



February 11th 2021

Attn: Sam Hubbard

Development Planner
Department of Planning and Community Development
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, IL 60005
Tel: 847-368-5223

**Re: 703-723 W. Algonquin Rd – PUD Amendment – Amendment to PUD Ordinance 18-014 PC#20-016
– Round 3**

Mr. Hubbard,

The following is our Planning Commission response Letter addressing the comments as outlined in the Village of Arlington Heights Building & Life Safety Department Interoffice Memorandum regarding the aforementioned project:

Planning & Community Development Dept. Review Round 2 Comments

35. Response:

- a. **Response: Noted**
- b. **Response: Noted**
- c. **Response: Noted**
- d. **Response: Noted**
- e. **Response: Noted**
- f. **Response: Noted**

36. Response: Noted.

- a. Two additional landscape islands have been added that were requested.
- b. The fence has been shifted to the east to allow additional space for substantial landscape planting. (Exhibit A)
- c. Hedge link fence has been replaced with 6-foot ornamental fence/gates and 10-foot vinyl at southern property line. (Exhibit A)
- d. Parking totals reference (Exhibit G)

37. Response: Noted: Updated Construction Standards Plan (Exhibit F). Plan provides detail on revised fencing spec (height, style, material).

38. Response: Noted. Light Poles are to be spaced no more the 102' apart. Revised Site Lighting Plan (Exhibit B)

39. Response: Noted.

- a. Employee count for maintenance garage will consist of one mechanic per bay (2 bays total).
- b. Garage mechanics were included in the employee count totaling 162 employees.
- c. Faculty has two total bays – one bay is for longer term repairs the second is for short term repairs.

- d. Daily services will be very similar to a Valvoline Shop. Oil Changes, belt repairs, brakes, wipers, tire repair etc. All big repairs are done off site by another vendor.
40. **Response:** Noted: See revised Conceptual Site Plan (Exhibit G). Plan shows locations for bike parking at Frito Lay main office entrance (4 stalls) and at Taiki main entrance (3 Stalls).
41. **Response:** Noted: See Conceptual Site Plan (Exhibit G). Overall number of passenger vehicle parking stalls is 190.
42. **Response:** Noted: Full set of requested plans have been submitted to Village on 2/10/2021
43. **Response:** Noted: See Truck Routing/Turning plan (Exhibit E). Plan shows requested information for the southernmost truck dock. Also includes ingress and egress info while truck and trailer is parked in the adjacent space.
44. **Response:** Noted
45. **Response:** Noted. We have analyzed this at the Village's request. Modern, state of the art truck courts generally has depths of 120'-130'. If the docks and necessary area for maneuvering were to be relocated to the southern portion of the property, the loss in van or truck parking as a result would be significant and would make the property untenable for Frito Lay.
46. **Response:** Noted: Across all 24 hours, we will make a maximum of 30 trailer moves from the parking lot to the shared driveway to the docks. We will make 10 moves between 6am-8am, We will also be moving route vans after the expansion on the new docks on the south side of the building. I am assuming this is out of scope for this question because all of those moves will be in the gated parking lot. 10 moves between 1pm-3pm, and 10 moves between 8pm-10pm.
47. **Response:** Noted. Hamilton Partners understand its obligation to re-surface the access drive. Hamilton Partners agrees to do so upon notification from Village of Arlington Heights and Weber Packaging.
48. **Response:** Noted.
- a. **Response:** Yes, this gate will be restricted to trailer-trucks only
 - b. **Response:** Please see Truck Access Plan (Exhibit C)
 - c. **Response:** During normal business hours (8am-5pm) gate is anticipated to be open to allow free truck movement into space. Beyond normal business hours the gate is typically on a timer loop (30 seconds). This is just enough time for the gate to open and the truck to turn in. The truck and trailer would have to stop for a few seconds to safely enter the gate. Hamilton Partners and Frito Lay acknowledge vehicles should spend as little time on access drive as possible.
 - d. **Response:** Drivers will not need to exit their vehicle.
 - e. **Response:** Truck or trailer will only need to stop at access drive when the gates are closed after normal business hours (see response #48 C). This stoppage would only be for the time necessary for the gate to open (roughly 30 seconds).

Landscape Comments – Round 3

1. **Response:** Noted: Revised landscape plan included (Exhibit D). Revised plan includes two landscape islands and shade trees at southwest corner of building/parking rows. The requested landscape island with trees west of the truck maintenance garage has been added (Exhibit D & G)
2. **Response:** Noted: Landscape plan (Exhibit D) and (Exhibit A&F) updated per request. Plans include revised fencing spec along property line and mix of salt/shade tolerant landscaping along western side of island.



3. **Response: Noted: Landscape plan (Exhibit D) and civil plan (Exhibit F) updated per request. This plan shows new 10-foot vinyl fence along southern property line. Color to be beige, gray, or clay (Exhibit H).**

Exhibit

- **A – Site Geometric and Paving Plan**
- **B – Site Lighting Plan**
- **C – Truck Access Plan**
- **D – Landscape Plan**
- **E – Truck Routing/Turning Plan**
- **F – Construction Details and Standards**
- **G – Conceptual Site Plan.**
- **H – Fence Color Selection.**

Please contact me directly if any of these responses are insufficient or if any further clarification is required in order to obtain jurisdictional approval.

Sincerely,

Andrew MacMillan
Morgan / Harbour Construction, L.L.C.

1. SIDEWALK RAMPS WITH DETECTABLE WARNINGS (WHERE SHOWN ON PLAN) AND DERESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
2. UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B6.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
3. UNLESS OTHERWISE NOTED, ALL CURB RADI ARE 4' TO BACK OF CURB. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION RECORDING PLAT PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED AUGUST 9, 2017.
4. BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PROJECT. PREPARE CONSTRUCTION AND CONSTRUCTION DETAIL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. IMPROVEMENTS ADJACENT TO BUILDINGS SHALL SHOW SUCH AS BACK YARD, SIDE YARD, FENCING, SIDEWALK CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY—REFER TO ARCHITECTURE PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
6. THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.

1. SIDEWALK RAMPS WITH DETECTABLE WARNINGS (WHERE SHOWN ON PLAN) AND DERESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. (SEE CONSTRUCTION SPECIFICATIONS FOR DETAILS)
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
3. UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B612 COMPLYING CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
4. UNLESS OTHERWISE NOTED, ALL CURB RADII ARE 4' TO BACK OF CURB.
5. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR) PLAT PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED AUGUST 9, 2017.
6. BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY—REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
8. THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
9. UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PARKING STALL (EXCEPT FOR HC) MARKING COLOR IS WHITE. ALL ONSITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH DOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. ACCESSIBLE STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
10. PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALL WITH 3" SQUARE ALUMINUM POSTS WITH A BAKED ON ENAMEL FINISH, SET 30" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.

NEW ASPHALT PAVEMENT—STANDARD

2"– HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
BITUMINOUS TACK COAT (0.05 GAL/SY)
2" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50
BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY)
8" AGGREGATE BASE COURSE CA-6, TYPE B
(INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6,
TYPE B OVER BASINS S-2, S-3, AND S-4.

ASPHALT PAVEMENT—HEAVY DUTY (ONSITE & PUBLIC STREETS)

2"– HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
BITUMINOUS TACK COAT (0.05 GAL/SY)
2 1/4" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50
2 1/4" HOT MIX ASPHALT BINDER COURSE, N30
BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY)
4" AGGREGATE BASE COURSE CA-6, TYPE B
(INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6,
TYPE B OVER BASINS S-2, S-3, AND S-4.
(OR APPROVED ALTERNATE WITH EQUIVALENT STRUCT. NUMBER)

