



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Sam Hubbard, Development Planner, Planning and Community Development
From: Deb Pierce, Plan Reviewer, Building & Life Safety Department
Subject: Timber Ridge Gym Addition – SUP to allow an Elementary School
PC#: 21-005– Round 1
Date: March 11, 2021

Sam...

I do not have any objections or comments on the project. Being a public school, the plans will be reviewed by the State of Illinois.

RECEIVED
MAR 12 2021
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights, IL Building & Life Safety Department

Fire Safety Review

Date: 3/3/2021

P.C. Number: 21-002 Round 1

Project Name: Timber Ridge Gym Addition

Project Location: 201 S. Evanston Ave.

Planning Department Contact: Sam Hubbard, Planning and Community Development

General Comments:

The information provided is conceptual only and subject to a formal plan review.

1. All currently adopted codes shall apply.
2. Where height of building exceeds 30 feet, *approved* aerial fire apparatus access roads shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof. One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building, and positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the *fire code official*.
3. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the *fire code official*.
5. An auto turn diagram is required to confirm fire apparatus access.
6. Fire department connections shall be located on the street side of buildings, fully visible and located at the main front entrance of the building and within a maximum travel distance of 100 feet to the nearest fire hydrant and in accordance with the NFPA standard applicable to the system design. The location of fire department connections shall be approved.
7. A complete NFPA compliant fire suppression system is required. Supervised indicating control valves shall be provided at the point of connection to the riser on each floor.
8. Fire protection equipment and service rooms shall be identified in an approved manner.
9. Approved access shall be provided and maintained for all fire protection equipment to permit immediate safe operation and maintenance of such equipment.
10. In buildings and structures where standby power is required or furnished to operate an elevator the operation shall comply with current code requirements.

11. A fully functional fire alarm shall be installed per NFPA 72. The alarm annunciator panel shall be located at the front entrance.
12. The fire alarm shall be capable of sending a wireless signal and shall be monitored by Northwest Central Dispatch. Once accepted, fire alarm system shall not be placed out of service unless approved by the Village.
13. A visible exterior weatherproof alarm notification device, emitting a white flashing light when activated and located within closest proximity to the front main entrance of the building or tenant space as approved by the Fire Code Official.
14. A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance.
15. A key box (Knox Box) shall be provided and contain keys to gain necessary access as required by the fire code official.
16. Where provided, fire pump rooms and *automatic sprinkler system* riser rooms shall be designed with adequate space for all equipment necessary for the installation, as defined by the manufacturer, with sufficient working space around the stationary equipment. Clearances around equipment to elements of permanent construction, including other installed equipment and appliances, shall be sufficient to allow inspection, service, repair or replacement without removing such elements of permanent construction or disabling the function of a required fire-resistance-rated assembly. Fire pump and *automatic sprinkler system* riser rooms shall be provided with doors and unobstructed passageways large enough to allow removal of the largest piece of equipment. Fire pumps shall be installed in accordance with the Fire Code and NFPA 20 and shall comply with all current code requirements including a minimum of two water mains located in different streets.
17. In order to be considered part of an accessible means of egress, an elevator shall comply with the emergency operation and signaling device requirements.
18. Signs shall be posted on both sides of an approach of any fire lane stating "NO PARKING – FIRE LANE". Signs shall have arrows indicating the area of parking restriction.
19. Fire lane signs shall be white with red three-inch letters. The dimensions of the sign shall be 12 inches horizontally and 18 inches vertically. These signs shall be installed so that the top of the sign is no less than 6 feet nor more than 6 feet above grade.
20. All new elevators shall be equipped with emergency key opening devices at all landings. The location and specific type of device shall be approved by the Fire Department.
21. If the elevator uses an automatic dialer, the ten digit number 847-590-3470 shall be used. If bidirectional communication is available and is used, the elevator should call 911. The phone line used to dial 911 must have the correct address information affiliated with that phone line.
22. **Emergency Signs required for elevators** shall be 7 inches by 5 inches and read as follows: IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS.

