

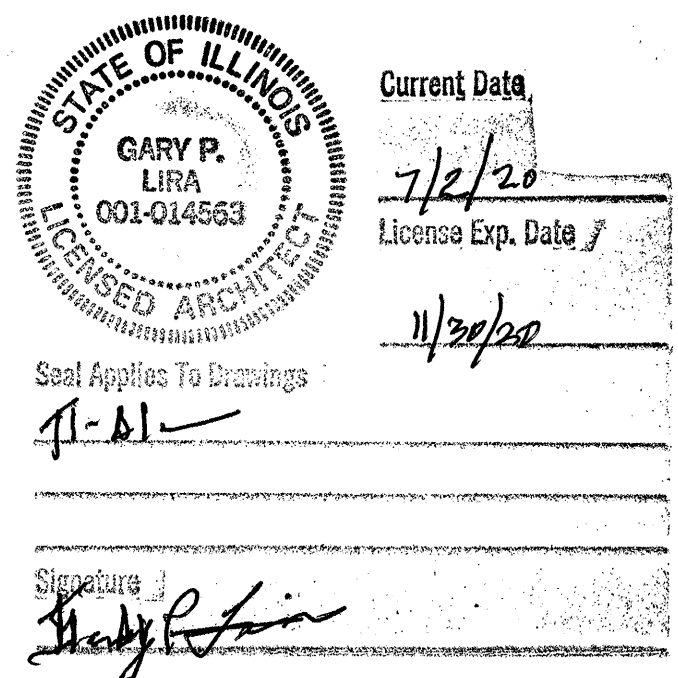


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MISCELLANEOUS NOTE:
All demolition required shall include wall framing and all associated material, including but not limited to: Electrical, Mechanical, Plumbing
All work to be demolished shall be the responsibility of each individual contractor to make the necessary adjustments, temporary/permanent as required to complete work required.
All demolition work required is to be verified with existing conditions prior to any work performed. Should any trade require additional information regarding demolition work, the contractor is to contact the Architect immediately prior to any work beginning. Should the trade not receive a written directive from the Architect prior to the beginning of work, the contractor shall bear all responsibility for that portion of work, and any work affected.
Each trade understands that the Owner has requested permit plans, only, from the Architect. Typical construction details and designs are not provided as per the Owner. Should the contractor require additional information than provided on the plans, he shall contact the Architect immediately prior to any work beginning. Should the trade not receive a written directive from the Architect prior to the beginning of work, the contractor shall bear all responsibility for that portion of work, and any work affected.
All new work shall be as required by the Owner, and applicable to all codes. Demolished/Relocated systems are to be rerouted as required to provide a complete and properly operating system.
All notes depicted in the documents shall be considered typical throughout. Discrepancies within the documents or related to the work shall be verified by the Contractor. Should the contractor proceed without receiving a written directive from the Owner, then the contractor shall bear full responsibility for that portion, and any work effected by it.

Certification



Cremation By Water
L&A #220 - Cremation By Water

11 W. College Dr Unit K
Arlington Heights, IL 60004

Minor Tenant Improvement

DATE: Owner Review 30 June 2020 P&E:WJT 2 July 2020	SHEET INDEX: Title - Certification 4/T1 - Drawing Index 8/T1 - Floor Plan 14/T1 - Key/Roof Plan 16/T1 - Elec. Plan	T1
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Cremation By Water

