



# Village of Arlington Heights Building & Life Safety Department

## Interoffice Memorandum

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**To:** Sam Hubbard, Development Planner, Planning and Community Development  
**From:** Deb Pierce, Plan Reviewer, Building & Life Safety Department  
**Subject:** 11 W College Dr., Unit K – Cremation by Water – Land Use Variation to allow a Crematory in the M-1 District, Variation to Waive Traffic & Parking Study  
**PC#:** 20-011– Round 1  
**Date:** August 5, 2020

**General Comments:**

The information provided is conceptual only and subject to a formal plan review.

Sam –

I do not have any comments or objections for the LUV and Waiver of Traffic and Parking Study.



**Village of Arlington Heights, IL  
Building & Life Safety Department**

**Fire Safety Division**

Date: 7/28/2020

P.C. Number: 20-011 Round 1

Project Name: Cremation By Water LUV

Project Location: 11 W. College Dr

Planning Department Contact: Sam Hubbard, Planning and Community Development

**General Comments:**

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply.
2. No additional comments at this time.

**RECEIVED**  
JUL 29 2020  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

Date 07-28-20

Reviewed By: 

Fire Safety Supervisor

## Memorandum

To: Sam Hubbard, Planning and Community Development  
From: Cris Papierniak, Assistant Director of Public Works  
Date: August 10, 2020  
Subject: 11 W College PC#20-011 Round 1

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With regard the proposed construction, PW has the following comments:

- 1) A new RPZ must be installed for the fire suppression system and domestic water system. The initial device must e installed immediately after the incoming water meter.
- 2) A new water meter will be required for the fire and domestic water systems.
- 3) Include items #1 and #2 on revised plumbing plans.

C. file

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. <u>20-011</u>	P.I.N.# <u>03-08-316-002</u>
Petitioner: <u>Philip &amp; Colleen Flores</u> (Cremation by Water LLC)	Location: <u>11 W. College Drive, Unit K, 60004</u>
<u>847.414.4414</u>	Rezoning: <u>      </u> Current: <u>      </u> Proposed: <u>      </u>
Owner: <u>11 West College General Partnership</u> (POC: Rich & Cathy Bondarowicz)	Subdivision: <u>      </u>
<u>312.504.1835</u>	# of Lots: <u>      </u> Current: <u>      </u> Proposed: <u>      </u>
Contact Person: <u>Philip Flores, Jr.</u>	PUD: <u>      </u> For: <u>      </u>
Address: <u>11 E. Brookwood Drive</u> <u>Arlington Heights, IL 60004-2511</u>	Special Use: <u>  ✓  </u> For: <u>Crematory</u>
Phone #: <u>312.340.8852</u>	Land Use Variation: <u>  ✓  </u> For: <u>      </u>
Fax #: <u>n/a</u>	<u>Eco-friendly Aqua Cremation Business</u>
E-Mail: <u>PhilipFloresJr@yahoo.com</u>	Land Use: <u>      </u> Current: <u>      </u> Proposed: <u>      </u>
	Site Gross Area: <u>      </u>
	# of Units Total: <u>1 Unit (2,600sq ft) - Commercial</u>
	1BR: <u>      </u> 2BR: <u>      </u> 3BR: <u>      </u> 4BR: <u>      </u>

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: .....	YES	NO	COMMENTS
a. Underground Utilities			
Water .....		<u>NO</u>	_____
Sanitary Sewer .....		<u>NO</u>	_____
Storm Sewer .....		<u>NO</u>	_____
b. Surface Improvement			
Pavement .....		<u>NO</u>	_____
Curb & Gutter .....		<u>NO</u>	_____
Sidewalks .....		<u>NO</u>	_____
Street Lighting .....		<u>NO</u>	_____
c. Easements			
Utility & Drainage .....		<u>NO</u>	_____
Access .....		<u>NO</u>	_____

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC X (?)
- b. IDOT \_\_\_\_\_
- c. ARMY CORP \_\_\_\_\_
- d. IEPA \_\_\_\_\_
- e. CCHD \_\_\_\_\_