23. At least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretcher in its horizontal, open position, provided the cab size shall be not less than 60 inches by 85 inches, to accommodate an ambulance stretcher in its horizontal, open position; and shall be identified by the International Symbol for emergency medical services (Star of Life). The Symbol shall be not less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame.
 24. Separate permits may be required for fuel tanks to supply an emergency back-up generator and the generator if one is proposed.
 25. Additional fire protection systems may be required for cooking appliances if used.
-

Date 03-5-20

Reviewed By: _____



Fire Safety Supervisor

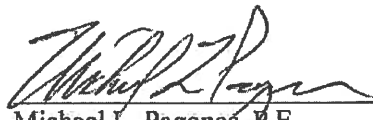
PLAN COMMISSION PC #21-005
Timber Ridge Gym Addition
201 S Evanston Ave
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
	Prime Meridian: Greenwich
	Angular Unit: Degree

13. The proposed detention/retention facility will be a private system and as such will not be the Village's responsibility to maintain. The basin requires a 1-foot freeboard with an overflow weir at the 6" line. If needed, a portion of the parking lot may be used as freeboard. The basin requires a 5' flat zone around the perimeter before the top of slope begins. Provide calculations for sizing the weir. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village Engineer for an editable version of the OUMA.
14. Plan Commission approval will require preliminary engineering plans including detention calculations. An MWRD permit will be required for this project. Provide a complete drainage report, including:
- a) The MWRD permit for the existing detention basin showing the detention calculations for the entire site including impervious area, pervious area, detention provided and detention required. In the event the detention provided under current conditions does not meet the detention required, additional modifications to the pond may be needed.
 - b) The HWL of 676.80 is incorrectly labeled as NWL.
15. Provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted. This can be addressed at final engineering.

16. Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.
17. Provide a detail for the curb ramps. This can be addressed at final engineering.
18. Provide additional spot elevations for the level landing area for the parking lot curb ramp. This can be addressed at final engineering.
19. Sidewalk shall continue through the driveway with the curb stopping on either side of the sidewalk. This can be addressed at final engineering.
20. The proposed sanitary sewer to be constructed over the existing storm sewer has a separation of only 0.18 ft. The existing material of the storm sewer shall be identified and verified that it is capable of potentially bearing a point load from the sanitary sewer.
21. The pavement patch for Evanston Ave shall meet the heavy-duty pavement cross section. This can be addressed at final engineering.
22. All methods of construction and materials must conform to the most recent version of "A Manual of Practice for Design of Public and Private Improvements" as published by the Village of Arlington Heights Public Works Engineering Division.
23. An RPZ will be required for the fire and domestic service within the addition. Sizing will be provided once plumbing plans are finalized.
24. Pressure connection must be in a vault with a minimum diameter of 60". The connection shall be moved so minimum of 5ft from existing driveway.
25. Verify the condition of the sidewalk fronting the construction site prior to any work being done. Any damage or inadequate drainage shall be replaced by permittee prior to the completion of the project.
26. Provide a maintenance plan for detention facility.
27. A 6" compound meter will be required for fire and domestic supply.
28. Roadway surface shall be repaired 2' beyond edge of any trench to provide smooth transition.
29. Install chimney seals on all proposed sanitary structures.
30. Provide additional information on bussing. Are full size buses expected to be used on a regular basis or for special events? Where will buses be staged? Provide a turning template showing buses maneuvering in both directions through the entrance.