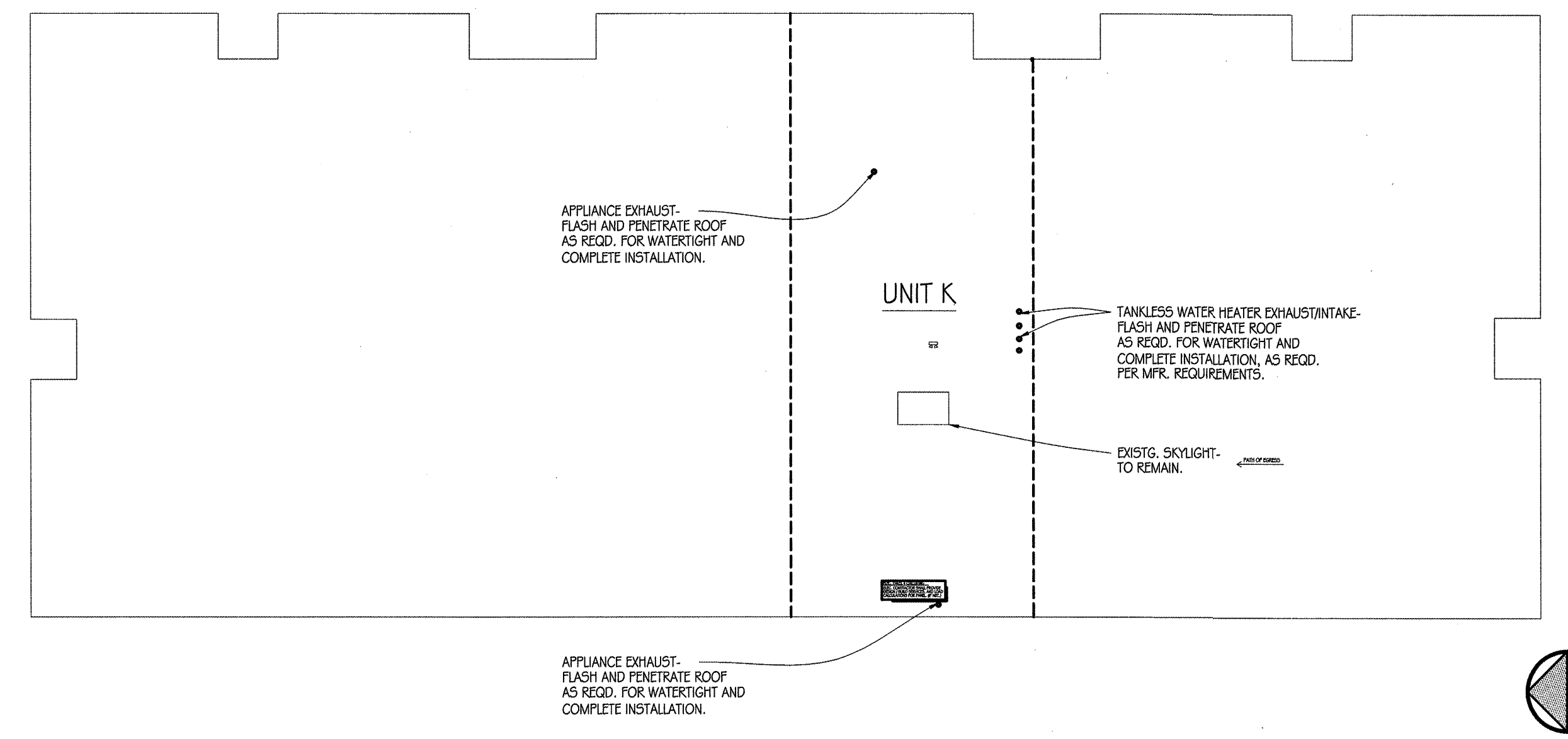
11 W. College Dr Unit K

Arlington Heights, IL

Minor Tenant Improv.

BUILDING CLASSIFICATION:	S2
CONSTRUCTION TYPE:	IIIB
BUILDING SF:	2,600 sf
SPRINKLED:	NO

Code	Year	Notes
INTERNATIONAL BUILDING CODE W/ AMENDMENTS	- 2018	
INTERNATIONAL FIRE CODE W/ AMENDMENTS	- 2018	
INTERNATIONAL EXISTING BUILDING CODE W/ AMENDMENTS	- 2018	
INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS	- 2018	
INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS	- 2018	
NATIONAL ELECTRICAL CODE W/ AMENDMENTS	- 2017	
INTERNATIONAL PROPERTY MAINTENANCE CODE W/ AMENDMENTS	- 2018	
ILLINOIS PLUMBING CODE W/ AMENDMENTS	CURRENT	
ILLINOIS ENERGY CONSERVATION CODE	CURRENT	
LIFE SAFETY CODE	- 2015	
ILLINOIS ACCESSIBILITY CODE	CURRENT	



