

# Plat of Topographic Survey of

**PARCEL 1:**

LOT 16 IN BLOCK 8 IN E.P. MUELLERS ALTENHEIM SUBDIVISION, BEING A SUBDIVISION IN SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 318 WEST MUELLER STREET, ARLINGTON HEIGHTS, ILLINOIS

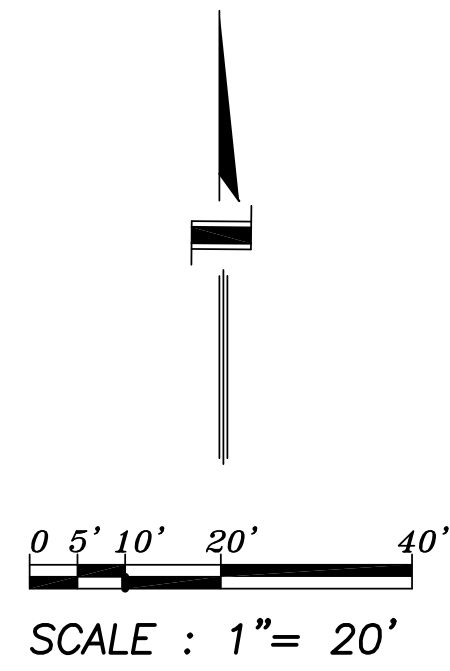
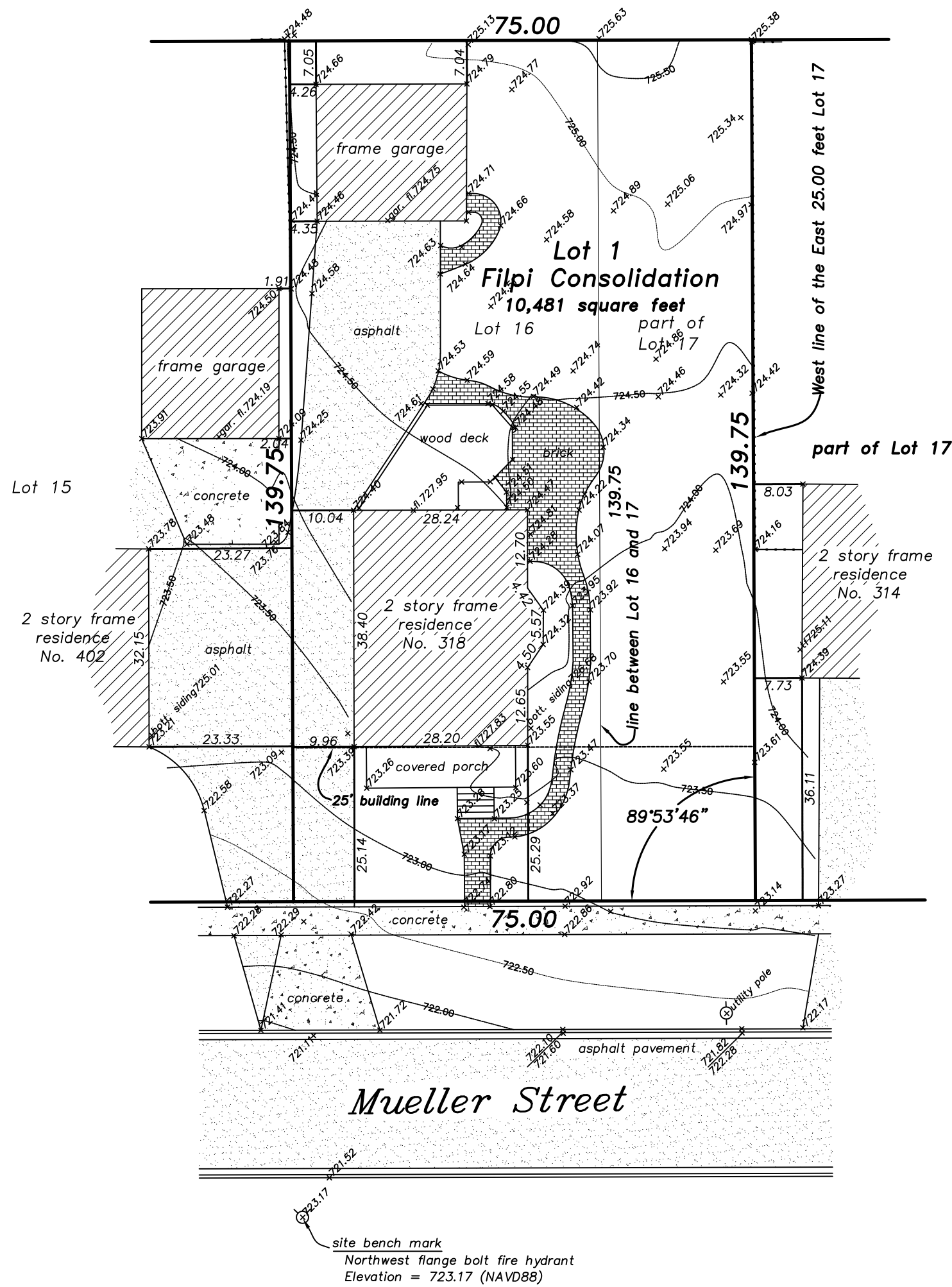
P.I.N. 03-30-230-015-0000

