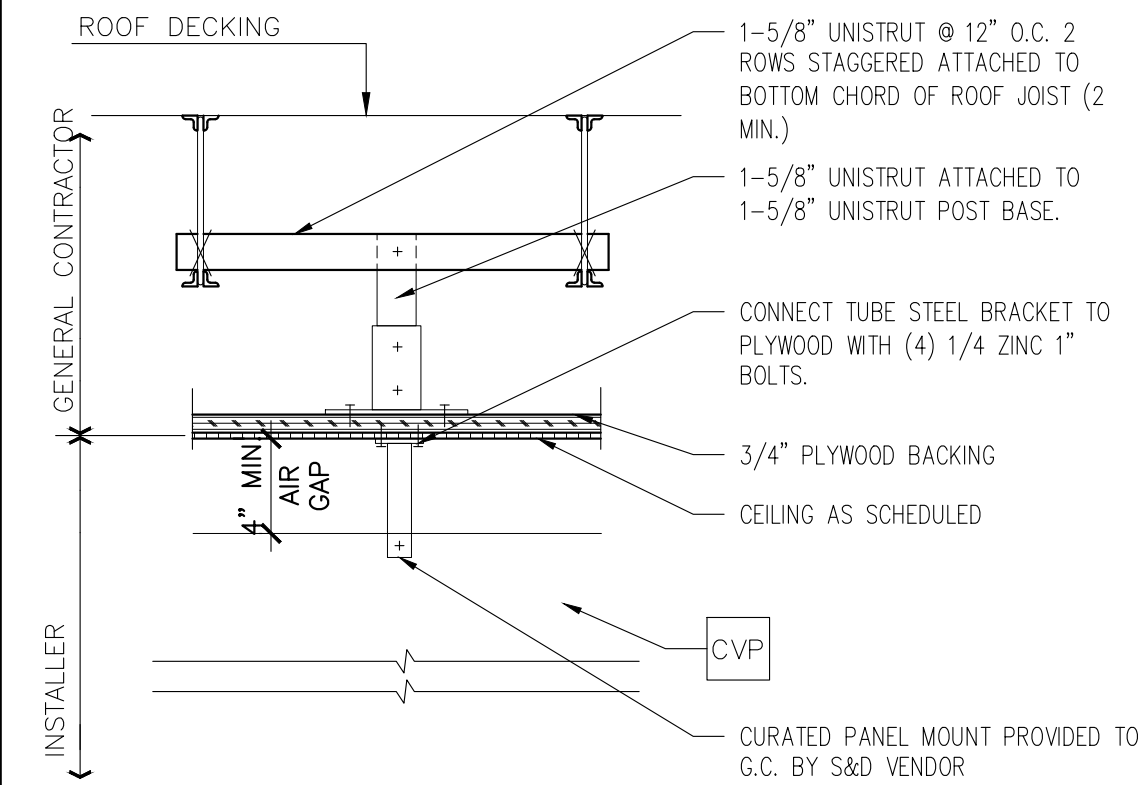
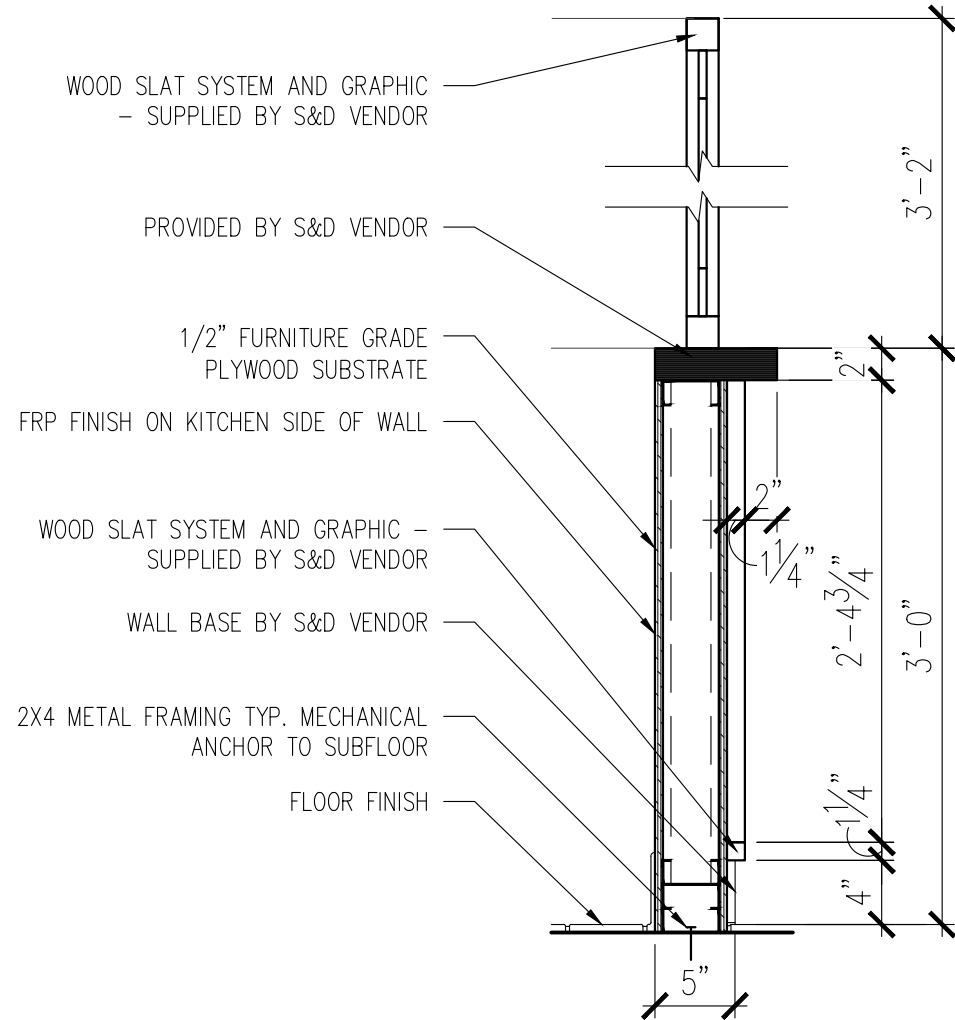
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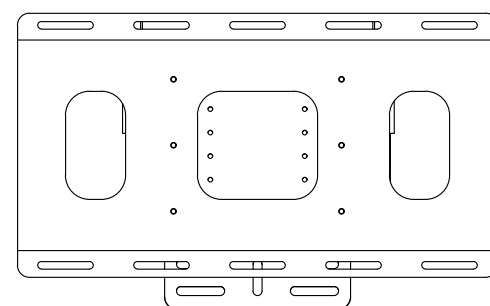
2 CURATED VIEW PANEL ELEVATION
A4.3 1/2" = 1'-0"