14 Key Plan/Roof Plan

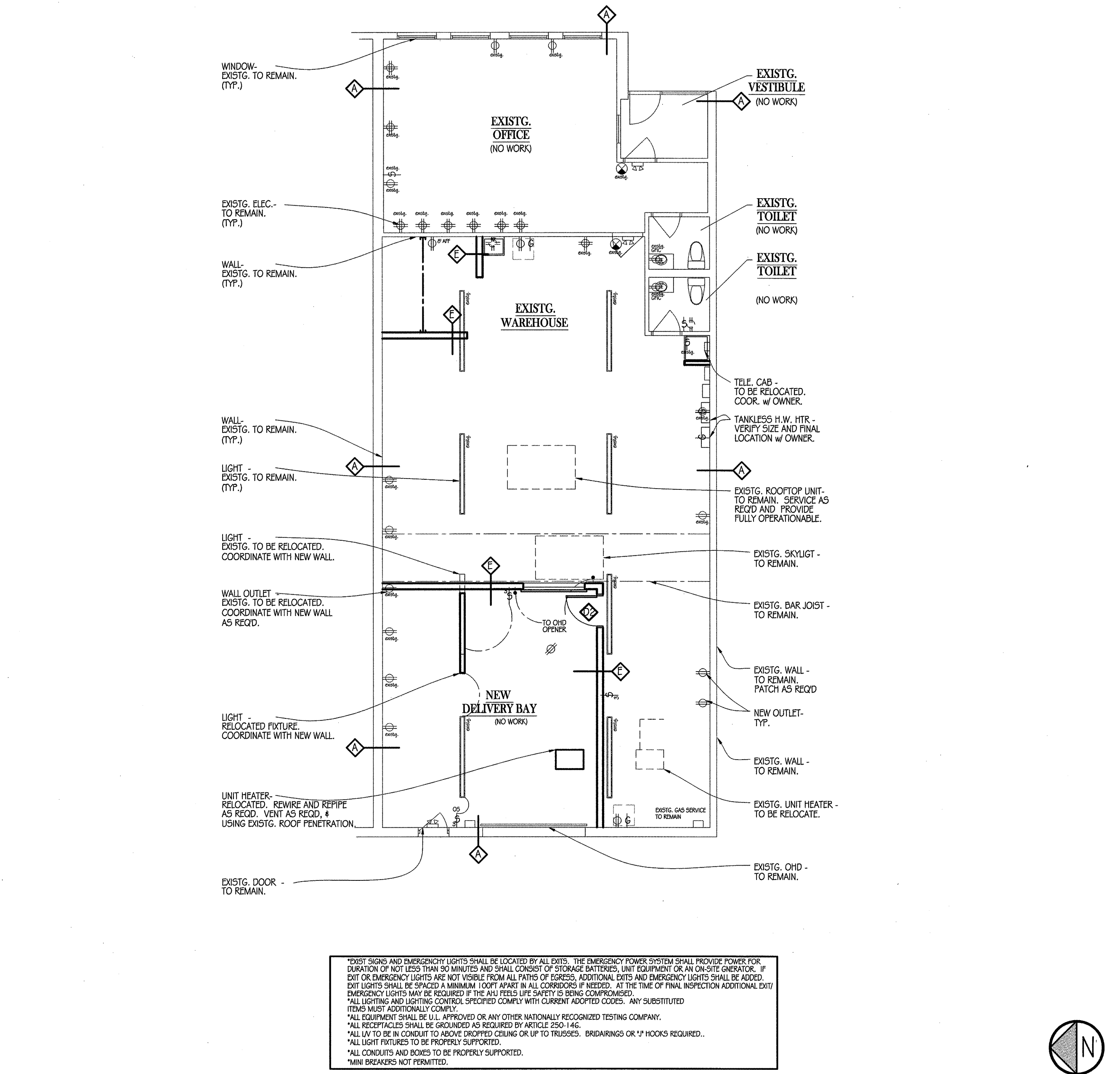
scale: 1/16"=1'-0"

9 Building Codes

scale:(none)