- | | | | |
|--|--|--|---|
| | NEW ASPHALT PAVEMENT—STANDARD | | |
| | 2"- HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 | | 8" PORTLAND CEMENT CONCRETE (4,000 PSI) |
| | BITUMINOUS TACK COAT (0.05 GAL/SY) | | W/ 6"x6" No. 6 WELDED WIRE MESH |
| | 2" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 | | 6" AGGREGATE BASE COURSE CA-6, TYPE B |
| | BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY) | | <u>CONCRETE SIDEWALKS (PUBLIC AND/OR PRIVATE)</u> |
| | 8" AGGREGATE BASE COURSE CA-6, TYPE B | | 15" - PCC SIDEWALK (4,000 PSI) (6" AGGREGATE) |
| | (INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6, | | 4" - AGGREGATE BASE COURSE TYPE B, CA-6 |
| | TYPE B OVER BASINS S-2, S-3, AND S-4. | | |
| | ASPHALT PAVEMENT—HEAVY DUTY (ONSITE & PUBLIC STREETS) | | <u>EXISTING ASPHALT PAVEMENT</u> |
| | 2"- HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 | | |
| | BITUMINOUS TACK COAT (0.05 GAL/SY) | | PROPOSED B6.12 CONCRETE CURB AND GUTTER |
| | 1 1/4" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 | | PROPOSED B6.12 DEPRESSIONED CURB AND GUTTER |
| | 5" HOT MIX ASPHALT BINDER COURSE, N30 | | PROPOSED REVERSE PITCH B6.12 CURB AND GUTTER |
| | BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY) | | EXISTING CURB AND GUTTER |
| | 4" AGGREGATE BASE COURSE CA-6, TYPE B | | EXISTING DEPRESSIONED CURB AND GUTTER |
| | (INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6, | | |
| | TYPE B OVER BASINS S-2, S-3, AND S-4. | | |
| | (OR APPROVED ALTERNATE WITH EQUIVALENT STRUCT. NUMBER) | | |

TOTAL LOT SIZE	=	380,094 S.F. (8.73 AC)
<u>PROPOSED SITE CONDITIONS:</u>		
PROPOSED BUILDING 2 FOOTPRINT	=	54,085 S.F. (14.23%)
TRUCK MAINTENANCE BUILDING	=	3,120 S.F. (0.82%)
PROPOSED PAVT./SIDEWALK	=	270,894 S.F. (71.27%)
PROPOSED GREENSPACE	=	51,995 S.F. (13.68%)
PROPOSED CONDITION IMPERVIOUS AREA	=	328,099 S.F. (7.53 AC)
<u>PROPOSED PARKING SUMMARY:</u>		
REGULAR STALLS	=	42
ADA ACCESSIBLE STALLS	=	2
TOTAL STALLS PROVIDED	=	44 (0.77/1,000 SF)
VAN STALLS	=	73
VAN DOCK LOADING SPACES	=	16
TRAILER STALLS	=	97
TRAILER DOCK LOADING SPACES	=	11

- | | | |
|------------------------------------|---|------------------------|
| TOTAL LOT SIZE | = | 380,094 S.F. (8.73 AC) |
| <u>PROPOSED SITE CONDITIONS:</u> | | |
| PROPOSED BUILDING 2 FOOTPRINT | = | 54,085 S.F. (14.23%) |
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| <u>PROPOSED PARKING SUMMARY:</u> | | |
| REGULAR STALLS | = | 42 |
| ADA ACCESSIBLE STALLS | = | 2 |
| TOTAL STALLS PROVIDED | = | 44 (0.77/1,000 SF) |
| VAN STALLS | = | 73 |
| VAN DOCK LOADING SPACES | = | 16 |
| TRAILER STALLS | = | 97 |
| TRAILER DOCK LOADING SPACES | = | 11 |

EX	=	EXISTING
PR	=	PROPOSED
BC	=	BACK OF CURB
FC	=	FACE OF CURB
EP	=	EDGE OF PAVEMENT
PL	=	PROPERTY LINE
FB	=	FACE OF BUILDING
EC	=	EDGE OF CONCRETE
RW	=	RETAINING WALL
ROW	=	RIGHT OF WAY
BC/BC	=	BACK OF CURB TO BACK OF CURB
SW	=	SIDEWALK
R	=	RADIUS
(Typ)	=	TYPICAL
DW	=	DEMISING WALL

- | | | |
|-------|---|------------------------------|
| EX | = | EXISTING |
| PR | = | PROPOSED |
| BC | = | BACK OF CURB |
| FC | = | FACE OF CURB |
| EP | = | EDGE OF PAVEMENT |
| PL | = | PROPERTY LINE |
| FB | = | FACE OF BUILDING |
| EC | = | EDGE OF CONCRETE |
| RW | = | RETAINING WALL |
| ROW | = | RIGHT OF WAY |
| BC/BC | = | BACK OF CURB TO BACK OF CURB |
| SW | = | SIDEWALK |
| R | = | RADIUS |
| (Typ) | = | TYPICAL |
| DW | = | DEMISING WALL |

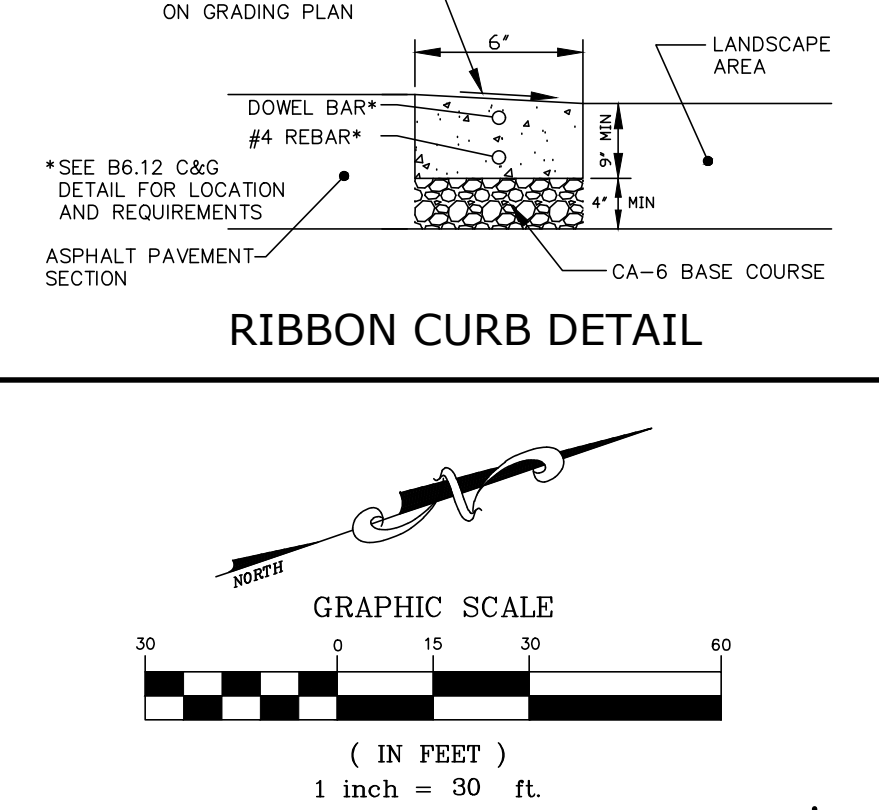
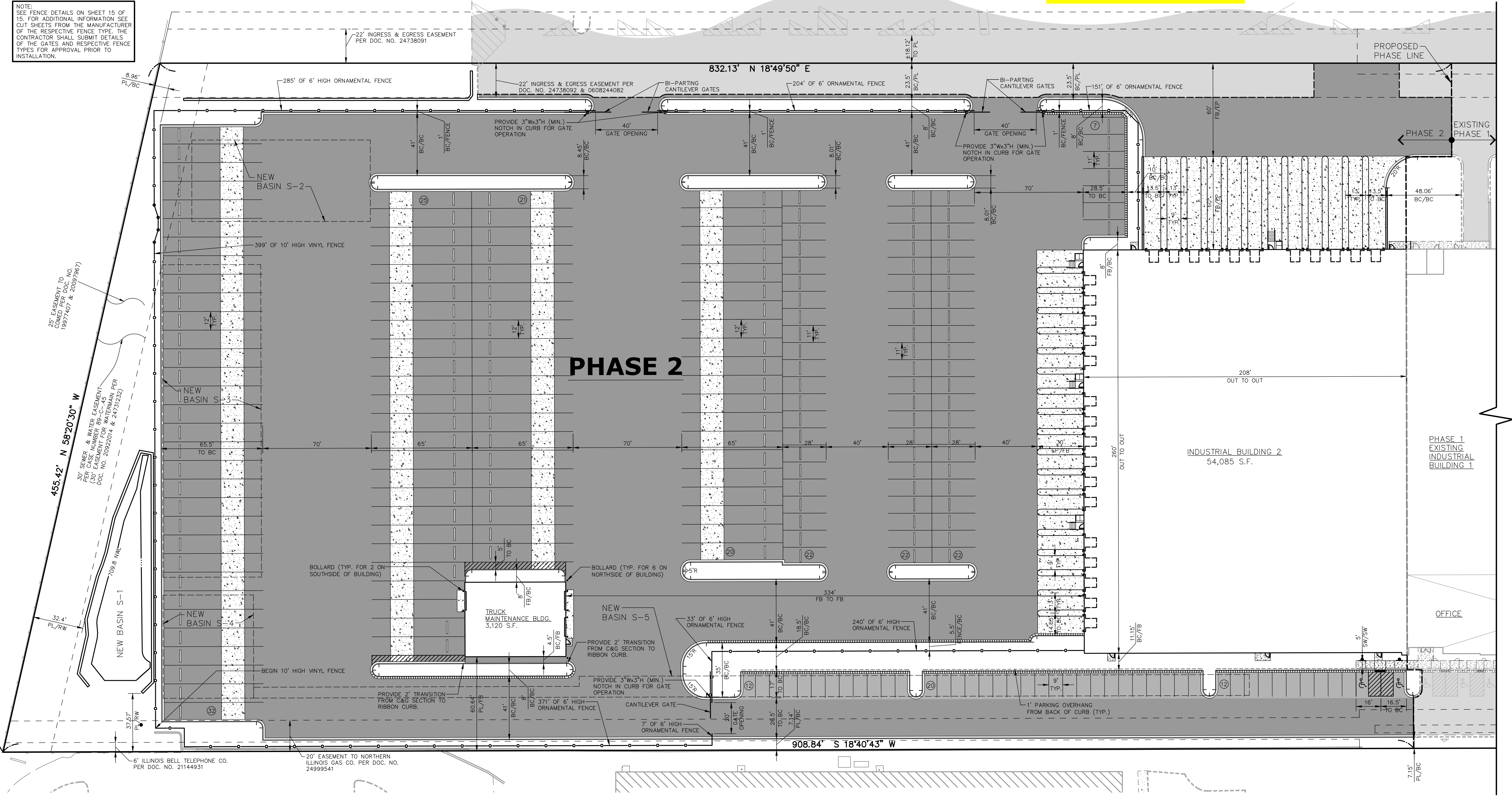


