

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF ARLINGTON HEIGHTS

ORDINANCE NO. 2021- _____

AN ORDINANCE AMENDING
AN APPROVED PLANNED UNIT DEVELOPMENT
FOR THE PROPERTY AT 703-709 AND 715-723 ALGONQUIN ROAD

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF ARLINGTON HEIGHTS
THIS ____ DAY OF _____, 2021.

AN ORDINANCE AMENDING
AN APPROVED PLANNED UNIT DEVELOPMENT
FOR THE PROPERTY AT 703-709 AND 715-723 ALGONQUIN ROAD

WHEREAS, Arlington Heights I LLC (“*Applicant*” or “*Petitioner*”) is the owner of record of that certain property located in the Village’s M-2 Limited Heavy Manufacturing District (“*M-2 District*”), commonly known as 703-709 and 715-723 Algonquin Road, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance (“*Property*”); and

WHEREAS, on May 21, 2018, the Village Board of Trustees adopted Ordinance No. 18-014, approving a planned unit development for the Property and a preliminary plat of subdivision for the Property, subject to certain conditions (“*PUD Ordinance*”); and

WHEREAS, the PUD Ordinance permits the development of the Property in two phases as a 331,000-square-foot warehousing and distribution facility (“*Facility*”), in which Phase I consisted of a new 138,650-square-foot building on the northern portion of the Property, and Phase II consisted of a subsequent addition to the south side of the Phase I building (collectively, the “*Approved Planned Development*”); and

WHEREAS, Section 1 of the PUD Ordinance requires that the Approved Planned Development on the Property must be developed, used, and maintained in substantial accordance with those plans identified in Section 1 of the PUD Ordinance (collectively, the “*Site Plan*”); and

WHEREAS, the Phase I portion of the Approved Planned Development was completed in 2019 and is now occupied by three tenants, but the Phase II addition has not been completed; and

WHEREAS, in order to address the evolving needs of tenants at the Property, the Applicant now desires to amend the Approved Planned Development and the Site Plan to: (i) reduce the size of the Phase II addition to approximately 54,000 square feet; (ii) provide an area for exterior parking, storage, and maintenance of trucks, trailers, and vans, and including an accessory structure to be used for certain types of routine vehicle maintenance for trucks and vans stored on site (“*Maintenance Structure*”) and (iii) provide additional van loading berths at the Facility (collectively, the “*Amended Development*”); and

WHEREAS, the Applicant has filed an application with the Village to amend the PUD Ordinance to incorporate the Amended Development, along with all zoning relief necessary to permit the Amended Development on the Property; and

WHEREAS, the Village has determined that the Amended Development will require certain amendments and zoning relief, including those certain Amended Site Plan Documents, as set forth in Section 3 of this Ordinance, those variations from “The 2002 Comprehensive Amendment of the Zoning Ordinance of the Village of Arlington Heights,” as amended (“*Zoning Code*”), as set forth in Section 4 of this Ordinance (collectively, the “*Variations*”), and those modifications and additions to the conditions provided in the PUD Ordinance, as set forth in Section 5 of this Ordinance (“*Amended Conditions*”) (collectively, the Amended Development, Variations, Amended Conditions, and Amended Site Plan Documents are the “*Proposed Amendments*”); and

WHEREAS, a public hearing of Plan Commission of the Village to consider the Proposed Amendments was duly advertised in the Daily Herald on February 9, 2021, opened on February 24, 2021, and concluded on February 24, 2021; and

WHEREAS, on February 24, 2021, the Plan Commission recommended that the Board of Trustees approve the Proposed Amendments, subject to certain conditions; and

WHEREAS, the Board of Trustees has determined that the Proposed Amendments comply with the required standards for planned unit developments as set forth in Sections 9-1 through 9-13 of the Zoning Code; and

WHEREAS, consistent with the Plan Commission recommendation, the Board of Trustees has determined that it will serve and be in the best interests of the Village and its residents to approve the Proposed Amendments to the Approved Planned Development for the Property, in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF AMENDMENTS TO PLANNED UNIT DEVELOPMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section Five of this Ordinance, the Village Board hereby approves the Proposed Amendments to the Approved Planned Development for the Property, in accordance with, and pursuant to, Section 9-11 of the Zoning Code and the home rule powers of the Village.

SECTION 3. APPROVAL OF AMENDED SITE PLAN DOCUMENTS.

A. Approval of Amendments. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section Five of this Ordinance, the Village Board hereby amends the Site Plan for the Approved Planned Development, as previously amended, to include the following documents, attached as Exhibit B: (collectively, the “*Amended Site Plan Documents*”):

The following plans prepared by Ware Macomb:

1. **Conceptual Site Plan**, dated February 9, 2021, consisting of page 2;
2. **Conceptual Design-Southeast Perspective**, dated February 9, 2021, consisting of page 3;
3. **Conceptual Exterior Elevations**, dated February 9, 2021, consisting of page 4;
4. **Conceptual Floor Plan**, dated February 9, 2021, consisting of page 5;
5. **Conceptual Design-Northwest Truck Maintenance Perspective**, dated February 9, 2021, consisting of page 6; and
6. **Conceptual Truck Maintenance Plan and Exterior Elevations**, dated February 9, 2021, consisting of page 7;

The following plans prepared by RWG Engineering, LLC:

7. **Site Geometric & Paving Plan – Phase 2 (Frito Lay)**, dated January 15, 2021 with revisions through February 9, 2021, consisting of sheet 5 of 15;
8. **Existing Conditions Plan - Phase 2 (Frito Lay)**, dated January 15, 2021, consisting of sheet 2 of 15;
9. **Grading Plan-Phase 2 (Frito-Lay)**, dated January 15, 2021 with revisions through February 9, 2021, consisting of sheet 8 of 15;
10. **Utility Plan-Phase 2 (Frito-Lay)**, dated January 15, 2021 with revisions through February 9, 2021, consisting of sheet 10 of 15;
11. **Construction Details and Standards – Phase 2 (Frito-Lay)**, dated January 15, 2021 with revisions through February 9, 2021, consisting of sheet 15 of 15;
12. **Truck Routing Exhibit**, dated February 5, 2021, consisting of 1 sheet;
13. **Existing Ingress/Egress Easement Striping Exhibit**, dated February 5, 2021, consisting of sheet 1 of 1;
14. **Fire Truck Maneuvering Exhibit-Phase 2 (Frito-Lay)**, dated February 19, 2021, consisting of sheet 1 of 1;
15. **Truck Access Exhibit-Phase 2 (Frito Lay)**, dated February 19, 2021, consisting of sheet 1 of 1; and
16. **Drainage Area Exhibit-Phase 2 (Frito-Lay)**, dated January 15, 2021 with revisions through February 9, 2021, consisting of sheet 1 of 1;

The following plans prepared by Hinsdale Lighting Co.:

17. **Site Lighting Plan**, dated October 21, 2020 with revisions through February 4, 2021, consisting of sheet SE-100;
18. **Site Lighting Photometric Plan**, dated October 21, 2020 with revisions through February 4, 2021, consisting of sheet SE-100P; and
19. **Details**, dated October 21, 2020 with revisions through January 11, 2021, consisting of sheet SE-101;

The following plan prepared by Dowden Design Group:

20. **Landscaping Plan**, dated November 9, 2020 with revisions through February 9, 2021, consisting of sheets L-101, L-102 and L-103,

- B. Conflicts. In the event that any of the Amended Site Plan Documents conflict with the plans and documents identified in the PUD Ordinance or the Site Plan, the Amended Site Plan Documents control.

SECTION 4. APPROVAL OF VARIATIONS. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section Five of this Ordinance, the Village Board hereby grants the

following additional variations from the Zoning Code for the Approved Planned Development, in accordance with, and subject to, Section 9-5 of the Zoning Code and the home rule powers of the Village:

- A. Rear Parking Setback. A variation from Section 5.1-16.2(c) of the Zoning Code to reduce the parking setback from the rear property line of the Property, from 15 feet to eight feet and nine inches.
- B. Accessory Structure Maximum Height. A variation from Section 6.5-6 of the Zoning Code to increase the permitted accessory structure maximum height on the Property, from 18 feet to 24 feet, to provide for the construction of the Maintenance Structure pursuant to the Amended Site Plan Documents.
- C. Accessory Structure Maximum Size. A variation from Section 6.5-7(a) of the Zoning Code to increase the permitted accessory structure maximum size on the Property, from 720 square feet to 3,120 square feet, to provide for the construction of the Maintenance Structure pursuant to the Amended Site Plan Documents.
- D. Permitted Fence Height. A variation from Section 6.13-3(b) of the Zoning Code to increase the permitted fence height in the rear yard of the Property, from 6 feet to 10 feet.
- E. Landscaped Parking Islands. A variation from Section 6.15.1-2(b) of the Zoning Code to waive the requirement to install landscaped parking islands on the Property.

SECTION 5. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Code or any other rights the Applicant may have, the approvals granted in Sections Two, Three, and Four of this Ordinance are hereby expressly subject to and contingent upon the redevelopment, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. Amended PUD Ordinance Conditions. The following conditions set forth in Section 3 of the PUD Ordinance are amended as set forth in this Section 5.A. Any condition set forth in the PUD Ordinance that is not expressly amended in this Section 5.A remains in full force and effect (additions are in **bold underline** and deletions are ~~struck through~~):

“Site Plan

* * *

~~4. The Petitioner shall revise the site plan to incorporate greenspace and a shade tree within the parking lot island located at the southwest corner of the Phase II building.~~

~~5. The Petitioner shall revise the site plan to remove the two parking spaces in the southwest corner of the site that encroach into the shared access drive easement.~~

Outlot A:

6. The Petitioner shall take the following actions relative to Outlot A:

- a. **Pursuant to condition number 6 of Ordinance 02-094, the**

Petitioner shall accept ownership and maintenance responsibilities for Outlot A, upon the deeding of ownership of Outlot A to the Petitioner.

~~If ownership of Outlot A has been transferred to Petitioner prior to Final Plat of Subdivision approval, the Petitioner shall incorporate Outlot A within the subdivision area.~~

* * *

- B. Maintenance Structure and Vehicle Repairs. Vehicle repairs on the Property are considered an ancillary use of the Property and are limited only to minor automotive repairs (e.g. routine maintenance, oil changes) of vans and trucks stored on the Property that are conducted entirely within the Maintenance Structure. No other vehicles may be repaired on the Property. All overhead doors of the Maintenance Structure must be kept closed while repair operations are occurring.
- C. Gated Parking Area. Any tenants or other authorized persons using the gated parking area on the Property (as depicted in the Amended Site Plan Documents) must operate and use the parking gates as presented in the Amended Site Plan Documents and in a manner that does not impact the operation and use of, or otherwise create conflicts with, the shared parking drive aisle.
- D. Landscaped Island. The Applicant must provide and install, at the Applicant's sole cost and expense and only if required by the current owner of the adjacent property, a landscaped island, and all landscaping thereon, in the location depicted in the Amended Site Plan Documents, for the purpose of preventing vehicle movements from encroaching outside of the easement area and into the adjacent property. Final design of the Landscaped Island, if required, will be as determined by the Village in cooperation with the Applicant and the adjacent property owner.
- E. Repaving of Access Drive on Property. The Applicant must complete the repaving of the 22-foot-wide access drive on the Property, in accordance with the plans and to the satisfaction of the Village Engineer, prior to issuance of a final certificate of occupancy for the development. In the event that the Village issues a conditional certificate of occupancy for the development prior to the completion of the repaving, the Applicant must complete the repaving as soon as weather conditions allow, and in no event later than the May 31 following the date of issuance of the conditional certificate of occupancy.
- F. Compliance with Regulations. The redevelopment, use, operation, and maintenance of the Property and the Approved Planned Development, as amended by this Ordinance, must comply with all applicable Village codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance and the PUD Ordinance.
- G. Compliance with Amended Site Plan Documents. The redevelopment, use, operation, and maintenance of the Property must comply with the Amended Site Plan Documents, except for minor changes and site work approved by the Director of Planning and Community Development and the Village Engineer (for matters within their respective permitting authorities) in accordance with all applicable Village standards.

SECTION 6. CONTINUED EFFECT; CONFLICTS. Except as provided otherwise in this Ordinance, all terms, provisions, and requirements of the Approved Planned Development remain

unchanged and in full force and effect. In the event of a conflict between this Ordinance and the Amended Site Plan Documents on the one hand, and the PUD Ordinance and the Site Plan on the other, this Ordinance and the Amended Site Plan Documents will control.

SECTION 7. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded in the Office of the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein will run with the Property and will inure to the benefit of, and be binding upon, Applicant and its personal representatives, successors, and assigns.

SECTION 8. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, in addition to all other remedies available to the Village, the approvals granted in this Ordinance, and in the Approved Planned Development (as amended) (collectively, the "*Approvals*"), will, at the sole discretion of the Village Board, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village Board may not so revoke the Approvals unless it first provides Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village Board. In the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 9. AMENDMENTS. Any amendment to any provision of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code for the granting of planned unit developments.

SECTION 10. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 11. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
 - 1. Passage by the Village President and Board of Trustees in the manner required by law; and
 - 2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of Exhibit C attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.
- B. In the event the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 11.A.2 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

AYES:

NAYS:

PASSED AND APPROVED THIS 5th day of April, 2021.

Village President

ATTEST:

Village Clerk

EXHIBIT A

Legal Description of the Property

Lot 1 in Final Plat of Hamilton Partners-Arlington Heights Subdivision being part of the Northwest $\frac{1}{4}$ of Section 16, Township 41 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded December 12, 2018 as Document Number 1834506008, in Cook County, Illinois.

P.I.N. 08-16-102-038-0000; 08-16-102-036-0000

EXHIBIT B

Amended Site Plan Documents



PROJECT DATA:		DEVELOPMENT STANDARDS:	
SITE AREA:		ZONING:	M-2
GROSS:	15.41 AC 671,453 SF	MAX. F.A.R.:	2.50
DETECTION:	@ 3% 22,964 SF	BUILDING SETBACKS:	
NET:	14.89 AC 648,489 SF	FRONT:	15 FT
		SIDE:	10 FT
		REAR:	15 FT
BUILDING AREA:		OFF-STREET PARKING:	
EXISTING BUILDING (PH 1)	138,650 SF	WIDTH:	9 FT
PROPOSED EXPANSION (PH 2)	54,080 SF	LENGTH:	18 FT
TOTAL FOOTPRINT:	192,730 SF	VERTICAL:	7 FT
		DRIVE AISLE:	24 FT
		OVERHANG:	1.5 FT
TENANT DATA:		REQ. PARKING RATIO BY USE:	
EXISTING VACANT AREA:	53,506 SF	WAREHOUSE:	1/2 EMP
PROPOSED EXPANSION:	54,080 SF	OFFICE:	1/300 SF
TOTAL TENANT AREA:	107,586 SF		
▲ 48" HIGH TRUCK DOCK DOORS	11	NOTES:	1 OR 10%, WHICHEVER IS LESS
■ 28" HIGH VAN LOADING DOORS	16		
○ GRADE-LEVEL DOORS	1		
TOTAL AUTO PARKING	190 STALLS		
	@1.77/1000 SF		
REQ. ACCESSIBLE	6 STALLS		
12'X65' - TRAILER STALLS	97 STALLS		
11'X28' - VAN STALLS	73 STALLS		

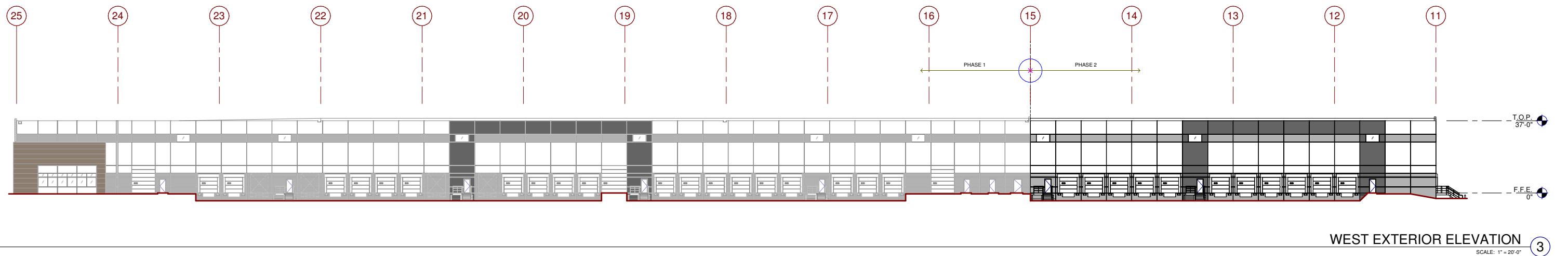
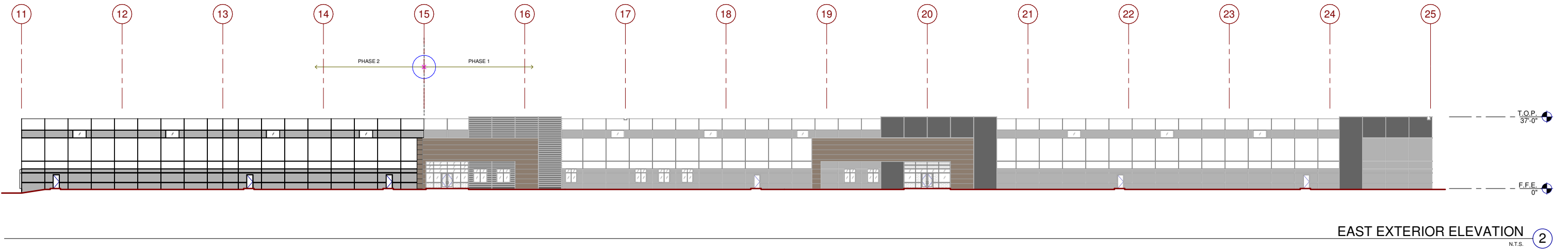
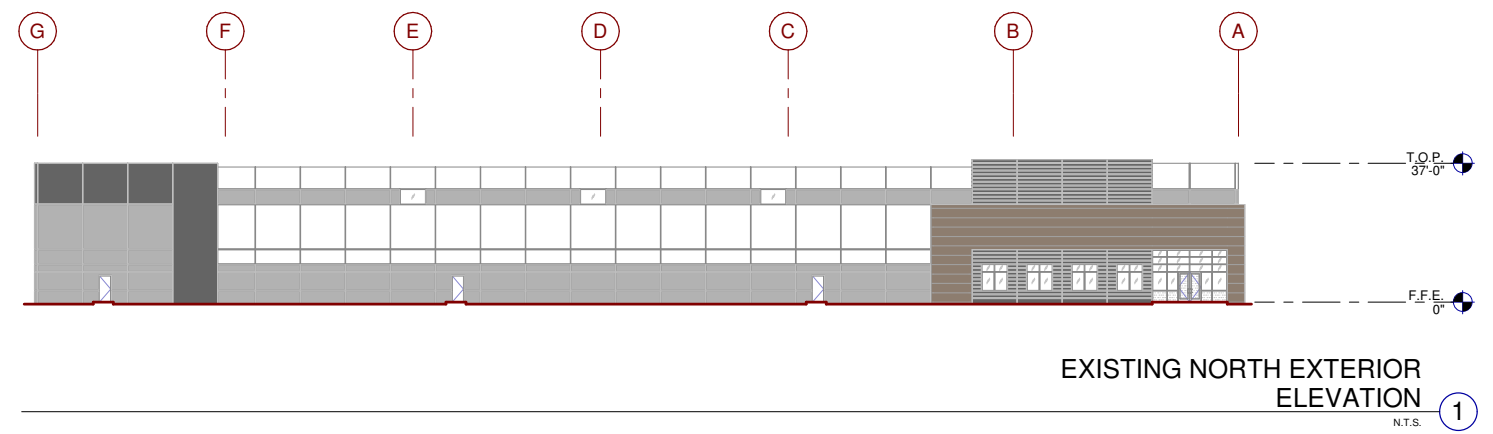
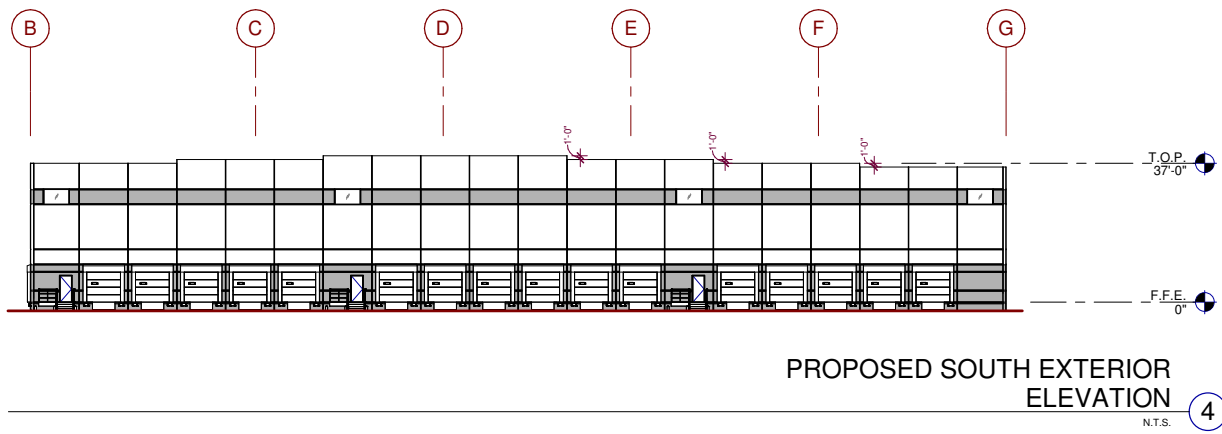
This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design:
AVERAGE REGIONAL REQUIRED PROVIDED

Boundary Source:
GIS MAP & AERIAL IMAGE



SOUTHEAST PERSPECTIVE



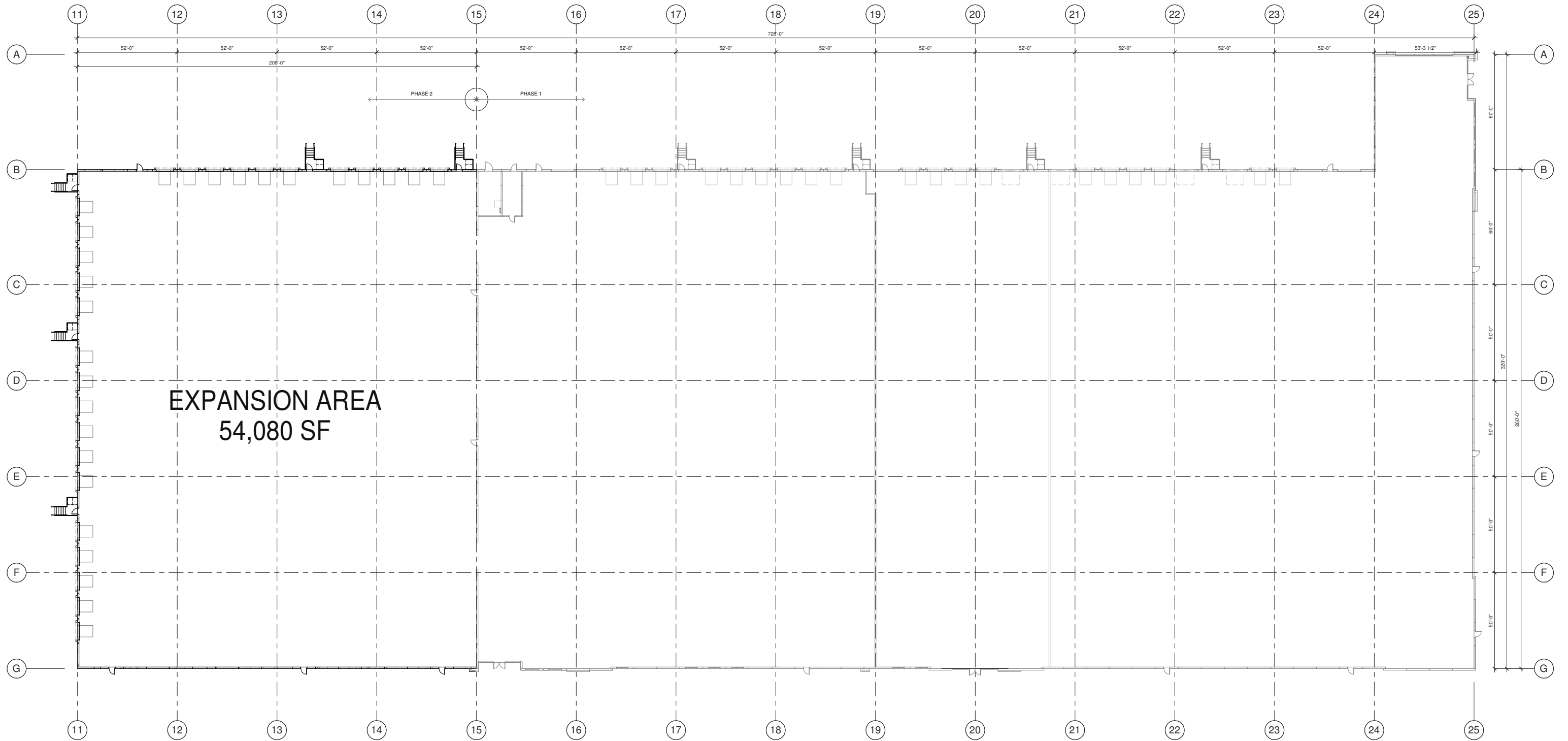
LEGEND

EXISTING PAINT TO REMAIN:

- BASE COLOR: BENJAMIN MOORE, BM 2112-70, AMERICAN WHITE
- SECONDARY COLOR: BENJAMIN MOORE, BM 2112-50, STORMY MONDAY
- ACCENT COLOR: BENJAMIN MOORE, BM 2124-20, TROUT GRAY

SIDING (TO MATCH EXISTING):