T1 - Title
Building Codes
Floor Plan - Overall
Key/Roof Plan
Electrical Plan

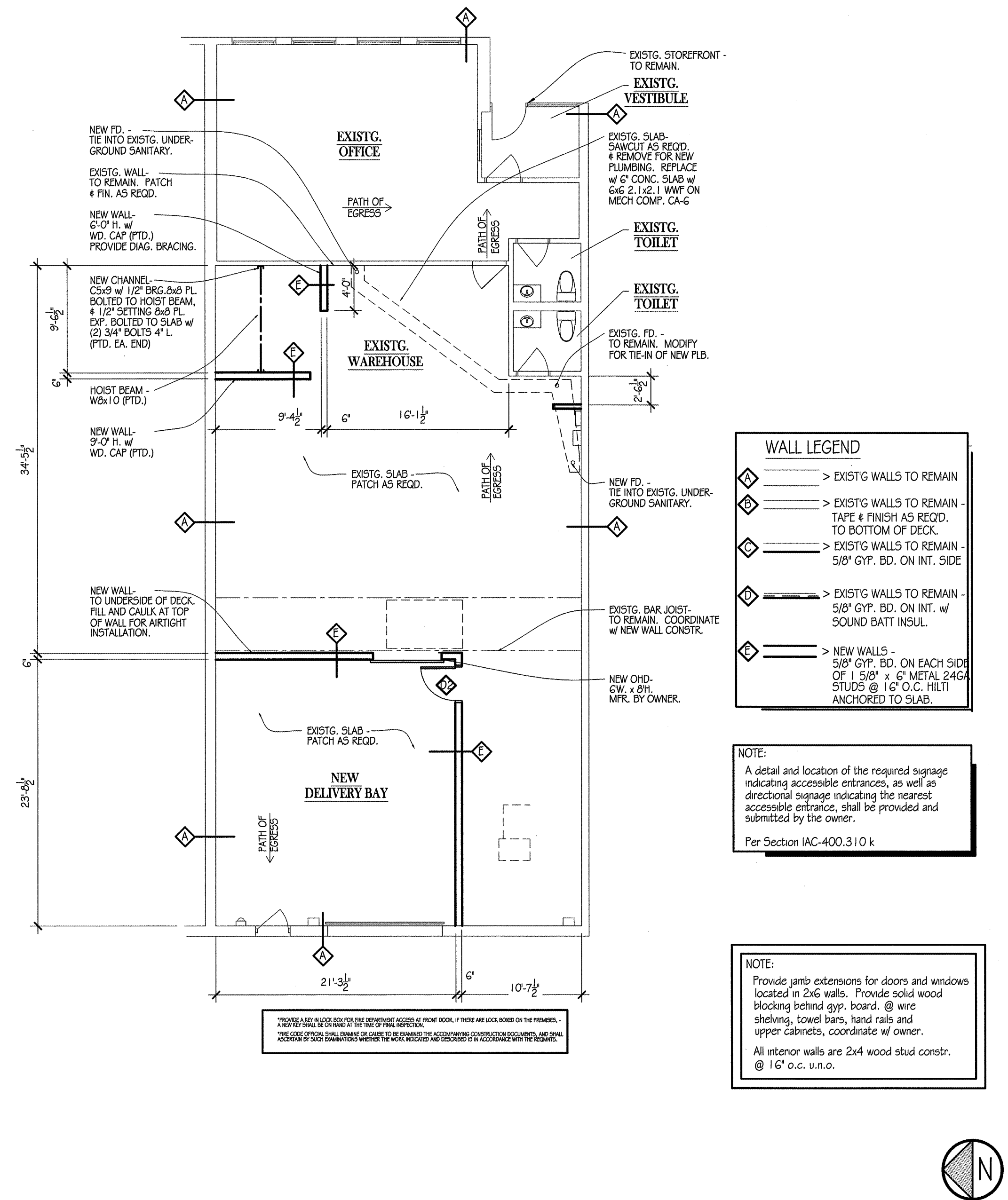
A1 - Room Fin. Schedule
Plumbing Riser
Specifications



16 Electrical Plan

scale: 1/8"=1'-0"

8 Floor Plan



scale: 1/8"=1'-0"

4 Drawing Index

Typical Sheet Numbering Layout

13	9	5	1
14	10	6	2
15	11	7	3
16	12	8	4

1 - General Notes

- The Drawings, Notes and Specification have been prepared as a comprehensive document...
Arrangement and organization of drawings, details, specifications and notes shall not control the Contractor in dividing Work among Subcontractors...