**PARCEL 2:**

LOT 17 (EXCEPT THE EAST 25.00 FEET) IN BLOCK 8 IN E.P. MUELLERS ALTENHEIM SUBDIVISION, BEING A SUBDIVISION IN SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 318 WEST MUELLER STREET, ARLINGTON HEIGHTS, ILLINOIS

P.I.N. 03-30-230-021-0000

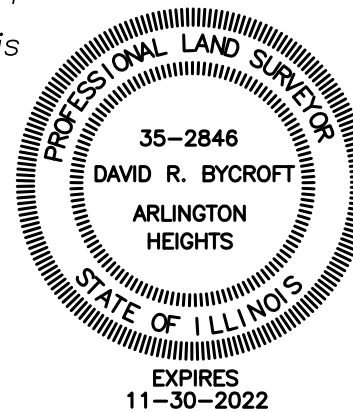


State of Illinois }  
County of Cook } ss.

I, David Bycroft, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the property described in the caption of this plat and that this plat is a correct representation of said survey.

dated at Arlington Heights, Illinois, this 31st day of March, 2022

by \_\_\_\_\_  
as Illinois Professional Land Surveyor No. 2846



FILE NO. 22-7360

for:  
**Christopher Filipi**  
318 Mueller Street  
Arlington Heights, Illinois

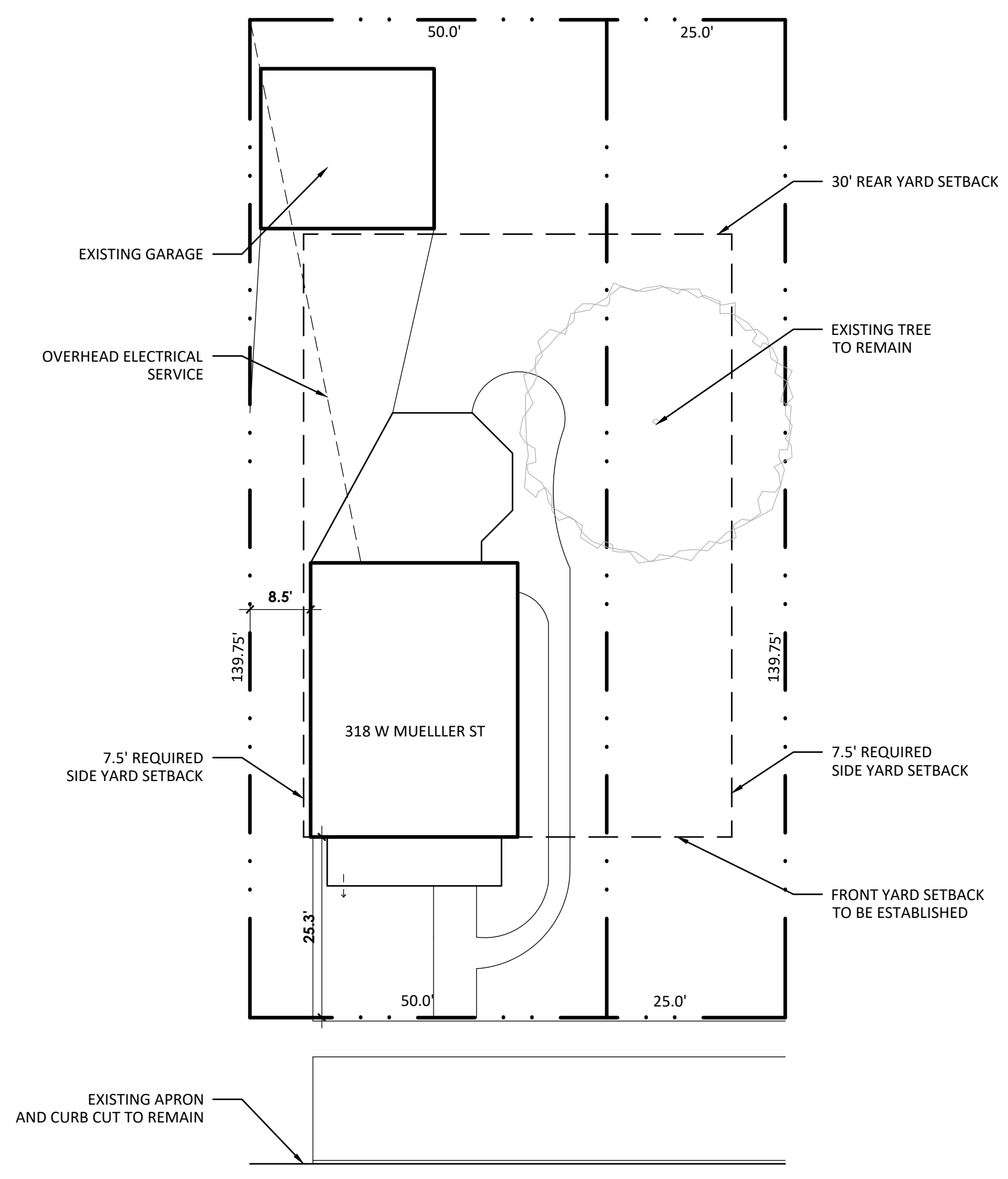
from the office of:  
**Norman J. Toberman and Associates**  
115 South Wilke Road  
Suite 301  
Arlington Heights, Illinois  
847-439-8225

This professional service conforms to the current Illinois minimum standards for a topographic survey.