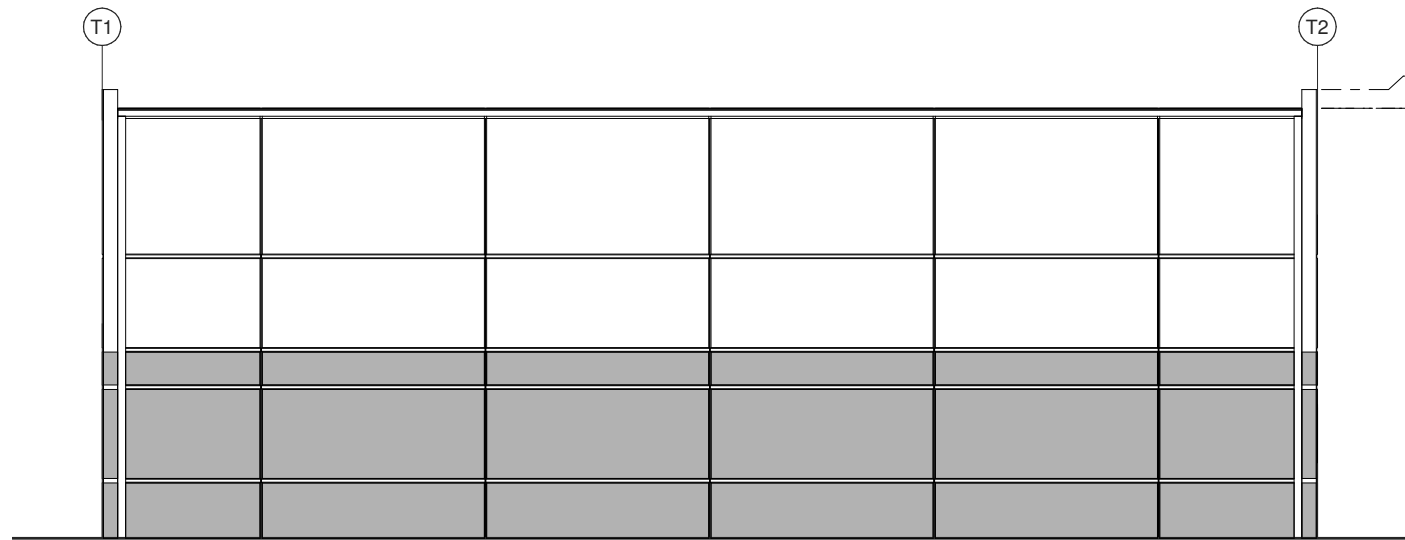
- TRU-GRAIN COMPOSITE SIDING: 6" PLANKS, STAIN COLOR MAHAGONY C64



EXPANSION AREA
54,080 SF



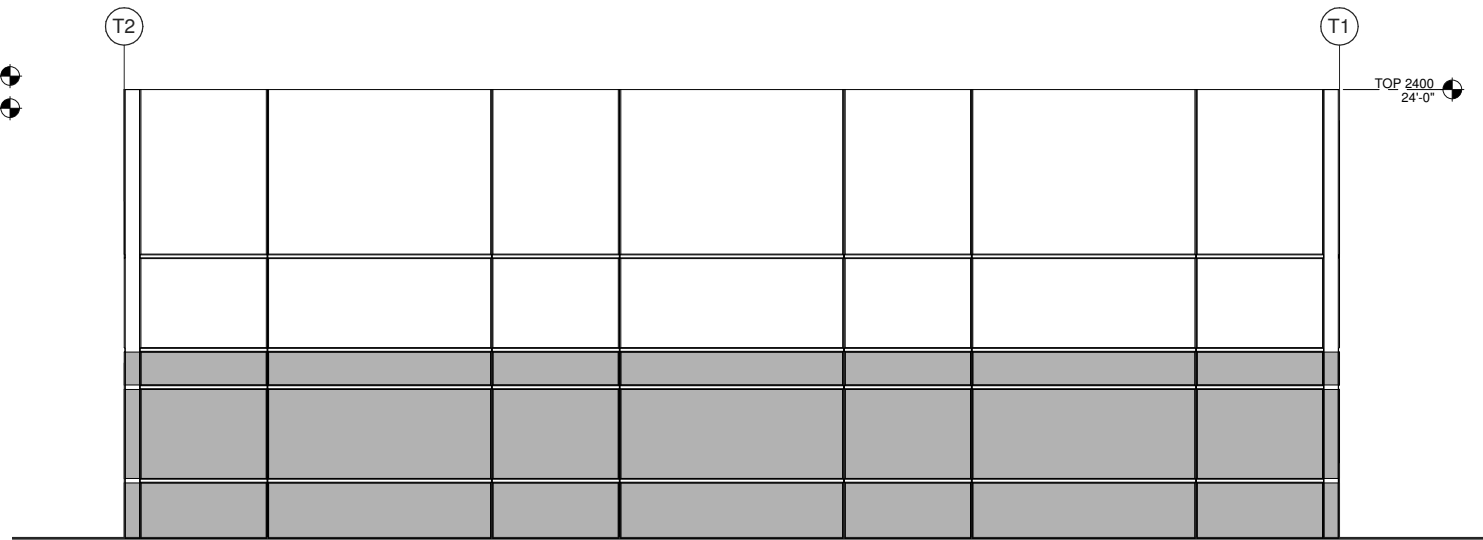
NORTHWEST TRUCK MAINTENANCE PERSPECTIVE



EAST ELEVATION

SCALE: 1/4" = 1'-0"

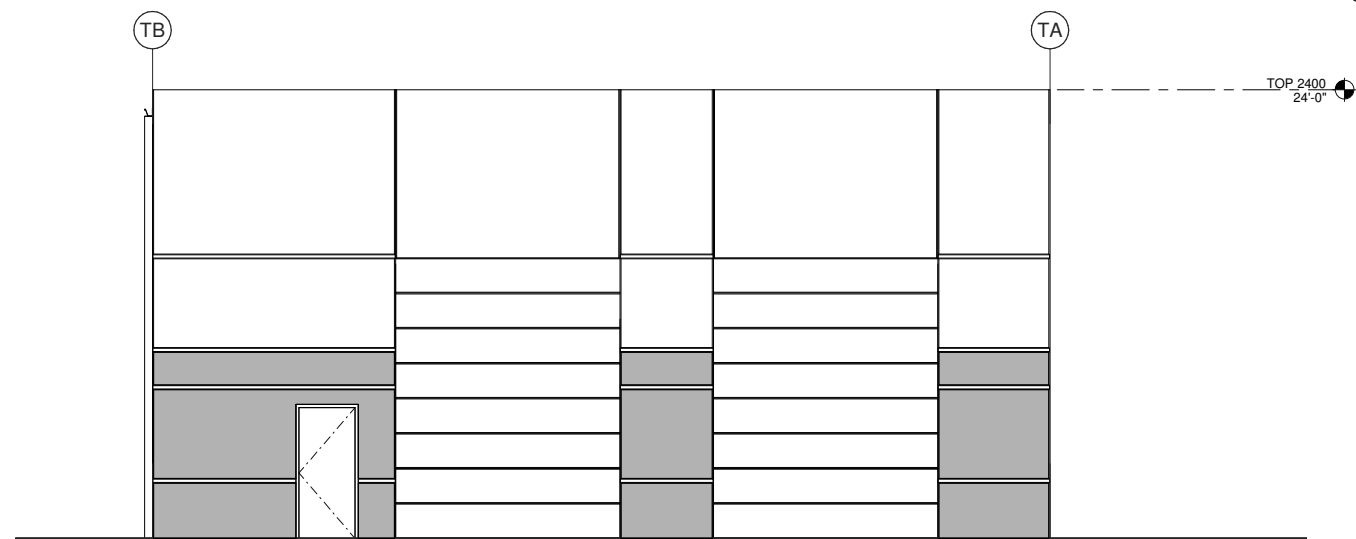
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WEST ELEVATION

SCALE: 1/4" = 1'-0"

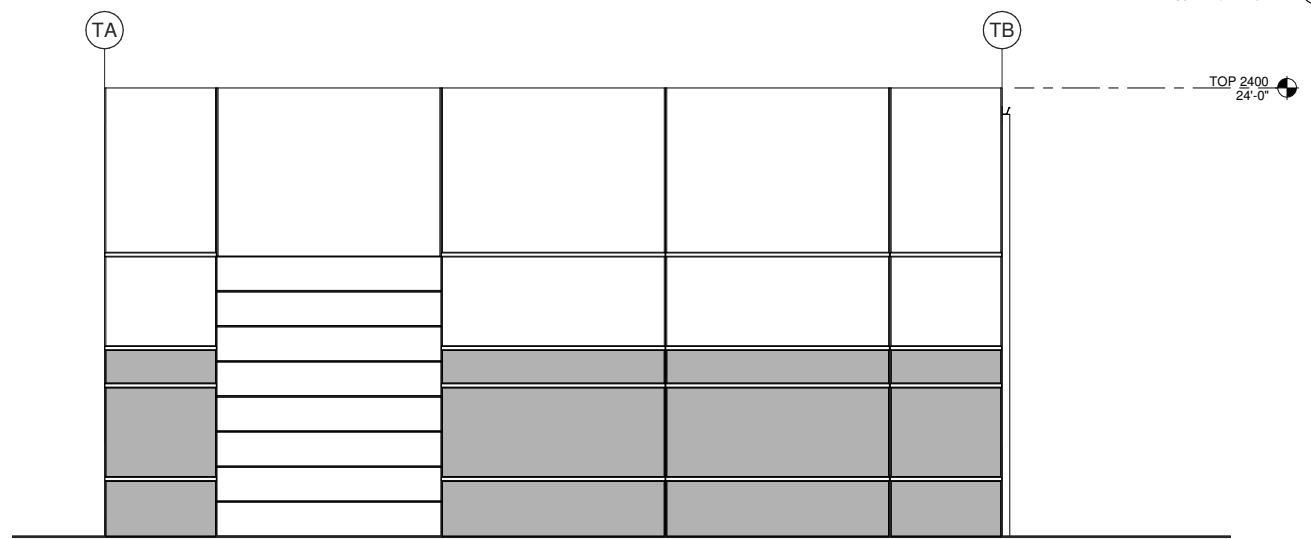
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"

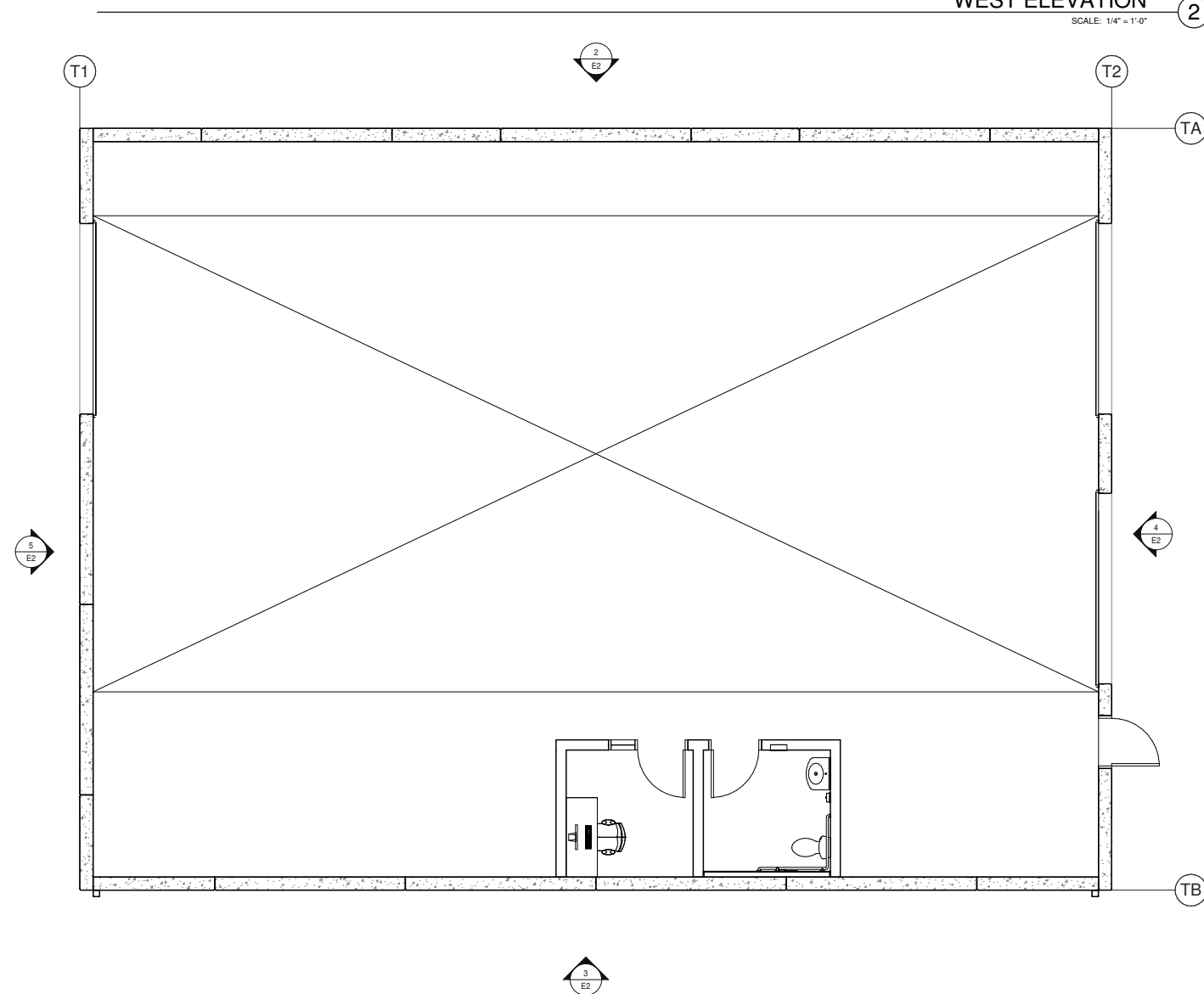
4



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

5



FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

SITE GEOMETRIC AND PAVING NOTES:

- SIDEWALK RAMPS WITH DETECTABLE WARNINGS (WHERE SHOWN ON PLAN) AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
- UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B6.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
- UNLESS OTHERWISE NOTED, ALL CURB RADII ARE 4' TO BACK OF CURB. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR SITE) PLAN PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED AUGUST 9, 2017.
- BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY--REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
- THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.

- UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PARKING STALL (EXCEPT FOR HC) MARKING COLOR IS WHITE. ALL ON-SITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH DOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. ACCESSIBLE STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
- PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALLED WITH 3" SQUARE ALUMINUM POSTS WITH A BAKED ON ENAMEL FINISH. SET 30" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.

SURFACE IMPROVEMENT LEGEND:

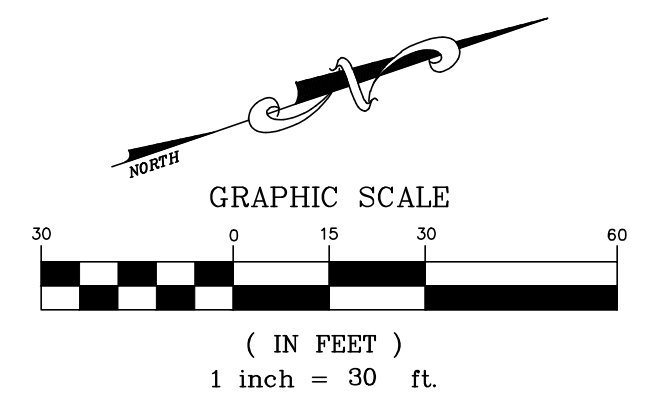
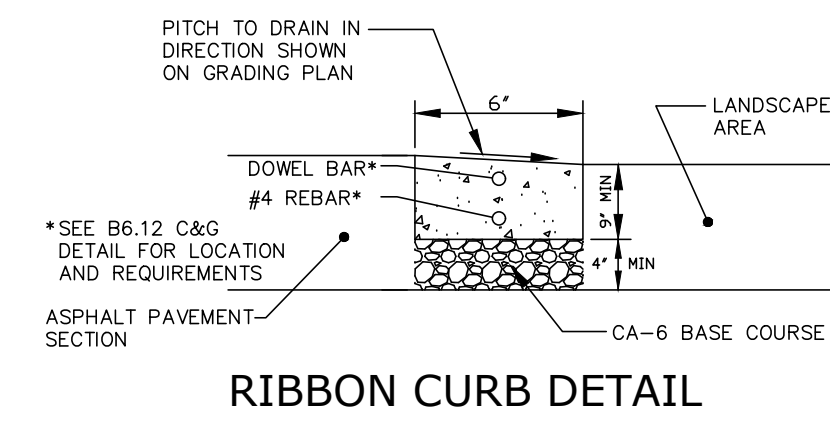
- NEW ASPHALT PAVEMENT--STANDARD**
 - 2" - HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 BITUMINOUS TACK COAT (0.05 GAL/SY)
 - 2" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY)
 - 8" AGGREGATE BASE COURSE CA-6, TYPE B (INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6, TYPE B OVER BASINS S-2, S-3, AND S-4.
- ASPHALT PAVEMENT--HEAVY DUTY (ON-SITE & PUBLIC STREETS)**
 - 2" - HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 BITUMINOUS TACK COAT (0.05 GAL/SY)
 - 2 1/4" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 5" HOT MIX ASPHALT BINDER COURSE, N30 BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY)
 - 4" AGGREGATE BASE COURSE CA-6, TYPE B (INCREASE TO 12" (MIN.) AGGREGATE BASE COURSE CA-6, TYPE B OVER BASINS S-2, S-3, AND S-4. (OR APPROVED ALTERNATE WITH EQUIVALENT STRUCT. NUMBER)
- CONCRETE TRUCK DOCK AND ENTRANCE APRON PAVEMENT**
 - 8" PORTLAND CEMENT CONCRETE (4,000 PSI) W/ 6"x6" No. 6 WELDED WIRE MESH
 - 6" AGGREGATE BASE COURSE CA-6, TYPE B
- CONCRETE SIDEWALKS (PUBLIC AND/OR PRIVATE)**
 - 5" - PCC SIDEWALK (4,000 PSI) (6" ACROSS PAVEMENT)
 - 4" - AGGREGATE BASE COURSE TYPE B, CA-6
- EXISTING ASPHALT PAVEMENT**
- PROPOSED B6.12 CONCRETE CURB AND GUTTER**
- PROPOSED B6.12 DEPRESSED CURB AND GUTTER**
- PROPOSED REVERSE PITCH B6.12 CURB AND GUTTER**
- EXISTING CURB AND GUTTER**
- EXISTING DEPRESSED CURB AND GUTTER**

SITE DATA -- PHASE 2:

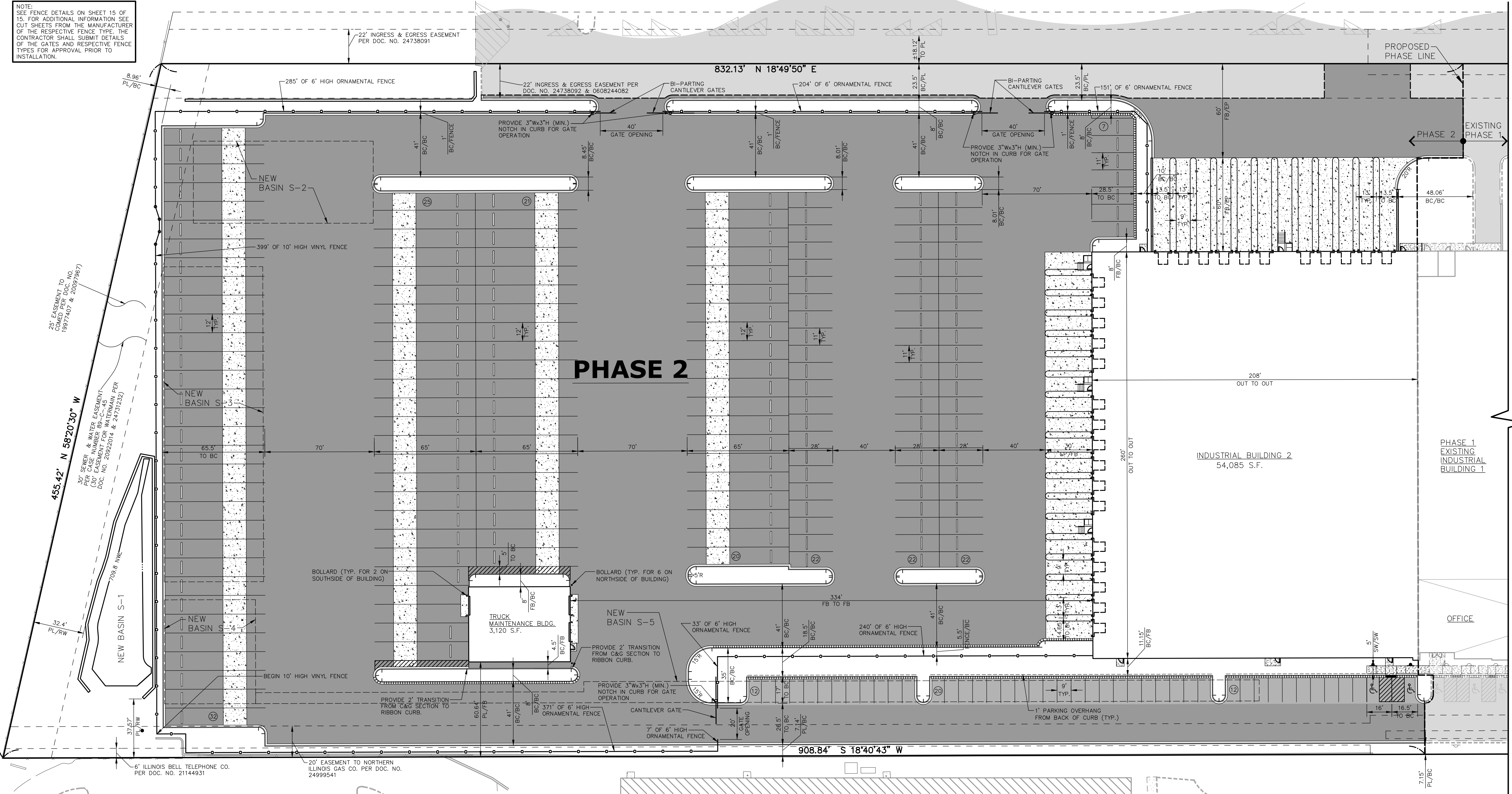
TOTAL LOT SIZE	= 380,094 S.F. (8.73 AC)
PROPOSED SITE CONDITIONS:	
PROPOSED BUILDING 2 FOOTPRINT	= 54,085 S.F. (1.233 AC)
TRUCK MAINTENANCE BUILDING	= 3,120 S.F. (0.822 AC)
PROPOSED PAVT./SIDEWALK	= 270,894 S.F. (71.27% AC)
PROPOSED GREENSPACE	= 51,995 S.F. (13.68% AC)
PROPOSED CONDITION IMPERVIOUS AREA	= 328,099 S.F. (7.53 AC)
PROPOSED PARKING SUMMARY:	
REGULAR STALLS	= 42
ADA ACCESSIBLE STALLS	= 2
TOTAL STALLS PROVIDED	= 44 (0.77/1,000 SF)
VAN STALLS	= 73
VAN DOCK LOADING SPACES	= 16
TRAILER STALLS	= 97
TRAILER DOCK LOADING SPACES	= 11

ABBREVIATIONS LEGEND:

- EX = EXISTING
- PR = PROPOSED
- BC = BACK OF CURB
- FC = FACE OF CURB
- EP = EDGE OF PAVEMENT
- PL = PROPERTY LINE
- FB = FACE OF BUILDING
- EC = EDGE OF CONCRETE
- RW = RETAINING WALL
- ROW = RIGHT OF WAY
- BC/BC = BACK OF CURB TO BACK OF CURB
- SW = SIDEWALK
- R = RADIUS
- (TYP) = TYPICAL
- DW = DEMISING WALL



NOTE:
SEE FENCE DETAILS ON SHEET 15 OF 15. FOR ADDITIONAL INFORMATION SEE CUT SHEETS FROM THE MANUFACTURER OF THE RESPECTIVE FENCE TYPE. THE CONTRACTOR SHALL SUBMIT DETAILS OF THE GATES AND RESPECTIVE FENCE TYPES FOR APPROVAL PRIOR TO INSTALLATION.