Exhibit A



ARLINGTON HEIGHTS, ILLINOIS
HAMILTON PARK IN ARLINGTON HEIGHTS INDUSTRIAL
SITE GEOMETRIC & PAVING PLAN - PHASE 2 (FRITO-LAY)

975 E. 22nd St, Suite 400
Wheaton, IL 60189
630.480.7889
www.rwg-engineering.com

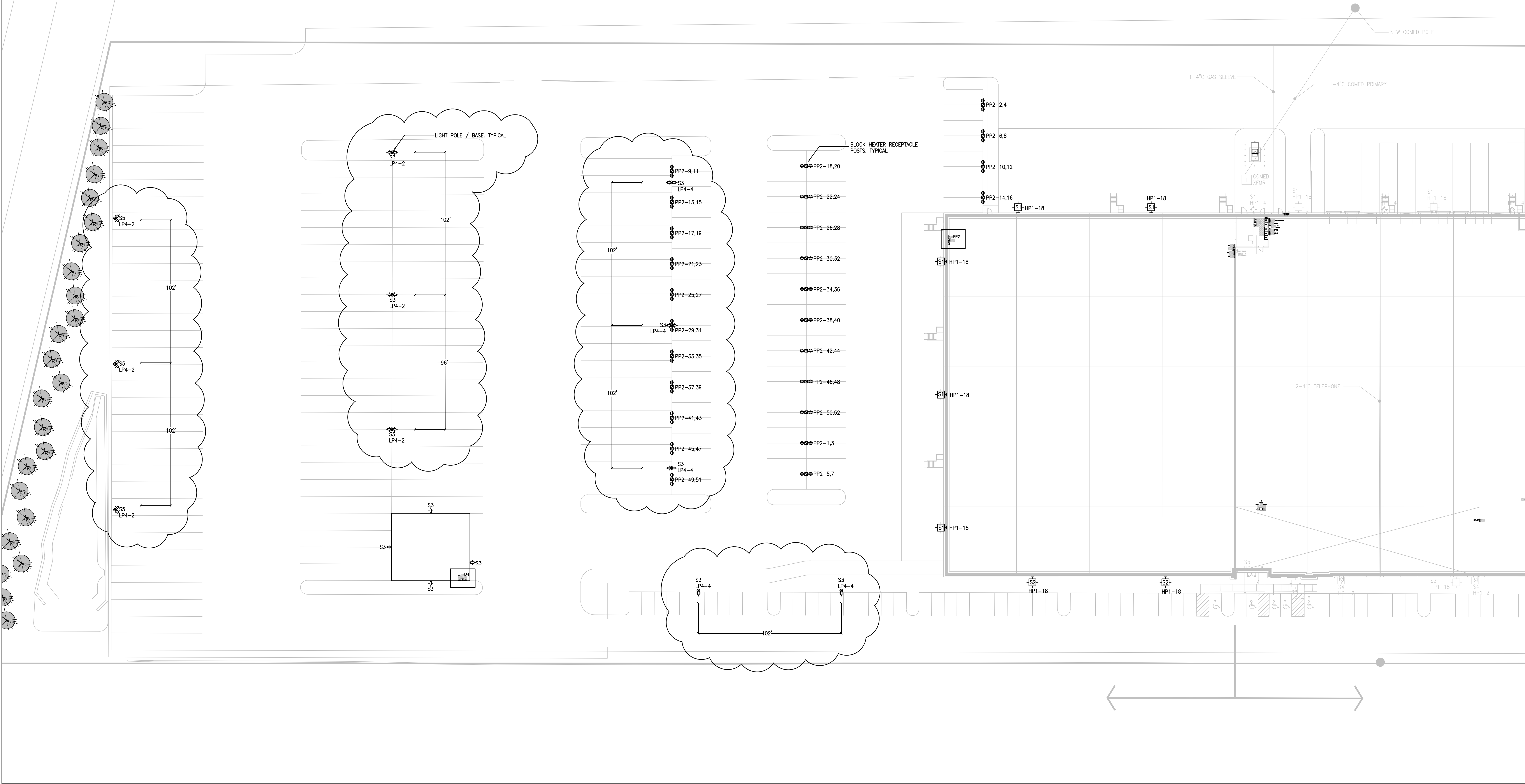
Engineering, LLC

PROJECT NO. 56412720
DATE 01/15/20
SCALE 1"=30'
DJ. MGR. PDL
DJ. ASSOC. RWG
DRAWN BY TLM

SHEET

5 OF 15

Exhibit B



SITE LIGHTING PLAN

SCALE: 1"=30'

- NOTES:
- ALL LIGHT FIXTURES TO BE FLAT BOTTOM, SHARP CUT-OFF.
 - SITE LIGHTING TO BE PHOTOCELL ON / TIMECLOCK OFF.
 - ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED 28" AFG.
 - WALL MOUNT FIXTURES TO BE CENTER IN PRECAST PANELS. COORDINATE FINAL LOCATION AND HEIGHT WITH ARCHITECTURAL DRAWINGS.
 - COORDINATE LIGHT POLE LOCATIONS WITH CIVIL.
 - POLE BASES TO BE 4' ABOVE GRADE.
 - ALL SITE LIGHTING TO BE 277V AND FED FROM MAINTENANCE BUILDING PANEL LP4.
 - SEE DETAIL FOR BLOCK HEATER RECEPTACLE POSTS. VERIFY FINAL LOCATIONS.