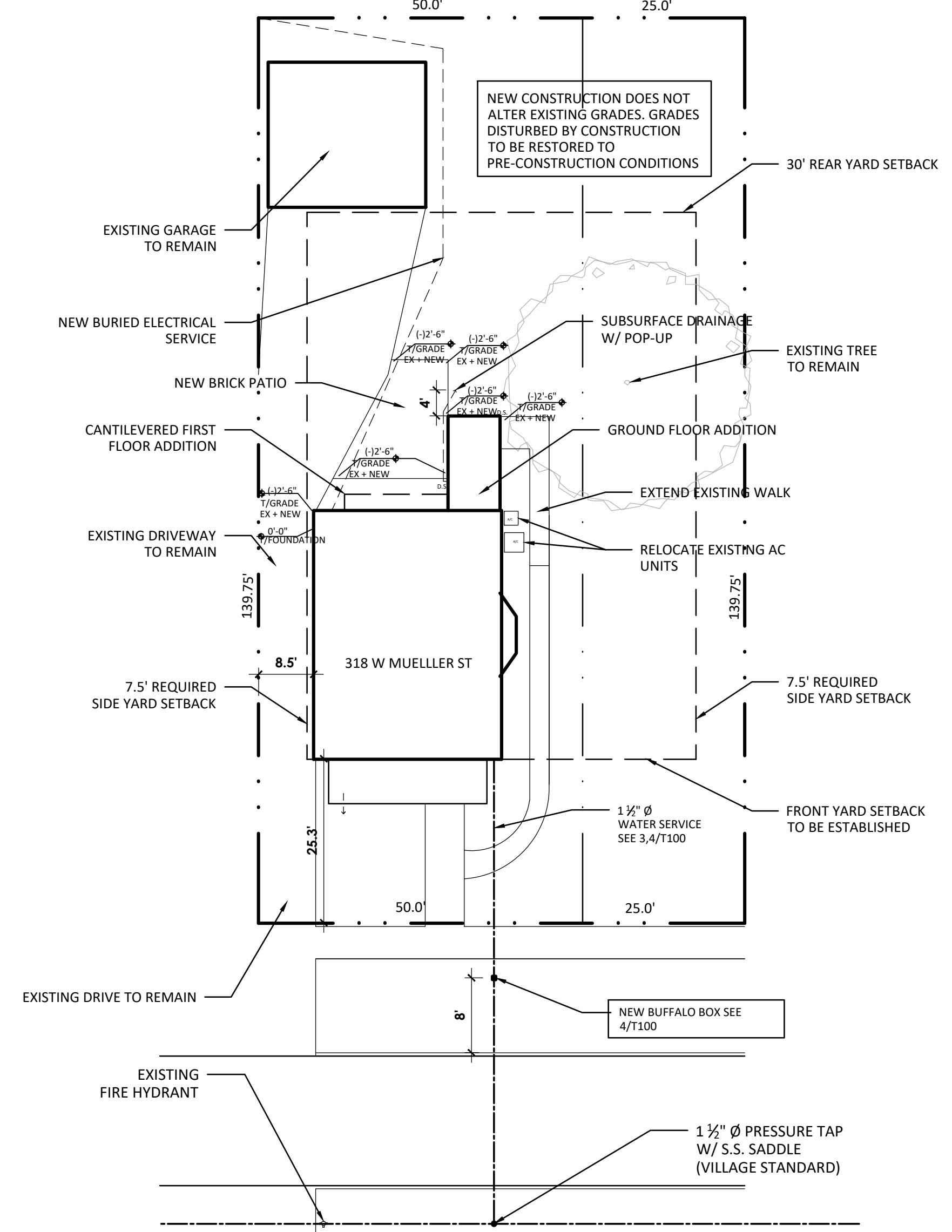
For easements, building lines and other restrictions not shown hereon, refer to your abstract of title, deed, title policy and local zoning ordinance.

Field work was completed March 30, 2022.

Design Firm #184-005910  
Expires April 30, 2023



1 EXISTING SITE PLAN  
1/16" = 1'-0"



2 SITE PLAN  
1/16" = 1'-0"

**WATER MAIN SPECIFICATIONS FROM SUPERINTENDENT OF UTILITIES:**

ZINC-COATED DUCTILE IRON PIPE (DIP) WATER MAIN WITH POLYETHYLENE ENCASEMENT, IN TRENCH, SPECIAL.

This work shall consist of constructing new water main of the required materials and inside diameter at the locations shown on the Plans.

The minimum depth of bury for the water main shall be 5.5' from ground surface to top of the pipe barrel.

This work shall follow applicable requirements of Section 41 of the Standard Specifications.

Pipe Material – In Trench or Casing Pipe  
Shall follow Section 40-2.01B of the Standard Specifications.