3 CBB WALL SECTION
A4.3 1" = 1'-0"



7 CURATED PANEL INSTALL. DETAIL
A4.3 1 1/2" = 1'-0"



9 ORD BRACKET DETAIL
A4.3 1 1/2" = 1'-0"

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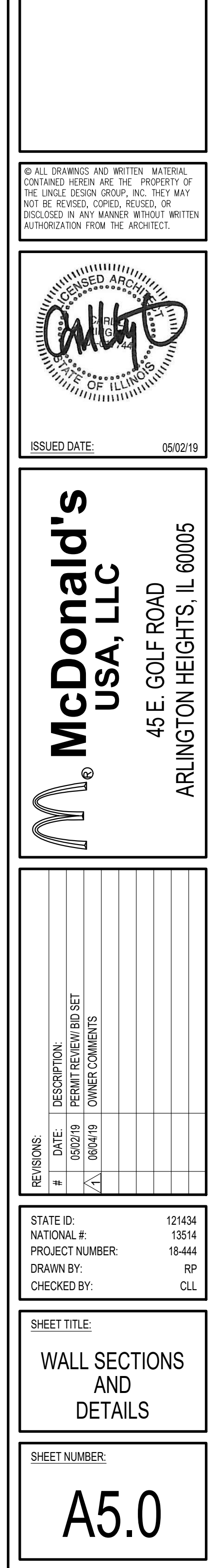
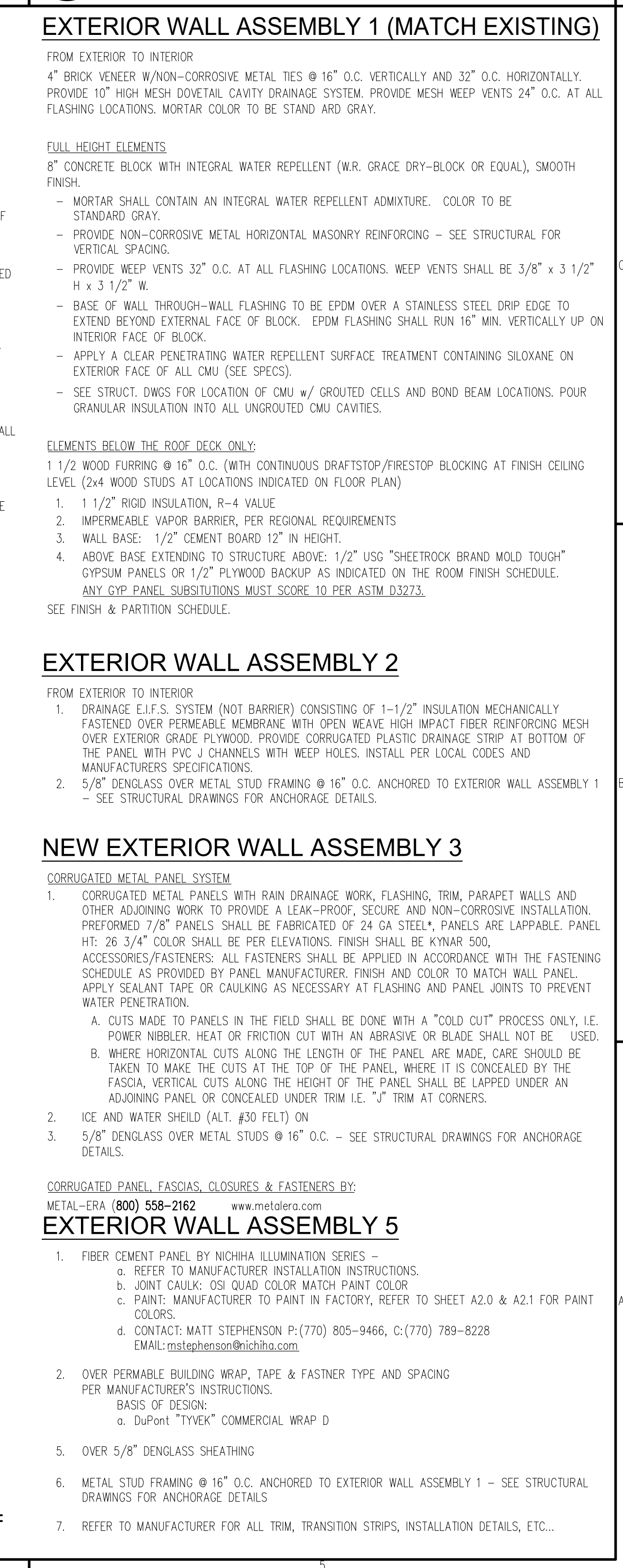
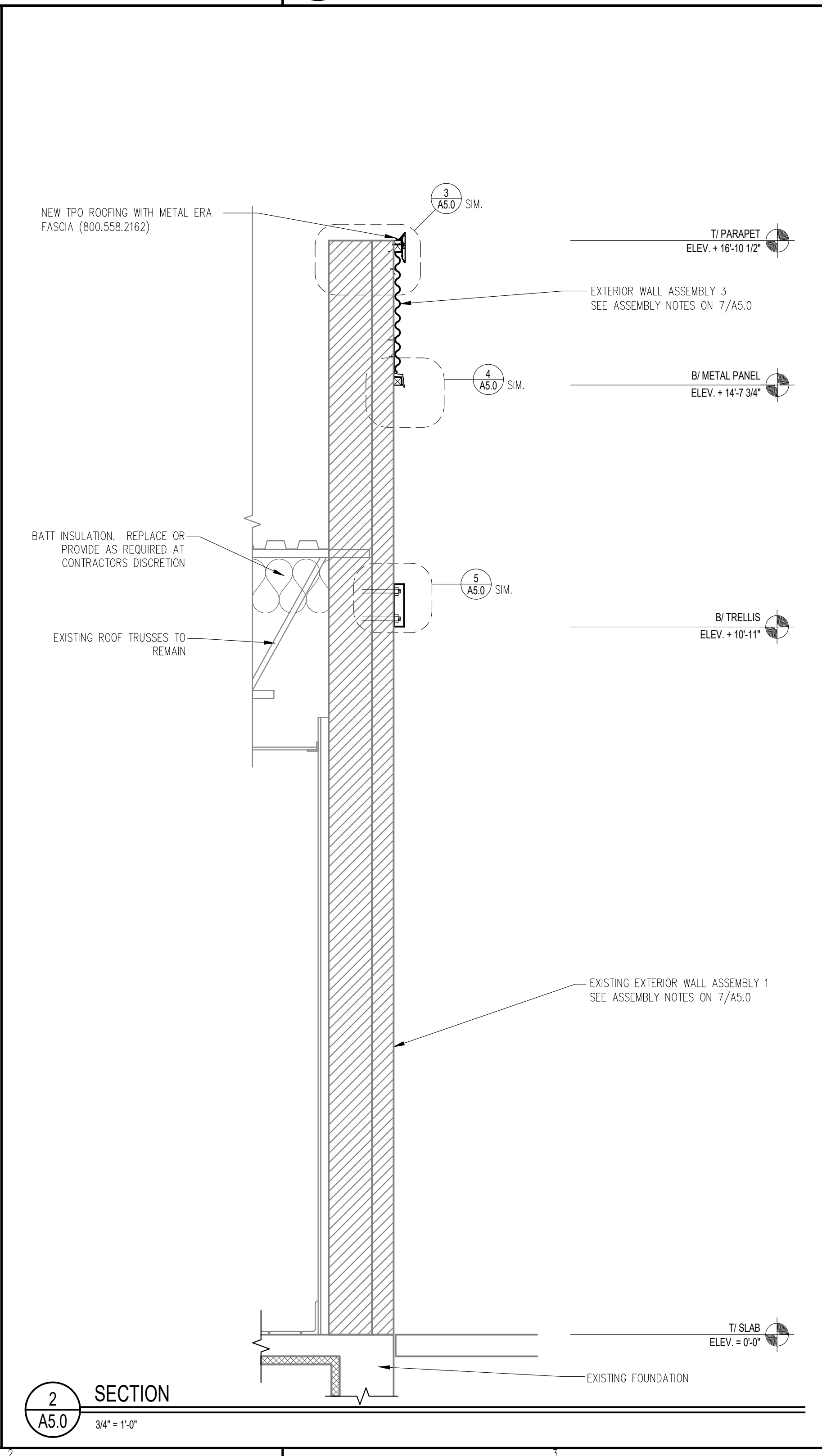
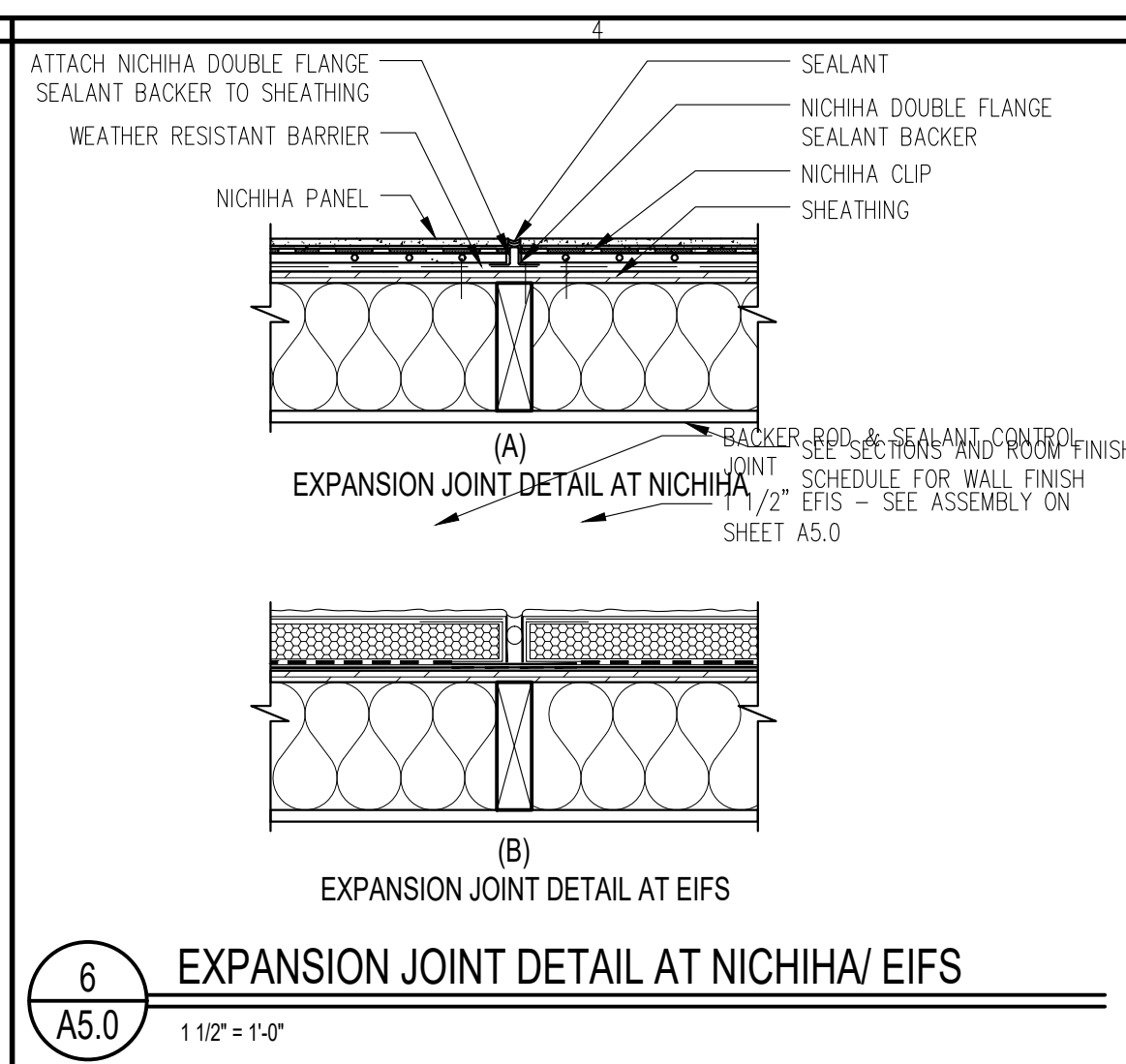
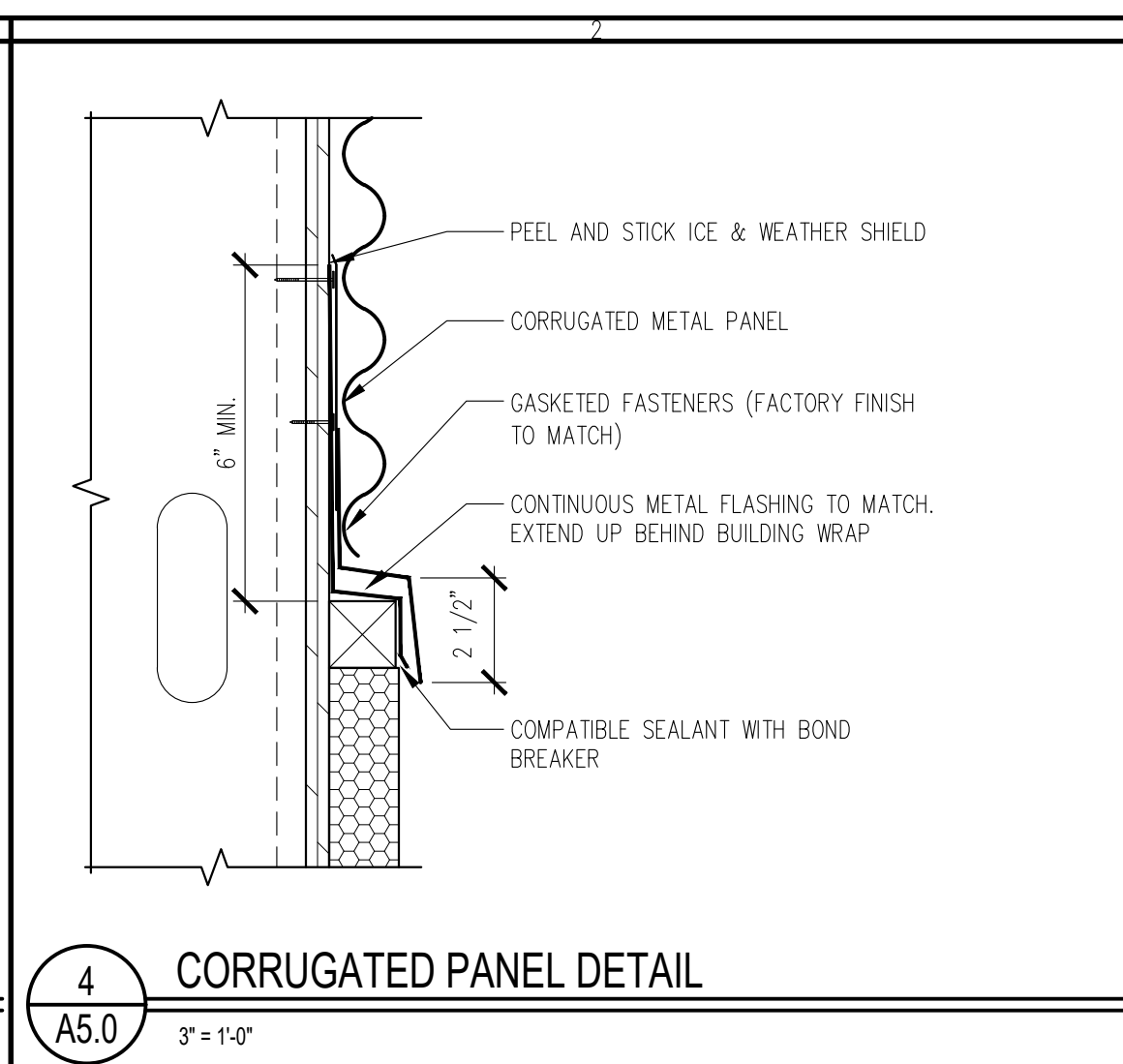
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USA, LLC
45 E. GOLF ROAD
ARLINGTON HEIGHTS, IL 60005