REV.	DATE	PURPOSE	BY
1	01-04-21	ISSUED FOR PERMIT	MT
2	02-04-21	ROUND 3 COMMENTS	MT

REVISIONS

PROJECT INFORMATION:

FRITO LAY

703 WEST ALGONQUIN ROAD
UNIT 103
ARLINGTON HEIGHTS, IL 60005

DRAWING DESCRIPTION:

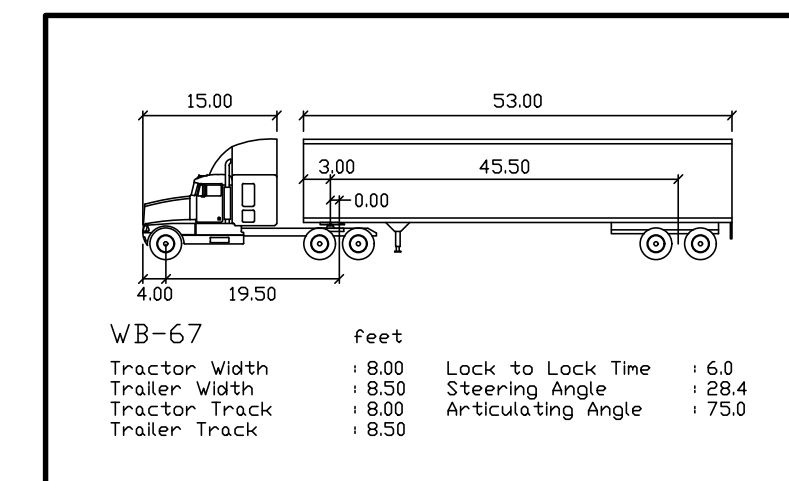
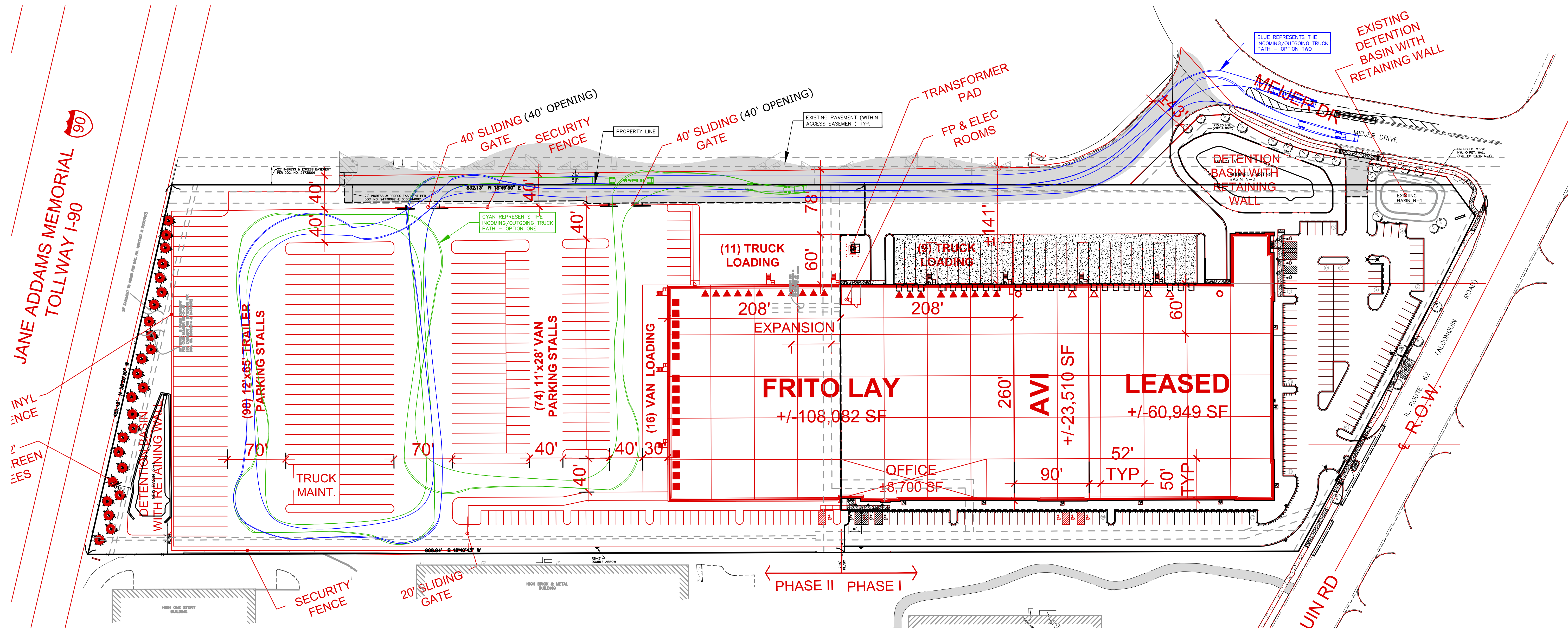
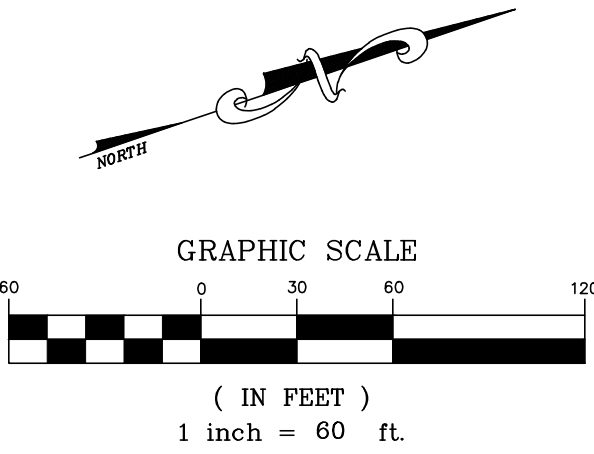
SITE LIGHTING PLAN



A DIVISION OF TRL COUNTY ELECTRIC
1143 N. MAIN STREET
LOMBARD, IL 60148
PH: 630-629-8050 FAX: 630-629-8089

SCALE: NA	JOB #: —
DATE: 10-21-2020	HEC DRAWING #:
DRAFTER: MT	SE-100
ENGINEER: —	

Exhibit C

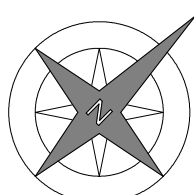


KEY

	ENTERING/LEAVING - TRUCK PATH (CYAN) (WB-67 DESIGN VEHICLE) - OPTION ONE
	ENTERING/LEAVING - TRUCK PATH (BLUE) (WB-67 DESIGN VEHICLE) - OPTION TWO



High Branched



SCALE: 1"=30'

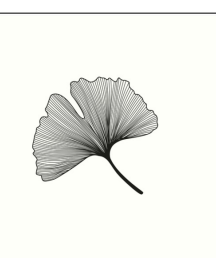
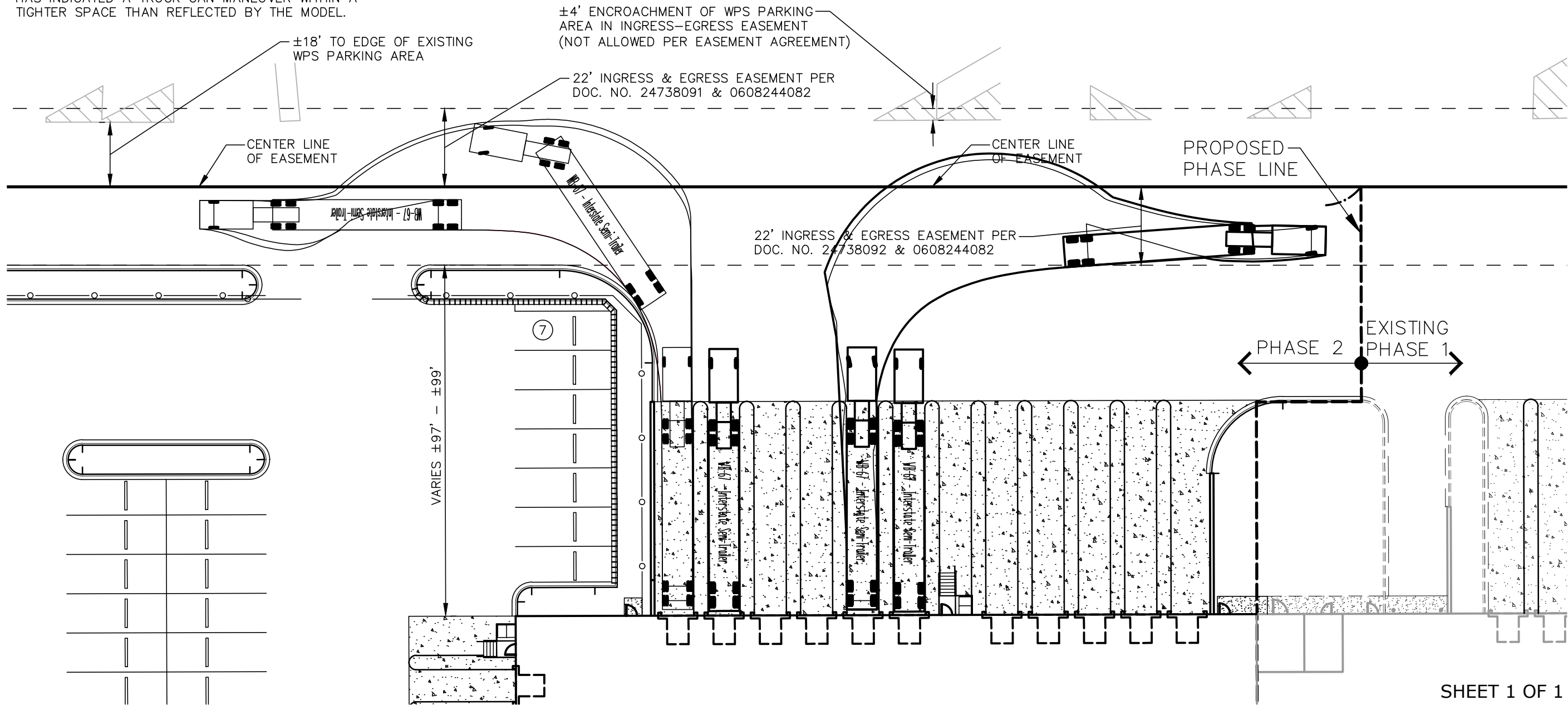