DATE	REVISIONS	DRAWN BY
02/09/21	VILLAGE ROUND THREE COMMENTS & MISC.	ILM

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
ARLINGTON HEIGHTS, ILLINOIS
SITE GEOMETRIC & PAVING PLAN - PHASE 2 (FRITO-LAY)

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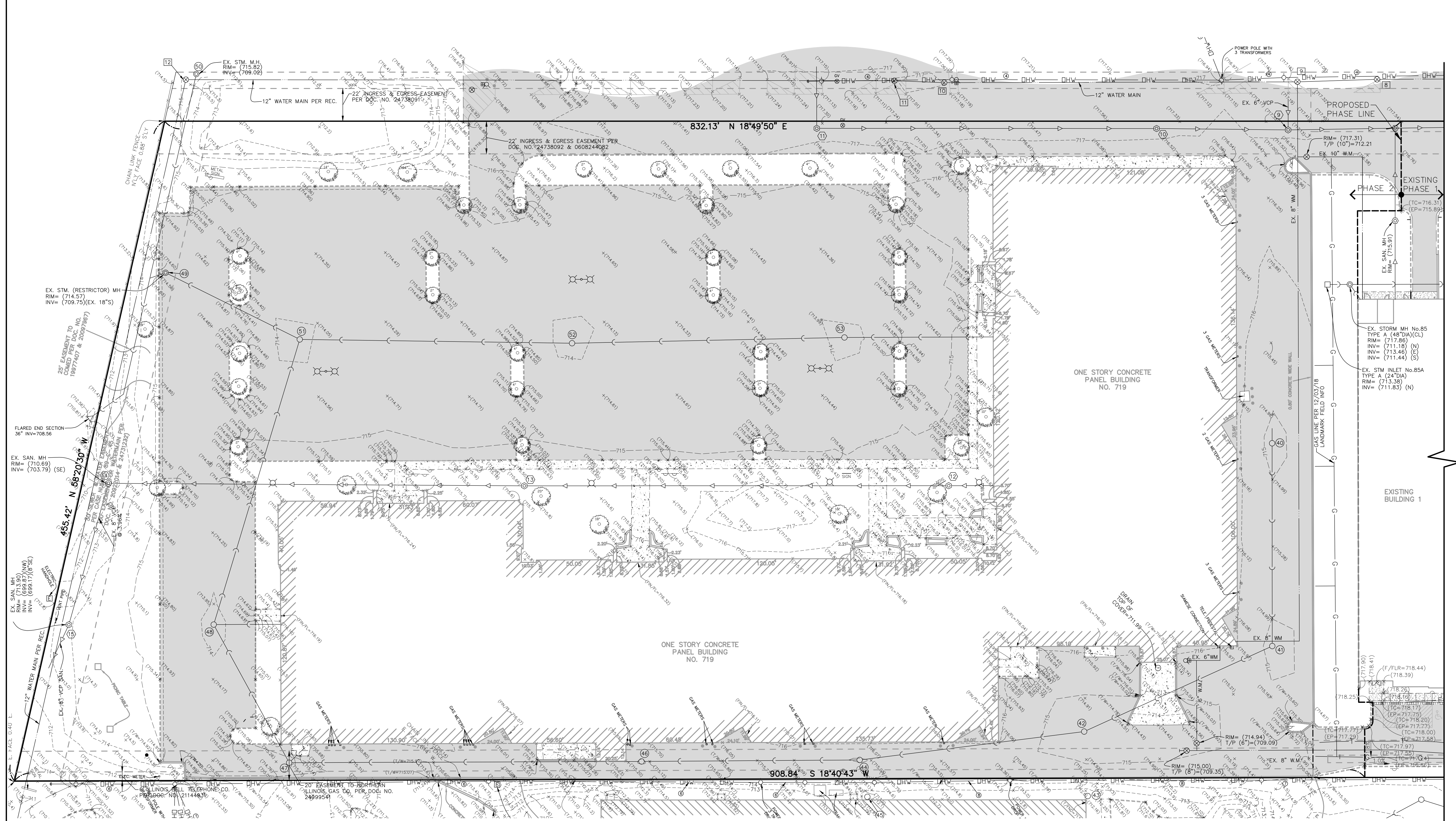
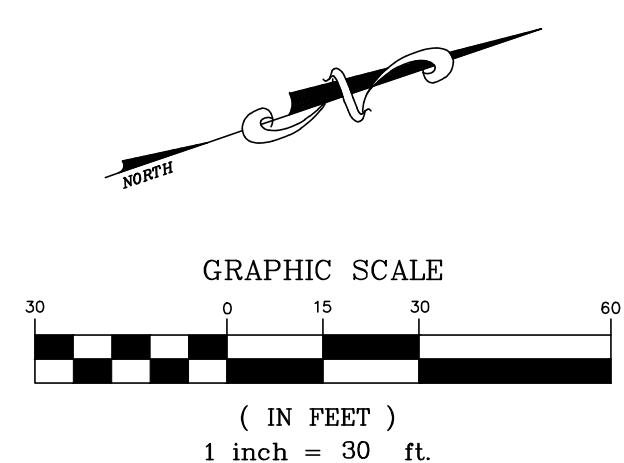
RWG Engineering, LLC
Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO.	56412228
DATE	01/25/21
SCALE	1"=30'
PROJ. MGR.	PDL
PROJ. ASSOC.	RWG
DRAWN BY	ILM

SHEET
5 OF 15

EXISTING UTILITY STRUCTURE SCHEDULE		EXISTING UTILITY STRUCTURE SCHEDULE (CONT.)		EXISTING UTILITY STRUCTURE SCHEDULE (CONT.)		EXISTING UTILITY STRUCTURE SCHEDULE (CONT.)		EXISTING UTILITY STRUCTURE SCHEDULE (CONT.)	
WATERMAIN STRUCTURES		SANITARY SEWER STRUCTURES		STORM SEWER STRUCTURES		STORM SEWER STRUCTURES		STORM SEWER STRUCTURES	
9 EX VALVE VAULT RIM= 717.12 TOP OF PIPE= 712.12	10 EX VALVE VAULT RIM= 717.00 TOP OF PIPE= 709.70	11 EX SAN. M.H. RIM= 717.22 8" VCP NE INV= 712.02 8" VCP NW INV= 712.02	12 EX SAN. M.H. RIM= 715.63 6" VCP NE INV= 710.14 6" VCP SW INV= 710.11	37 EX CATCH BASIN RIM= 714.48 12" RCP SE INV= 710.88	38 EX CATCH BASIN RIM= 714.27 NW INV NOT ACCESSIBLE 15" RCP SE INV= 710.62	43 EX CATCH BASIN RIM= 712.21	44 EX CATCH BASIN FULL OF DEBRIS	49 EX STORM M.H. (RESTRICTOR M.H.) RIM= 714.57 18" RCP SE INV= 709.75 18" RCP NE INV= 709.75	50 EX STORM M.H. RIM= 715.82 36" RCP SE INV= 709.02
11 EX VALVE VAULT RIM= 717.05 TOP OF PIPE= 709.40	12 EX VALVE VAULT RIM= 715.24 TOP OF PIPE= 707.24	13 EX SAN. M.H. RIM= 715.49 8" VCP NE INV= 707.69 8" VCP SW INV= 707.69	14 EX SAN. M.H. RIM= 710.69 8" VCP NE INV= 703.84 8" VCP SE INV= 703.79	39 EX CATCH BASIN RIM= 714.23 15" RCP NW INV= 710.18 15" RCP NE INV= 709.88	40 EX CATCH BASIN RIM= 714.66 6" PVC NW INV= 711.56 15" RCP SE INV= 711.11	45 EX CATCH BASIN RIM= 712.09	46 EX CATCH BASIN RIM= 714.91 18" RCP NE INV= 709.71 18" RCP SW INV= 709.86	51 EX CATCH BASIN RIM= 713.62 18" RCP SW INV= 709.62 21" RCP SE INV= 709.52 18" RCP NE INV= 709.52	52 EX CATCH BASIN RIM= 713.72 18" RCP NE INV= 709.97 18" RCP SW INV= 709.90
5 EX SAN. M.H. RIM= 717.19 8" VCP NE INV= 711.04 8" VCP SE INV= 711.04 6" VCP NW INV= 711.69	10 EX SAN. M.H. RIM= 717.29 8" VCP NE INV= 711.37 8" VCP SW INV= 711.37	15 EX SAN. M.H. RIM= 713.90 8" VCP NW INV= 699.87 8" VCP SE INV= 699.17		41 EX CATCH BASIN RIM= 714.66 15" RCP NW INV= 711.01 15" RCP S INV= 711.21	42 EX CATCH BASIN RIM= 714.11 18" RCP NW INV= 710.51 18" RCP SW INV= 710.51	47 EX CATCH BASIN RIM= 714.69 18" RCP NE INV= 709.84 18" RCP SW INV= 709.86 4" DUCTILE NW INV= 712.09	48 EX CATCH BASIN RIM= 713.75 18" RCP NE INV= 710.15 (WITH DEBRIS) 21" RCP NW INV= 710.30 18" RCP NE INV= 710.10	53 EX CATCH BASIN RIM= 713.70 18" RCP SW INV= ±710.95 (PIPE COLLAPSED) 12" RCP NE INV= 710.30	

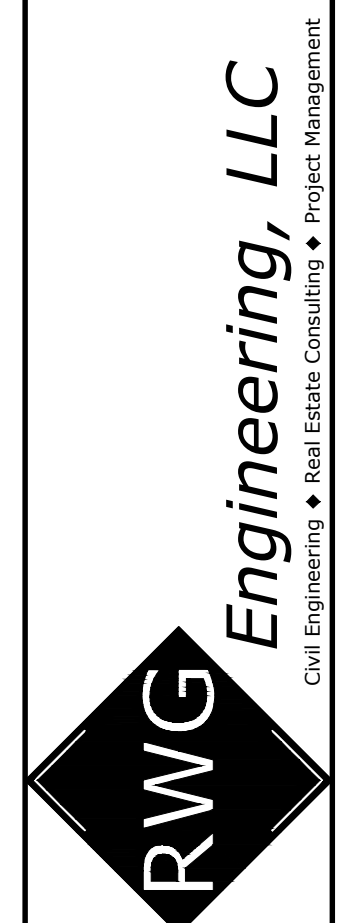
- ② SANITARY STRUCTURE NUMBER
- ⑪ STORM STRUCTURE NUMBER
- ⑤ WATERMAIN STRUCTURE NUMBER



DRAWN BY: _____
 DATE: _____
 REVISIONS: _____

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 ARLINGTON HEIGHTS, ILLINOIS
 EXISTING CONDITIONS PLAN - PHASE 2 (FRITO-LAY)

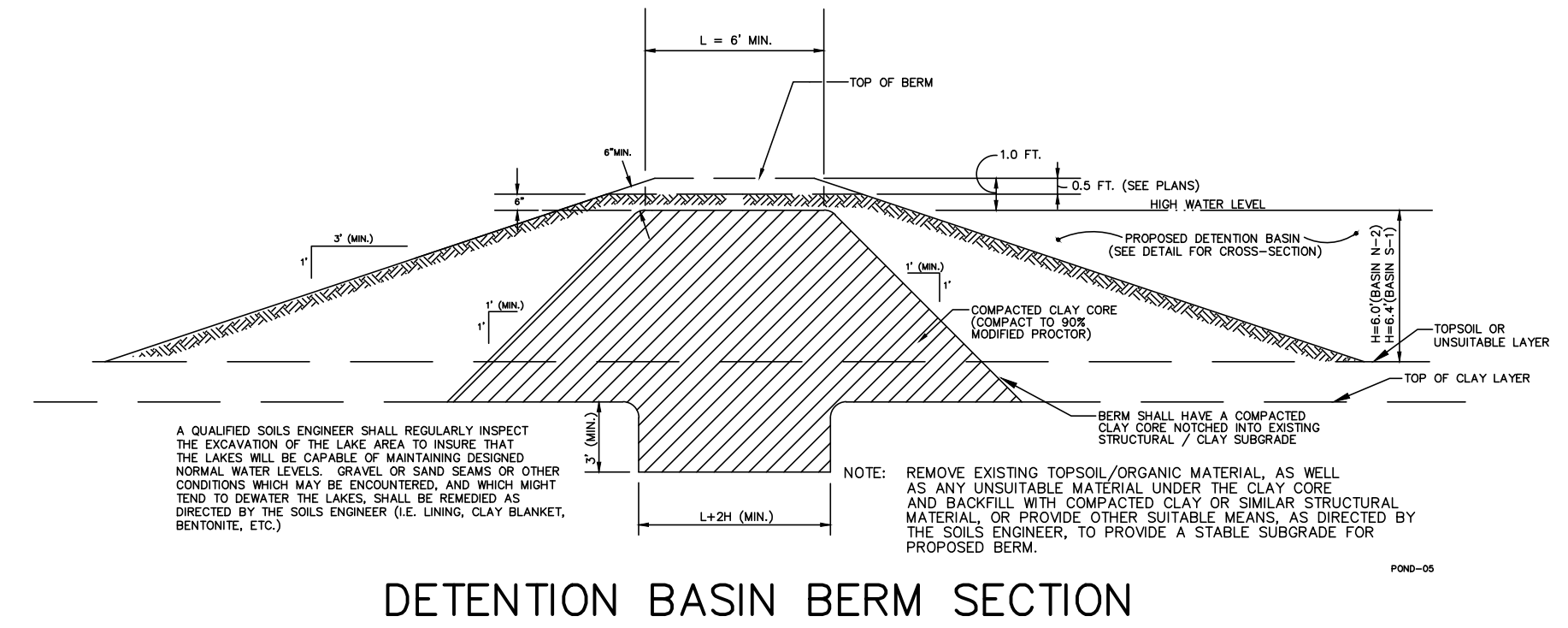
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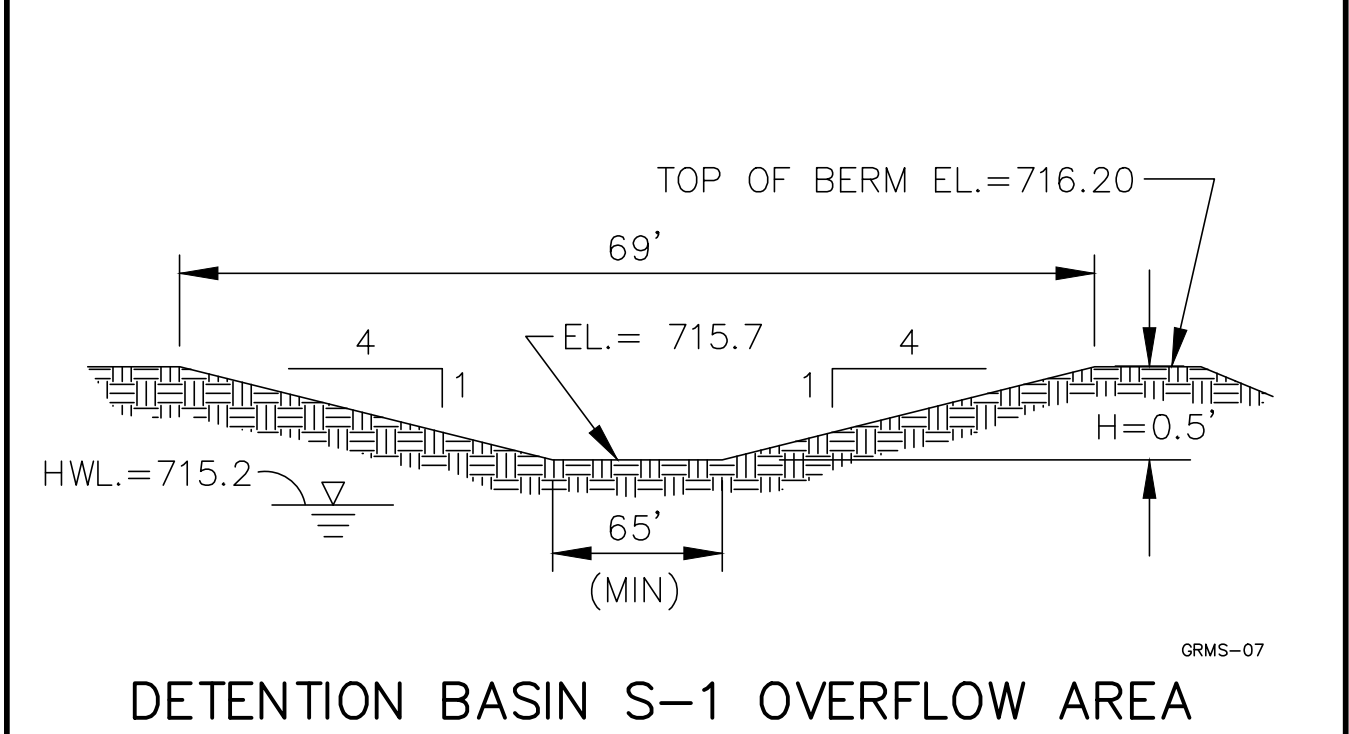
PROJECT NO. 56412220
 DATE 01/25/23
 SCALE 1"=30'
 PROJ. MGR. PDL
 PROJ. ASSOC. RWG
 DRAWN BY. TLM

January 19, 2021 1:47:28 a.m. Acaddw-22.0s (LMS Tech)
 Drawing: S:\56412220 - ALGOUNJIN RD IND PH 2-FRITO LAY\300_ENGINEERING\310_CADD\FINAL\564_BASE.DWG

- GRADING NOTES:**
- PAVEMENT SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
 - HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2.00%
 - UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER LINES.
 - THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS (AND SWPPP DOCUMENTS) FOR THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING OPERATIONS.
 - UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED PAVEMENT SURFACE GRADE, TOP OF CURB GRADE, OR FINISHED GROUND ELEVATION AS APPLICABLE. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SWALE (AS APPLICABLE). WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH.
 - RETAINING WALL TO BE IN ACCORDANCE WITH ATTACHED DETAILS.
 - SLOPES ACROSS OPEN SPACE AREAS SHALL NOT EXCEED 3:1.
 - PAVEMENT SLOPES SHALL NOT EXCEED 8%.



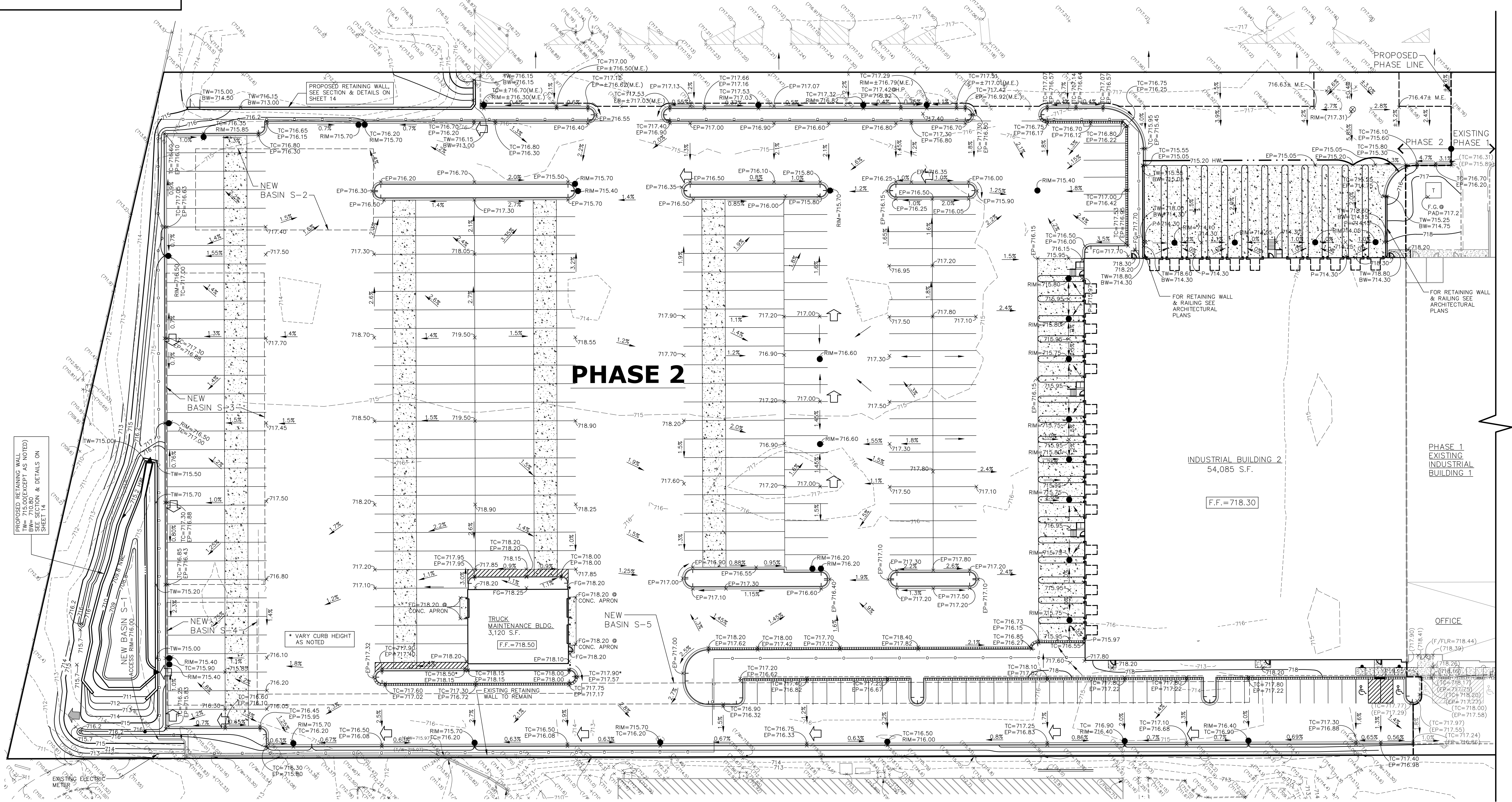
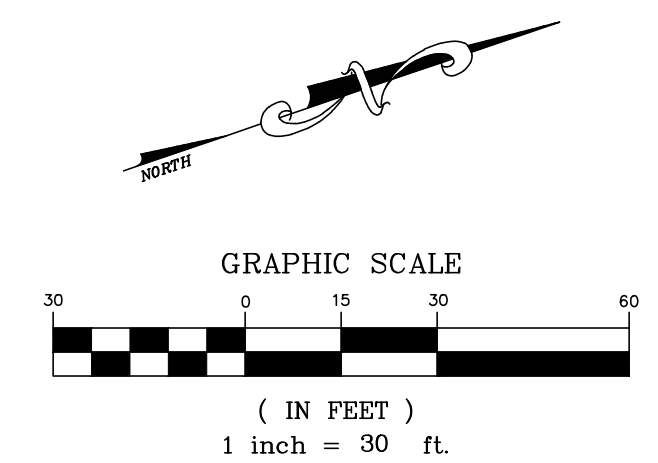
DETENTION BASIN BERM SECTION



DETENTION BASIN S-1 OVERFLOW AREA

GRADING LEGEND

	EXISTING	PROPOSED
CONCRETE HEADWALL	U	U
PRECAST FLARED END SECTION	∇	∇
STORM DRAINAGE STRUCTURE	○	●
RETAINING WALL	—	—
CONTOUR	~740~	~740~
5' CONTOUR	~750~	~750~
SPOT ELEVATION	x(750.00)	x750.00
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	→	→
SLOPE BANK	—	—
RR-3 ROCK RIP-RAP	—	—



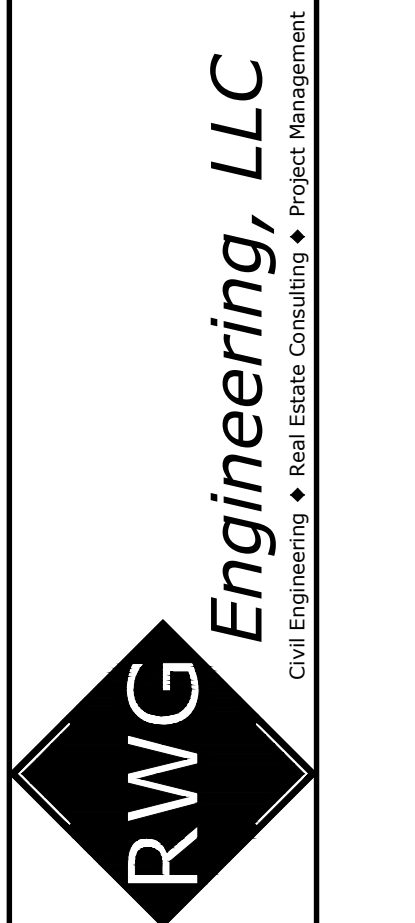
REVISIONS

NO.	DATE	DESCRIPTION
1	02/09/21	VILLAGE ROUND THREE COMMENTS & MISC.

DRAWN BY: TLM

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 GRADING PLAN - PHASE 2 (FRITO-LAY)

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PROJECT NO.: 56412720
 DATE: 01/15/21
 SCALE: 1"=30'
 PROJ. MGR.: EDL
 PROJ. ASSOC.: RWG
 DRAWN BY: TLM

SHEET
 8 OF 15

- UTILITY NOTES:**
- RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT, OR DRAINAGE SWALE (AS APPLICABLE).
 - UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - IE INCLUDING LENGTH OF FLARED END SECTION).
 - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS.
 - CONNECTIONS TO EXISTING SEWERS OR WATERMANS (OR EXISTING SERVICE STUBS) AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER OR WATERMAIN LOCATIONS, SIZES, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES.
 - EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (LIGHTING, ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT.
 - SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS, AND EXTENDED A MINIMUM OF 3' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY SERVICE LOCATIONS HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE TIME OF DRAWING PREPARATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THE CONTRACTOR SHALL REFER TO THE CURRENT ARCHITECTURAL PLANS FIRST, FOR PRECISE BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTION LOCATIONS AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - RETAINER GLANDS OR MEGA-LUG FITTINGS TO BE USED AT FITTINGS FOR VERTICAL DEFLECTION/BENDS OF D.I.W.M.

- ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- RETAINER GLANDS OR MEGA-LUG FITTINGS TO BE USED AT FITTINGS FOR VERTICAL DEFLECTION/BENDS OF D.I.W.M.

UTILITY CROSSING SCHEDULE -- PHASE 2						UTILITY CROSSING SCHEDULE -- PHASE 2 (CONT.)							
CROSSING	SIZE (IN)	MATERIAL	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE	CROSSING	SIZE (IN)	MATERIAL	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
A	15"	DI	WM	711.90	711.40	0.50'	J	60"	RCP	STM*	712.57	712.57	1.96'
B	36"	RCP	STM*	709.30	711.40	0.50'	K	10"	RCP	DI	712.95	712.95	2.0'
C	2"	DI	WM	707.80	707.80	1.5' MIN DEPRESS WM	L	10"	RCP	DI	712.85	712.85	3.5'
D	8"	PVC	SAN	705.10	705.10	6.9'	M	60"	CMP	STM	709.05	709.05	0.95'
E	10"	RCP	STM*	712.10	712.10	1.8'	N	60"	CMP	STM	709.05	709.05	0.85'
F	8"	DI	WM	710.30	710.30	1.8'	O	4"	PVC	TEL	713.60	713.60	2.15'
G	10"	RCP	STM	711.97	711.97	5.7'	P	36"	RCP	STM	713.00	713.00	1.25'
H	10"	RCP	STM*	712.08	712.08	1.73'	Q	12"	DI	WM**	707.25	707.25	1.5'
I	10"	RCP	STM	712.49	712.49	5.5'	R	12"	DI	WM**	708.35	708.35	0.70'

* SEWER PIPE TO BE WATERMAIN EQUIVALENT STANDARDS FOR APPROPRIATE W.M. PROTECTION.
** 12" CASING FOR 6" D.I. FIRE LINE. SEE ALSO UTILITY NOTE #9 THIS SHEET.

BASIN S-2						BASIN S-3					
60" CMP FOOTPRINT = 115.0'x52.5' MIN. GRADE = 715.38 (715.82 AT HEAVY DUTY PAVEMENT SECTION) TOP OF SYSTEM = 714.05 RAISED OUTLET ELEV. = 711.05 UNDERDRAIN 12" FROM BOTTOM = 708.80 INVERT = 709.05 BOTTOM OF 3" STONE BASE = 708.80 SEE DETAILS						60" CMP FOOTPRINT = 201.5'x63.5' MIN. GRADE = 715.88 (716.32 AT HEAVY DUTY PAVEMENT SECTION) TOP OF SYSTEM = 714.55 RAISED OUTLET ELEV. = 711.05 UNDERDRAIN 12" FROM BOTTOM = 709.80 INVERT = 709.05 BOTTOM OF 3" STONE BASE = 708.80 SEE DETAILS					

BASIN S-4						BASIN S-5					
54" CMP FOOTPRINT = 66.5'x58.25' MIN. GRADE = 714.88 (715.32 AT HEAVY DUTY PAVEMENT SECTION) TOP OF SYSTEM = 713.55 OUTLET ELEV. = 709.80 UNDERDRAIN 12" FROM BOTTOM = 709.80 INVERT = 709.05 BOTTOM OF 3" STONE BASE = 708.80 SEE DETAILS						60" CMP FOOTPRINT = 209.75'x7' + 431.75'x13.5' MIN. GRADE = 715.38 (715.82 AT HEAVY DUTY PAVEMENT SECTION) TOP OF SYSTEM = 714.05 OUTLET ELEV. = 709.80 UNDERDRAIN 12" FROM BOTTOM = 709.80 INVERT = 709.05 BOTTOM OF 3" STONE BASE = 708.80 SEE DETAILS					

* INCLUDES OUTER WIDTH OF BACKFILL AROUND PIPE (SEE DETAILS) AND LIMITS OF BASIN AS SHOWN ON PLANS.