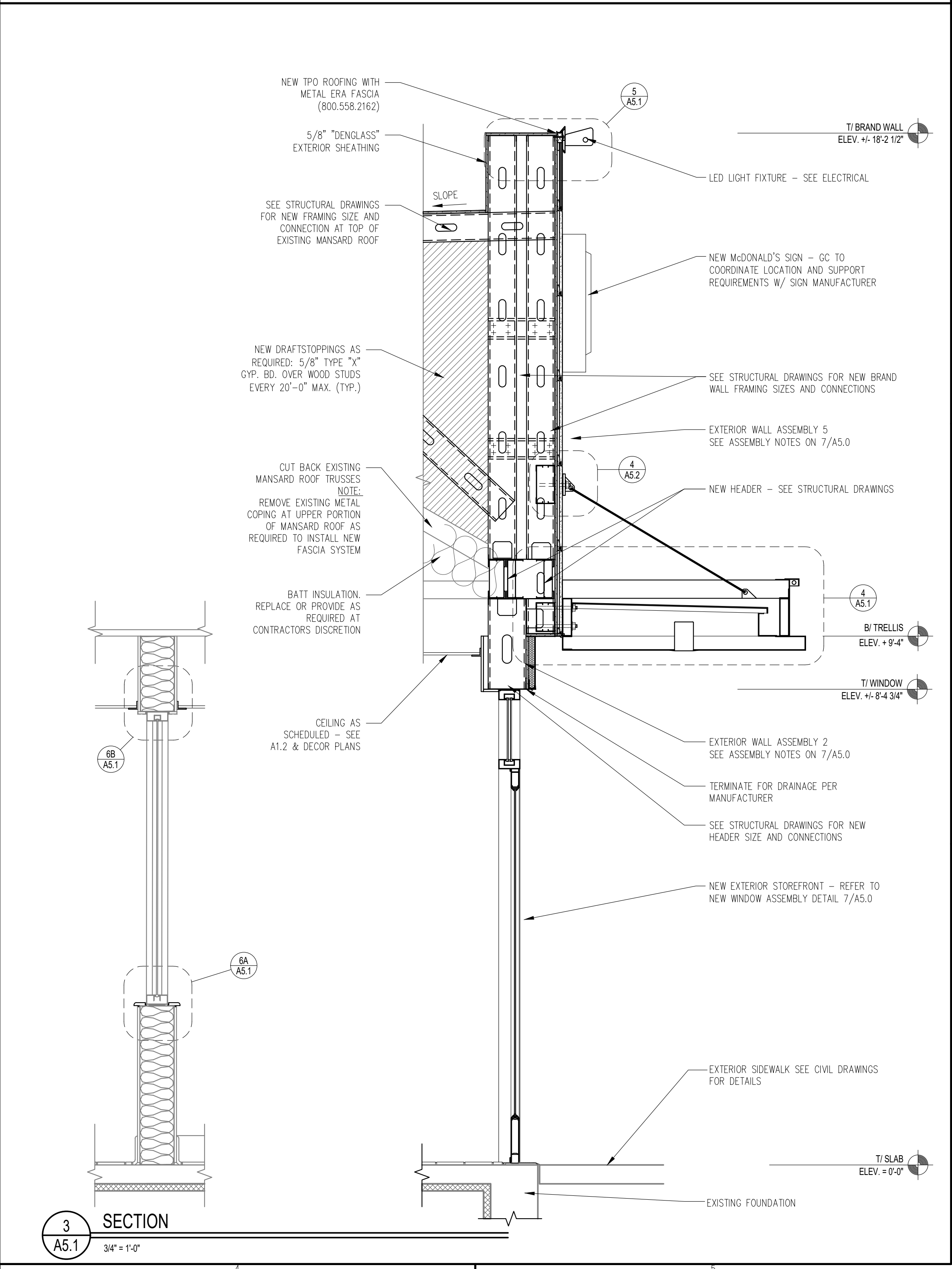
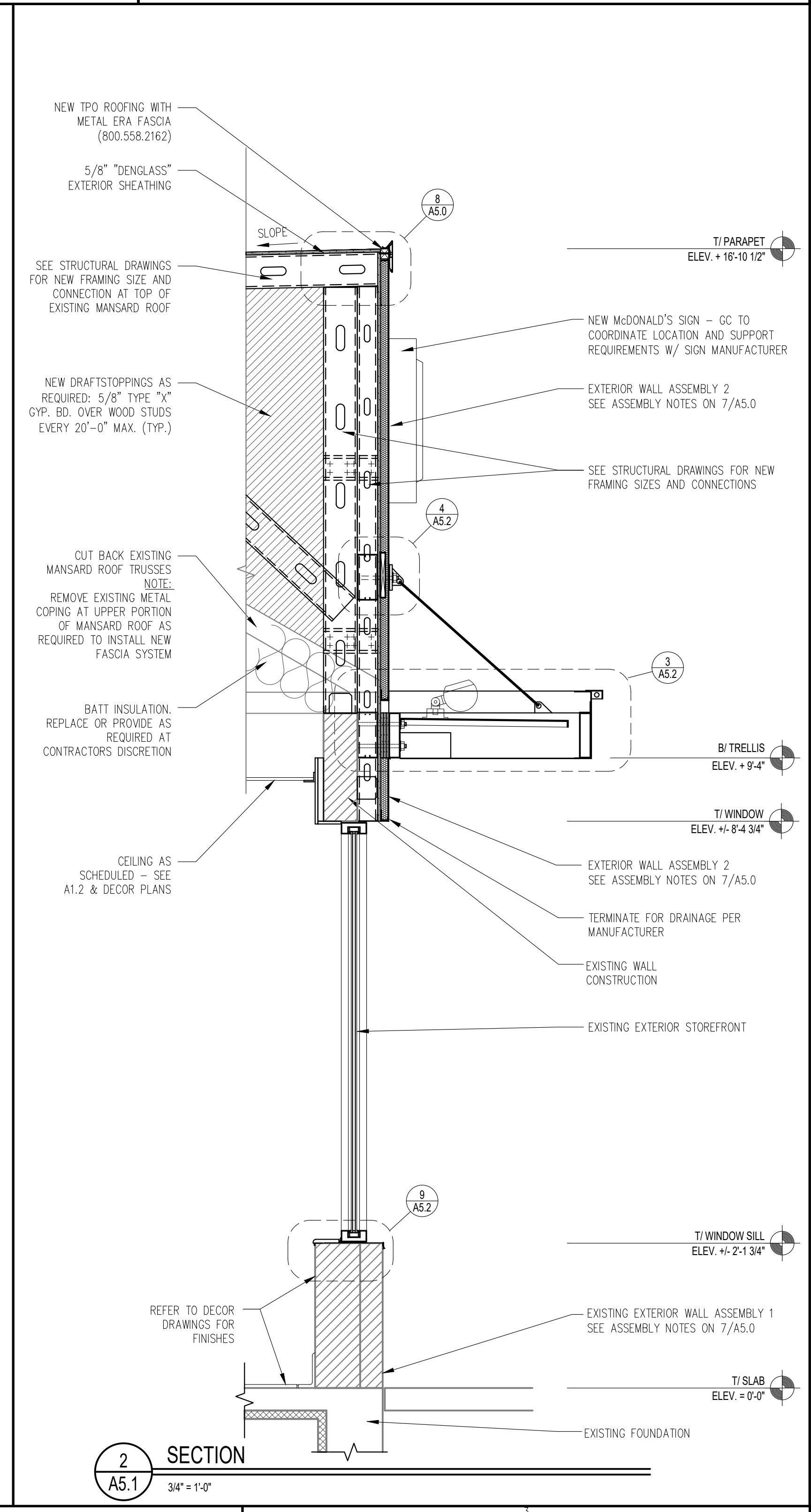
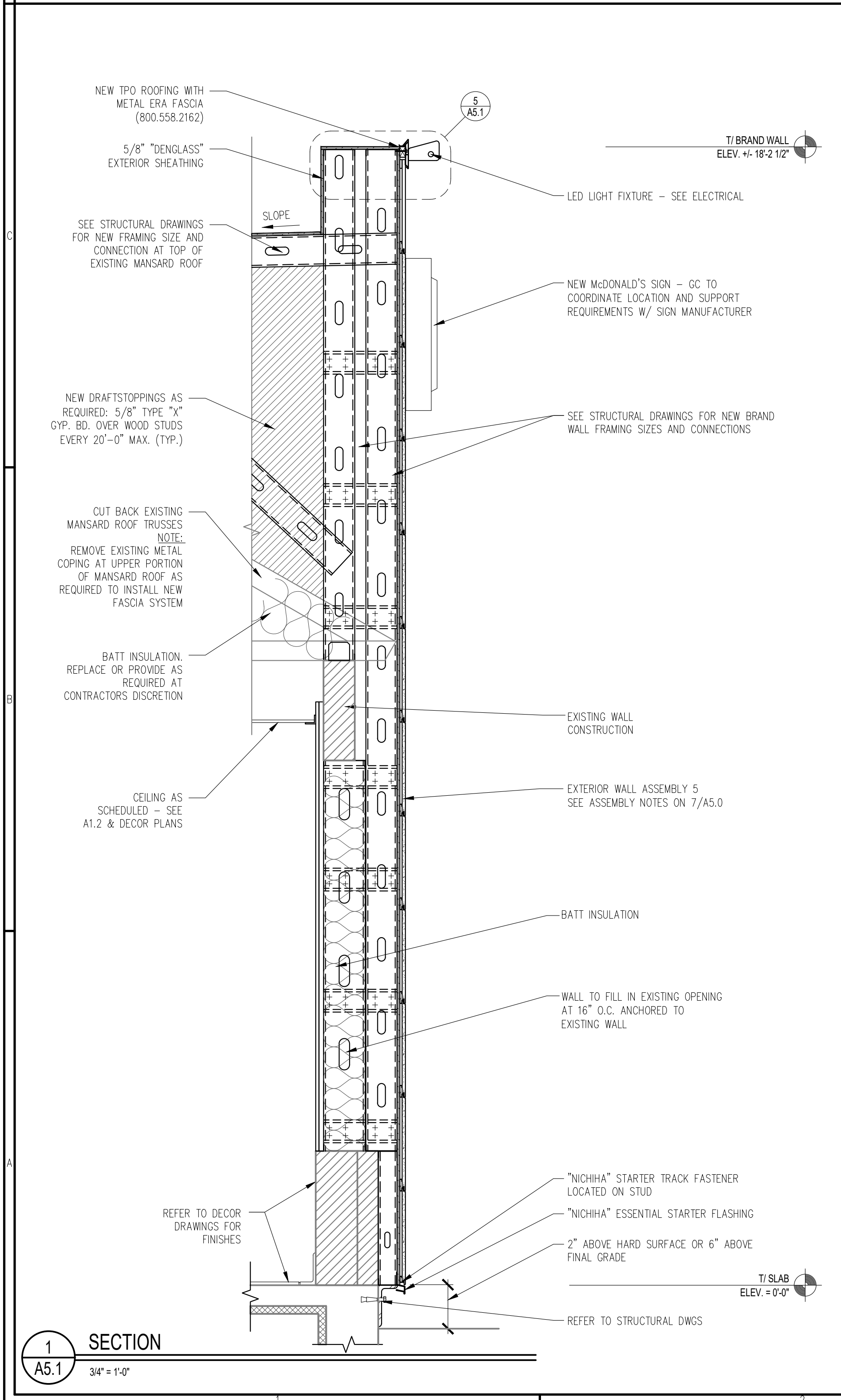
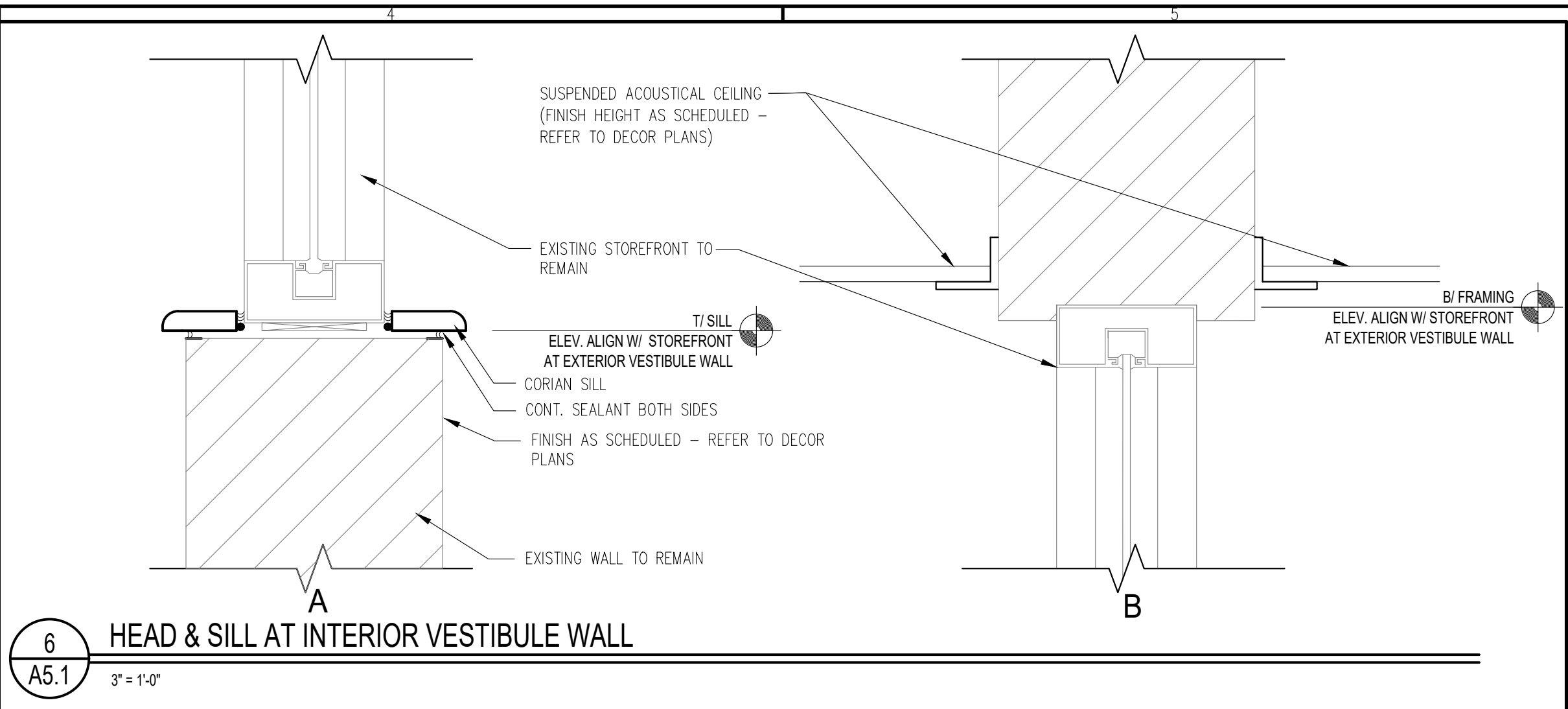
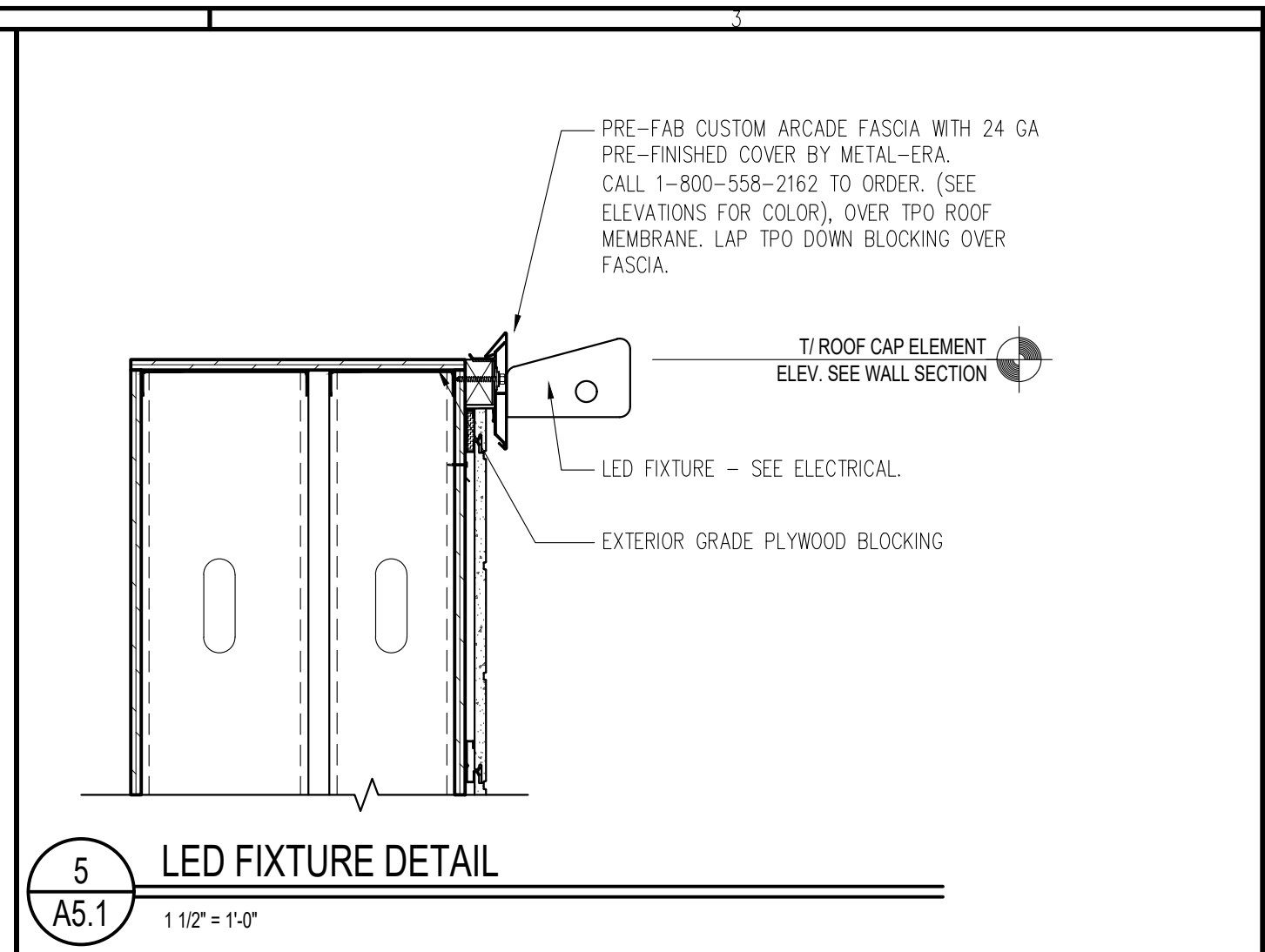