Exhibit E

NOTE: EXHIBIT REFLECTS A WORST CASE CONDITION WITH A CONSERVATIVE DESIGN MODEL. FIELD EXPERIENCE HAS INDICATED A TRUCK CAN MANEUVER WITHIN A TIGHTER SPACE THAN REFLECTED BY THE MODEL.



SHEET 1 OF 1

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Engineering, LLC

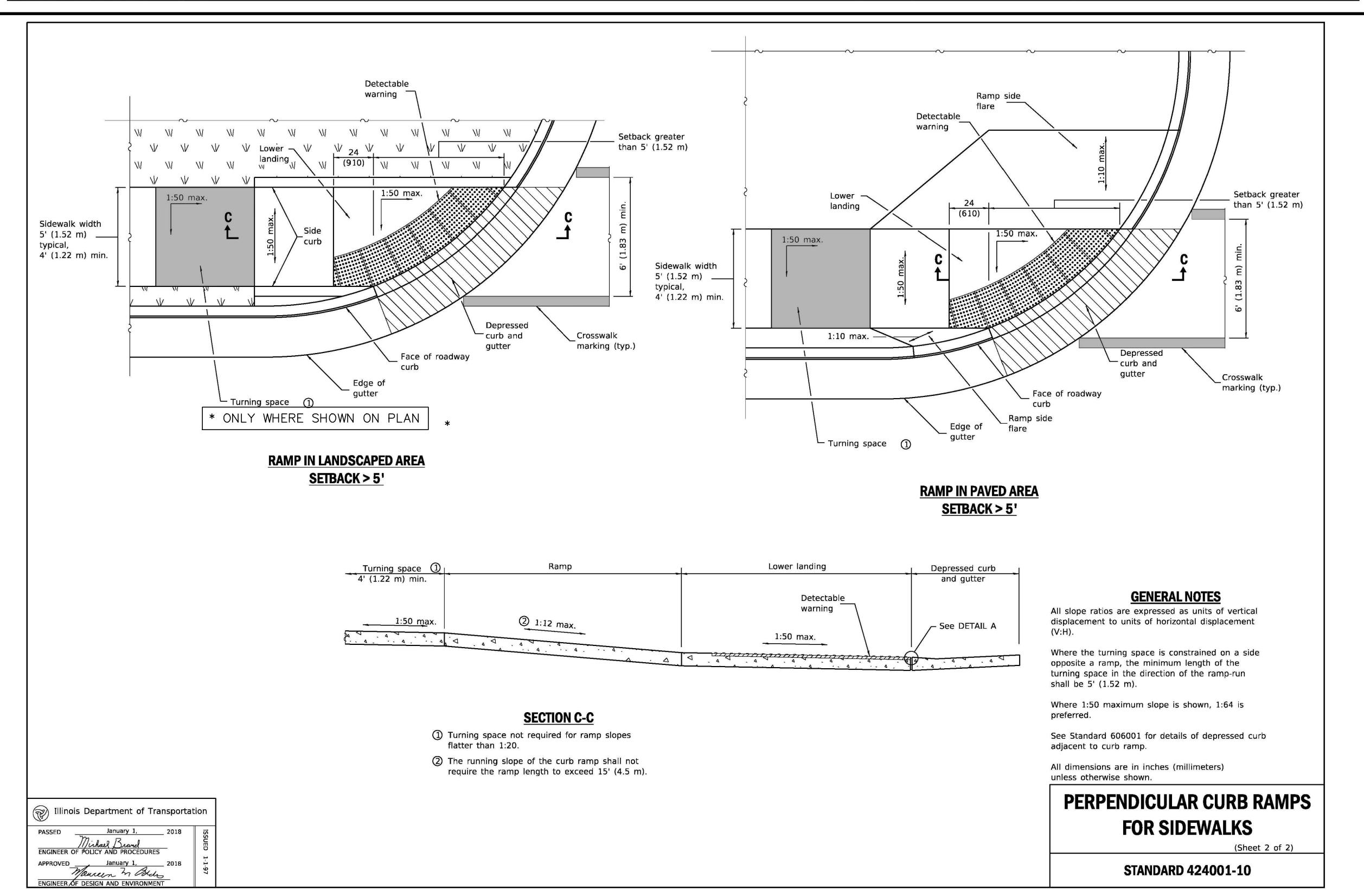
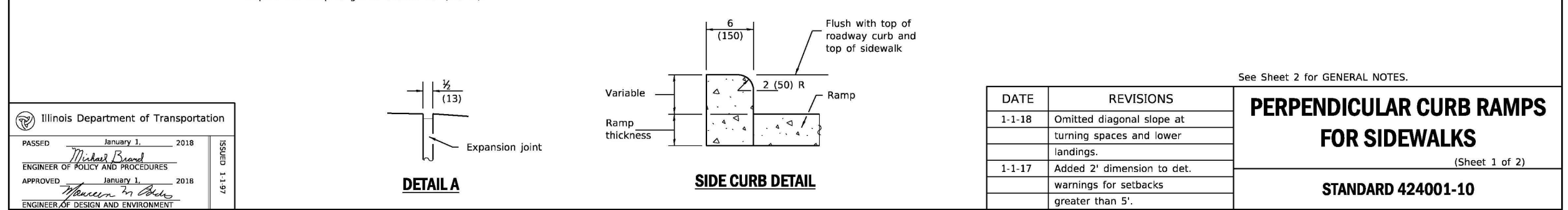
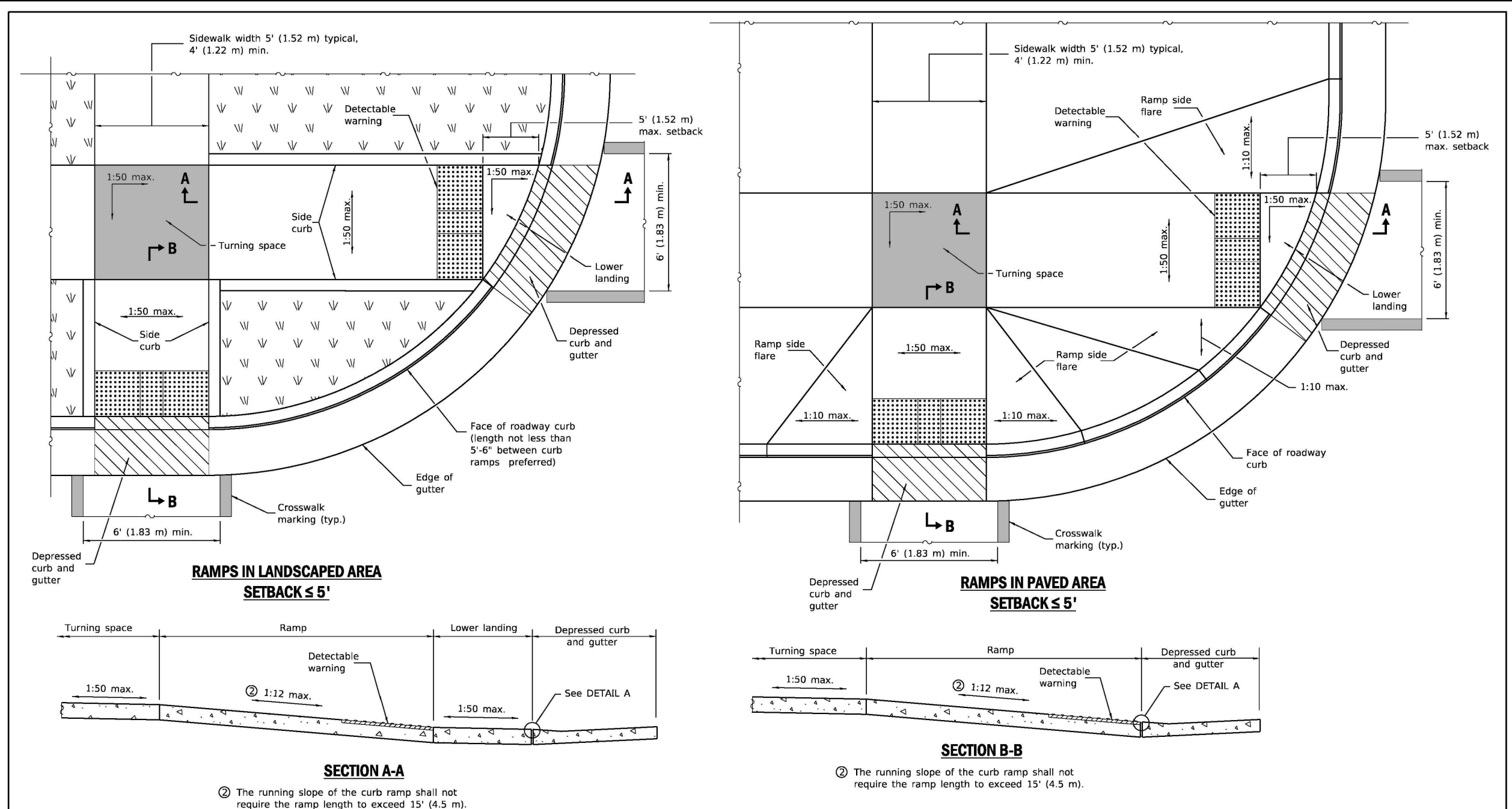
Civil Engineering ♦ Real Estate Consulting ♦ Project Management