Michael L. Pagones, P.E. 3/17/21
Village Engineer Date

Attachments:
Fire Apparatus 114 Turning Performance Analysis (1 page)

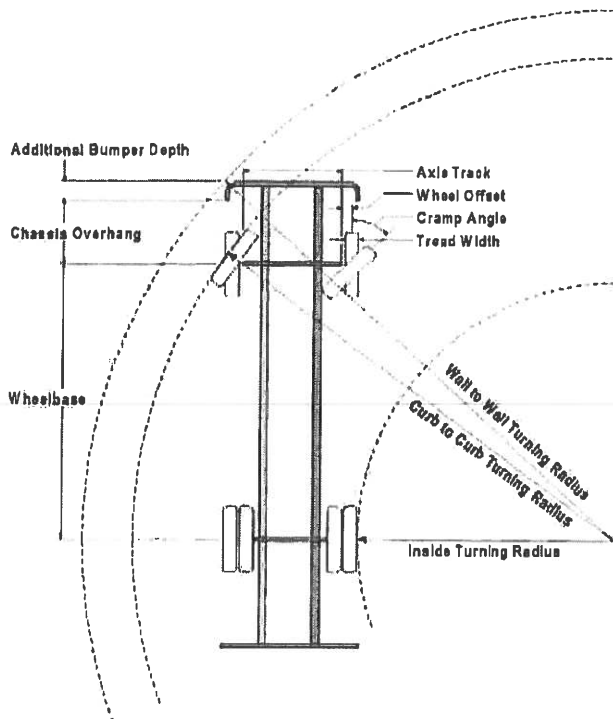


Turning Performance Analysis

05/22/2018

Bid Number: 307
Department: Arlington Heights, IL

Chassis: Dash CF Chassis, PAP, PUC (Big Block)
Body: Aerial, Platform 100', PUC, Alum Body



Parameters:

*Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.3 in.
Tread Width:	17.8 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	22 in.
Front Overhang:	136.1 in.
Wheelbase:	267.5 in.

Calculated Turning Radii:

Inside Turn:	25 ft. 3 in.
Curb to curb:	41 ft. 3 in.
Wall to wall:	48 ft. 2 in.

Category	Option	Description
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0078245	Tires, Front, Michelin, XZY3 (wb), 445/65R22.50, 20 ply
Bumpers	0550017	Bumper, 22" Extended, Arrow XT
Aerial Devices	0657391	Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 400lb Tip Load Allowance

Notes:

*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

Definitions:

Inside Cramp Angle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.



Arlington Heights Fire Department Plan Review Sheet

P. C. Number 21-002

Project Name

Timber Ridge Gym Addition

Project Location

201 S. Evanston

Planning Department Contact Sam Hubbard

General Comments

Round 1

General Comments:

1)Building is to be sprinkled per code.

2) The Fire Department Connection shall be located at the main front entrance. It shall be fully visible and accessible and within 100 feet of the nearest accessible fire hydrant capable of delivering the required flow.

3) A Knox Box shall be located at the main front entrance. Please locate another Knox box by the exterior door to the fire protection room.

4) Install a fully operational annunciator panel or alarm panel at the main front entrance.

5) The Fire department requests an auto-turn diagram using our fire engine to navigate the rear parking lot.

Note: The main front entrance may not be changing for this addition.

**NOTE: PLAN IS CONCEPTUAL ONLY
SUBJECT TO DETAILED PLAN REVIEW**

Date March 16, 2021

Reviewed By: LT. Mark Aleckson

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Timber Ridge Gym Addition **201 S Evanston Ave.** **SUP**

Round 1 Review Comments

03/08/2021

1. Character of use:

The character of use is consistent with the area and is not a concern.

2. Are lighting requirements adequate?

Lighting should be up to Village of Arlington Heights code. The exterior of the building should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, and other criminal activity.

3. Present traffic problems?

A traffic impact study was conducted. This addition will not create any new traffic problems.

4. Traffic accidents at particular location?

This is not a problem area in relation to traffic accidents.

5. Traffic problems that may be created by the development.

This development should not create any additional traffic problems.

6. General comments:

- Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

- Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations and havens for illegal activities- theft, trespassing, vandalism, underage drinking, drug use, etc.

- Consider posting no trespassing / loitering/ no un-authorized use signage. The Arlington Heights Police Dept. has and utilizes trespass warning forms under qualifying circumstances when requested by property management.