STORM SEWER DRAINAGE STRUCTURE LEGEND

EXISTING PROPOSED

□ ■ STORM INLET

○ ● STORM CATCH BASIN

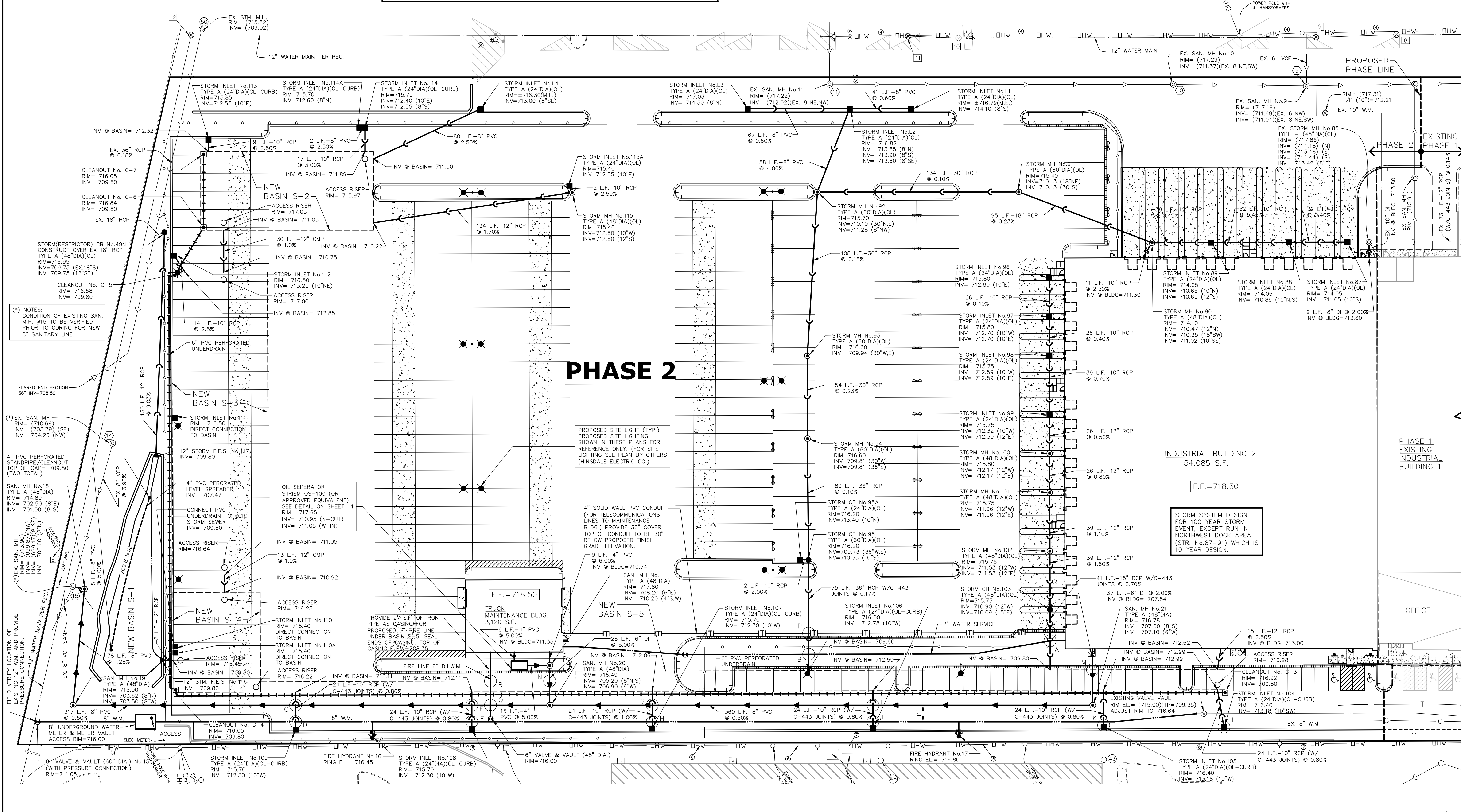
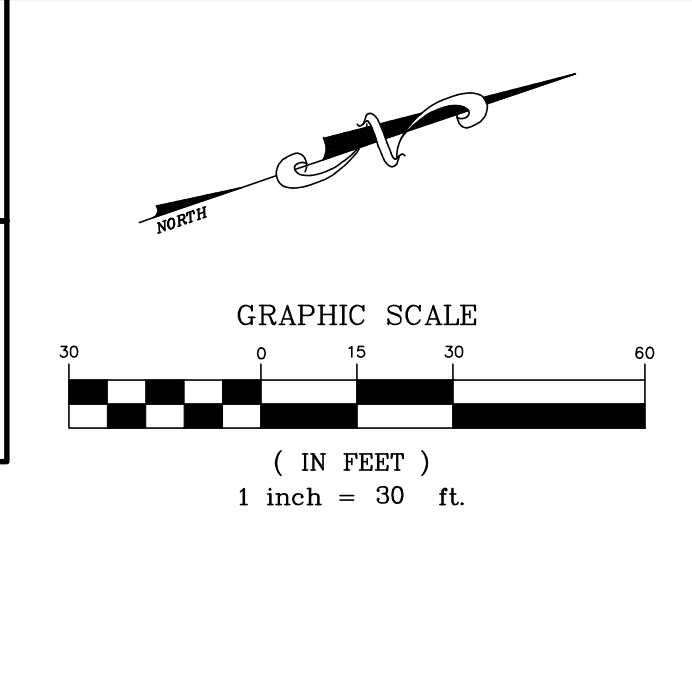
⊙ ⊙ STORM MANHOLE

(O.L.= OPEN LID, C.L.= CLOSED LID)

② SANITARY STRUCTURE NUMBER

⑪ STORM STRUCTURE NUMBER

⑤ WATERMAIN STRUCTURE NUMBER



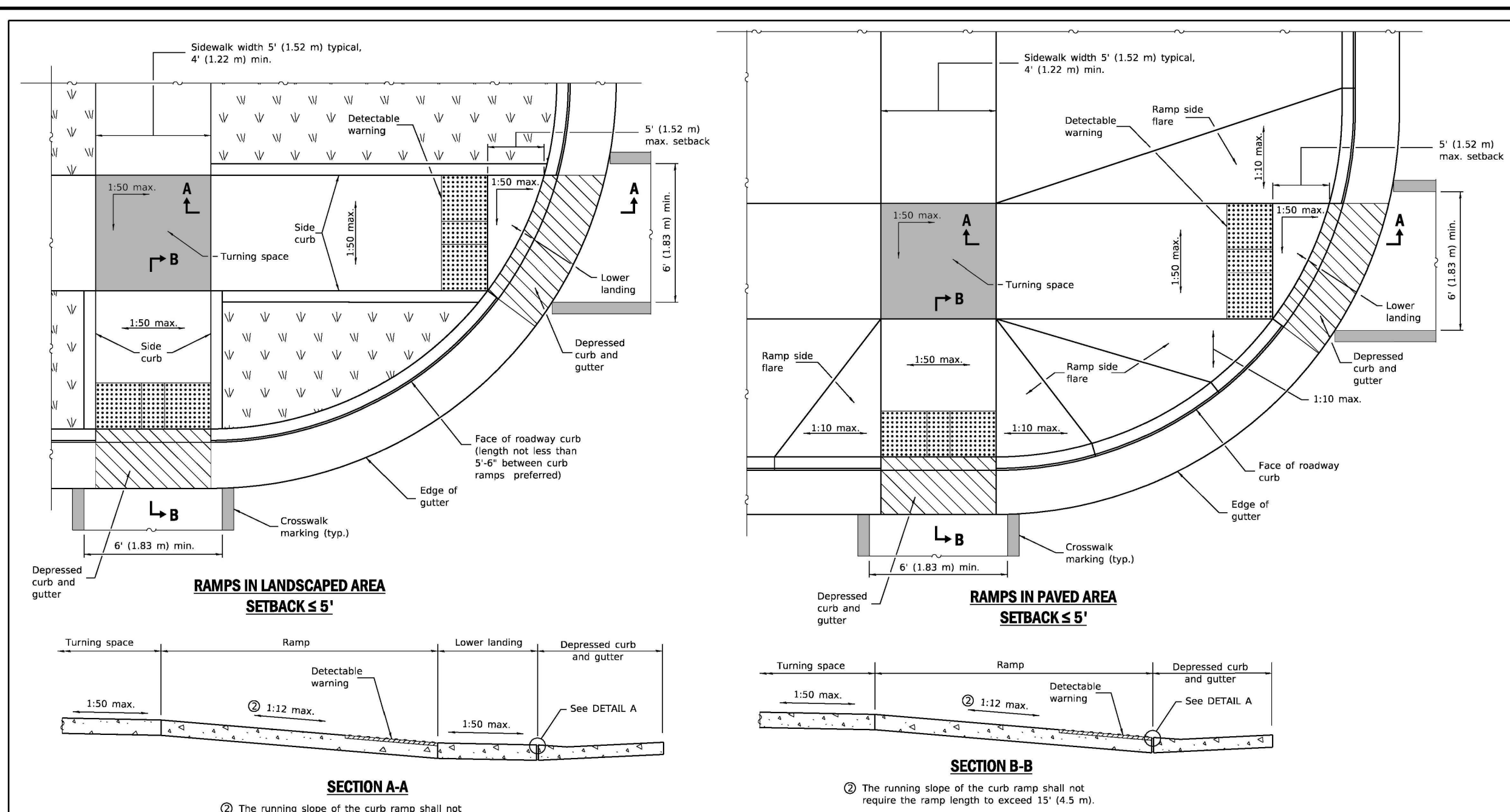
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ARLINGTON HEIGHTS, ILLINOIS
UTILITY PLAN - PHASE 2 (FRITO-LAY)

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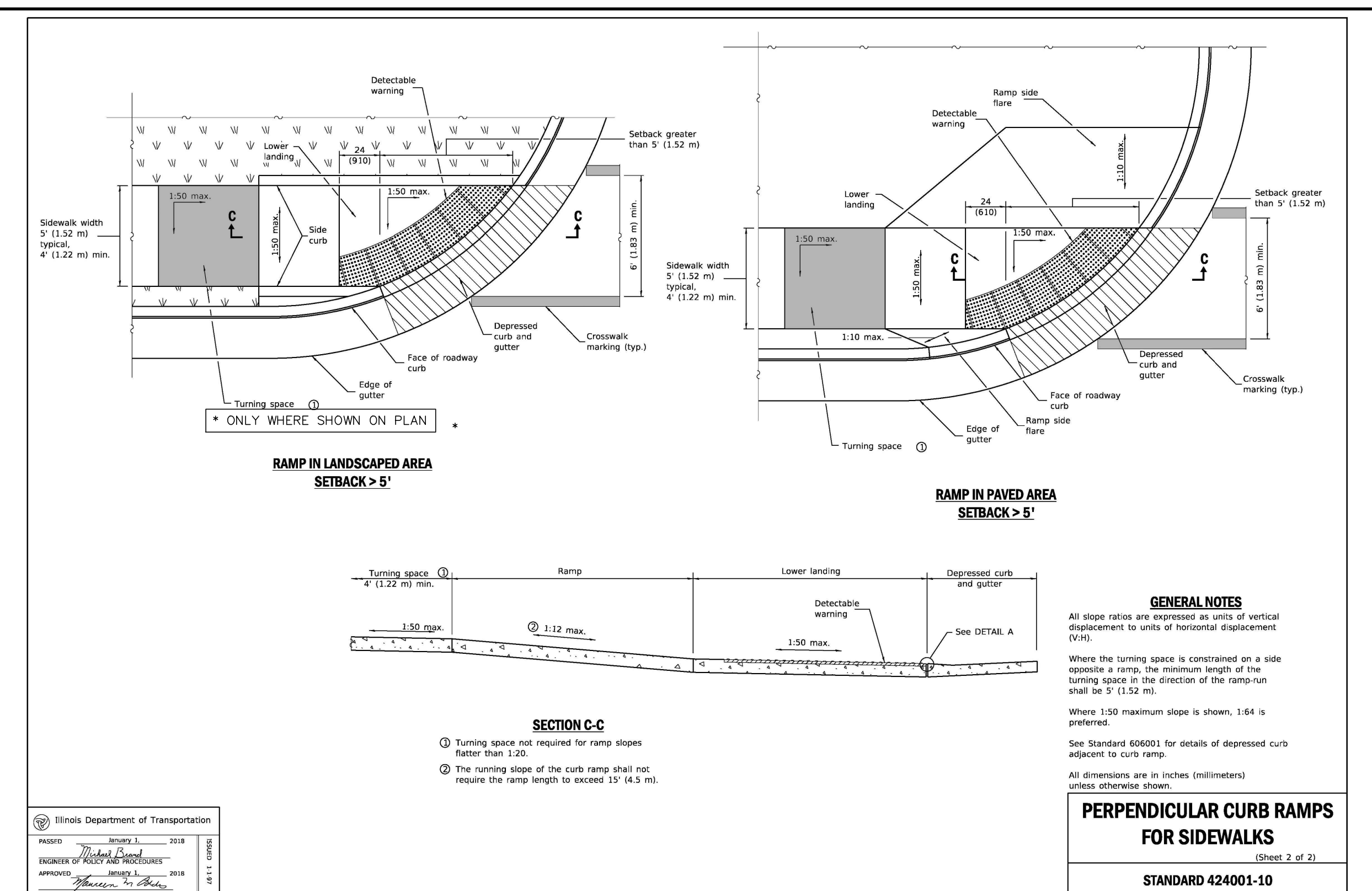
PROJECT NO. 5641228
DATE 01/25/23
SCALE 1"=30'
PROJ. MGR. PDL
PROJ. ASSOC. RWG
DRAWN BY TLM

SHEET 10 OF 15



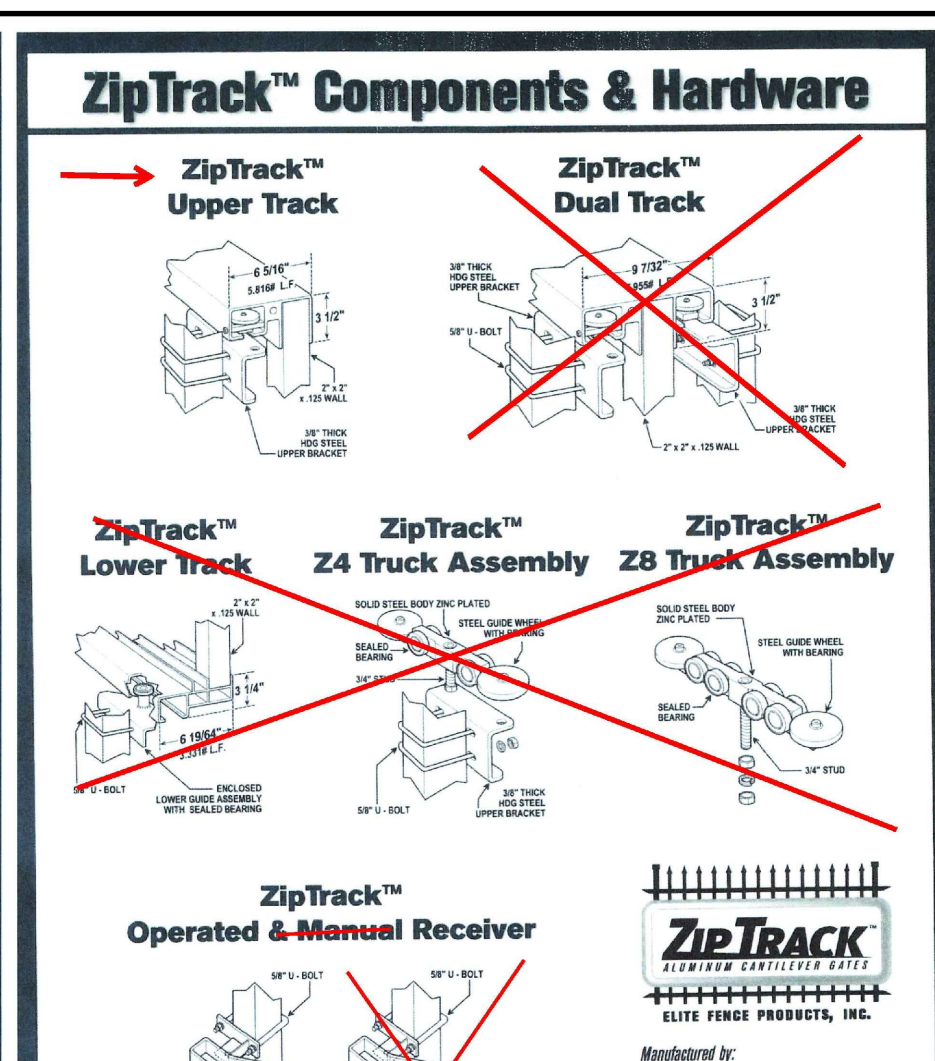
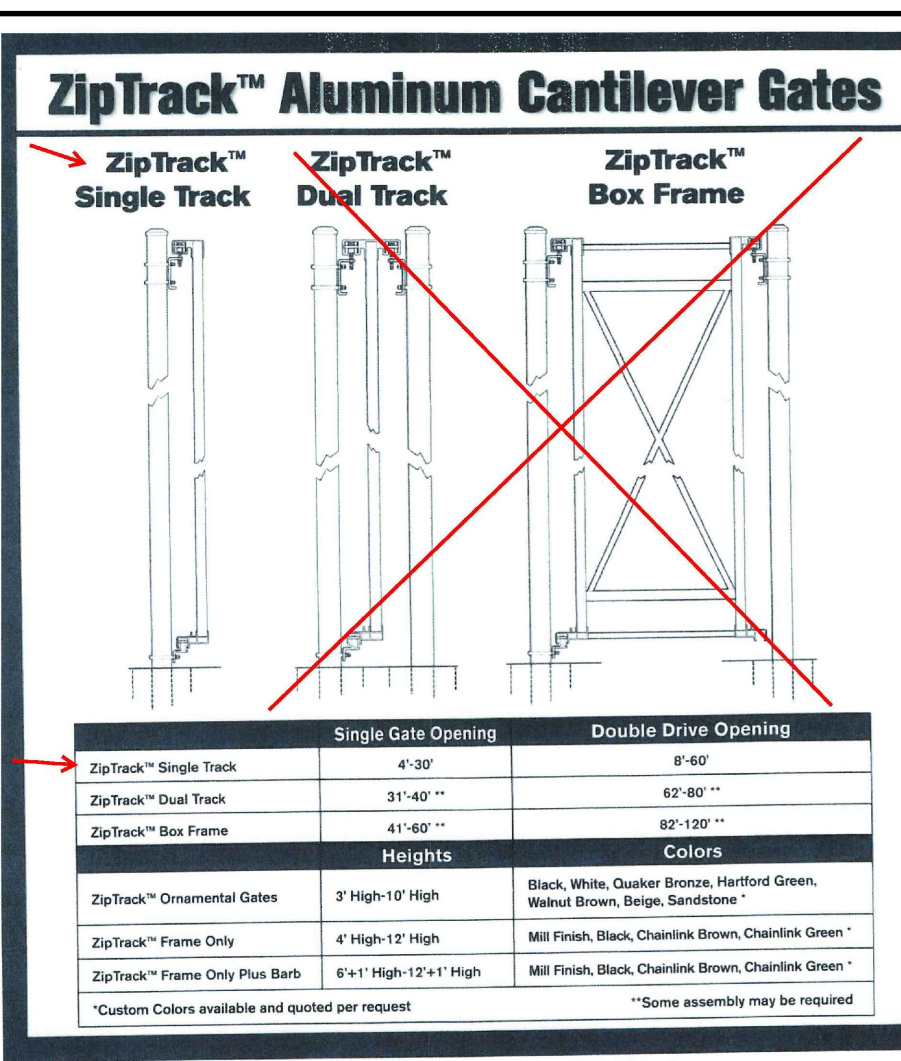
DATE: 11/18
REVISIONS:
11-18 Omitted diagonal slope at curbs and lower landings.
11-17 Added 2" dimension to det. warnings for setbacks greater than 5'.

PERPENDICULAR CURB RAMPS FOR SIDEWALKS
STANDARD 424001-10
(Sheet 1 of 2)



ELITE FENCE PRODUCTS

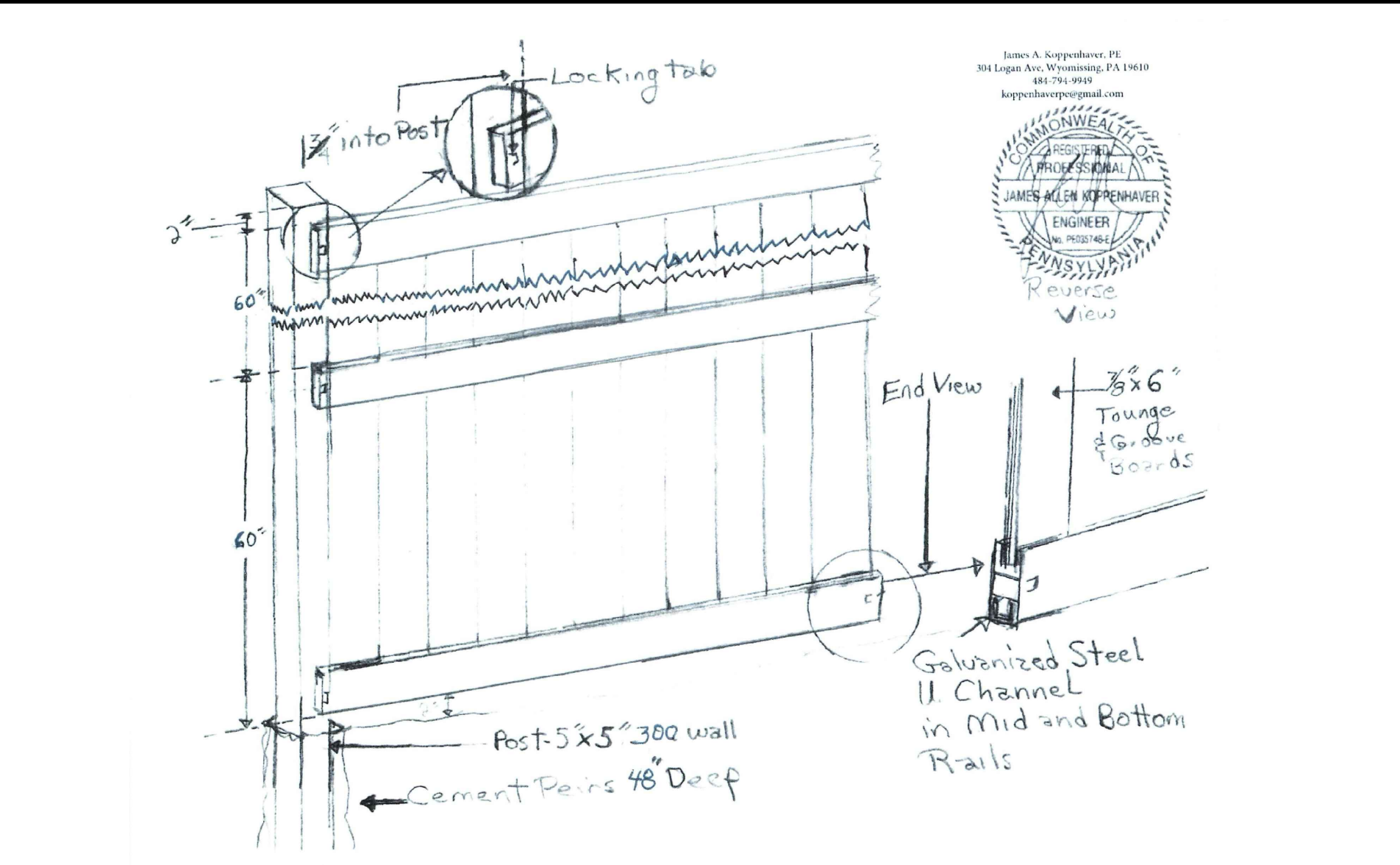
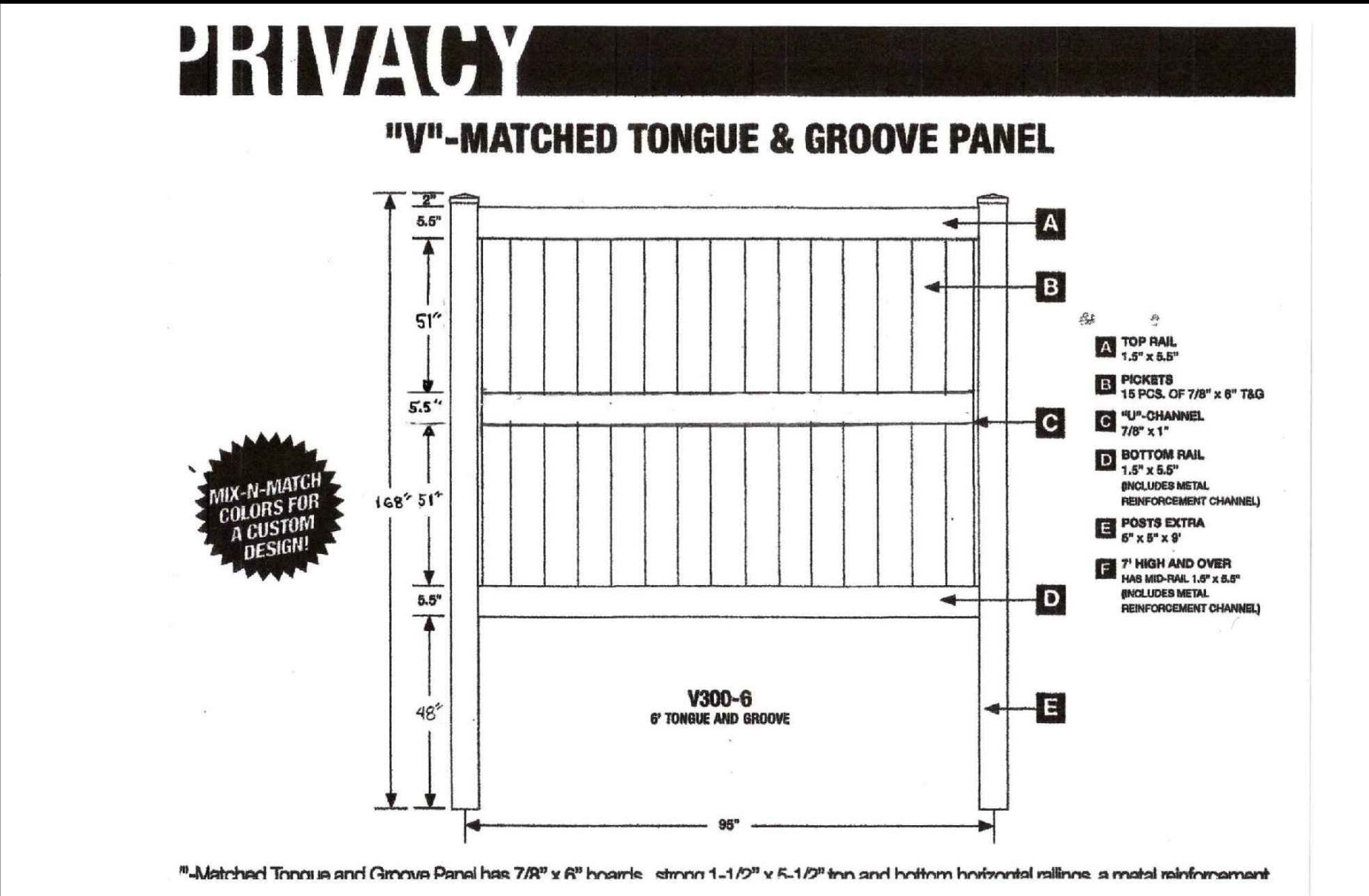
	Residential	Commercial	Industrial/Heavy Use
Post	2" x 2" x 24"	2" x 2" x 24"	2" x 2" x 24"
Horizontal Rails	1" x 1" x 12"	1" x 1" x 12"	1" x 1" x 12"
Vertical Rails	1" x 1" x 12"	1" x 1" x 12"	1" x 1" x 12"
Post Spacing	8' x 8' x 12'	8' x 8' x 12'	8' x 8' x 12'
Panel Length	8' x 8' x 12'	8' x 8' x 12'	8' x 8' x 12'