975 E. 22nd St, Suite 400
Wheaton, IL 60189
630.480.7889

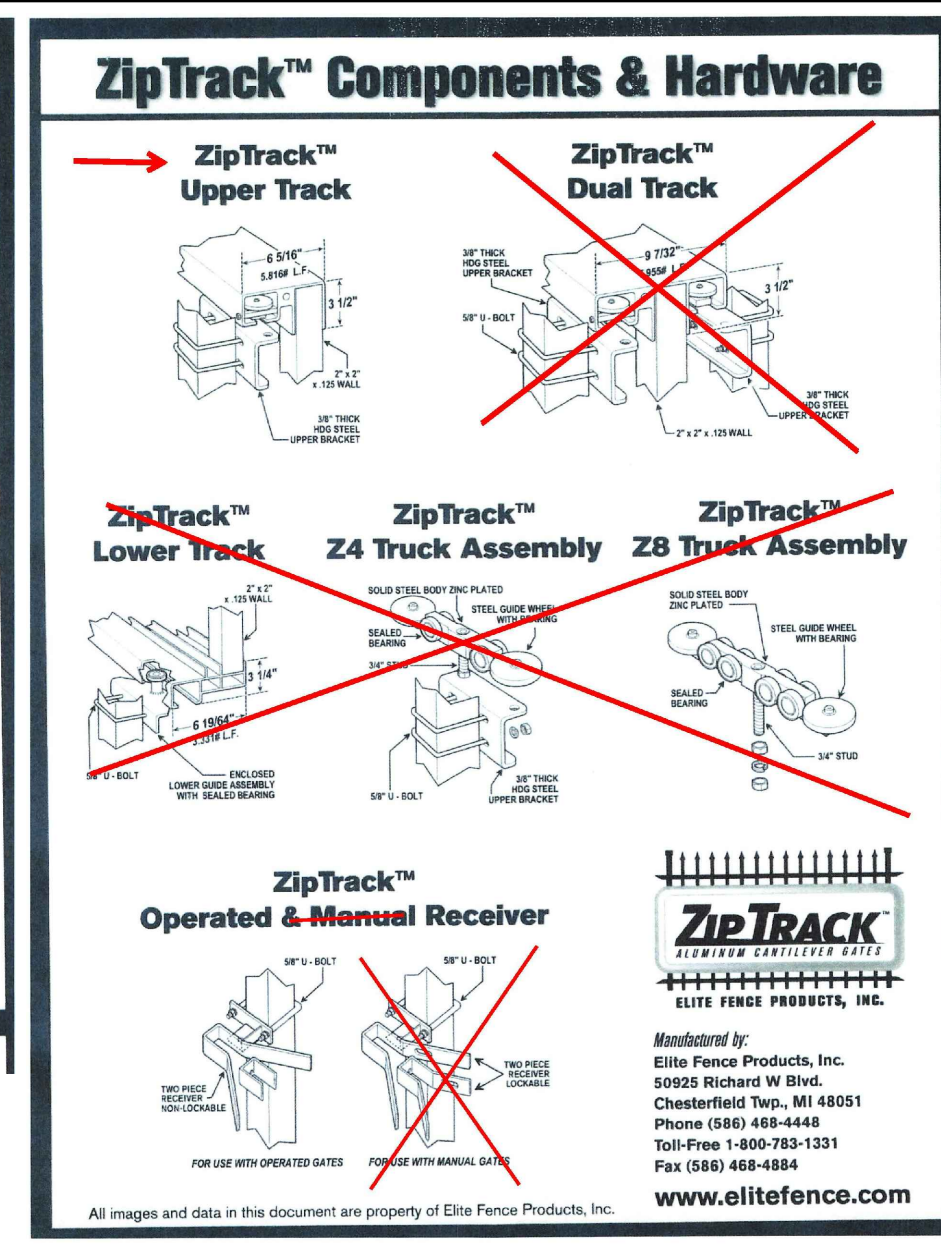
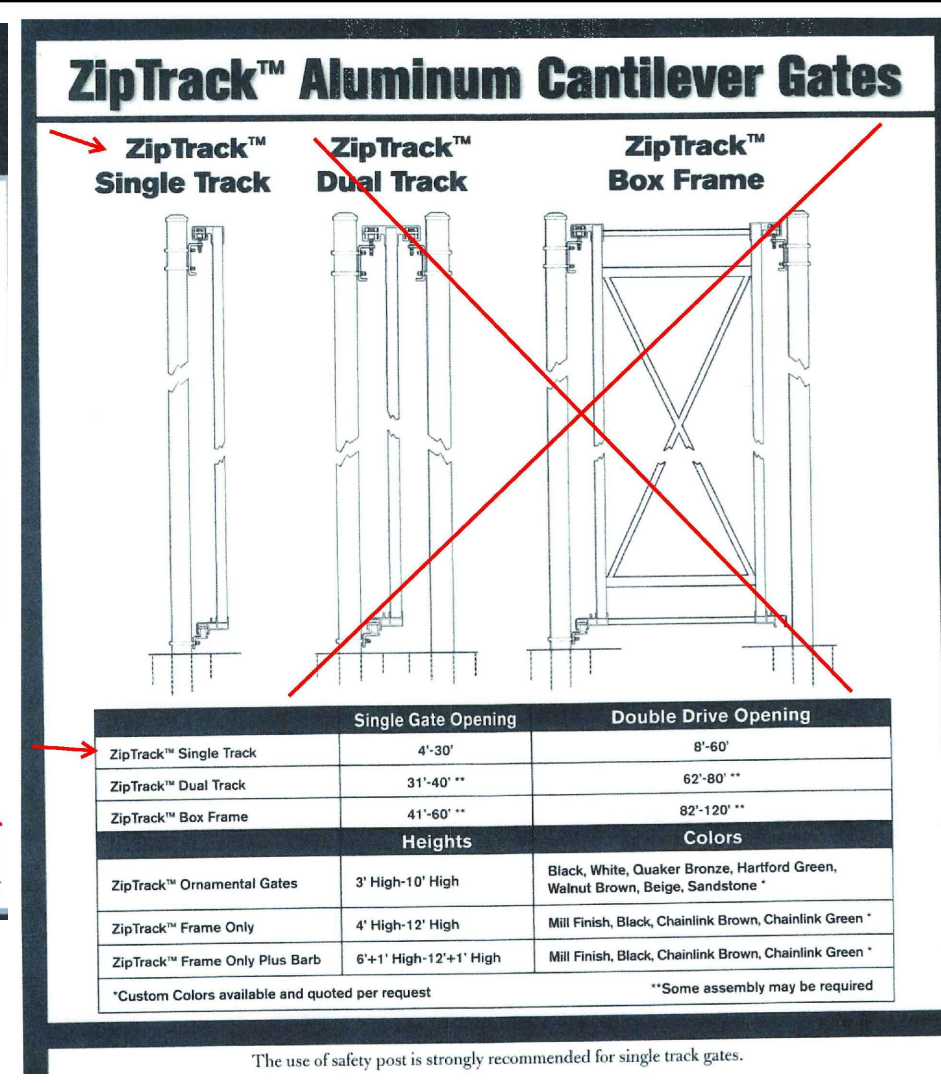
www.rwg-engineering.com