- Upon completion, an updated school map must be submitting to the police department with all updated exterior door numbers and school crisis plans.

0-0/ #330

Alexandra Ovington, Crime Prevention Officer
Community Services Bureau

Approved by:

St R D 569

Supervisor's Signature

Arlington Heights Police Department

Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: policemail@vah.com.

Arlington Heights Police Department
200 E. Sigwalt Street
Arlington Heights, IL 60005-1499
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department
200 E. Sigwalt Street, Arlington Heights, IL. 60005
Attention: Police Administration

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Print Form (To Mail)

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

IN CASE OF EMERGENCY PLEASE CALL:

Contact #1

Name

Address/City

Telephone Number

Cell Number

Contact #2

Name

Address/City

Telephone Number

Cell Number

Alarm System

☐ No

☐ Yes

Phone number:

Alarm Company Name

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. <u>21-005</u>	P.I.N.# <u>03-33-218-004 and -005</u>
Petitioner: <u>Julie Jilek</u>	Location: <u>201 S. Evanston Ave.</u>
<u>Assistant Superintendent</u>	Rezoning: <u> </u> Current: <u> </u> Proposed: <u> </u>
Owner: <u>Northwest Suburban Special</u>	Subdivision: <u> </u>
<u>Education Organization (NSSEO)</u>	<u># of Lots: </u> Current: <u> </u> Proposed: <u> </u>
Contact Person: <u>Julie Jilek</u>	PUD: <u> </u> For: <u> </u>
Address: <u>799 W Kensington Rd</u>	Special Use: <u>✓</u> For: <u>Elementary School</u>
<u>Mt Prospect, IL 60056</u>	Land Use Variation: <u> </u> For: <u> </u>
Phone #: <u>847-463-8103</u>	Land Use: <u> </u> Current: <u>School</u>
Fax #: <u>847-463-8114</u>	Proposed: <u>School</u>
E-Mail: <u>jjilek@nsseo.org</u>	Site Gross Area: <u>3.38</u>
	# of Units Total: <u>N/A</u>
	1BR: <u> </u> 2BR: <u> </u> 3BR: <u> </u> 4BR: <u> </u>

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:No comments.

[Signature] 3-5-21
Environmental Health Officer Date

[Signature] 3/5/21
for Direc Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 21-005
 Petitioner: Julie Jilek
Assistant Superintendent
 Owner: Northwest Suburban Special
Education Organization (NSSEO)
 Contact Person: Julie Jilek
 Address: 799 W Kensington Rd
Mt Prospect, IL 60056
 Phone #: 847-463-8103
 Fax #: 847-463-8114
 E-Mail: jjilek@nsseo.org

P.I.N.# 03-33-218-004 and -005
 Location: 201 S. Evanston Ave.
 Rezoning: _____ Current: _____ Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Elementary School
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: School
 Proposed: School
 Site Gross Area: 3.38
 # of Units Total: N/A
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

YES NO

1. X _____ COMPLIES WITH COMPREHENSIVE PLAN?
2. X _____ COMPLIES WITH THOROUGHFARE PLAN?
3. X _____ VARIATIONS NEEDED FROM ZONING REGULATIONS?
 (See below.)
4. _____ X _____ VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
 (See below.)
5. _____ X _____ SUBDIVISION REQUIRED?
6. _____ X _____ SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
 (See below.)

Comments:

Please see attached comments.



Date

Planning & Community Development Dept. Review

March 17, 2021



REVIEW ROUND 1

Project: Timber Ridge Gym Addition
201 S. Evanston Avenue

Case Number: PC 21-005

General:

