

GREMLEY & BIEDERMANN

A DIVISION OF  
PLCS Corporation  
LICENSE NO. 184-055322

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630  
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

Plat of Survey

Parcel 1:

Lot Twenty-seven (27) and Lot Twenty-eight (28) in Stoltzner's Greenview Estates Fourth Addition, being a Subdivision of part of the East Half of the East Three-quarters of the North West Quarter of the North East Quarter of Section Thirty-three (33), Township Forty-two (42) North, Range Eleven (11), East of the Third Principal Meridian, according to plat thereof registered in the Office of the Registrar of Titles of Cook County, Illinois, on October 7, 1959, as Document number 1890125;

Parcel 2:

A Tract of Land described as follows: Commencing at a point on the East line of the West Half (1/2) of the Northeast (quarter 1/4) of Section 33, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois. Fifty (50) feet South of the North line of the Northeast Quarter (1/4) of said Section 33, measured along the said East line of the West Half (1/2) of the Northeast Quarter (1/4) of said Section 33, a distance of 296.97 feet to the East line of the West Half (1/2) of the Northeast Quarter (1/4) of said Section 33; thence Westerly on a line parallel to the North line of the Northeast Quarter (1/4) of said Section 33, a distance of 296.94 feet; thence Southerly in a straight line a distance of 528.07 feet to a point 296.97 feet West of the East line of the West Half (1/2) of the Northeast Quarter (1/4) of said Section 33 measured along a line parallel to the North line of the Northeast Quarter (1/4) of said Section 33; thence Easterly along a line parallel to the North line of the Northeast Quarter (1/4) of said Section 33, a distance of 296.97 feet to the East line of the West Half (1/2) of the Northeast Quarter (1/4) of said Section 33; thence Northerly along the East line of the West Half (1/2) of the Northeast Quarter (1/4) of said Section 33 to the Point of Beginning; being the Land described as "Public School Land" in Stoltzner's Greenview Estates, Fourth Addition, being a Subdivision of the East Half (1/2) of the East Three Quarters (3/4) of the Northwest Quarter (1/4) of the North East Quarter (1/4) of Section 33, Township 42 North, Range 11, East of the Third Principal Meridian. Except therefrom the following described property:

That part of the West 1/2 of the Northeast 1/4 of Section 33, Township 42 North, Range 11 East of the Third Principal Meridian, Cook County, Illinois, described as follows:

Beginning at a point on the east line of the West 1/2 of the Northeast 1/4 of Section 33, 50.00 feet south of the north line of the Northeast 1/4 of said Section 33 (measured along said east line of the West 1/2 of the Northeast 1/4 of Section 33); thence on an assumed bearing of South 0 degrees 16 minutes 19 seconds East along said east line of the West 1/2 of the Northeast 1/4, 178.69 feet to a point on a 190.00 foot radius curve, the center of circle of said curve bears North 41 degrees 00 minutes 28 seconds East from said point; thence northwesterly along said curve, having a central angle of 30 degrees 30 minutes 13 seconds, 101.15 feet; thence North 18 degrees 29 minutes 19 seconds West, 100.68 feet to a line that is 50.00 feet south of and parallel to the north line of the Northeast 1/4 of said Section 33; thence North 89 degrees 56 minutes 56 seconds East, on said line parallel to the north line of the Northeast 1/4 of said Section 33, 86.60 feet to the point of beginning, in Cook County, Illinois.

AREA OF PROPERTY = 177,583 SQ. FT. OR 4.07 ACRES MORE OR LESS

SURVEY NOTES:

BENCHMARK:  
STATION: GIBBONS  
ILLINOIS STATE PLANE COORDINATES  
1973/587.59 N  
1085349.66 E  
ELEVATION: 671.29  
DESCRIPTION: MONUMENT IS A 3" DIA. BRONZE DISK, PLACED IN CONCRETE  
STAMPED "A"  
LOCATED AT THE SOUTHEAST CORNER OF GIBBONS AVENUE AND MINER AVENUE  
UTILITY WARNING

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

Call DIGGER - (312) 744-7000 within the City of Chicago.