ARLINGTON HEIGHTS INDUSTRIAL
ARLINGTON HEIGHTS, ILLINOIS
TRUCK ROUTING EXHIBIT

PROJECT NO. 56412720
DATE 02/05/21
SCALE 1"=30'
PROJ. MGR. PDL
PROJ. ASSOC. RWG



	Residential	Avaniche Series™	Commercial	Industrial/Heavy Ind.
Post	2 1/2" x 2.00 mil	2 1/2" x 2.00 mil	2 1/2" x 2.00 mil	2 1/2" x 2.00 mil
Horizontal Rails	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil
Enclosed Bottom	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil
Top Rails	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil	1 1/2" x 1 1/2" x 1.50 mil
Picket Spacing	24" on center	24" on center	24" on center	24" on center
Panel Length	8' 0" or 16' 0"	8' 0" or 16' 0"	8' 0" or 16' 0"	8' 0" or 16' 0"



Test Parameter	AAMA 2603 (Competitor)	AAMA 2604 (Elite Fence Products)
Pre-treatment	Aluminum Cleaning and Pre-treatment	Multi-Stage Cleaning and Pre-treatment
Pre-treatment Coating Weight	None Specified	Chromate or Non-Chromate Chemical Conversion Coating
Dry Film Thickness	0.4 MIL Min.	1.2 MIL (for Multi-Coat, 1.0 mil Topcoat Min & 0.3 +/- 0.1 mil Primer)
Sealant Compatibility	Meets AAMA 800	Meets AAMA 800
Sealant Curing	+/- 5 Units of Specification (High = 80, Low = 20)	+/- 5 Units of Specification (High = 80, Low = 20)
Dry Film Adhesion	0% Failure (No Loss)	0% Failure (No Loss)
Wet Adhesion	0% Failure (No Loss)	0% Failure (No Loss)
Impact Resistance	No Removal of Film from Substrate	No Removal of Film from Substrate
Adhesion Resistance	No Removal of Film from Substrate	No Removal of Film from Substrate
Humidity Resistance	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10
Corrosion Resistance	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10
Soil Spray Resistance	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10
Accelerated Exposure	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10
Outdoor Exposure	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10	1500 Hours of Salt Solution Minimum Rating of 7 on Scale of 0 to 10

6' ORNAMENTAL FENCE DETAILS

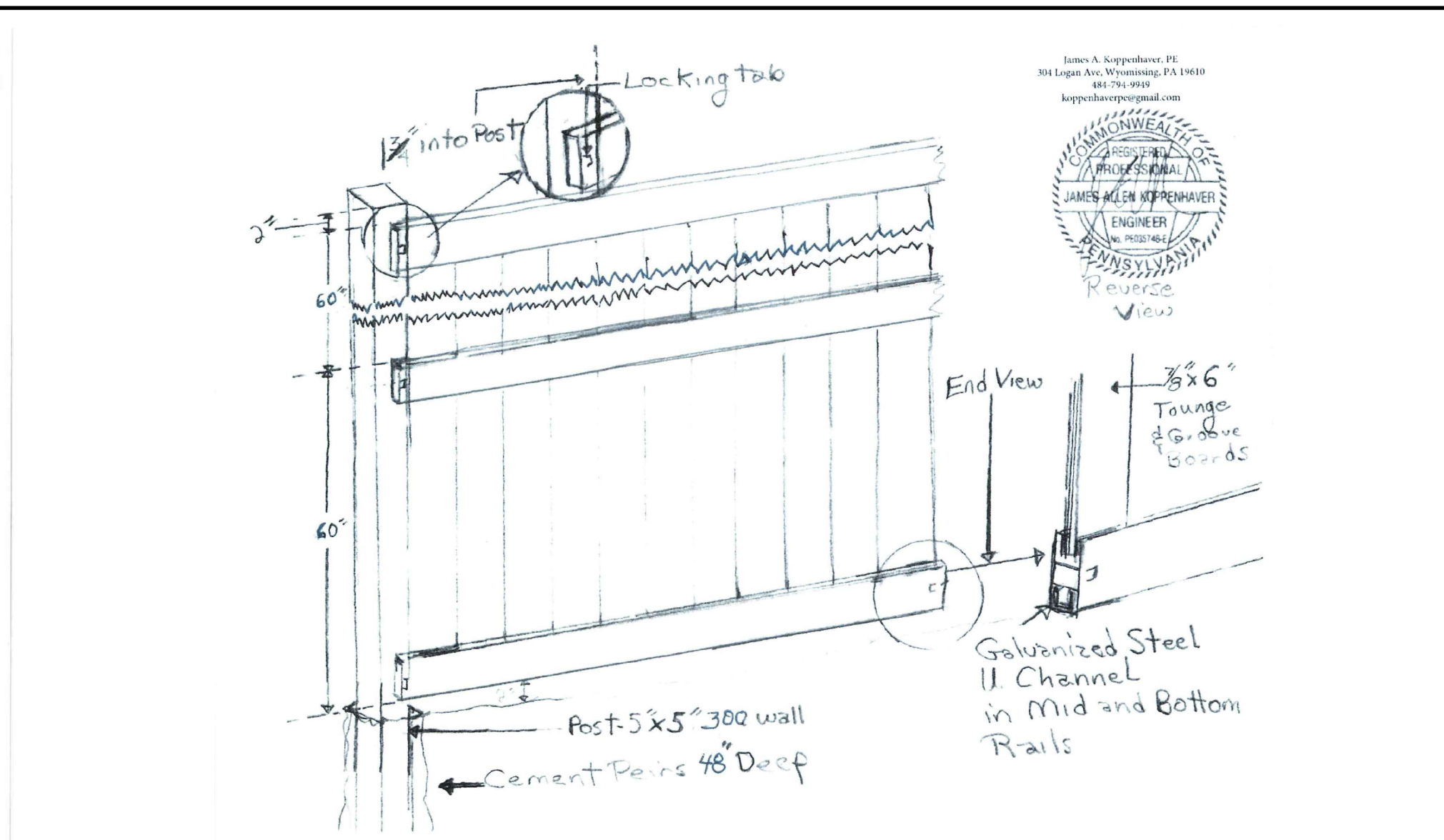
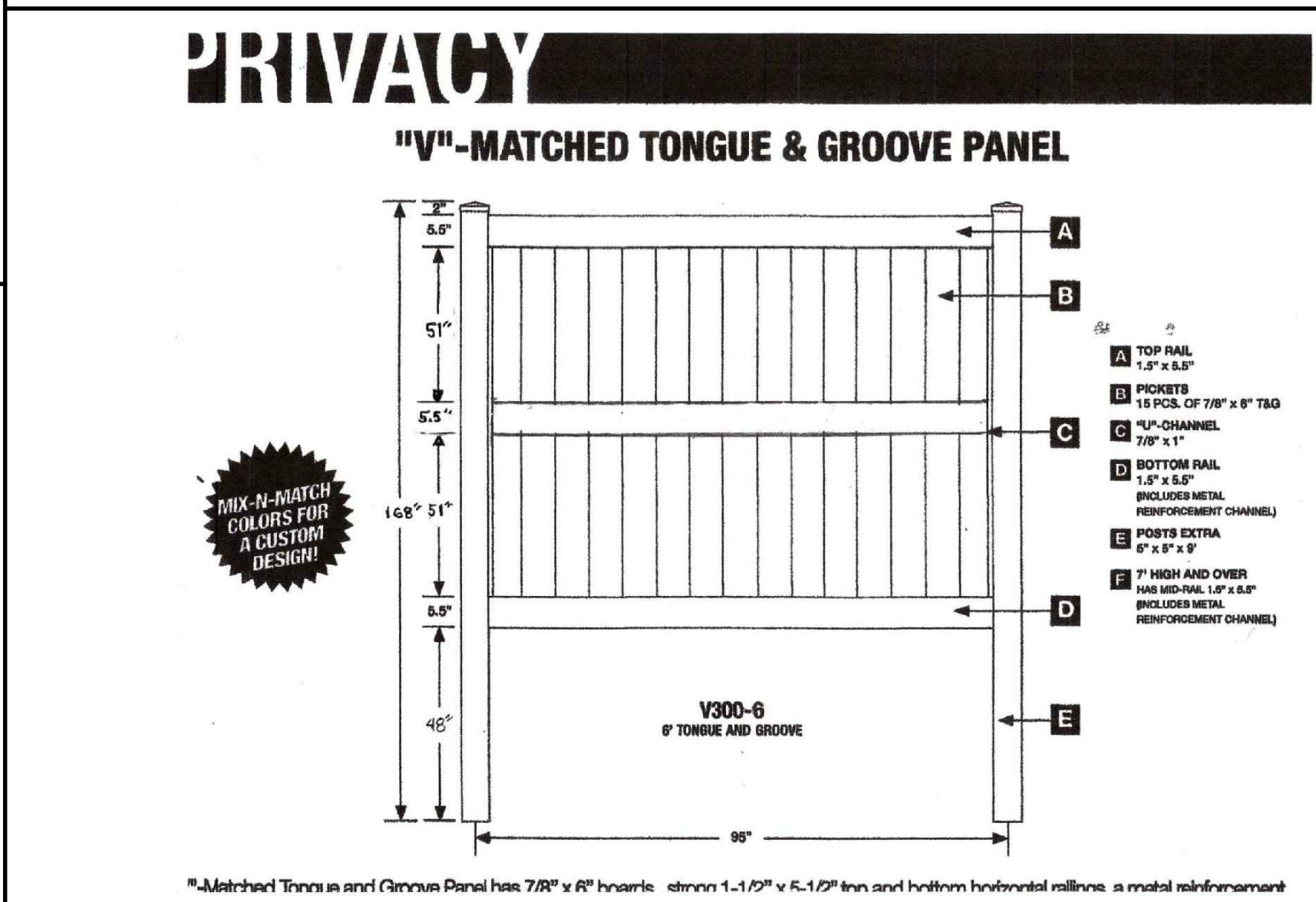