Pipe shall be:  
Zinc-coated Ductile Iron Pipe, Class 52, conforming to ANSI/AWWA C151/A21.51 with "Fastite Joints" and "Gaskets", manufactured by American Ductile Iron Pipe, or ENGINEER approved equal.

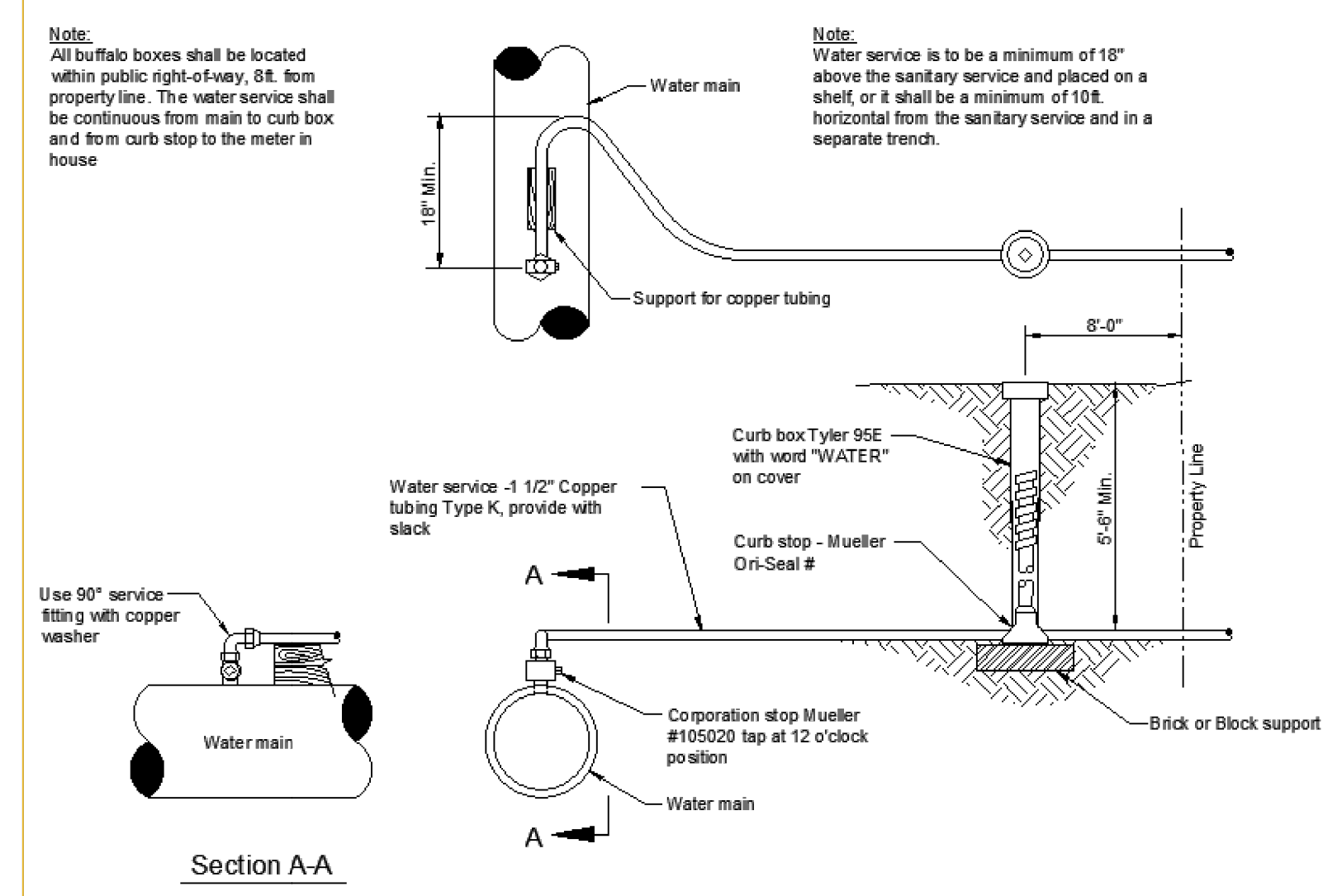
Polyethylene Encasement  
Shall be V-Bio Enhanced and follow the requirements of ANSI/AWWA C105/A21.5