Outside of the City of Chicago call J.U.L.I.E. (800) 852-0123 prior to construction or excavation.

SOIL BORING LOCATIONS AND NUMBERS SHOWN HEREON ARE SHOWN AS PER SITE PLAN FROM WOLD RUCK RATE COMM. 173230 DATED JULY 11, 2017.

THE ZONING CLASSIFICATION OF THE PROPERTY SHOWN HEREON IS R-3 AS DELINEATED ON THE VILLAGE OF ARLINGTON HEIGHTS, DEPARTMENT OF ZONING WEBSITE.

THE SURVEYOR HAS NOT RESEARCHED THE APPLICABLE ZONING, BUILDING CODES, SETBACKS OR SPECIFIC USES ALLOWED WITHIN THIS ZONING CLASSIFICATION. CONTACT THE VILLAGE OF ARLINGTON HEIGHTS.

State of Illinois  
County of Cook

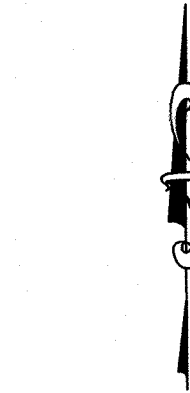
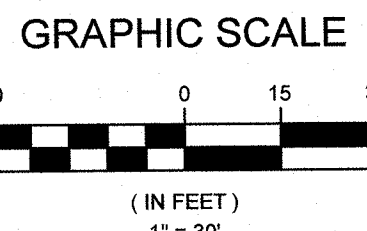
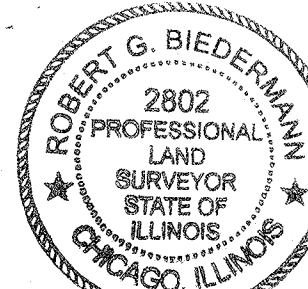
We, GREMLEY & BIEDERMANN, INC. hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey corrected to a temperature of 62° Fahrenheit.

Field measurements completed on September 12, 2017.

Signed on April 1, 2021.

By

Professional Illinois Land Surveyor No. 2802  
My license expires November 30, 2022  
This professional service conforms to the current Illinois minimum standards for a boundary survey.



LEGEND

- Storm MH
- Storm CB
- Storm Inlet
- San MH
- San Clean Out
- Water MH
- Water Buffalo Box
- Water Fire Hydrant
- Telephone MH
- Utility Pedestal
- Utility Pole
- Guy Anchor
- Electric Vault
- Electric Meter
- Electric Light Pole
- Electric Traffic Signal
- Electric Light Pole with Traffic Signal
- Gas Buffalo Box
- Tree - Deciduous
- Tree - Evergreen
- Parking Pay Box
- Sign Post
- Mail Box
- Bumper Post
- Unclassified Manhole
- Auto Sprinkler
- Out Cross
- Bike Rack
- Flag Pole
- Soil Boring

A=ASPHALT ELEVATION  
GR=GRAVEL ELEVATION  
FFE=FINISHED FLOOR ELEVATION  
W=WALK ELEVATION  
X=CONCRETE ELEVATION  
TOE=TOP OF SLOPE ELEVATION  
TOB=TOP OF BANK ELEVATION  
C=CURB ELEVATION  
G=GUTTER ELEVATION  
EL=ELEVATION  
D.S.=DOOR SILL

REVISED APRIL 1, 2021 #2021-28705 (BB)  
ADDITIONAL WORK ADDED OCTOBER 26, 2017 [RL]  
ADDITIONAL WORK ADDED SEPTEMBER 26, 2017 [RL]

ORDERED BY: NORTHWEST SUBURBAN SPECIAL EDUCATION ORGANIZATION	CHECKED: [initials]	DRAWN: [initials]
ADDRESS: GREMLEY & BIEDERMANN		
PLCS CORPORATION LICENSE NO. 184-055322 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM		
DATE: SEPTEMBER 12, 2017	PAGE NO. 1	1 OF 1
SCALE: 1" = 30 FEET		

SURVEY NOTES:

Note (R&M) denotes Record and Measured distances respectively.