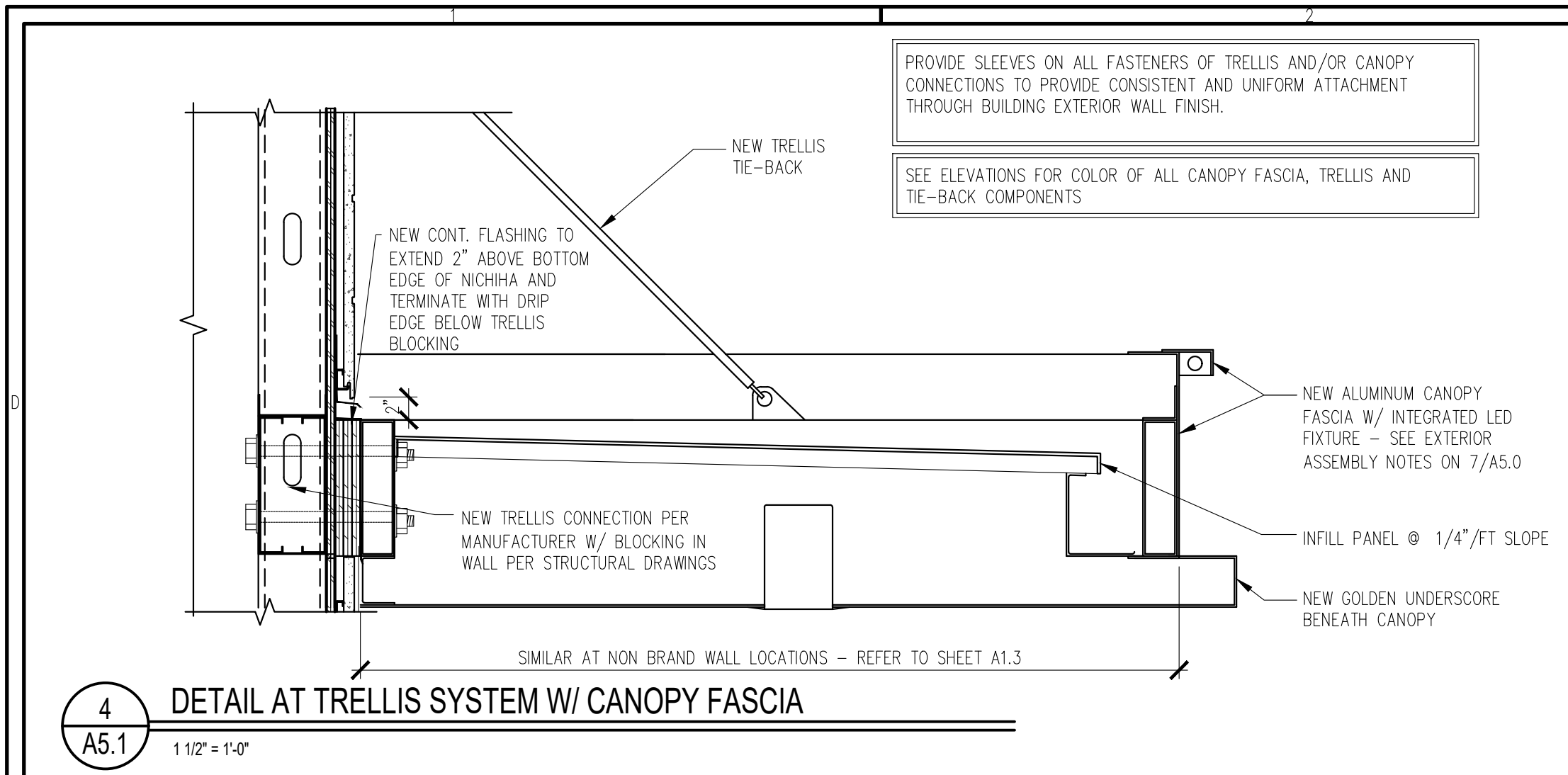
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#	DATE	DESCRIPTION
1	05/02/19	PERMIT REVIEW BID SET
2	06/04/19	OWNER COMMENTS

STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

SHEET TITLE:
SAM AREA
NOTES
& DETAILS

SHEET NUMBER:
A4.3





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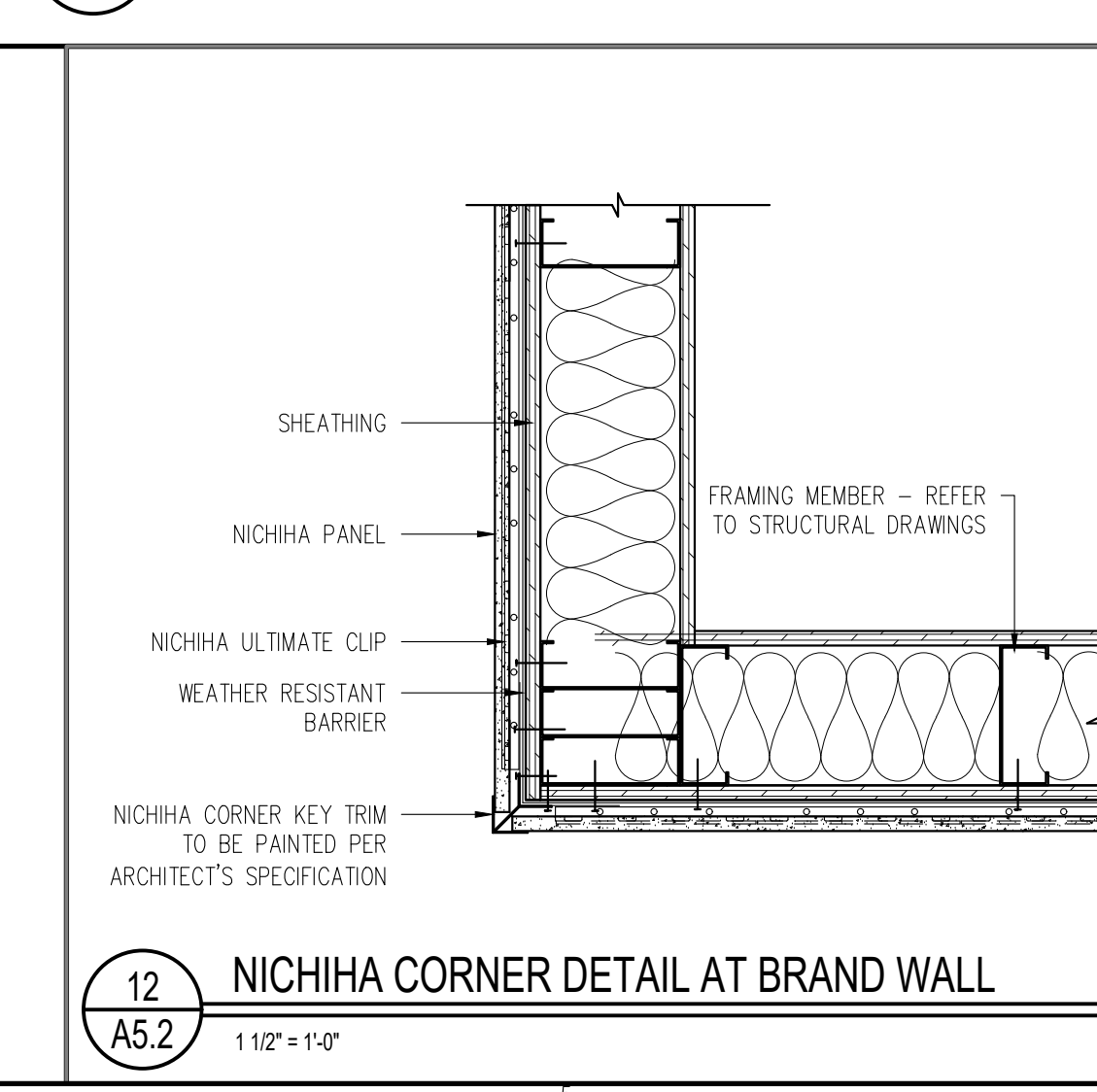
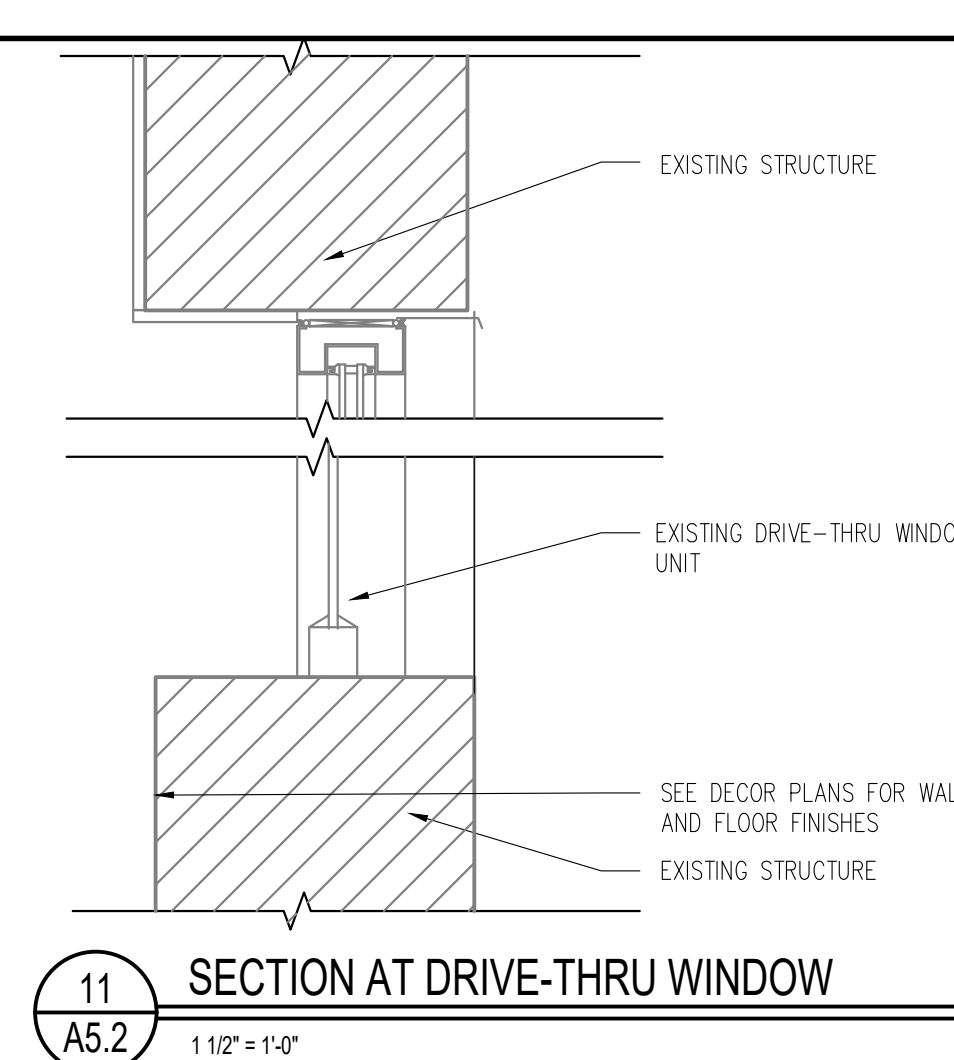
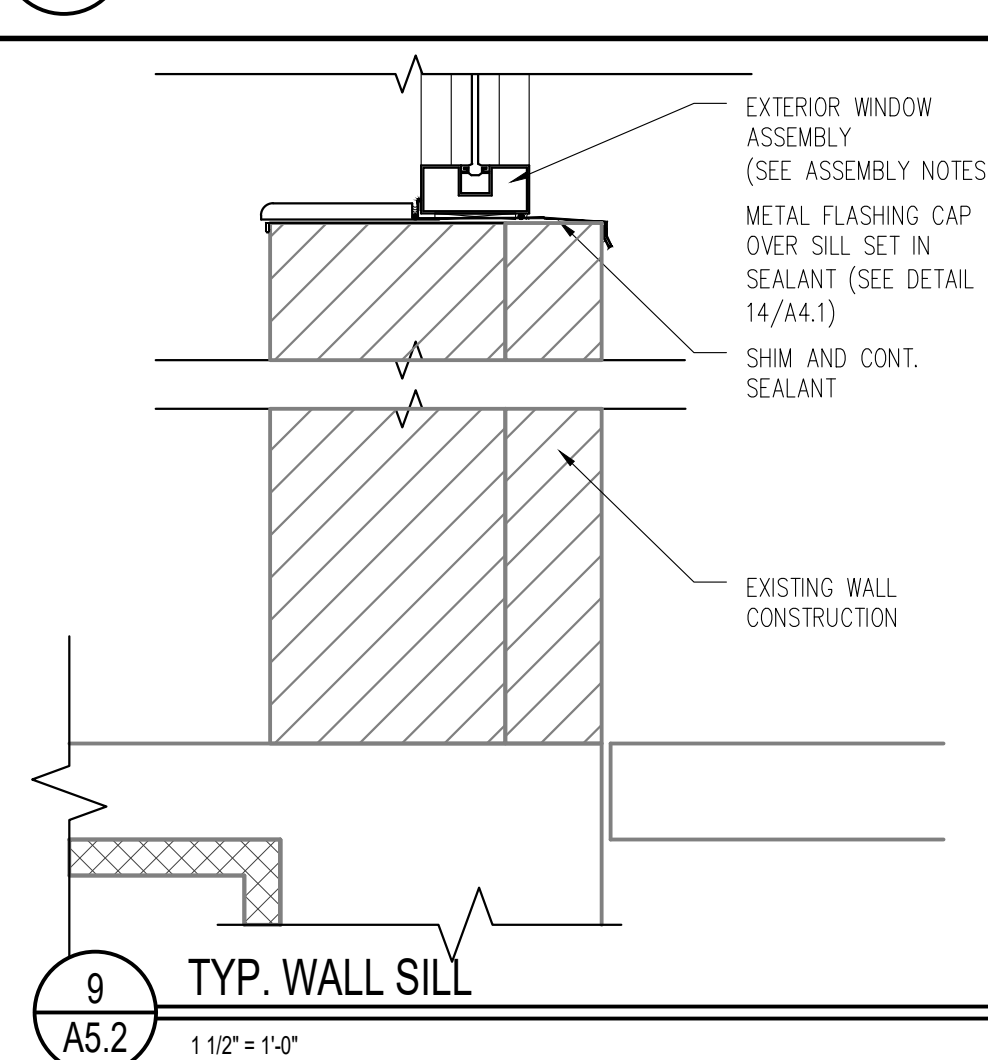
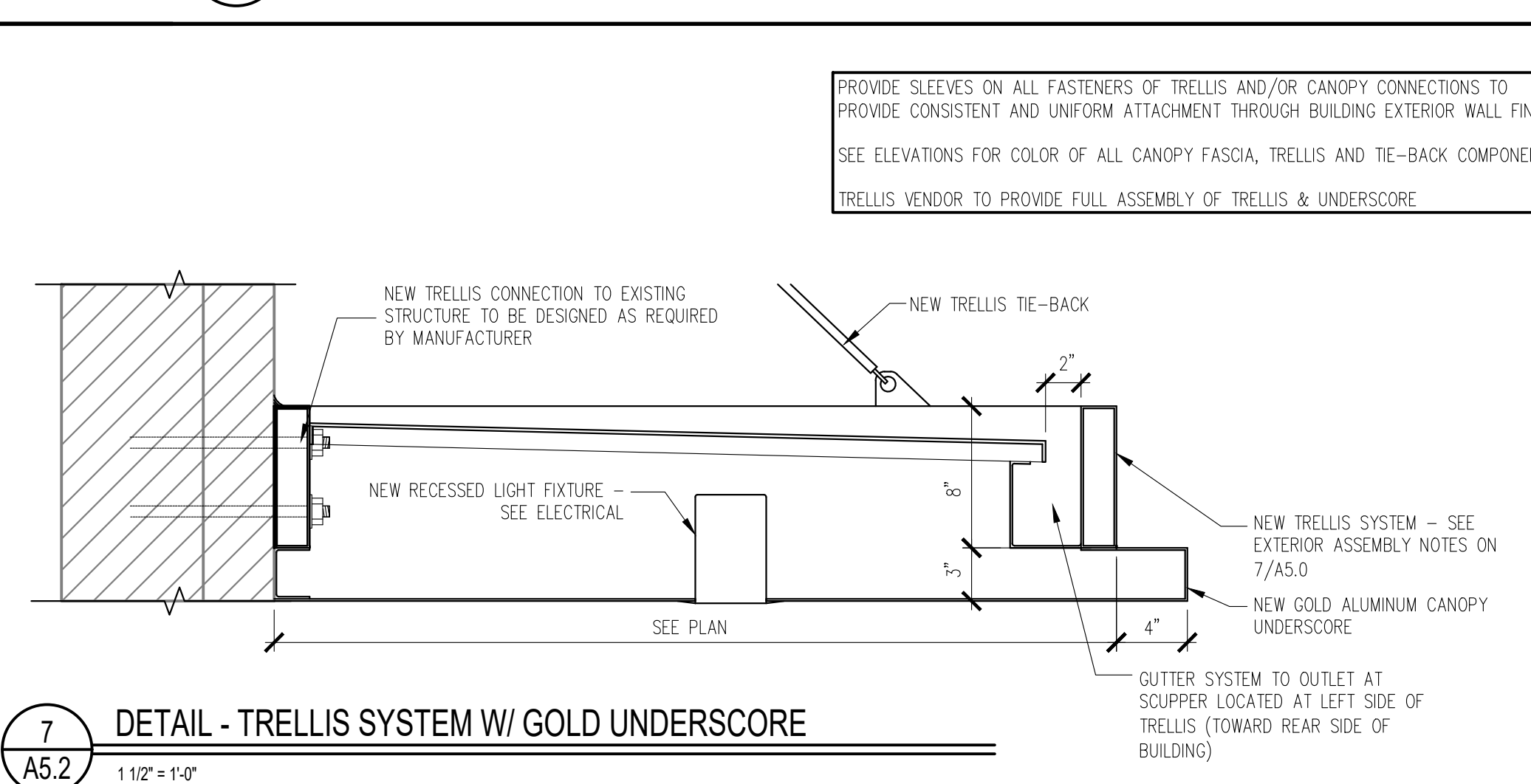