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS? .....		<u>X</u>	_____
4. SITE PLAN ACCEPTABLE? .....	<u>X</u>		_____
5. PRELIMINARY PLAT ACCEPTABLE? .....		<u>N/A</u>	_____
6. TRAFFIC STUDY ACCEPTABLE? .....		<u>N/A</u>	_____
7. STORM WATER DETENTION REQUIRED? .....		<u>X</u>	_____
8. CONTRIBUTION ORDINANCE EXISTING? .....		<u>X</u>	_____
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....		<u>X</u>	_____
10. WETLAND EXISTING? .....		<u>X</u>	_____

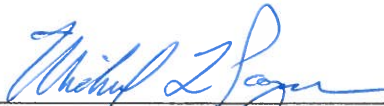
GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: LIAA ASSOC.  
DATE OF PLANS: JUNE 30, 2020

Philip Flores Jr 8/5/2020  
Director VILLAGE ENGINEER Date

**PLAN COMMISSION PC #20-011**  
**Cremation by Water LUV**  
**11 W College Dr**  
**Round 1**

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
  
12. Provide the determination letter from the Metropolitan Water Reclamation District approving the output into the sanitary sewer.

 8/5/2020  
Michael L. Pagones, P.E.                      Date  
Village Engineer



# Arlington Heights Fire Department Plan Review Sheet

P. C. Number 20-011

Project Name Cremation By Water

Project Location 11 W. College Drive

Planning Department Contact Sam Hubbard

## General Comments

Round 1

General Comments:

- 1 )The Fire Department will defer to Don Lay from the Building and Life Safety Department as to whether the change of occupancy changes any code requirements for the existing structure.
- 2) All current codes are to apply to the storage and use of any chemicals in the process.
- 3) A Knox Box shall be located at the main front entrance on this new business.

**NOTE: PLAN IS CONCEPTUAL ONLY  
SUBJECT TO DETAILED PLAN REVIEW**

Date August 4, 2020 Reviewed By: LT. Mark Aleckson

Arlington Heights Fire Department

# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

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### DEPARTMENT PLAN REVIEW SUMMARY

**Cremation by Water LUV**  
**11 W College Dr**

#### Round 1 Review Comments

**07/30/2020**

**1. Character of use:**

The character of use is consistent with the area and is not a concern.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights code. The exterior of the building should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, and other criminal activity.

**3. Present traffic problems?**

There are no traffic problems at this location.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

This development should not create any additional traffic problems.

**6. General comments:**

- Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

**RECEIVED**  
JUL 30 2020  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

A-OV #330  
Alexandra Ovington, Crime Prevention Officer  
Community Services Bureau

Approved by:

D. H. [Signature] #557  
Supervisor's Signature





# Planning & Community Development Dept. Review

August 9, 2020



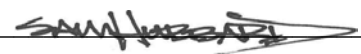
## REVIEW ROUND 1

Project: 11 W. College Dr. – Unit K  
Cremation By Water LUV

Case Number: PC 20-011

**General:**

- 7. The following zoning approvals shall be required:
  - a. Land Use Variation to allow a Crematorium in the M-1 District.
  - b. Variation from Chapter 28, Section 6.1 2.2c, to waive the requirement for a traffic and parking study by a certified traffic engineer.
  
- 8. Section 5.1-15.5a states that all uses shall take place “without creating disturbing influences to the use and occupancy of adjoining properties.” The equipment exhaust is proposed on the roof at the edge of the rear of the building, adjacent to where the property abuts single-family homes. Please provide a detail for the exhaust piping to determine if screening is required. Additionally, please confirm if there will be any odors detectable from the exterior of the building.
  
- 9. Please revise the project narrative to include the following information:
  - a. What is your expected volume of walk in customers on a daily or weekly basis?
  - b. Clarify if you and your wife will be the only employees, or if you will have additional employees.
  - c. How many bodies to you expect to be processing on a daily basis when running at typical capacity?
  - d. How long does the process take for each body?
  
- 10. Will Cremation By Water have a company vehicle stored onsite for transport? Or will all transport take place in a vehicle that will be stored at home, or are all incoming bodies transported by the client?

Prepared by: 

Cremation By Water - LUV  
11 W. College Drive  
PC #20-011  
August 10, 2020

**Landscape Comments**

1. The code-required screen must be provided along the west property line adjacent to the residential district. Chapter 28, Section 6.15-2.2 requires either; a 6-foot tall masonry wall, a 6-foot tall solid wood fence, or an offset double row of 6-foot high densely planted landscape material that provide year round opacity.