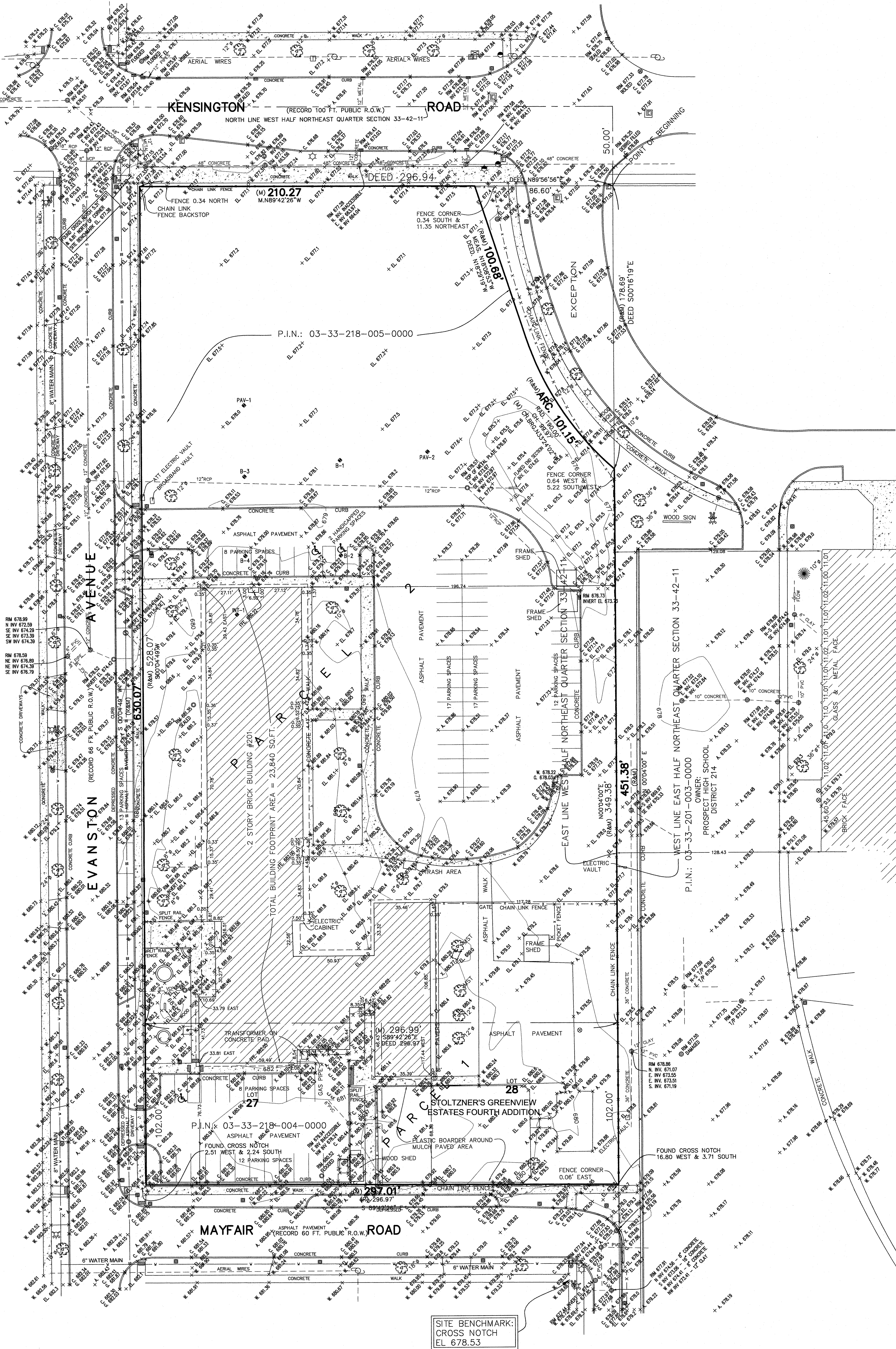
Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

NO dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

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SITE BENCHMARK:  
CROSS NOTCH  
EL 678.53