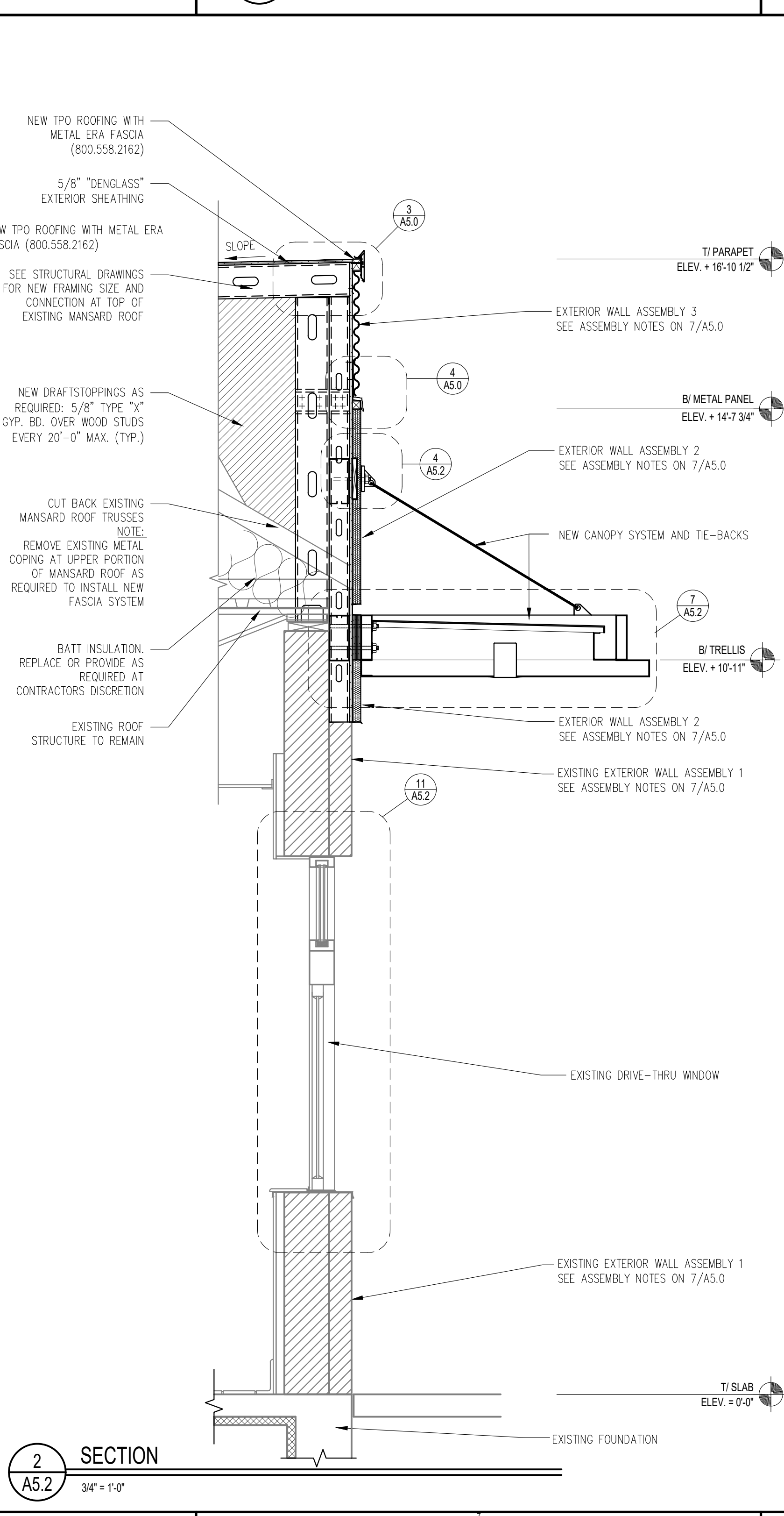
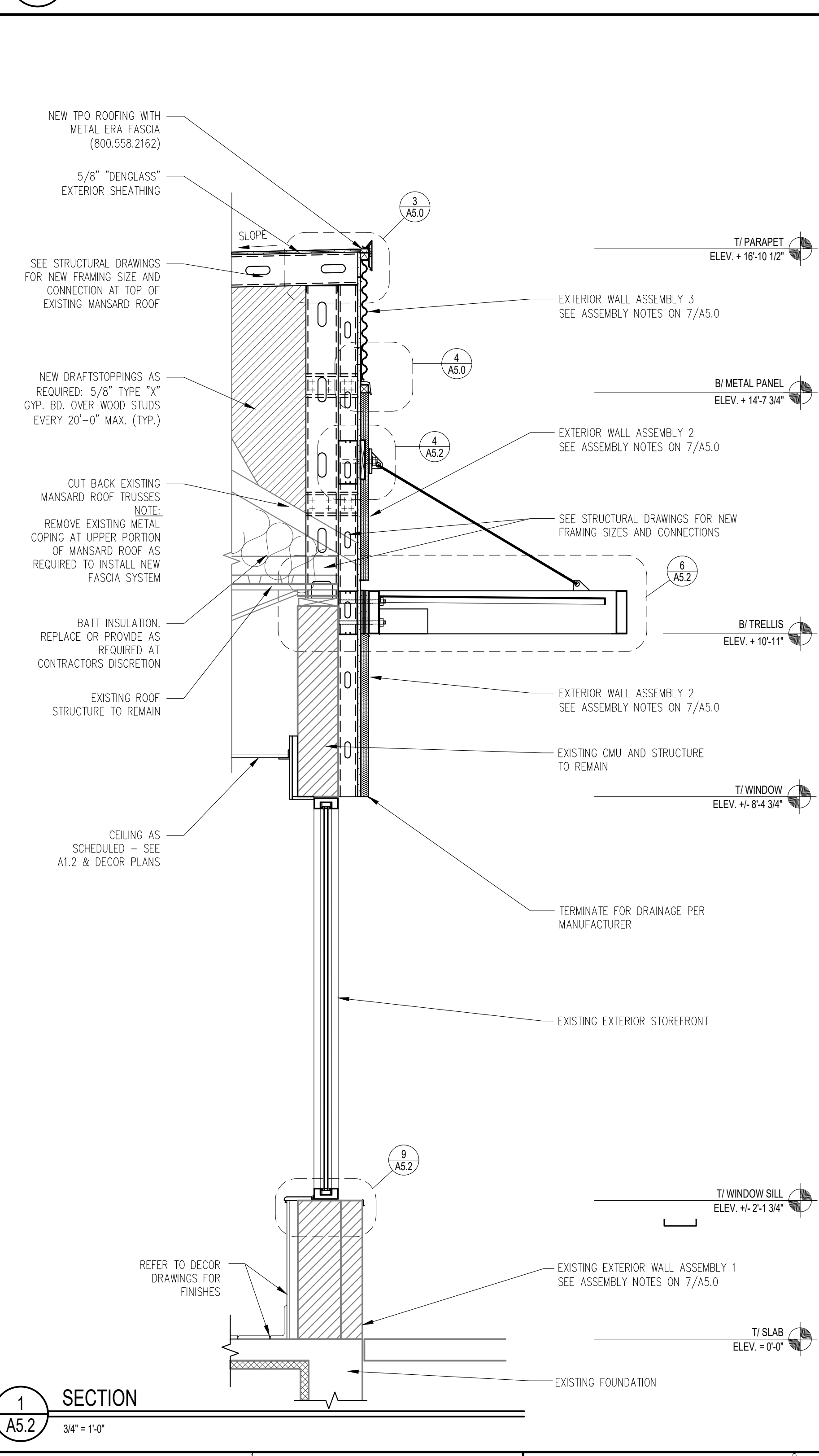
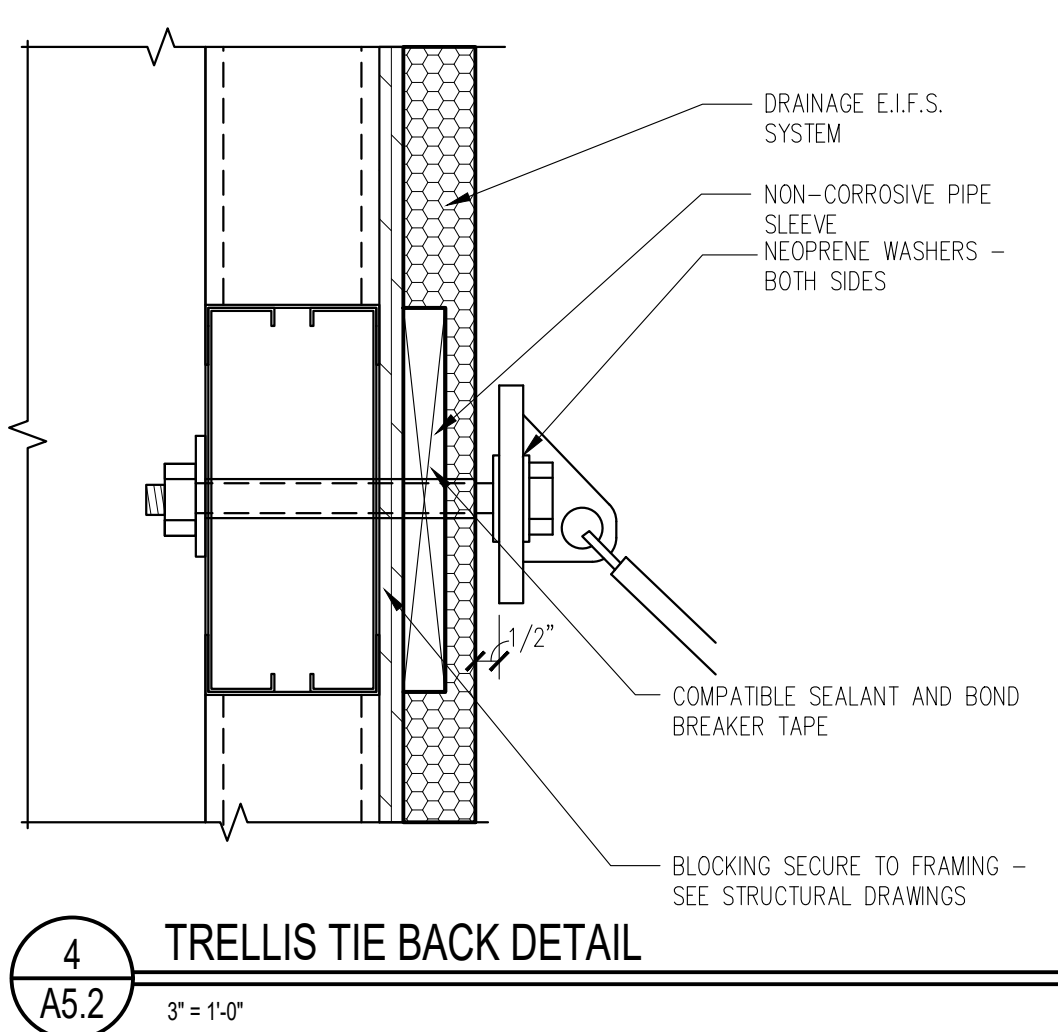
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ISSUED DATE: 05/02/19