3 - Concrete

- Concrete materials, aggregates and reinforcing shall conform to the latest edition of the ACI Code.
Concrete must have a minimum compressive strength of 3500 psi after 28 days (4000 psi for slabs)...

6 - Carpentry

- Furnish and install all cold-formed metal framing including bracing, fasteners and related accessories required for work.
Work shall include structural metals stud walls and soffits, and unstud support.
All work shall be installed by specialists in the installation of the specified framing...

7c - Insulation / Vapor Barrier / Caulk / Fireblocking

- All vapor barrier joints, edges, punctures and penetrations to be sealed with vapor tapes to form continuous vapor barrier.
Insulate all walls and ceilings surrounding bathrooms for sound.
All insulation shall be free of moisture. Damaged or insulation which was wet at one time, installed or stored, shall be not be used on this project.

8 - Doors and Glazing

- Property identified safety glazing must be used at all hazardous locations.
Hinges shall be 3/16" x 1/4" steel plate, drilled and tapped at factory for mortar. Lock Sinks shall be 3/16" x 1/4" steel plate drilled and tapped.
Steel stud anchors shall be a maximum of 30 inches on center.

9 - Finishing

- Concealed spaces of soffits (walls & ceilings) shall be firestopped with gypsum board or plywood.
Provide moisture resistant drywall at all wet areas not to receive tile.
All drywall shall be 5/8" type-x gypsum board.

Acoustical Title

- Installation of acoustical suspension system shall be according to ASTM- C-636 "Recommended Practice for Installation of Metal Ceiling Suspension Systems for Acoustical Tile and Lay-in Panels" and according to mfr. recommendations.

10 - Specialties

- Portable fire extinguishers shall bear the label of an approved agency, be of an approved type, and be installed in a location visible and accessible to the occupants.
The Owner or operator of any facility which currently has or shall be installing a fire detection system (automatic or manual) and/or a fire suppression system, shall provide a repository container (lock box) at the facility...

15a - Mechanical

- All work shall be completed on a Design/Build basis. Design and layout shall be approved by Owner prior to commencement of any work.
Mechanical plans are schematic in nature, and to the contractor's responsibility for final verification of sizing, and coordination with existing conditions, new conditions, and work of other trades.
All routing, transitions and fittings shall be provided as required.

15b - Plumbing

- The scope of work shall require Design/Build services as required by the Owner and shall comply with local jurisdictions. Design and layout shall be approved by Owner prior to commencement of any work.
All work shall comply to ASTM standards and pass final inspection by the building department.
Contractor shall provide all excavation and backfill as required, and as specified in location/depth/section, if needed.

16 - Electrical

- The scope of work shall require Design/Build services as required by the Owner and shall comply with local jurisdictions. Design and layout shall be approved by Owner prior to commencement of any work.
The contractor shall submit to the Owner for review the following: drawings, product specifications and wiring connection diagrams, with installation instructions, operating and maintenance manuals.
Provide a disconnect switch and wiring for all mechanical equipment.

18 - General Requirements

- All work shall comply with local jurisdiction and ordinances.
Contractors are to familiarize themselves with the site and all existing conditions and are to notify the Architect of any discrepancies with the drawings before proceeding with any work.
All contractors and subcontractors shall furnish Workers Compensation and General Liability Insurance Certificates prior to the start of any work.
All trades shall comply with OSHA, State and Local requirements for the safety of the workers on the job and passers by.