American Architectural Manufacturers Association Standards

Test Parameter	AAMA 2603 (Competition)	AAMA 2604 (Elite Fence Products)
Pre-treatment and Pretreatment	Chemical Conversion Coating	Multi-Stage Cleaning and Pretreatment
Pre-treatment Coating Weight	None Specified	Chlorine or Hex-Chrome Chemical Conversion Coating
Dry Film Thickness	0.4 MIL Min.	0.4 MIL Min. (0.4 MIL Min. to 0.6 MIL Max.)
Adhesion	Meets AAMA 800	Meets AAMA 800
Impact Resistance	15 MILS (0.38 mm) min. thickness of Visual Change for AAMA 2603, 2604, 2605	15 MILS (0.38 mm) min. thickness of Visual Change for AAMA 2603, 2604, 2605
Weathering Resistance	1500 Hours of Salt Solution Minimum Rating of 7 or Better on Color Change	1500 Hours of Salt Solution Minimum Rating of 7 or Better on Color Change

6" ORNAMENTAL FENCE DETAILS



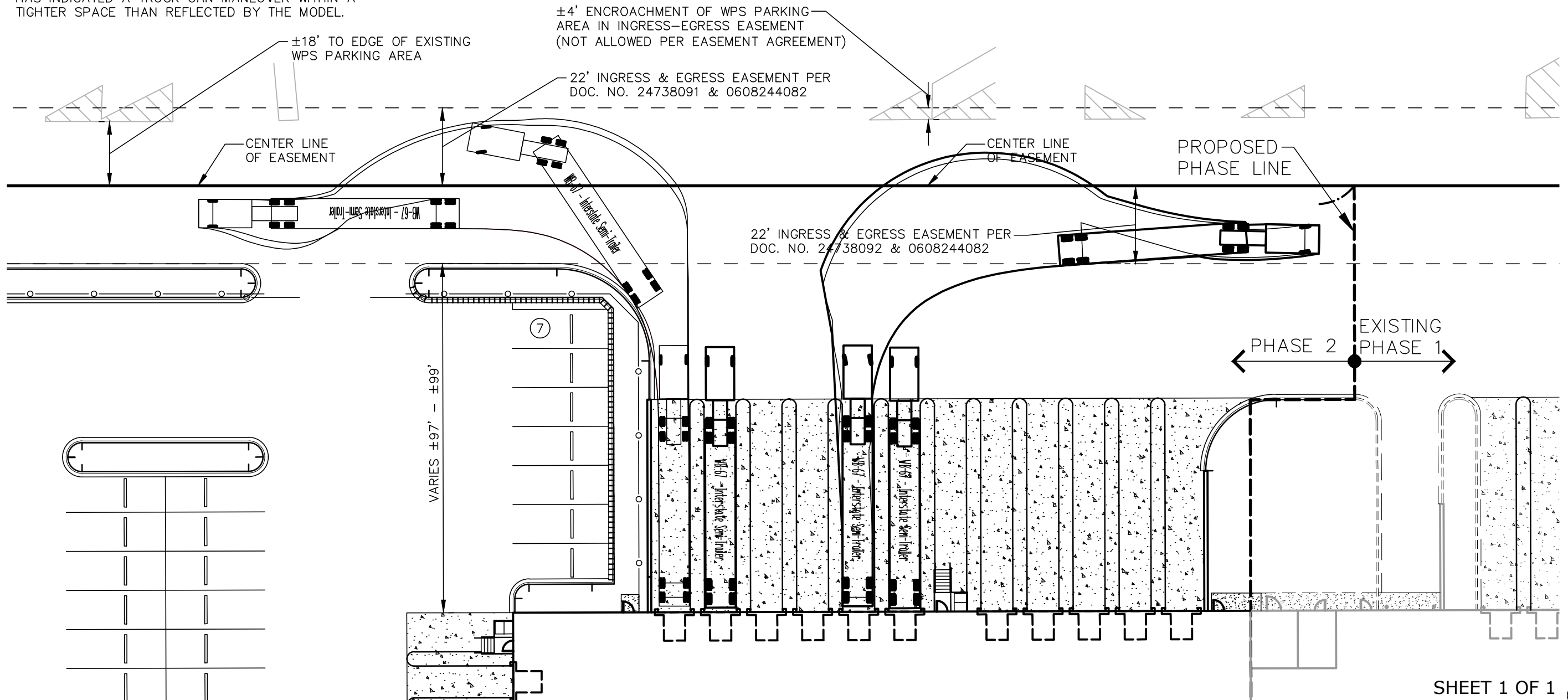
10" VINYL FENCE DETAILS

FENCE NOTES/SPECIFICATIONS:

- THE 6" ORNAMENTAL FENCE IS TO BE AN ELITE FENCE PRODUCTS, INC. COMMERCIAL ALUMINUM FENCE SYSTEM. DESIGN TYPE EF-20. POWDER COATED IN ACCORDANCE WITH AAMA 2604 OR AN APPROVED EQUAL. FENCE SYSTEM GATES SHALL BE A ZIP-TRACK SINGLE TRACK ALUMINUM CANTILEVER SLIDE GATE. GATE FILLER MATERIAL SHALL MATCH THE 6" ORNAMENTAL ALUMINUM FENCE.
- THE 10" VINYL FENCE SHALL BE A V-MATCHED TONGUE & GROOVE PANEL, AS NOTED ON DETAILS (OR AN APPROVED EQUAL). COLOR TO BE BEIGE, GRAY, OR CLAY.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER'S REPRESENTATIVE DETAILED INFORMATION AND SHOP DRAWINGS OF THE PRODUCT CHOSEN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

PROJECT NO. 56412720
 DATE 02/05/21
 SCALE 1"=30'
 PROJ. MGR. PDL
 PROJ. ASSOC. RWG

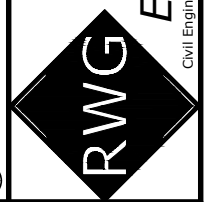
NOTE: EXHIBIT REFLECTS A WORST CASE CONDITION WITH A CONSERVATIVE DESIGN MODEL. FIELD EXPERIENCE HAS INDICATED A TRUCK CAN MANEUVER WITHIN A TIGHTER SPACE THAN REFLECTED BY THE MODEL.



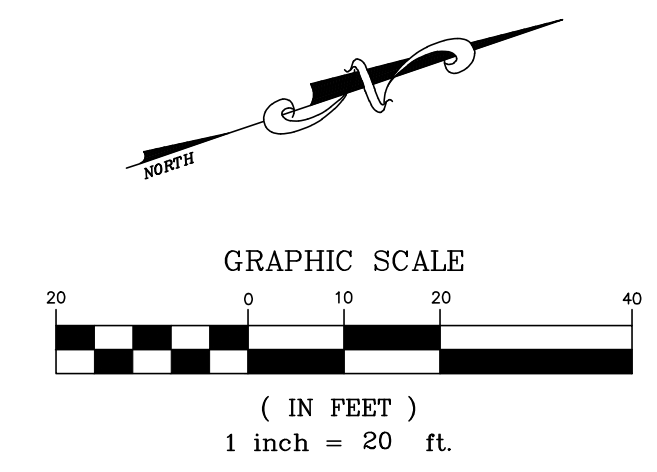
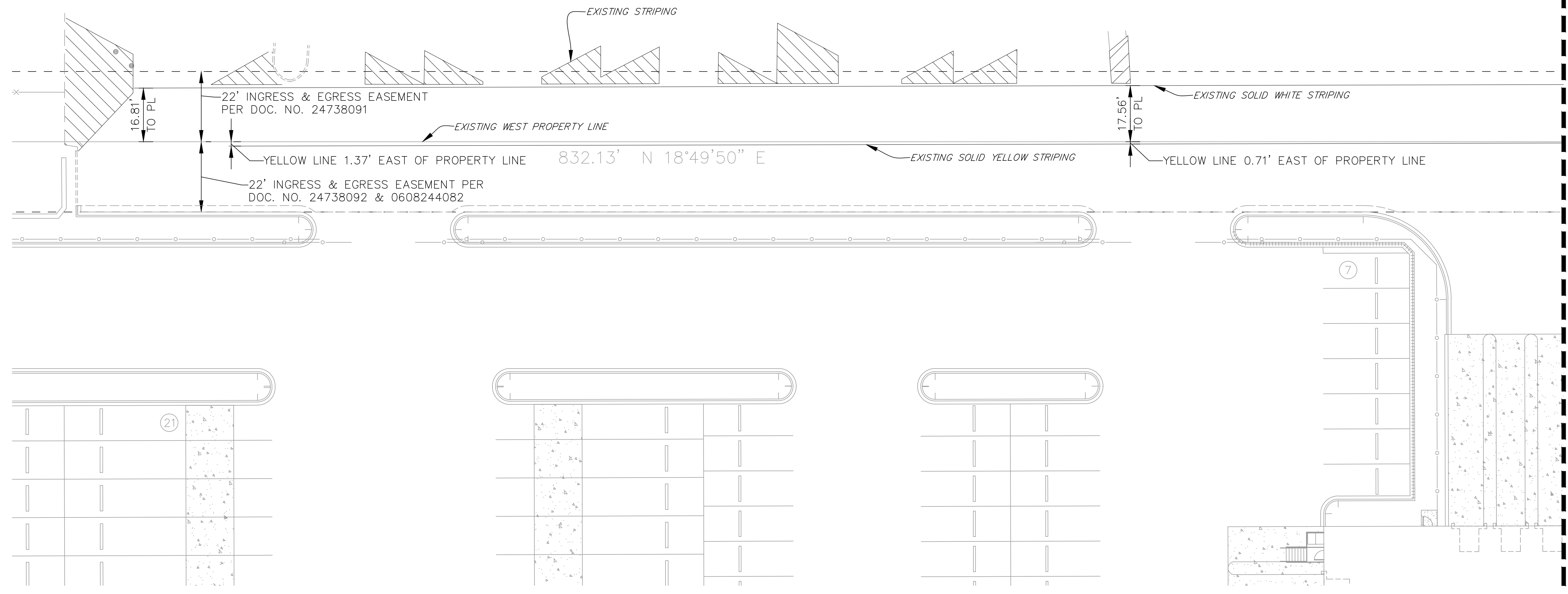
ARLINGTON HEIGHTS INDUSTRIAL
 ARLINGTON HEIGHTS, ILLINOIS
 TRUCK ROUTING EXHIBIT

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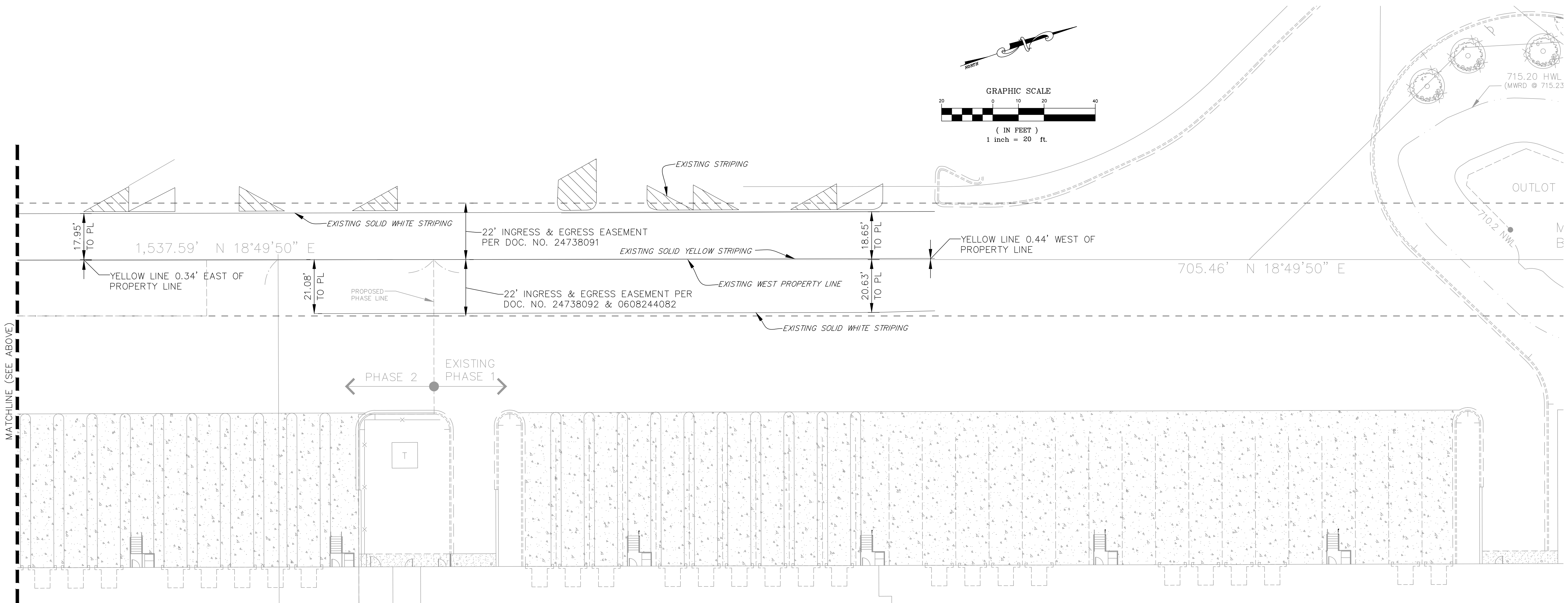
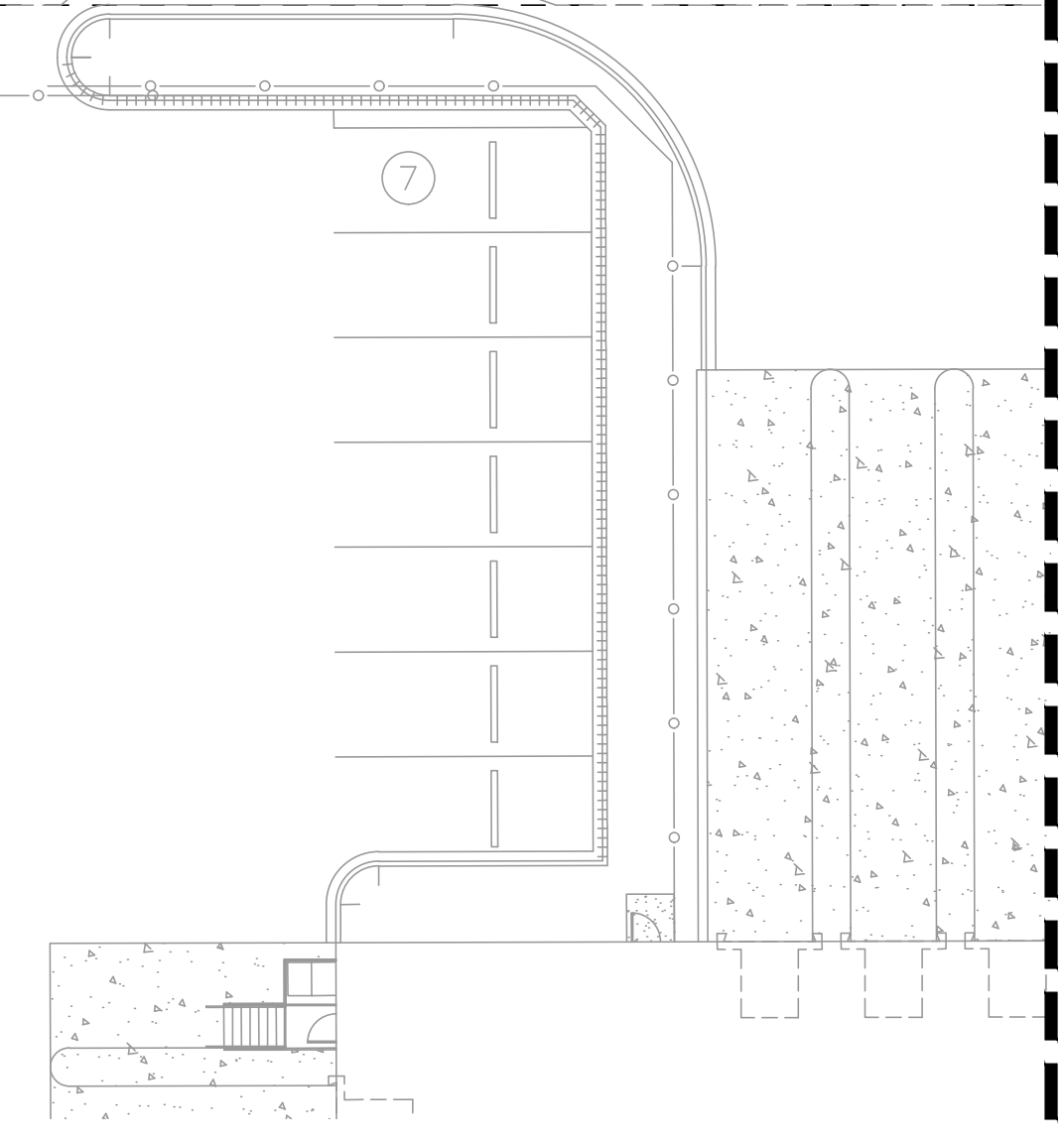
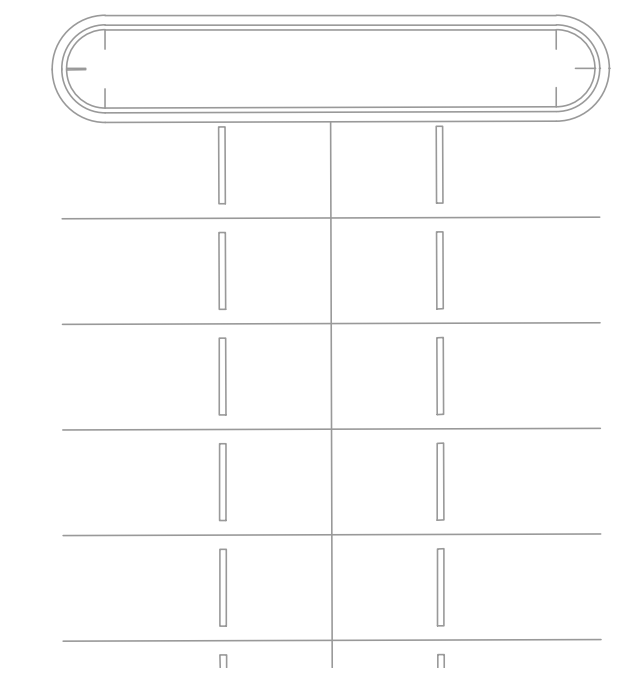
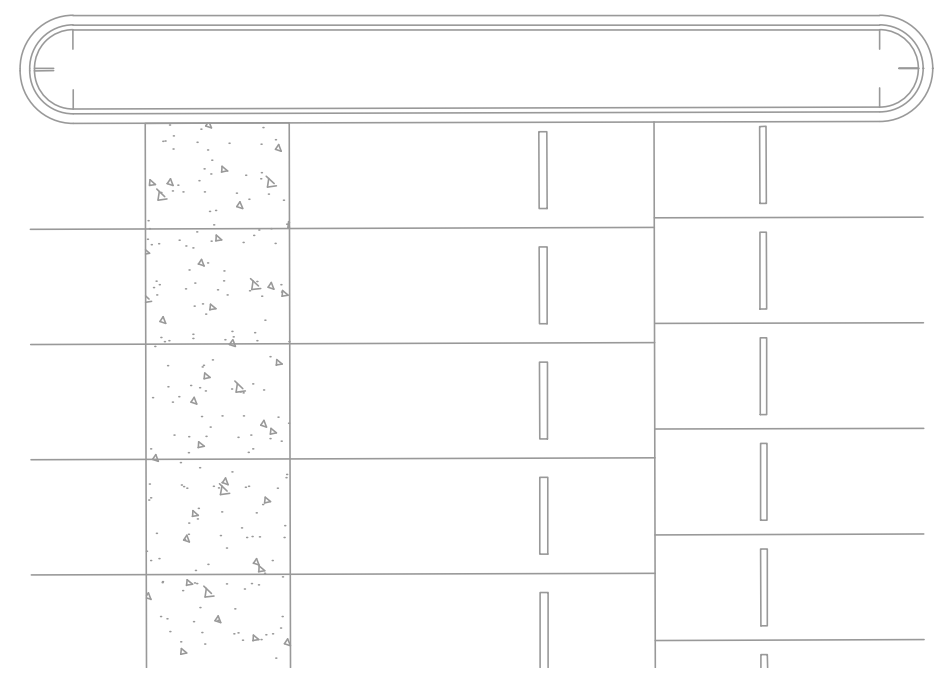
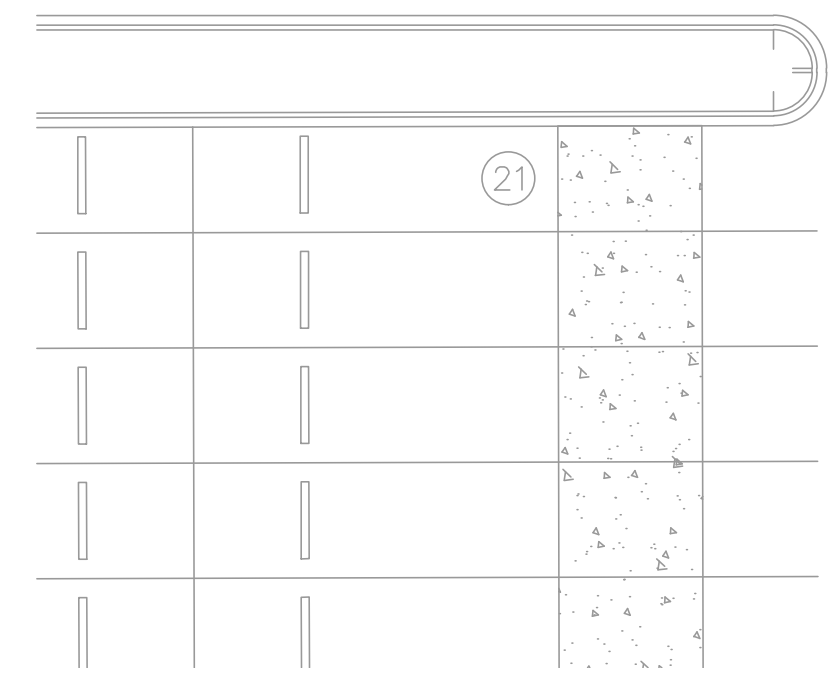
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INGRESS/EGRESS STRIPING
LOCATIONS PER 01/27/2021
FIELD SURVEY

ABBREVIATIONS LEGEND:

- EX = EXISTING
- PR = PROPOSED
- BC = BACK OF CURB
- FC = FACE OF CURB
- EP = EDGE OF PAVEMENT
- PL = PROPERTY LINE
- FB = FACE OF BUILDING
- EC = EDGE OF CONCRETE
- RW = RETAINING WALL
- ROW = RIGHT OF WAY
- BC/BC = BACK OF CURB TO BACK OF CURB
- SW = SIDEWALK
- R = RADIUS
- (TYP) = TYPICAL
- DW = DEMISING WALL



← PHASE 2 PHASE 1 →

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ARLINGTON HEIGHTS, ILLINOIS
EXISTING INGRESS/EGRESS EASEMENT STRIPING EXHIBIT