STATE ID: 121434
NATIONAL #: 13514
PROJECT NUMBER: 18-444
DRAWN BY: RP
CHECKED BY: CLL

WALL SECTIONS AND DETAILS

A5.1



GENERAL DOOR NOTES

-
- Figure 1 consists of three elevation drawings of doors, labeled A, B, and C. Drawing A is a detailed door with an additional aluminum door, 1/4 inch tempered glazing, a glass viewer with multiple viewing doors on the inside, a 5-foot height, and a 10-inch stile at the bottom. Drawing B is a door with a glass viewer with multiple viewing doors on the inside. Drawing C is a plain door.

GENERAL NOTES:

- DOOR #1 - ENTRY DOOR

- DOOR #4 - REAR EXIT

- DOOR #5 - RESTROOM ENTRY

- DOOR #7 - DINING ROOM JANITORS CLOSET

- DOOR #3A - FREEZER DELIVERY

1. 1 EA HINGE780-112HD 83" ALUM HAGER
2. 1 EA DEADBOLT B661P 626 SCHLAGE
3. 1 EA PULL H3E US28 HAGER
4. 1 EA LOCKGUARD CLP110 US32D DON-JO
5. 1 EA TREADPLATE 24 X 46 UMCO
6. 1 EA WTH/STP 160V 48 X 84 N.GUARD
7. 1 EA THRESHOLD 325HD 48" N.GUARD
8. 1 EA SWEEP 101VA 48" N.GUARD

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05/02/1

REVISIONS:

DATE:	DESCRIPTION:
05/02/19	PERMIT REVIEW/BID SET
06/04/19	OWNER COMMENTS

DATE ID:	12143
REGIONAL #:	1351
PROJECT NUMBER:	18-44
DRAWN BY:	R
CHECKED BY:	CL

SHEET TITLE

DOOR
SCHEDULES

SHEET NUMBER

A6.0