Exhibit F

FENCE NOTES/SPECIFICATIONS:

1. THE 6' ORNAMENTAL FENCE IS TO BE AN ELITE FENCE PRODUCTS, INC. COMMERCIAL ALUMINUM FENCE SYSTEM. DESIGN TYPE EFF-20. POWDER COATED IN ACCORDANCE WITH AAMA 2604. OR AN APPROVED EQUAL FENCE SYSTEM. GATES SHALL BE A ZIP-TRACK SINGLE TRACK ALUMINUM CANTILEVER SLIDE GATE. GATE FILLER MATERIAL SHALL MATCH THE 6' ORNAMENTAL ALUMINUM FENCE.

2. THE 10' VINYL FENCE SHALL BE A V-MATCHED TONGUE & GROOVE PANEL, AS NOTED ON DETAILS (OR AN APPROVED EQUAL). COLOR TO BE BEIGE, GRAY, OR CLAY.

3. THE CONTRACTOR SHALL SUBMIT TO THE OWNER/OWNER'S REPRESENTATIVE DETAILED INFORMATION AND SHOP DRAWINGS OF THE PRODUCT CHOSEN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

Exhibit G

PROJECT DATA:			DEVELOPMENT STANDARDS:	
SITE AREA:			ZONING:	M-2
GROSS:			15.41 AC	
			671,453 SF	MAX. F.A.R.:
				2.50
DETENTION:			@ 3%	22,964 SF
NET:			14.89 AC	BUILDING SETBACKS:
			648,489 SF	FRONT:
				15 FT
BUILDING AREA:				SIDE:
				10 FT
EXISTING BUILDING (PH 1)			138,650 SF	REAR:
PROPOSED EXPANSION (PH 2)			54,080 SF	15 FT
TOTAL FOOTPRINT:			192,730 SF	OFF-STREET PARKING:
				WIDTH:
				9 FT
				LENGTH:
				18 FT
				VERTICAL:
				7 FT
				DRIVE AISLE:
				24 FT
				OVERHANG:
				1.5 FT
TENANT DATA:				
EXISTING VACANT AREA:			53,506 SF	
PROPOSED EXPANSION:			54,080 SF	
TOTAL TENANT AREA:			107,586 SF	REQ. PARKING RATIO BY USE:
				WAREHOUSE:
				1/2 EMP
				OFFICE:
				1/300 SF
NOTES:				
1 OR 10%, WHICHEVER IS LESS				
▲	48" HIGH TRUCK DOCK DOORS	11		
■	28" HIGH VAN LOADING DOORS	16		
○	GRADE-LEVEL DOORS	1		
TOTAL AUTO PARKING		190 STALLS		
		@1.77/1000 SF		
REQ. ACCESSIBLE		6 STALLS		
12'X65' - TRAILER STALLS		97 STALLS		
11'X28' - VAN STALLS		73 STALLS		



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design:
AVERAGE REGIONAL REQUIRED
PROVIDED

Boundary Source:
GIS MAP & AERIAL IMAGE

COLOR OPTIONS

Classic Series

Looking for something
simple and timeless?
Check out your 4 Illusions
"Classic" color options.
White, Beige, Gray, and Clay.



CLASSIC WHITE



CLASSIC BEIGE



CLASSIC GRAY

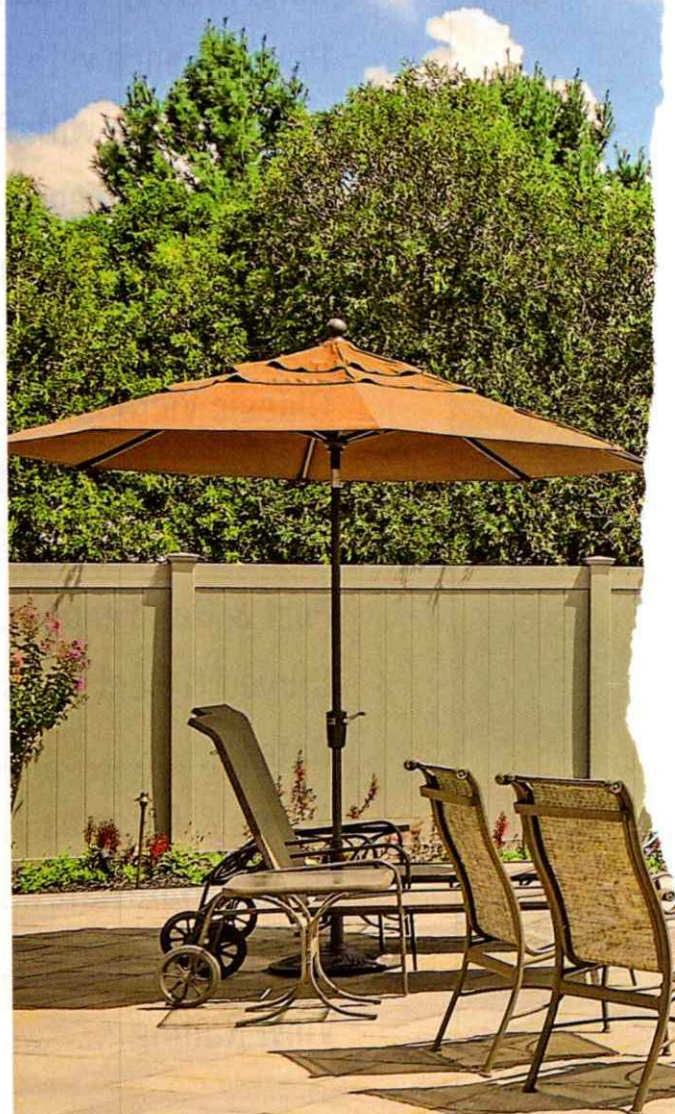


CLASSIC CLAY (NEW!)

ALL COLORS SHOWN ARE APPROXIMATE.
SEE PHYSICAL SAMPLE FOR ACTUAL COLOR.



Exhibit H



QuickShip V300-6CL
6' Height Tongue and Groove
panels with 7/8" x 6" boards,
1-1/2" x 5-1/2" top and
bottom horizontal rails, a metal
reinforcement channel in the
bottom rail, and 7/8" x 1"
U-Channel edgings to add a
unique and attractive aesthetic.
Shown in the color Classic Clay
(NEW FOR 2018).