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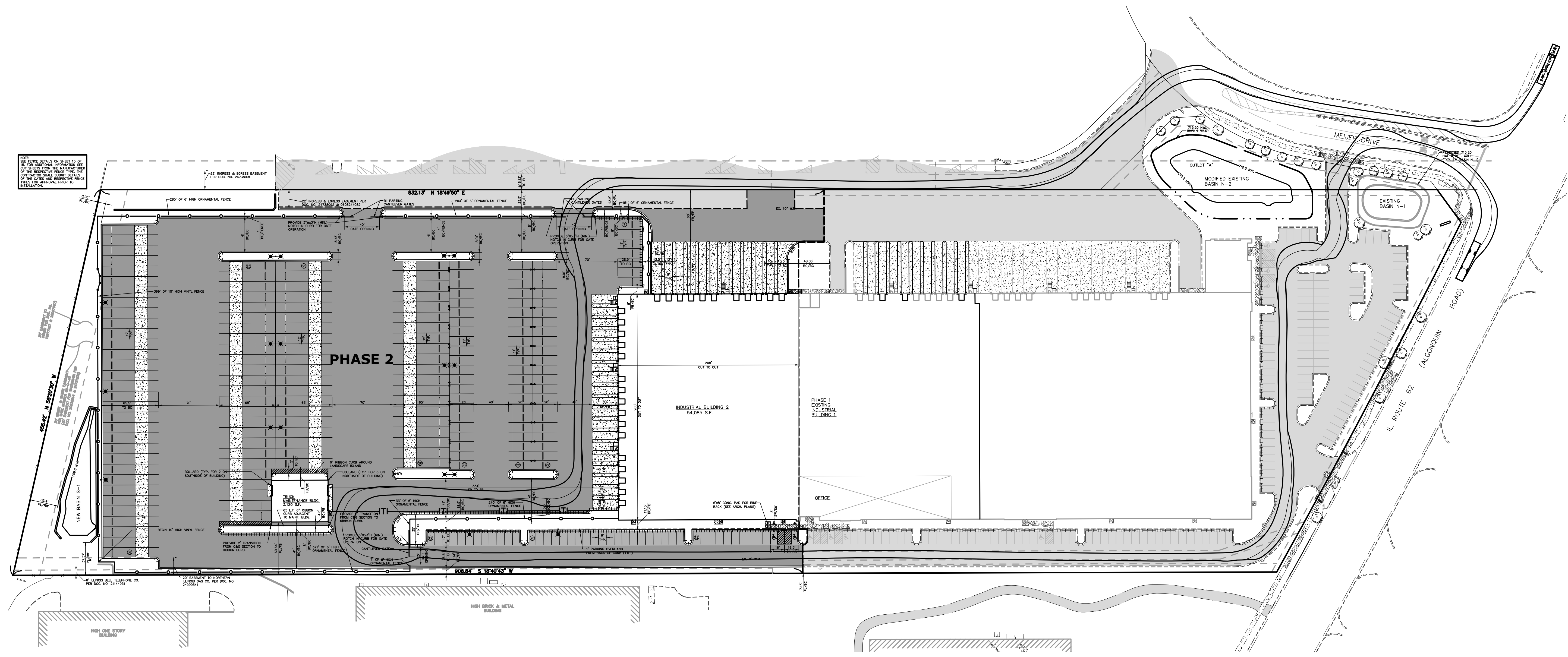
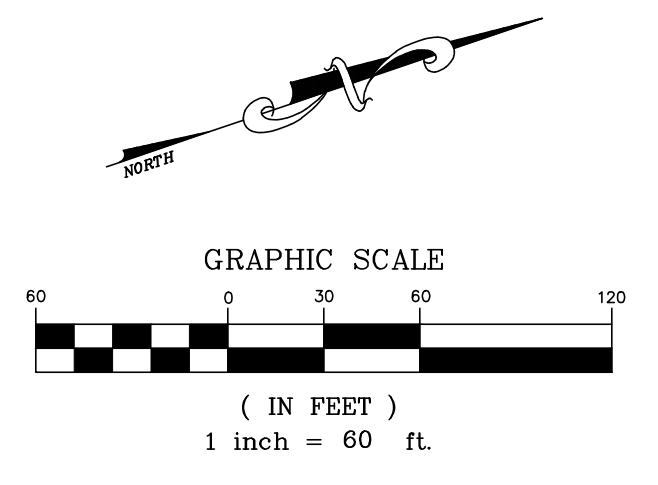
RWG Engineering, LLC
Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO. 56412720
DATE 02/05/21
SCALE 1" = 20'
PROJ. MGR. PDL
PROJ. ASSOC. RWG
DRAWN BY TLM

SHEET

1 OF 1

Exhibit A

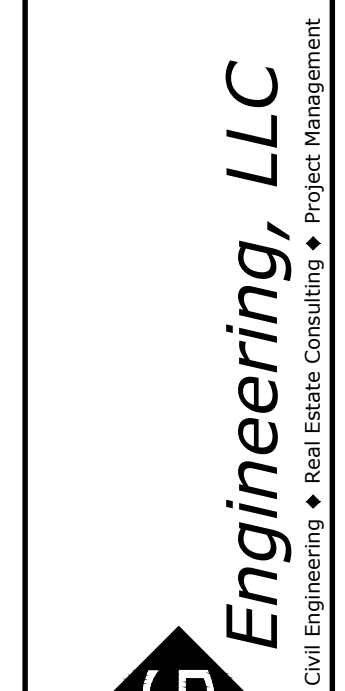


E-DNE HP95 Mid Mount for ArlingtonHots - Ladder 131
 Overall Length 48'00"
 Overall Width 8'00"
 Overall Body Height 11'00"
 Min. Body Ground Clearance 1'35"
 Track Width 8'33"
 Lock-to-lock time 6.00"
 Max Wheel Angle 40.00°

DRAWN BY	
REVISIONS	
DATE	

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
 ARLINGTON HEIGHTS, ILLINOIS
 FIRE TRUCK MANEUVERING EXHIBIT - PHASE 2 (FRITO-LAY)

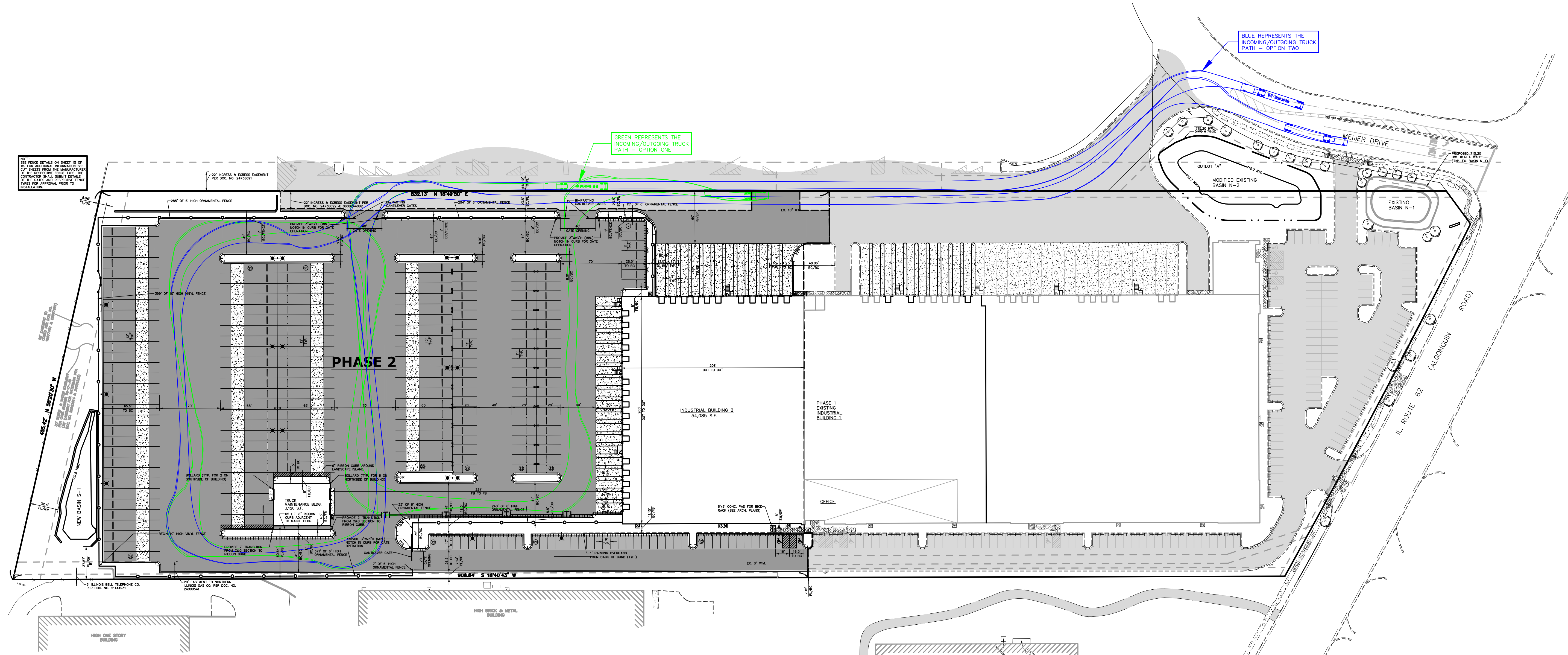
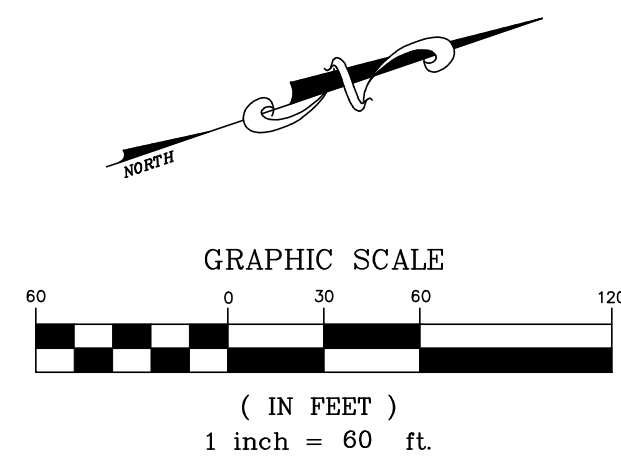
975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630-480-7889
 www.rwg-engineering.com



PROJECT NO. 56412220
 DATE 02/19/21
 SCALE 1"=60'
 PROJ. MGR. PDL
 PROJ. ASSOC. RWG
 DRAWN BY TLM

SHEET
 1 OF 1

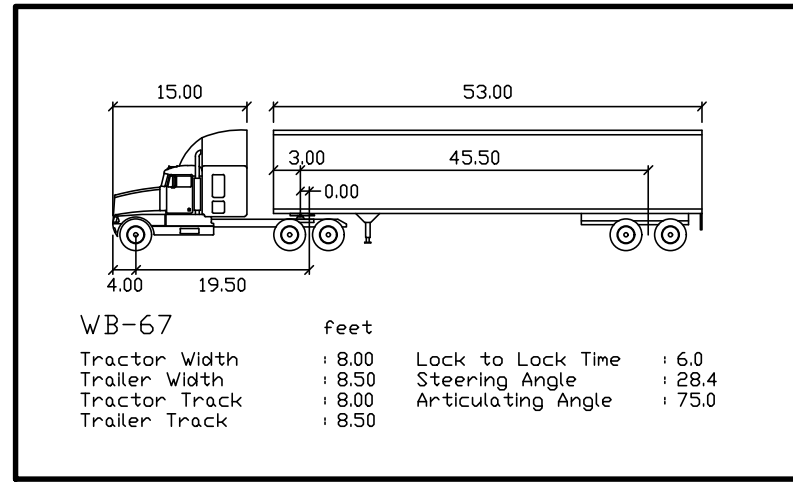
Exhibit A



SEE TRUCK PATHS ON SHEET 12 OF 12 FOR ADDITIONAL INFORMATION SET OF LAYOUTS FROM THE MANUFACTURER. THE CONTRACTOR SHALL VERIFY THE TRUCK PATHS WITH THE MANUFACTURER PRIOR TO APPROVAL FROM THE INSTALLATION.

GREEN REPRESENTS THE INCOMING/OUTGOING TRUCK PATH - OPTION ONE

BLUE REPRESENTS THE INCOMING/OUTGOING TRUCK PATH - OPTION TWO



KEY	
	ENTERING/LEAVING - TRUCK PATH (CYAN) (WB-67 DESIGN VEHICLE) - OPTION ONE
	ENTERING/LEAVING - TRUCK PATH (BLUE) (WB-67 DESIGN VEHICLE) - OPTION TWO

DRAWN BY	
REVISIONS	
DATE	

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
 ARLINGTON HEIGHTS, ILLINOIS
 TRUCK ACCESS EXHIBIT - PHASE 2 (FRITO-LAY)

975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630-480-7889
 www.rwg-engineering.com

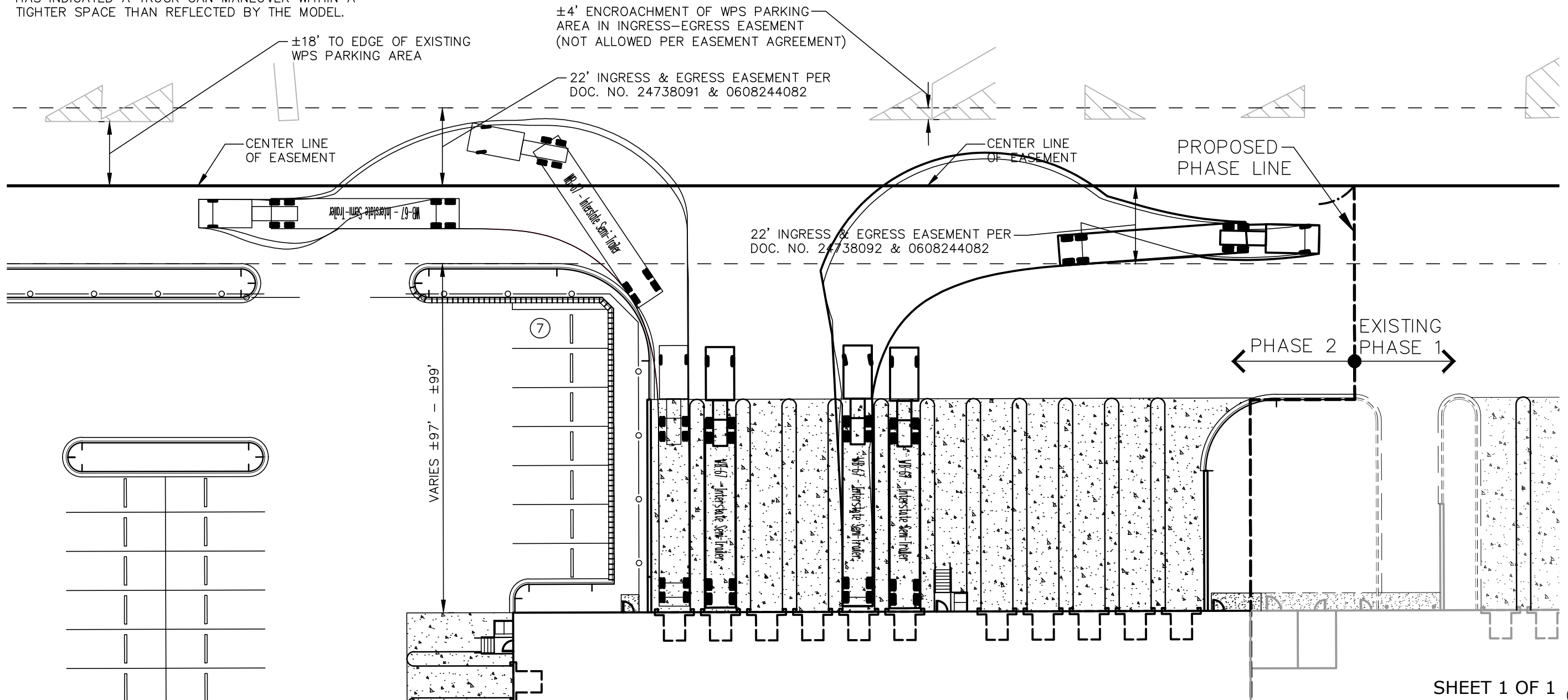
RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO. 56412220
 DATE 02/19/21
 SCALE 1"=60'
 PROJ. MGR. PDL
 PROJ. ASSOC. RWG
 DRAWN BY TLM

SHEET
 1 OF 1

PROJECT NO.	56412720
DATE	02/05/21
SCALE	1"=30'
PROJ. MGR.	PDL
PROJ. ASSOC.	RWG

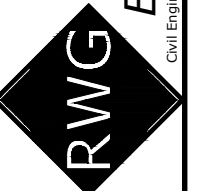
NOTE: EXHIBIT REFLECTS A WORST CASE CONDITION WITH A CONSERVATIVE DESIGN MODEL. FIELD EXPERIENCE HAS INDICATED A TRUCK CAN MANEUVER WITHIN A TIGHTER SPACE THAN REFLECTED BY THE MODEL.



ARLINGTON HEIGHTS INDUSTRIAL
 ARLINGTON HEIGHTS, ILLINOIS
 TRUCK ROUTING EXHIBIT

975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

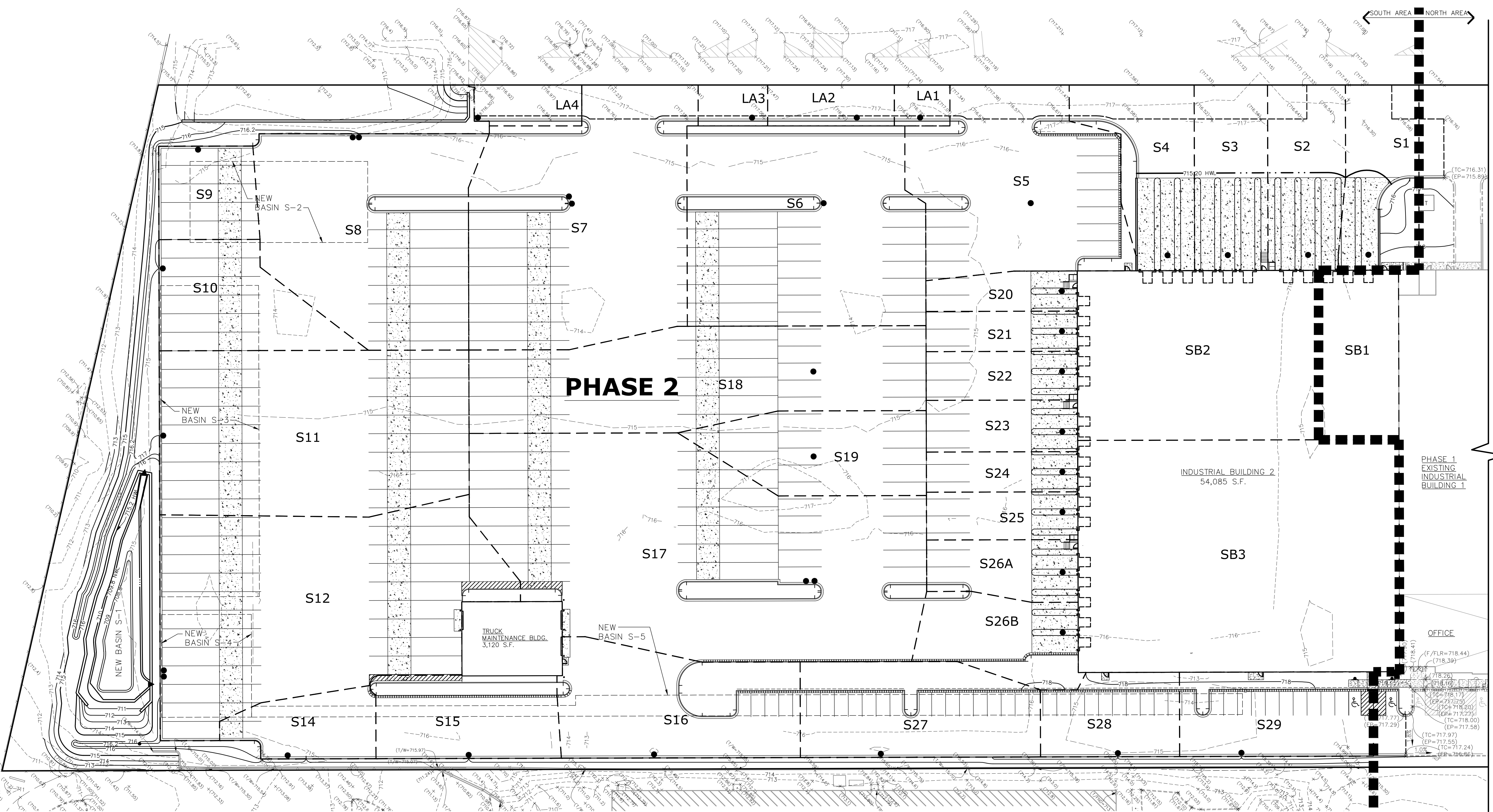
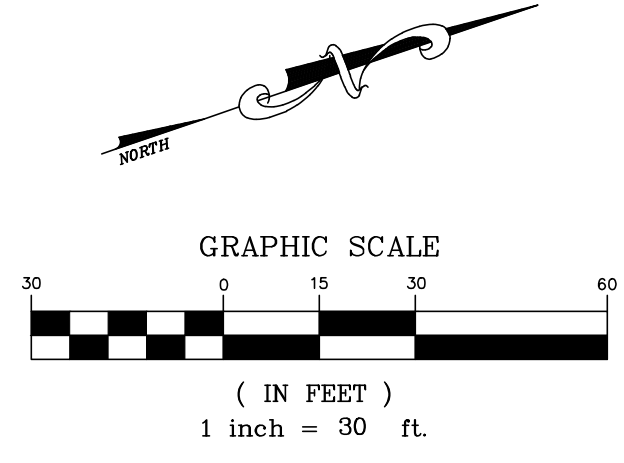
Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management



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DRAINAGE AREA	TOTAL AREA (Ac)	IMPERVIOUS AREA (Ac) "C">0.95	PERVIOUS AREA (Ac) "C"<0.50	COMPOSITE "C"
S1	0.135	0.105	0.030	0.85
S2	0.135	0.135	0.000	0.95
S3	0.131	0.131	0.000	0.95
S4	0.146	0.131	0.016	0.91
S5	0.343	0.320	0.023	0.92
S6	0.145	0.109	0.037	0.91
S7	0.495	0.471	0.025	0.93
S8	0.400	0.387	0.013	0.94
S9	0.088	0.088	0.000	0.95
S10	0.152	0.152	0.000	0.95
S11	0.483	0.483	0.000	0.95
S12	0.577	0.577	0.000	0.95
S13	Eliminated - included with other Drainage Areas			
S14	0.083	0.083	0.000	0.95
S15	0.218	0.183	0.035	0.88
S16	0.242	0.195	0.047	0.86
S17	0.783	0.756	0.027	0.93
S18	0.393	0.393	0.000	0.95
S19	0.162	0.162	0.000	0.95
S20	0.055	0.055	0.000	0.95
S21	0.058	0.058	0.000	0.95
S22	0.071	0.071	0.000	0.95
S23	0.075	0.075	0.000	0.95
S24	0.058	0.058	0.000	0.95
S25	0.070	0.070	0.000	0.95
S26A	0.083	0.081	0.003	0.95
S26B	0.121	0.093	0.028	0.85
S27	0.210	0.152	0.057	0.82
S28	0.106	0.091	0.016	0.89
S29	0.157	0.126	0.031	0.86
LA1	0.022	0.019	0.002	0.87
LA2	0.050	0.044	0.006	0.90
LA3	0.027	0.024	0.003	0.90
LA4	0.042	0.038	0.004	0.91
SB1	0.131	0.131	0.000	0.95
SB2	0.393	0.393	0.000	0.95
SB3	0.717	0.717	0.000	0.95

TOTAL SITE AREA:
 SOUTH
 IMPERVIOUS 320,544 SF (7.359 Ac.)
 PERVIOUS 52,326 SF (1.201 Ac.)
 TOTAL 372,870 SF (8.560 Ac.)



REVISIONS	DATE	BY	DESCRIPTION
1	02/09/21	TLM	VILLAGE ROUND THREE COMMENTS & WISC.

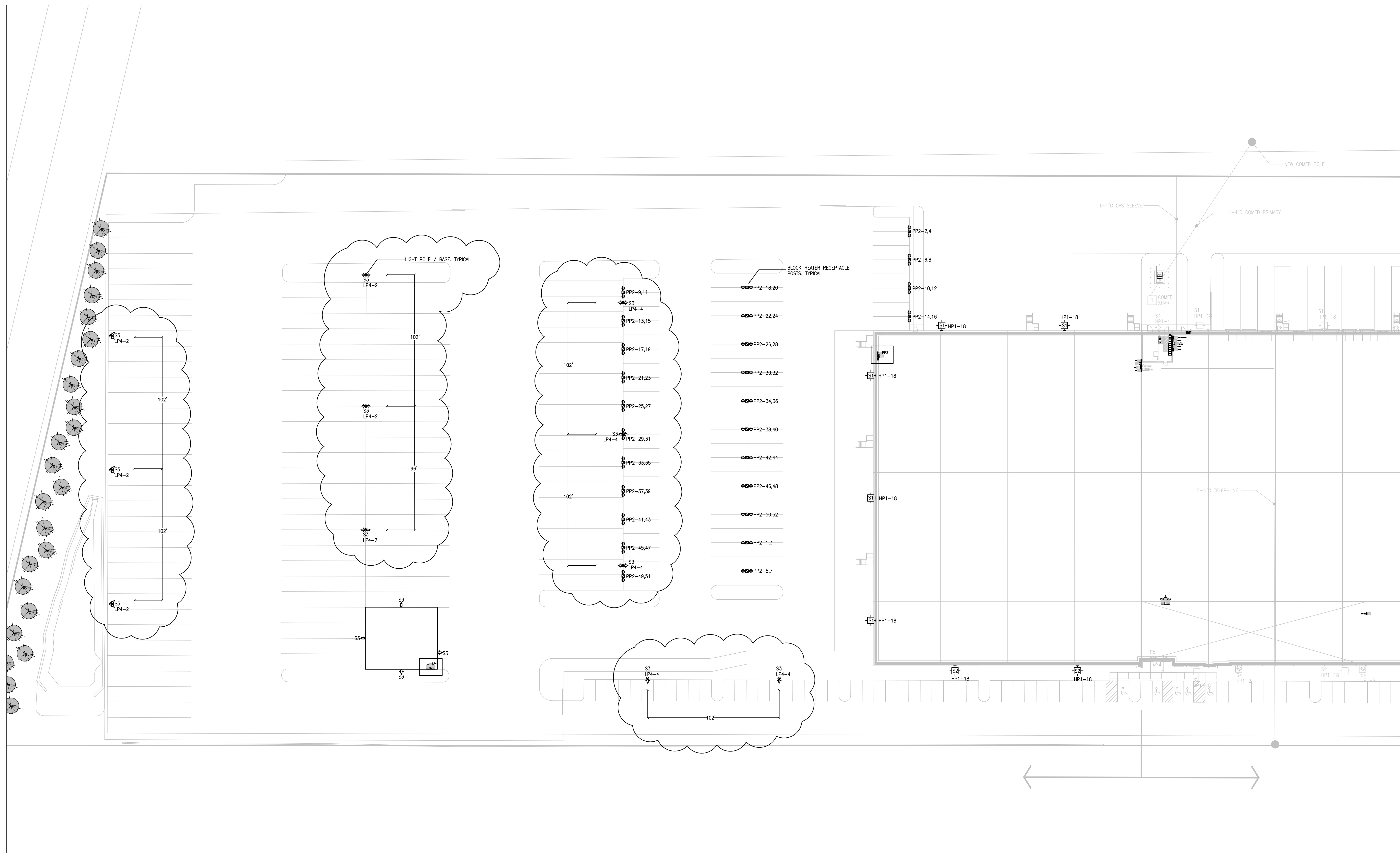
HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
 ARLINGTON HEIGHTS, ILLINOIS
 DRAINAGE AREA EXHIBIT - PHASE 2 (FRITO-LAY)

975 E. 22nd St., Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO. 32212717
 DATE 01/15/21
 SCALE 1"=30'
 PROJ. MGR. PDL
 PROJ. ASSOC. RWG
 DRAWN BY TLM

SHEET
 1 OF 1



SITE LIGHTING PLAN

SCALE: 1"=30'

- NOTES:
- ALL LIGHT FIXTURES TO BE FLAT BOTTOM, SHARP CUT-OFF.
 - SITE LIGHTING TO BE PHOTOCELL ON / TIMECLOCK OFF.
 - ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED 28' AFG.
 - WALL MOUNT FIXTURES TO BE CENTER IN PRECAST PANELS. COORDINATE FINAL LOCATION AND HEIGHT WITH ARCHITECTURAL DRAWINGS.
 - COORDINATE LIGHT POLE LOCATIONS WITH CIVIL.
 - POLE BASES TO BE 4' ABOVE GRADE.
 - ALL SITE LIGHTING TO BE 277V AND FED FROM MAINTENANCE BUILDING PANEL LP4.
 - SEE DETAIL FOR BLOCK HEATER RECEPTACLE POSTS. VERIFY FINAL LOCATIONS.