Coating  
The exterior of ductile iron pipe shall be coated with a layer of arc-sprayed zinc per ISO 8179 as done by American Ductile Iron Pipe or Engineer approved equal. The mass of the zinc applied shall be 200 g/m of pipe surface area. A finishing layer topcoat shall be applied to the zinc. The coating system shall conform in every respect to ISO 8179-1 "Ductile iron pipes - External zinc-based coating - Part 1: Metallic zinc with finishing layer. Second edition 2004-06-01."

Pipe Fittings  
All fittings shall be zinc-coated as the above and conform to ANSI/AWWA C153/A21.53 and ANSI/AWWA C110/A21.10 (current revisions) and follow applicable requirements of Section 40-2.05A of the Standard Specifications. Pipe fittings will not be paid for as separate items but shall be considered incidental to the cost of the respective size water main. Any fittings required to adjust pipe alignment due to field conditions shall also be considered incidental to the cost of the water main.

Any fittings shall bear the N.S.F. seal of approval.

3 VAH WATER MAIN SPECIFICATIONS  
NO SCALE



4 VAH DOMESTIC WATER SERVICE  
NO SCALE

**NOTES:**

- PLUMBING**
- PROVIDE NEW 1/2" TYPE K COPPER TUBING WATER SERVICE
  - RE-USE EXISTING WATER DISTRIBUTION AND WASTE PIPING. MODIFY AS NECESSARY.
  - PROVIDE NEW COPPER WATER DISTRIBUTION AND PVC WASTE PIPING. SALVAGE EXISTING HOME CAST IRON SEWER AS PRACTICABLE. MODIFY AS NECESSARY.
  - MINIMUM PIPE SIZE FOR SANITARY WASTE LINES ABOVE GROUND IS 2"
  - TUBS/SHOWERS REQUIRE 2" P-TRAPS
  - HAND HELD SHOWERS REQUIRE VACUUM BREAKERS
  - TUB/SHOWER VALVES REQUIRE INTEGRAL STOPS
  - 2" CLEAN OUT REQUIRED UNDER KITCHEN SINK
  - PULL OUT FAUCETS REQUIRE DUAL CHECK VALVES
  - REUSE EXISTING SANITARY SEWER
  - PROVIDE A HOT WATER RE-CIRCULATING SYSTEM PER LOCAL REQUIREMENTS
  - NEW PLUMBING WALLS THAT WILL HAVE HORIZONTAL DRAIN, WASTE, AND/OR VENT PIPING SHALL BE FRAMED WITH 2X6 STUD
- HVAC**
- PROVIDE DUCTED HI/LO OPERABLE RETURN-AIR GRILLES
  - THE DRYER EXHAUST DUCT, WHERE CONCEALED IN THE BUILDING CONSTRUCTION, SHALL HAVE A PERMANENT LABEL OR TAG INDICATING THE CONCEALED LENGTH OF THE EXHAUST DUCT THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
  - ALL SUPPLY AND RETURN DUCTS SHALL BE PROPERLY SEALED WITH UL 181 LISTED TAPE OR MASTIC
  - ANY SUPPLY DUCTS LOCATED IN THE ATTIC SHALL HAVE A MINIMUM INSULATION OF R-8 AND ALL OTHER DUCTS SHALL HAVE R-6 UNLESS LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE
  - EXISTING (2) FURNACES & (2) AIR CONDITIONERS TO REMAIN
  - EXTEND EXISTING HVAC TO NEW SPACES
  - ADDITIONAL AREA WILL NOT OVERWHELM EXISTING EQUIPMENT
  - WHEN EXHAUST HOOD AT KITCHEN IS 400 CFM OR GREATER, THEN PROVIDE MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH EXHAUST SYSTEM
  - BATH FANS AND KITCHEN EXHAUST DUCTS SHALL BE INSTALLED WITH BACK-DRAFT DAMPERS AT THE TERMINATION POINT