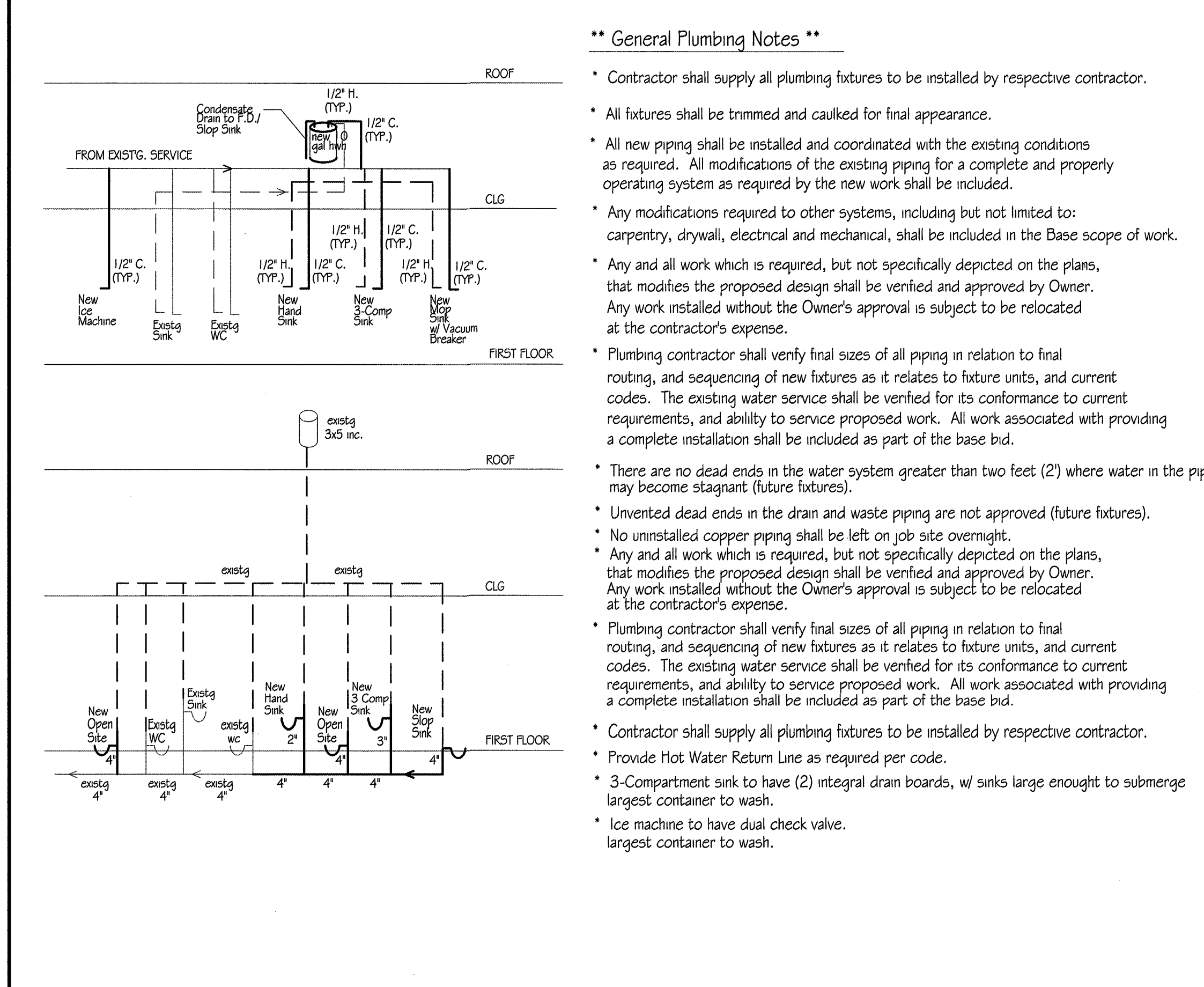
Table with columns: AREA IDENTIFICATION, FLOORING, BASE, WALLS (NORTH, EAST, SOUTH, WEST), CEILING, COMMENTS. Rows include EXISTG. VESTIBULE, EXISTG. OFFICE, NEW WASH AREA, EXISTG. WAREHOUSE.

5 Room Finish Schedule scale:(none)

Table with columns: DOOR SCHEDULE, Hardware Schedule, MARK, LOC., MATL, SIZE, THK, STYLE, FIN, GLASS, HDW, COMMENT. Includes door types like DE, D, D2.

Door Notes: Door hardware shall be capable of operation with the use of one (1) hand and shall not require tight pinching, tight grasping or twisting of the wrist to operate. Thumb turn deadlocks are prohibited...

6 Door Schedule scale:(none)



16 Specifications scale:(none)

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Minor Tenant Improvement DATE: 30 June 2020 SHEET INDEX: 5/A1 - Certification, 6/A1 - Door Schedule, 8/A1 - Plb. Riser, 16/A1 - Specifications. A1