REV.	DATE	PURPOSE	BY
2	02-04-21	ROUND 3 COMMENTS	MT
1	01-04-21	ISSUED FOR PERMIT	MT

REVISIONS

PROJECT INFORMATION:

FRITO LAY

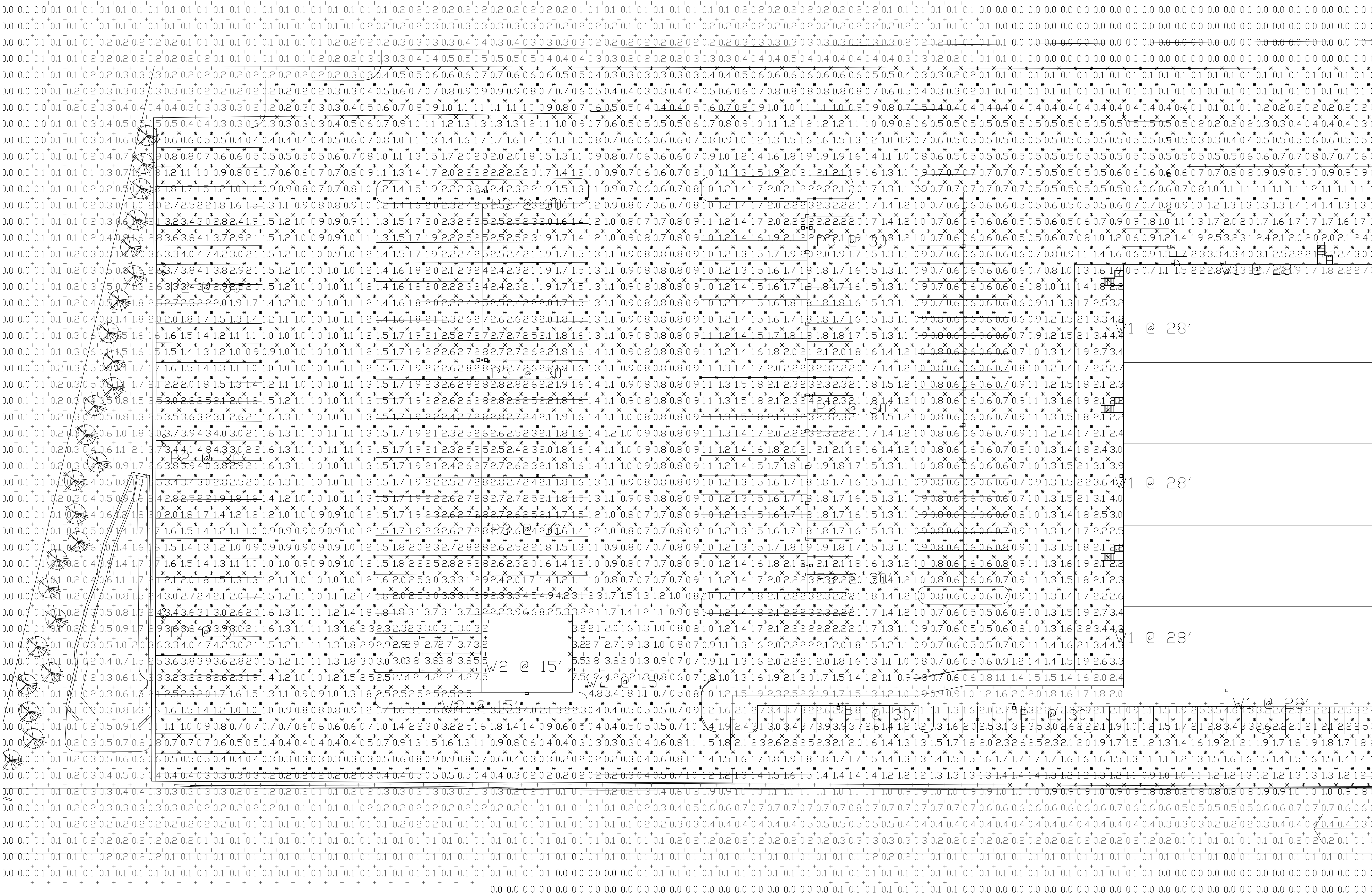
703 WEST ALGONQUIN ROAD
UNIT 103
ARLINGTON HEIGHTS, IL 60005

DRAWING DESCRIPTION:

SITE LIGHTING PLAN

Hinsdale Electric Co.
A DIVISION OF IRL COUNTY ELECTRIC
1143 N. MAIN STREET
LOMBARD, IL 60148
PH: 630-629-8050 FAX: 630-629-8089

SCALE: NA JOB #: -
DATE: 10-21-2020 HEC DRAWING #:
DRAFTER: MT SE-100
ENGINEER: -



SITE LIGHTING PLAN

SCALE: NA

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FULL AREA CALC.	+	0.8 Fc	8.2 Fc	0.0 Fc	N/A	N/A
PARKING LDT CALC.	X	1.3 Fc	8.2 Fc	0.1 Fc	82.01	13.01

- NOTES:
1. CALCULATION POINTS ARE AT GROUND LEVEL.
 2. ALL FIXTURE HEIGHTS ARE NOTED ON THE PLAN.
 3. CALCULATION POINTS ARE ON A 10' x 10' SPACING.
 4. CARS, SHRUBBERY, EQUIPMENT AND SIGNAGE CAN CAUSE REDUCED LIGHT LEVELS FROM WHAT IS EXPECTED.
 5. CALCULATIONS PROVIDED ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.
 6. FIELD VERIFICATION REQUIRED.

- NOTES:
4. ALL LIGHT FIXTURES TO BE FLAT BOTTOM, SHARP CUT-OFF.
 5. SITE LIGHTING TO BE PHOTOCELL ON / TIMELOCK OFF.
 6. ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED 28" AFG.
 7. WALL MOUNT FIXTURES TO BE CENTER IN PRECAST PANELS. COORDINATE FINAL LOCATION AND HEIGHT WITH ARCHITECTURAL DRAWINGS.
 8. COORDINATE LIGHT POLE LOCATIONS WITH CIVIL.
 9. POLE BASES TO BE 4' ABOVE GRADE.
 10. ALL SITE LIGHTING TO BE 277V



REV	DATE	PURPOSE	BY
3	02-04-20	ROUND 3 COMMENTS	MT
2	12-18-20	11-30 PERMIT COMMENTS	MT
1	10-21-20	ISSUED FOR PERMIT	MT

REVISIONS

PROJECT INFORMATION

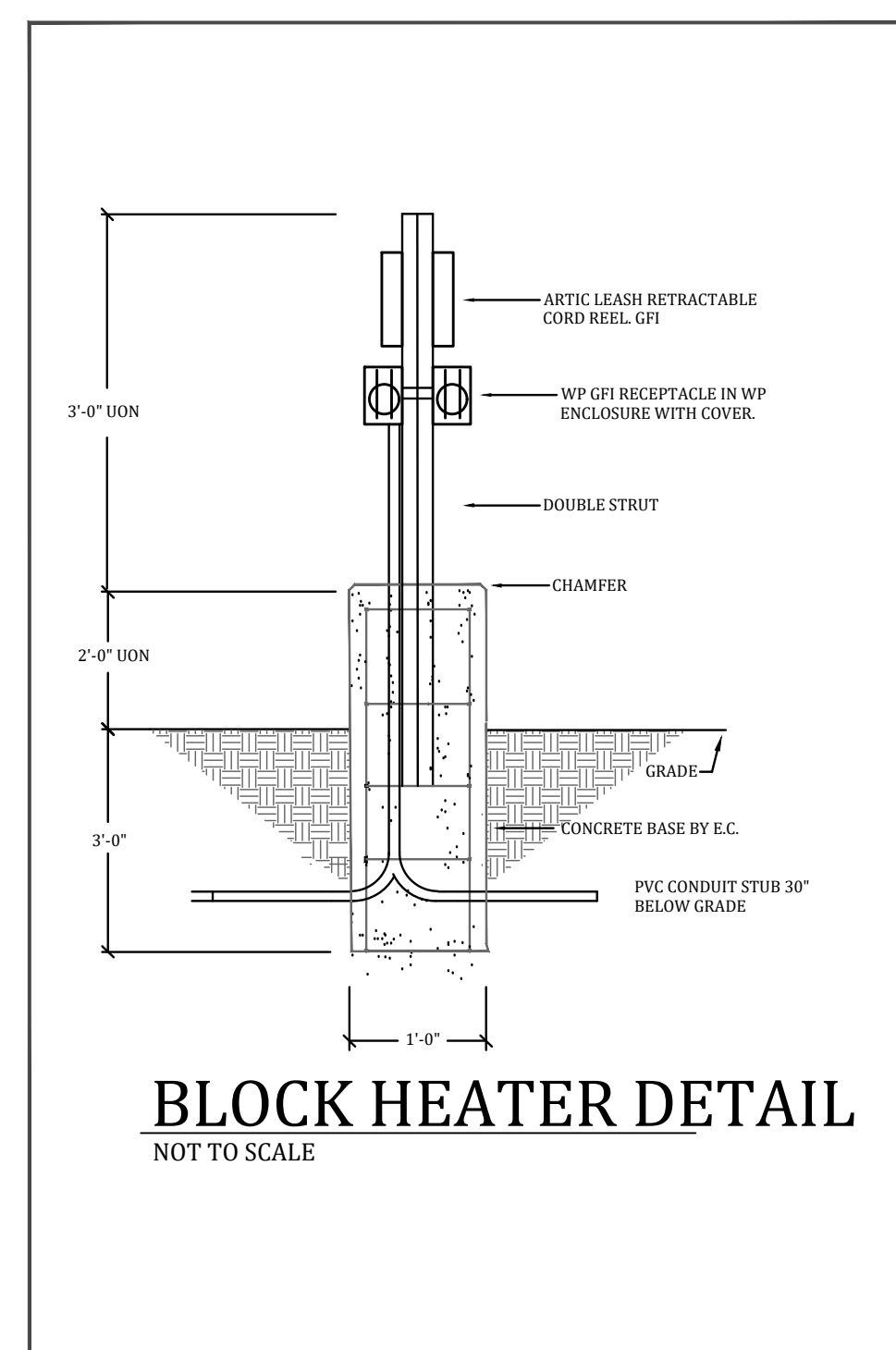
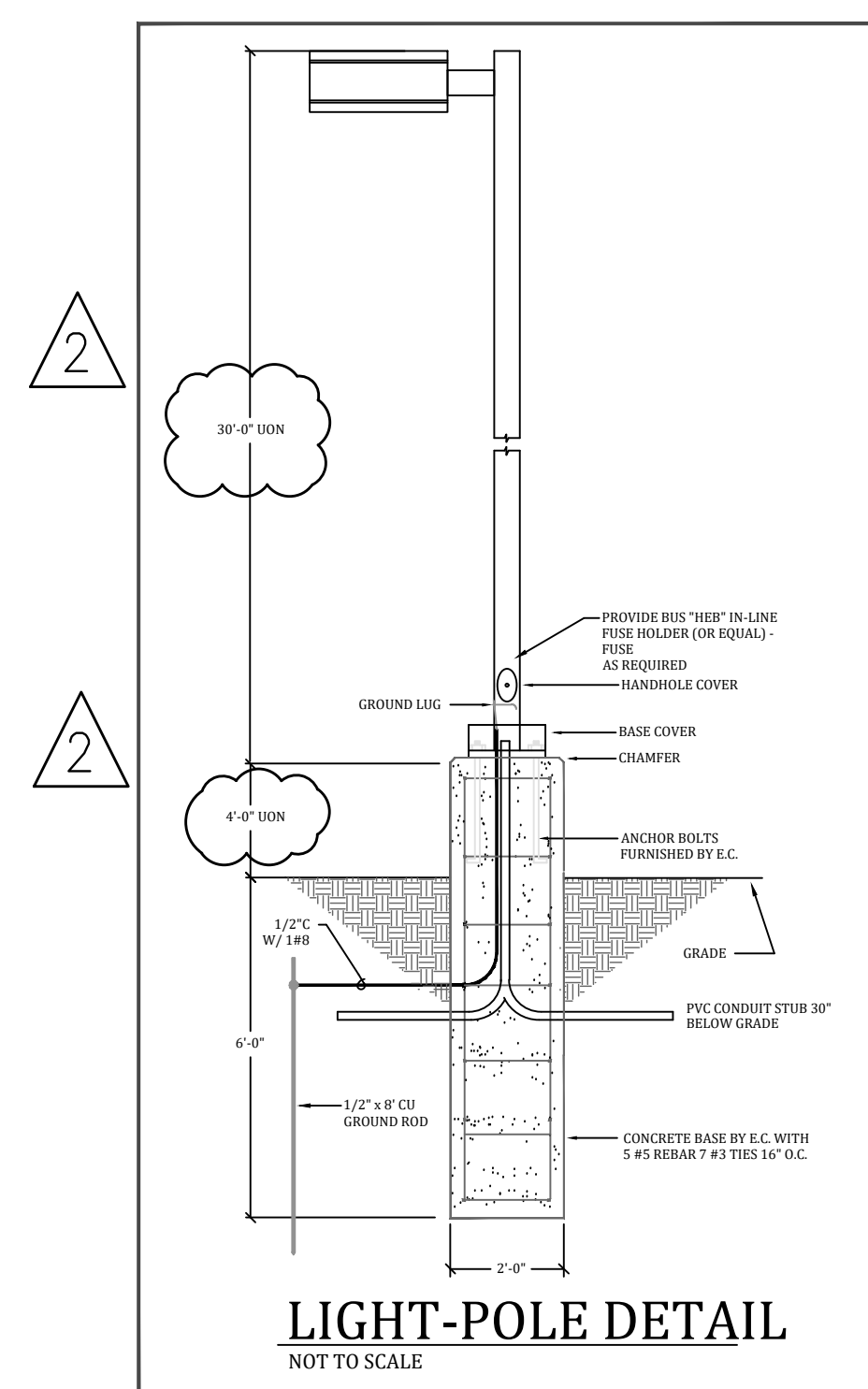
FRITO LAY
703 WEST ALGONQUIN ROAD
UNIT 103
ARLINGTON HEIGHTS, IL 60005

DRAWING DESCRIPTION
SITE LIGHTING PHOTOMETRIC



SCALE: NA	JOB #: -
DATE: 10-21-2020	HEC DRAWING #:
DRAFTER: MT	SE-100P
ENGINEER: -	

Exhibit G



DETAILS

SCALE: NA



REV.	DATE	PURPOSE	BY
2	01-11-21	ROUND 2 PERMIT COMMENTS	MT
1	12-18-20	11-30 PERMIT COMMENTS	MT

REVISIONS

PROJECT INFORMATION:

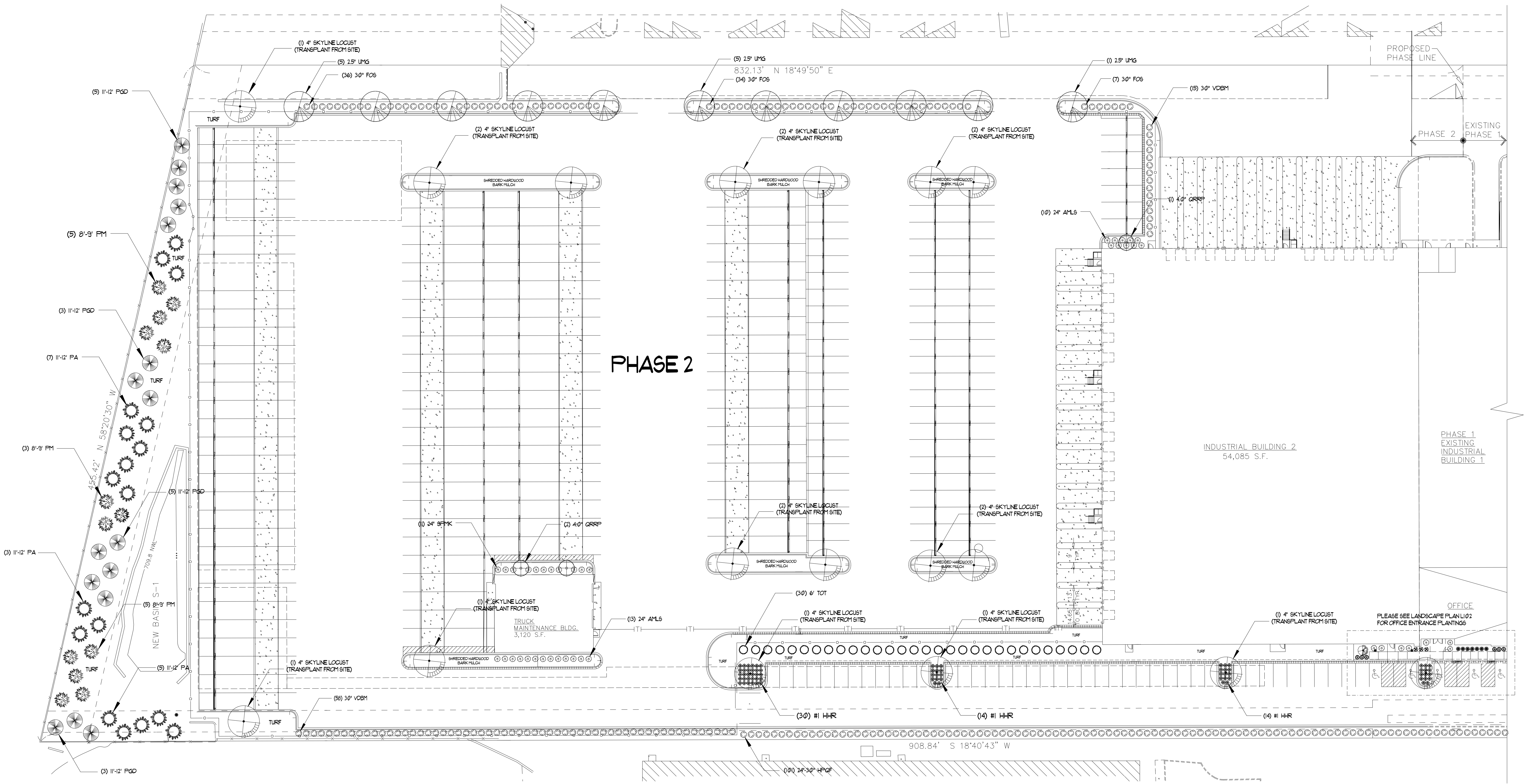
FRITO LAY
703 WEST ALGONQUIN ROAD
UNIT 103
ARLINGTON HEIGHTS, IL 60005

DRAWING DESCRIPTION:

DETAILS



SCALE: NA	JOB #: -
DATE: 10-21-2020	HEC Drawing #:
DRAFTER: MT	SE-101
ENGINEER: -	



PHASE 2

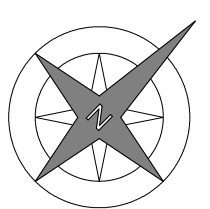
PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
3	Regal Prince English Oak	Quercus robur 'Regal Prince'	4.0"	B&B	QRRP #
11	Triumph Elm	Ulmus 'Morton Glossy'	2.5"	B&B	UMG
1	Autumn Brilliance Serviceberry	Amelanchier grandiflora	6"	B&B	AGAB
18	Norway Spruce	Picea abies	11'-12'	B&B	PA
16	Black Hills Spruce	Picea glauca 'Densata'	11'-12'	B&B	PGD
13	Douglas Fir	Pseudotsuga menziesii	8'-9'	B&B	PM
30	Techny Arborvitae	Thuja occidentalis 'Techny'	6"	B&B	TOT
23	Low Scape Mound Chokeberry	Aronia melanocarpa 'Low Scape Mound'	24"	Cont.	AMLS
3	Green Gem Boxwood	Buxus 'Green Gem'	24"	Cont.	BGG
77	Sunrise Forsythia	Forsythia ovata 'Sunrise'	30"	Cont.	FOS
5	Incrediball Hydrangea	Hydrangea arborescens 'Abetwo'	24"	Cont.	HAA
3	Green Sargent Juniper	Juniperus chinensis 'Green Sargent'	24"	Cont.	JCGS
11	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
174	Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	30"	Cont.	VDBM
86	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1	Pots	HRH

High Branched



SCALE: 1"=30'



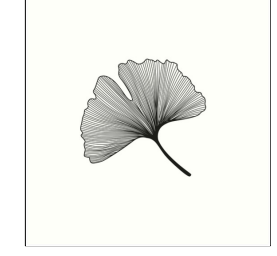
REVISIONS:
12.20.20 (VILLAGE REVIEW)
01.22.21 (VILLAGE REVIEW)
02.09.21 (VILLAGE REVIEW)

DOWDEN DESIGN GROUP
P.O. BOX 415, LIBERTYVILLE, IL 60148
DOWDENDESIGNGROUP.COM PHONE: (847) 367-1254

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
PHASE 2 (FRITOLAY)
WEST ALGONQUIN ROAD
ARLINGTON HEIGHTS, ILLINOIS

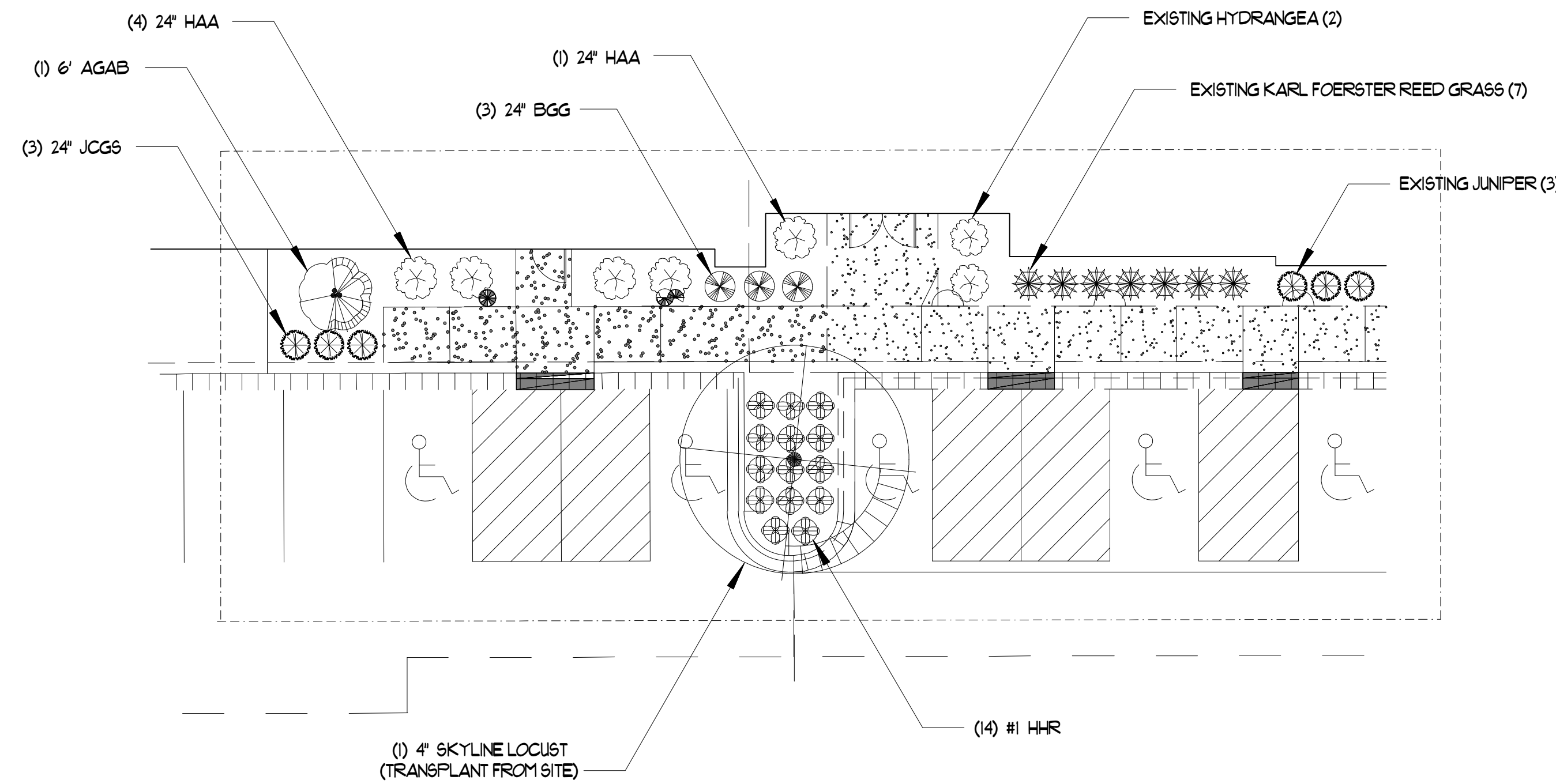
LANDSCAPE
PLAN

DATE: 11.09.20
SCALE: 1"=30'
DARIUS CJD

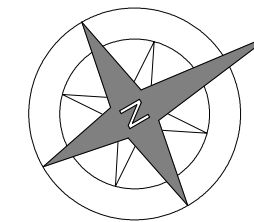


LIOI

EAST BUILDING ENTRANCE

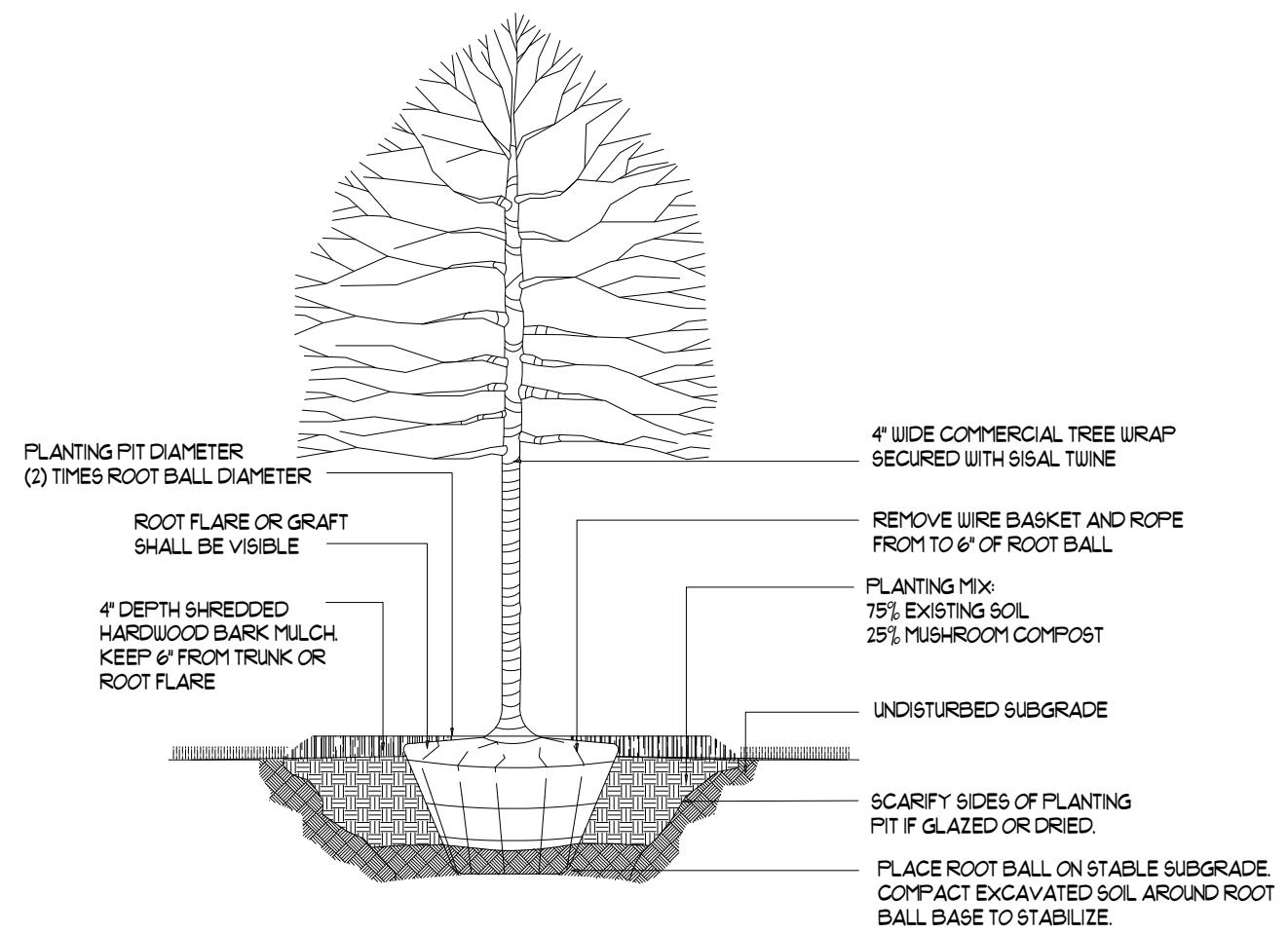


SCALE: 1"=10'