  - MINIMUM OF 10 FEET OF SEPARATION BETWEEN THE WATER HEATER FLUE DISCHARGE AND ANY AIR INTAKE INCLUDING THE COMBUSTION AIR INTAKE FOR THE FURNACE.
  - MINIMUM OF 12 FEET SEPARATION BETWEEN THE COMBUSTION AIR INTAKE AND THE PLUMBING VENT STACK.
  - RETURN AIR SHALL NOT BE TAKEN FROM THE KITCHEN, LAUNDRY OR BATHROOMS.
- ELECTRICAL**
- BURY EXISTING 200 AMP ELECTRICAL SERVICE. EXISTING PANEL TO REMAIN.
  - ELECTRICAL CIRCUIT LAYOUT TO ACCOMMODATE FUTURE WHOLE HOUSE GENERATOR
  - THERE SHALL NOT BE MORE THAN 10 OPENINGS (DEVICES) ON ANY ONE CIRCUIT WITH A MAXIMUM AMPERAGE OF 15 AMPS.
  - DEDICATED CIRCUITS SHALL BE PROVIDED FOR: FURNACE, AIR CONDITIONER, WATER HEATER, DISPOSAL, MICROWAVE, AND DISHWASHER.
  - FURNACE, AIR CONDITIONER, WATER HEATER, AND DISHWASHER SHALL EACH HAVE SEPARATE DISCONNECT SWITCH AND HAVE PROPER WORKING CLEARANCE.
  - AFCI DEVICES IN ALL HABITABLE ROOMS.
  - THE LOCATION OF THE ELECTRICAL METER SHALL BE WITHIN 5 FEET OF THE ELECTRICAL PANEL.
- WINDOWS/DOORS/GLAZING**
- ALL NEW WINDOWS AND PATIO DOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30
  - ENTRY DOORS WITH GLAZING AND GLAZED SHOWER DOORS SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE
- OTHER**
- WINDOW HEAD HEIGHT SHALL BE 94" ON THE FIRST FLOOR TO MATCH EXISTING WINDOWS. HEAD HEIGHT FOR THE SECOND FLOOR WINDOWS SHALL BE 85" TO MATCH EXISTING SECOND FLOOR WINDOWS. (V.I.F.) SOIL BEARING CAPACITY SHALL BE VERIFIED BY AN ILLINOIS LICENSED SOILS ENGINEER AND A COPY OF THE REPORT SHALL BE PROVIDED TO THE INSPECTOR AT THE FOOTING INSPECTION
  - PROVIDE HURRICANE TIE AT EACH RAFTER/WALL INTERSECTION (SIMPSON H SERIES HURRICANE TIE OR EQUAL) @ NEW CONSTRUCTION
  - LISTED CONNECTORS SHALL BE INSTALLED AT ALL POST TO PIER CONNECTIONS AND POST TO BEAM CONNECTIONS AS APPLICABLE
  - HANDRAILS SHALL BE INSTALLED ON ALL STAIRS, RUN THE FULL LENGTH OF THE STAIRS, BE GRASPABLE AND RETURN TO THE WALL AT THE TOP AND BOTTOM OF THE RUN.
  - AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS
  - THE ATTIC ACCESS PANEL(S) SHALL BE GASKETED, INSULATED AND HAVE METAL BRACKETS FOR SUPPORT
  - EXISTING SUMP PUMP TO REMAIN.
  - DISCHARGE ALL NEW OR ALTERED DOWNSPOUTS TO FRONT OR REAR YARD
  - NEW WORK DOES NOT ALTER EXISTING GRADE
  - NEW ROOFING SHALL BE A MINIMUM CLASS "C"
  - ADDRESS NUMBERS SHALL BE AT LEAST 6 INCHES IN HEIGHT, BE A CONTRASTING COLOR FROM THE BACKGROUND, AND BE INSTALLED ON OR OVER THE PRIMARY ENTRANCE TO THE DWELLING.
  - ALL DOWNSPOUTS AND SUMP DISCHARGE PIPES MUST HAVE AN AIR GAP PRIOR TO CONNECTION WITH SUBSURFACE DRAINAGE SYSTEM.
  - ROOF SLOPES BETWEEN 2:12 AND 4:12 SHALL HAVE 2 LAYERS OF FELT UNDERLAYMENT
  - STEP CONSTRUCTION, MAXIMUM 7 3/4" RISER HEIGHT, MINIMUM 10" TREAD DEPTH, AND MAXIMUM HEIGHT DIFFERENCE BETWEEN THE GREATEST AND THE SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 8"