7. The Plan Commission must review and approve the following actions:
 - a) **Special Use Permit to allow a school on the subject property.**
 - b) **Variation to Chapter 28, Section 10.4-4, Community Service Uses, to reduce the required number of parking spaces from 80 space to 77 spaces.**
 - c) **Variation to Chapter 28, Section 6.15-1.2b., to allow certain parking rows to terminate without the code required landscape island including a shade tree on each end.**
 - d) **Variation to Chapter 28, Section 10.8-4, Community Service Uses, to reduce the required number of bike parking spaces from 8 spaces to 0 spaces.**
 - e) **Variation to Chapter 28, Section 5.1-3.5, Maximum Height, to allow a 30.5' tall building where code restricts the maximum allowable building height to 25'.**
 - f) **A variation may be required for the proposed sheds (accessory structure), which will be determined once additional information has been provided.**
8. Should it be determined that a variation is required for the storage shed (accessory structure) relocation(s), the justification document must be revised to incorporate a response to the criteria for this variation.
9. Is the preschool that exists within the Timber Ridge school operated by NSSEO, or is it run by a different entity? Is enrollment at the preschool determined by NSSEO, or are children enrolled similar to a daycare, i.e. any parent can apply for enrollment of their child in the preschool?
10. The Plat of Survey only includes a portion of the overall subject property. Please either revise the Plat to include the entire Timber Ridge Property, or provide a legal description for the entire property (not just the portion included on the Plat of Survey). An electronic format of the entire legal description (Microsoft Word) must be provided.
11. Please revise the project narrative to include a description of any green features that will be incorporated into the building addition and associated site improvements. The project narrative is missing a year inserted within the text.
12. Please provide a list of the addresses to where an invitation to the neighborhood meeting was sent.
13. Please ensure that all plans and/or studies to be resubmitted as a result of the Round 1 review comments include a revision date. Additionally, any revised plans must incorporate any changes as recommended by the Design Commission.

Site and Building:

14. Please confirm the existing number of classrooms within the building and the proposed number of classrooms upon completion of the building addition.
15. The civil plans must be updated to reflect the proposed landscape islands within the parking lot. Additionally, the civil plans should show striping for the two spaces at the north side of the eastern parking row within the main parking lot (for a total of 18 spaces within this row).
16. Please revise the demolition plans to clearly show which storage sheds are proposed for demolition and which sheds are proposed for relocation. Provide a plan showing the location of the relocated storage sheds and provide details on the shed size (height, square footage). A picture of the relocated sheds should be provided for reference, or alternatively, the construction specifications for the sheds can be provided.
17. The transformer proposed in front of the school building along Evanston shall be relocated to a more appropriate location behind the rear of the building for screening. Landscaping to buffer the transformer should be provided.
18. Other than the proposed transformer, will there be any new HVAC, generators, or utility/mechanical equipment proposed on the site?
19. The site area and associated calculations on the architectural site plan are incorrect.

Parking:

20. Please confirm the total number of parking spaces within the southern lot. From aerials it appears that only 21 spaces exist within this parking lot. Will another space be striped at the eastern side of the southern parking row once the shed in this location has been relocated?
21. How many vans are stored overnight on the property?
22. The parking study surveyed parking under the existing hybrid model where a certain number of students are taught remotely. Please confirm if there has been any reduction in onsite staff during the hybrid/remote teaching and/or staggered classes which demand would not have been accounted for during the survey.

Prepared by: 

Timber Ridge Gym Addition
201 S. Evanston Avenue
PC #21-002
March 16, 2021

Landscape Comments

- 1) Per Chapter 28, Section 6.15, a four-inch caliper shade trees are required at the ends of all parking rows and must be located in an island that is equal in area to one parking space. Please enlarge the islands and incorporate shade trees at the ends of all parking rows.
- 2) It is recommended that three or four shade trees be provided north of the drive aisle in order to soften/buffer the proposed addition.
- 3) Per Chapter 28, Section 6.15-3, landscaping is required along the perimeter of detention basins. Please incorporate a mix of trees and shrubs along the perimeter of the basin.
- 4) There is a transformer pad located on the west elevation along Evanston Avenue. Explore options for the placement of the transformer so that it is located in the rear and fully screened with landscaping. If there are any utility meters or mechanical units, they must be screened with landscaping or another appropriate method of screening.