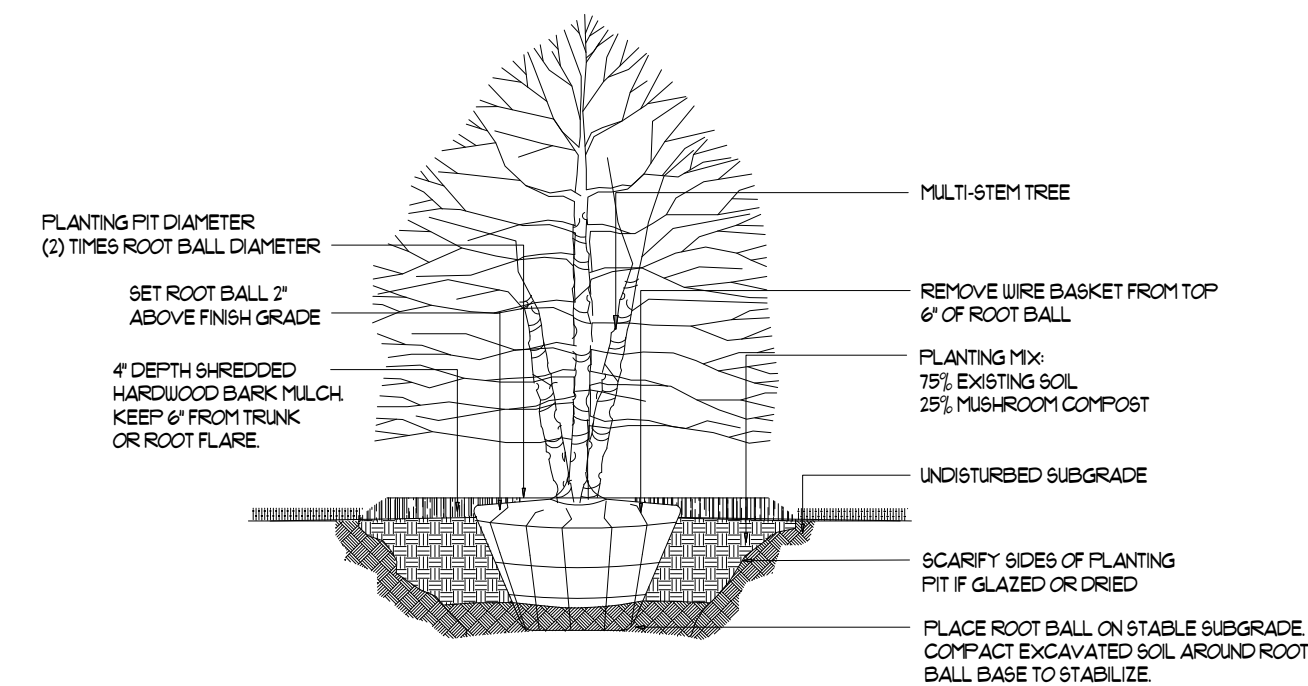


NOTES:

- 1) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE PLANTING AS SHOWN ON THE DRAWING. ALL PLANTS SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANTS SHALL MEET SIZE, GENUS, SPECIES AND VARIETY AND BE IN GOOD HEALTH, FREE OF INSECTS, DISEASES, OR DEFECTS. NO "PARK GRADE" MATERIAL SHALL BE ACCEPTED. TREES NOT EXHIBITING A CENTRAL (OR SINGLE) LEADER WILL BE REJECTED UNLESS CALLED IN THE PLANT LIST AS MULTI-STEM. QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND, IN CASE OF DISCREPANCY, THE PLAN SHALL PREVAIL. NO PLANTS ARE TO BE CHANGED OR SUBSTITUTED WITHOUT APPROVAL FROM A REPRESENTATIVE OF JAMES DOWDEN & ASSOCIATES, INC.
- 2) ALL PLANTS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD FOLLOWING INSTALLATION. A WATERING SCHEDULE MUST BE AGREED UPON WITH THE OWNER (BEFORE PLANTINGS ARE INSTALLED) OF WHOM, WHEN AND HOW PLANT MATERIALS ARE TO BE PROPERLY WATERED. THE LANDSCAPE CONTRACTOR SHALL VERIFY PROPER WATERING IS BEING DONE FOR THE ESTABLISHMENT AND HEALTH OF ALL PLANT MATERIALS. THE LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR ONE YEAR FROM THE TIME OF INSTALLATION AND PROJECT ACCEPTANCE.
- 3) PLANTS SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NO ROOT BOUND MATERIAL SHALL BE ACCEPTED AND ALL WRAPPING MATERIALS MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. IT IS THE OPTION OF THE LANDSCAPE CONTRACTOR TO ROLL BACK BURLAP FROM THE TOP OF THE ROOT BALL.
- 4) RECOMMENDED MULCH DEPTH IS THREE INCHES (3") OF SHREDDED HARDWOOD BARK. THE LANDSCAPE CONTRACTOR SHALL AVOID OVERMULCHING AND THE CREATION OF "MULCH VOLCANOES". MULCH BEDS SHALL EXTEND A MINIMUM OF TWO FEET (2') BEYOND THE CENTER OF A TREE OR SHRUB. MULCH MUST BE PULLED BACK AT LEAST TWO INCHES (2") FROM THE BASE OF A TREE SO THE BASE OF THE TRUNK AND ROOT CROWN ARE EXPOSED.
- 5) PREPARE ALL PERENNIAL BEDS WITH ONE CUBIC YARD OF GARDEN COMPOST PER 100 SF AND THE COMPOST SHALL BE ROTOTILLED TO AN 8" DEPTH.
- 6) ALL PLANTS SHALL BE SET PLUMB. IT IS THE OPTION OF THE LANDSCAPE CONTRACTOR TO STAKE DECIDUOUS TREES BUT IT IS ALSO THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO GUARANTEE THE PLANTS REMAIN PLUMB UNTIL THE END OF THE GUARANTEE PERIOD.
- 7) TREES SHALL BE INSTALLED A MINIMUM OF FIVE FEET (5') HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS AND VALVE BOXES. SHADE TREES SHALL BE A MINIMUM OF TEN FEET (10') FROM ALL LIGHT POLES AND ALL SHRUBS SHALL BE A MINIMUM OF THREE TO FIVE FEET (3'-5') FROM ALL FIRE HYDRANTS.
- 8) THE LANDSCAPE CONTRACTOR SHALL LOCATE THE EXISTENCE OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. THE LANDSCAPE CONTRACTOR MUST ALSO KEEP THE PAVEMENT AND WORK AREAS IN NEAT AND ORDERLY CONDITION THROUGHOUT THE CONSTRUCTION PROCESS. THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH AND VERIFY WORKING CONDITIONS IN ADVANCE OF SUBMITTING A PROPOSAL. FAILURE TO RECOGNIZE INHERENT RESPONSIBILITIES DOES NOT RELIEVE THE CONTRACTOR OF OBLIGATIONS DUE TO MISCALCULATIONS.
- 9) PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING SHOWN ON THE APPROVED PLANS THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- 10) ALL TURF SHALL BE PREMIUM BLUEGRASS MIX (4-5 LBS/1,000 SF) WITH NORTH AMERICAN GREEN D875, OR EQUIVALENT, EROSION CONTROL BLANKET IN ALL DISTURBED AREAS.



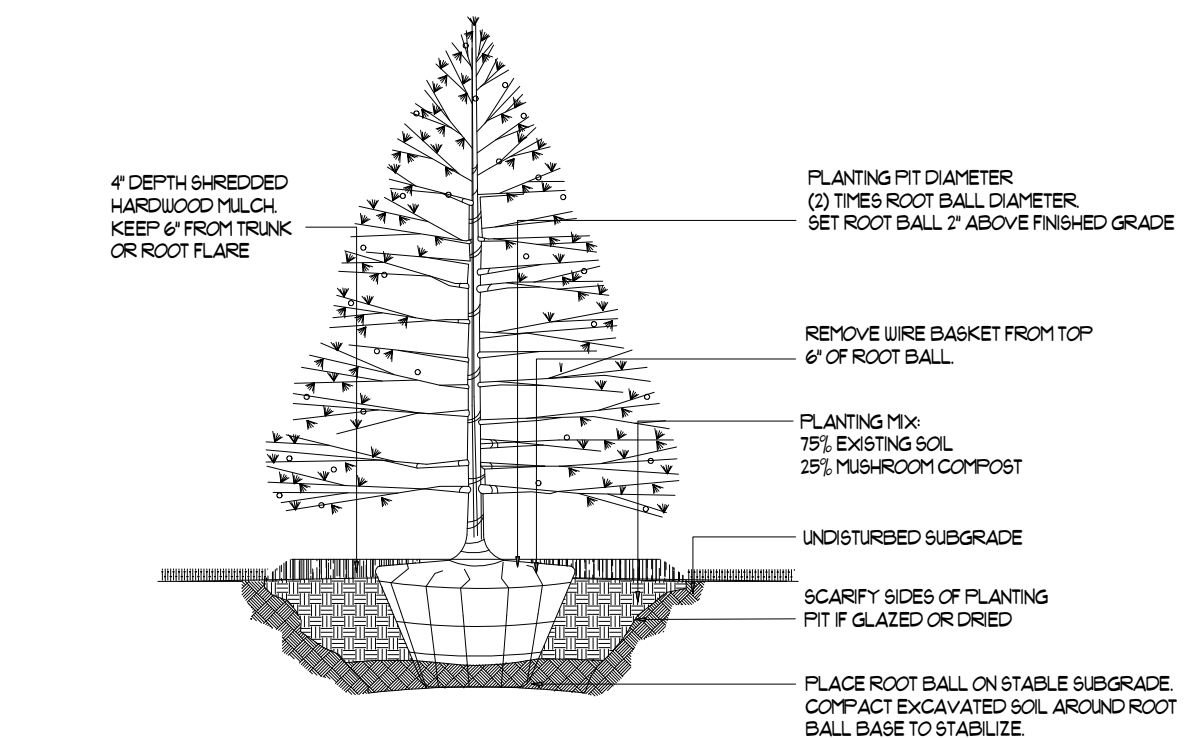
DETAIL
DECIDUOUS TREE PLANTING



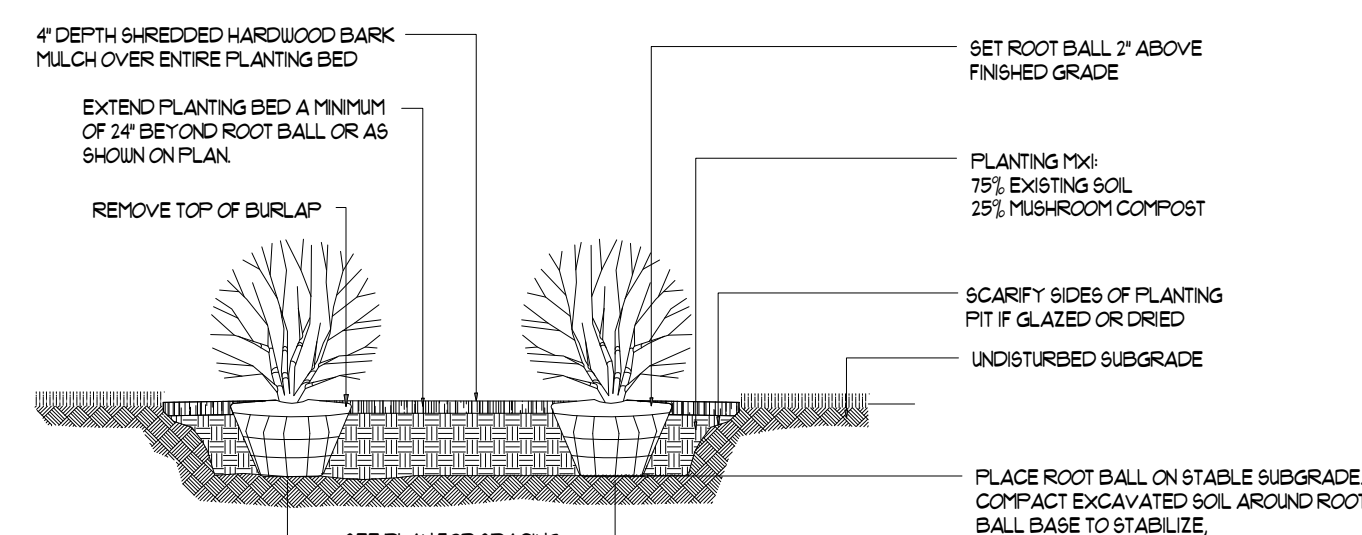
DETAIL
DECIDUOUS ORNAMENTAL TREE PLANTING

PREMIUM BLUEGRASS MIX 4-5 LBS PER 1,000 SF

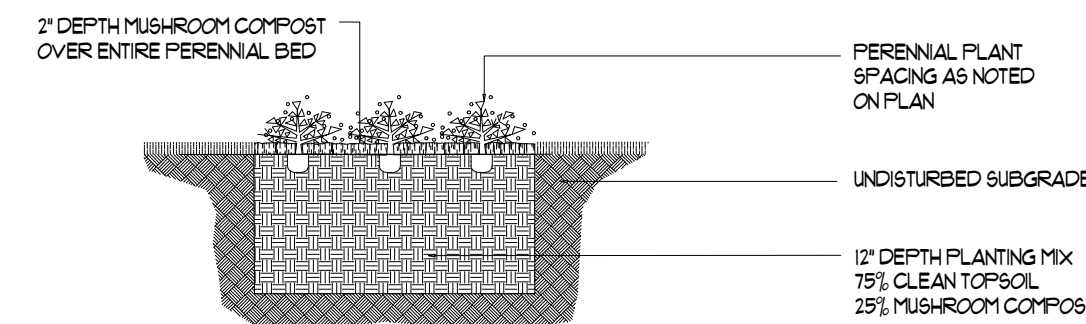
- 20% MIDNIGHT KENTUCKY BLUEGRASS
- 20% DENIM KENTUCKY BLUEGRASS
- 20% LANGARA KENTUCKY BLUEGRASS
- 20% BLUESTAR KENTUCKY BLUEGRASS
- 10% PRIZM PERENNIAL RYEGRASS
- 10% SUNSHINE PERENNIAL RYEGRASS



DETAIL
EVERGREEN TREE PLANTING



DETAIL
SHRUB PLANTING



DETAIL
PERENNIAL PLANTING

REVISIONS:
12.20.20 (VILLAGE REVIEW)
01.13.21 (VILLAGE REVIEW)
02.03.21 (VILLAGE REVIEW)

DOWDEN DESIGN GROUP
P.O. BOX 415, LIBERTYVILLE, IL, 60108
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
PHASE 2 (FRITO-LAY)
WEST ALGONQUIN ROAD
ARLINGTON HEIGHTS, ILLINOIS

LANDSCAPE
PLAN

DATE: 11.03.20
SCALE: 1/4"=10'
DRAWN: CJD



L102

JANE ADDAMS
MEMORIAL TOLLWAY I-90

DEFENTION BASIN WITH RETAINING WALL

(99) 12'x65' TRAILER PARKING STALLS

TRUCK MAINT.

(74) 11'x28' VAN PARKING STALLS

(16) VAN LOADING

TENANT +/- 108,082 SF

OFFICE +/- 8,630 SF

AVI +/- 23,510 SF

LEASED +/- 60,949 SF

(11) TRUCK LOADING

EXPANSION

(9) TRUCK LOADING

DEFENTION BASIN WITH RETAINING WALL

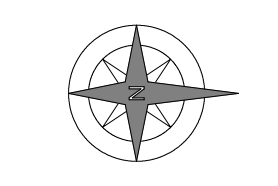
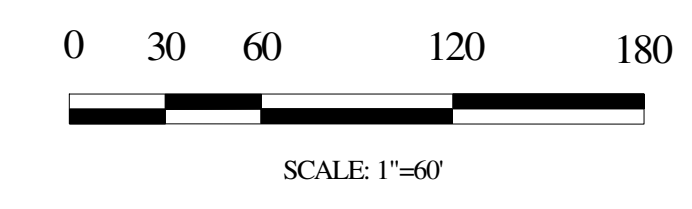
MEIJER DR

W ALGONQUIN RD

PHASE II PHASE I

TREE INVENTORY

Tree #	Common Name	Botanical Name	Size
101	Black Alder	Alnus glutinosa	10"
102	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
103	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
104	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
105	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
106	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
107	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
108	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
109	Sugar Maple	Acer saccharum	14"
110	Sugar Maple	Acer saccharum	14"
111	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
112	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
113	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
114	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	7"
115	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
116	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
117	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
118	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
119	Sugar Maple	Acer saccharum	20"
120	Sugar Maple	Acer saccharum	18"
121	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
122	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
123	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
124	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
125	Red Maple	Acer rubrum	6"
126	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
127	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
128	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
129	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
130	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
131	Sugar Maple	Acer saccharum	16"
132	Common Hackberry	Celtis occidentalis	10"
133	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
134	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
135	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
136	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
137	Red Maple	Acer rubrum	6"
138	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"
139	Sugar Maple	Acer saccharum	12"
140	Skyline Locust	Gleditsia triacanthos 'Skyline'	4"



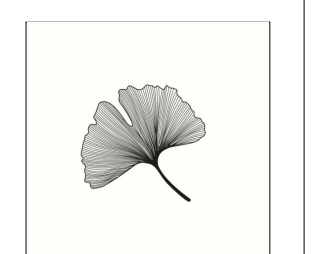
REVISIONS:
12.20.20 (VILLAGE REVIEW)
01.12.21 (VILLAGE REVIEW)
02.09.21 (VILLAGE REVIEW)

DOWDEN DESIGN GROUP
P.O. BOX 415, LIBERTYVILLE, IL, 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

HAMILTON PARTNERS ARLINGTON HEIGHTS INDUSTRIAL
PHASE 2 (FRITO-LAY)
WEST ALGONQUIN ROAD
ARLINGTON HEIGHTS, ILLINOIS

LANDSCAPE PLAN

DATE: 11.03.20
SCALE: 1"=60'
DRAWN: CJD



L103

Exhibit 3 – Landscape Island Barrier Concept

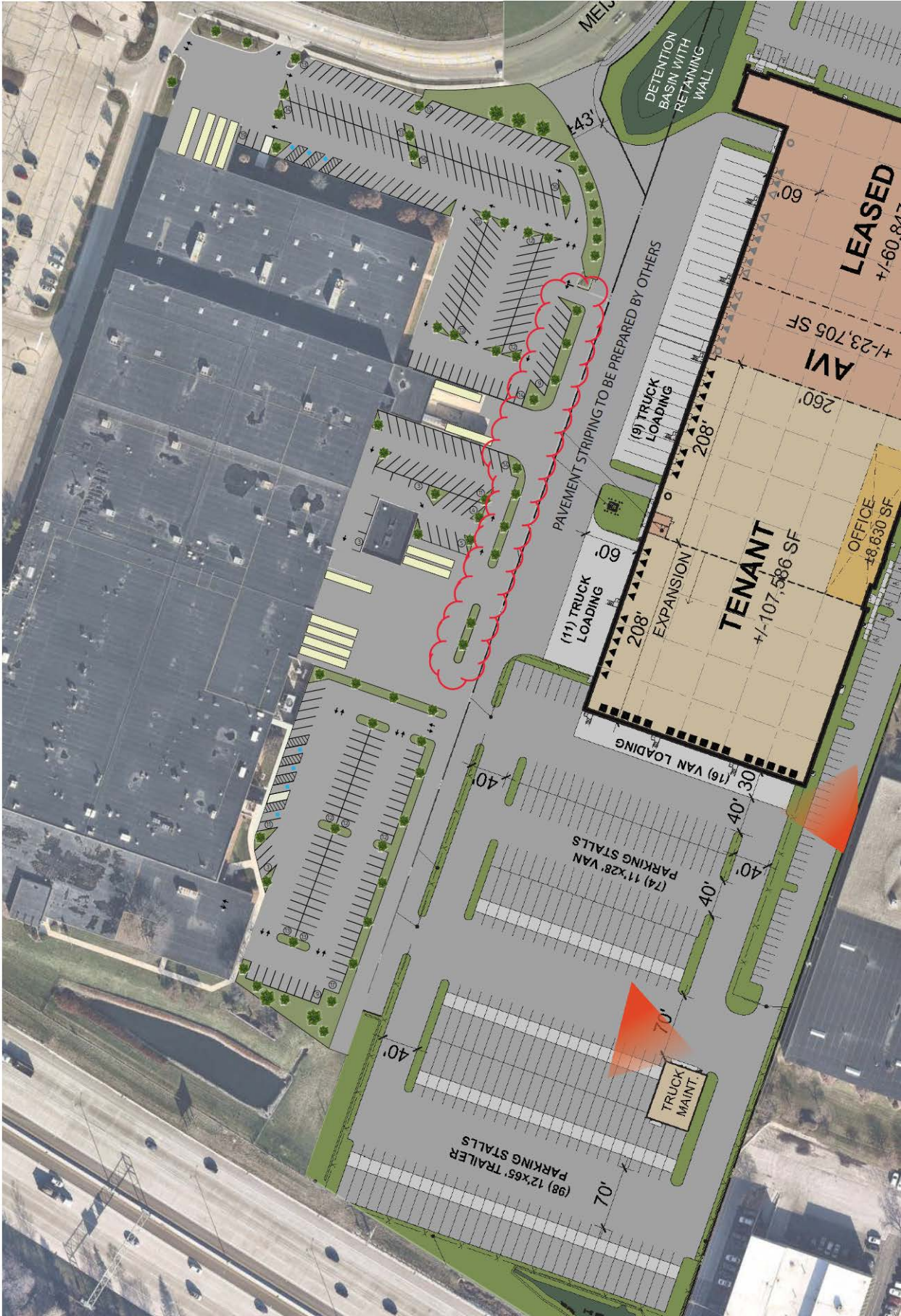


EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Arlington Heights, Illinois ("*Village*");

WHEREAS, Arlington Heights I LLC ("*Applicant*" or "*Petitioner*") is the owner of record of that certain property located in the Village's M-2 Limited Heavy Manufacturing District ("*M-2 District*"), commonly known as 703-709 and 715-723 Algonquin Road, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance ("*Property*"); and

WHEREAS, Ordinance No. 2021-_____, adopted by the Village President and Board of Trustees on _____, 2021 ("*Ordinance*"), grants certain Proposed Amendments to the Approved Planned Development for the Property as described in the Ordinance; and

WHEREAS, Section 11 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to, accept, consent to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the Proposed Amendments for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
4. The Applicant hereby agrees to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2021

ATTEST:

ARLINGTON HEIGHTS I LLC

By: _____

By: _____

Its: _____

Its: _____