**KINGSLEY + GINNODO ARCHITECTS**  
33 N Hickory Ave, Arlington Heights, IL 60004  
Professional Design Firm - Architect  
Exp: 4.30.23 # 184.005449

**DRAWING LIST**

T100	TITLE SHEET AND SITE PLAN
A000	SPECIFICATIONS
EX100	EXISTING PLANS AND ELEVATIONS
A100	FOUNDATION AND FIRST FLOOR PLANS
A101	SECOND FLOOR AND ROOF PLANS
A200	EXTERIOR ELEVATIONS
A300	SECTIONS AND DETAILS
A301	WINDOW INSTALLATION
A302	STANDARD DETAILS
A400	INTERIOR ELEVATIONS
A401	INTERIOR ELEVATIONS
A500	SCHEDULES
S100	STRUCTURAL PLANS
S101	STRUCTURAL PLAN
E100	ELECTRICAL PLANS

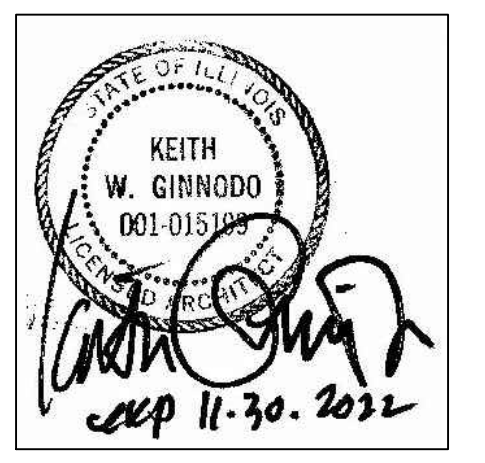
- APPLICABLE BUILDING CODES**
- International Residential Code (IRC) 2018 Edition (with amendments)
  - Illinois Energy Conservation Code (IECC)
  - National Electric Code 2017 Edition (with amendments)
  - State of Illinois Plumbing Code 2014 Edition (with amendments)

LOAD VALUE	QUANTITY	TOTAL
FLUSH TANK TOILET	3	4
LAVATORY	1	5
BATHTUB	2	2
SHOWER STALL	2	1
KITCHEN SINK	2	1
DISHWASHER	1	1
LAUNDRY TRAY	3	1
LAUNDRY MACHINE	2	1
		31

WSFU 31 = 1 1/2" SUPPLY MIN  
PROVIDE NEW 1 1/2" Ø WATER SERVICE W/ 1 1/2" DISTRIBUTED TO FIRST FIXTURE



**KINGSLEY + GINNODO ARCHITECTS**  
33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnod.com



**TAMA & CHRIS FILPI**

318 W MUELLER STREET  
ARLINGTON HTS, IL 60004

**FILPI RESIDENCE**

no.	revision	init.	date
	PERMIT SET		1/26/22

**TITLE SHEET AND SITE PLAN**

date drawn by checked by

Job No. **FILPI**

Sheet No. **T100**

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

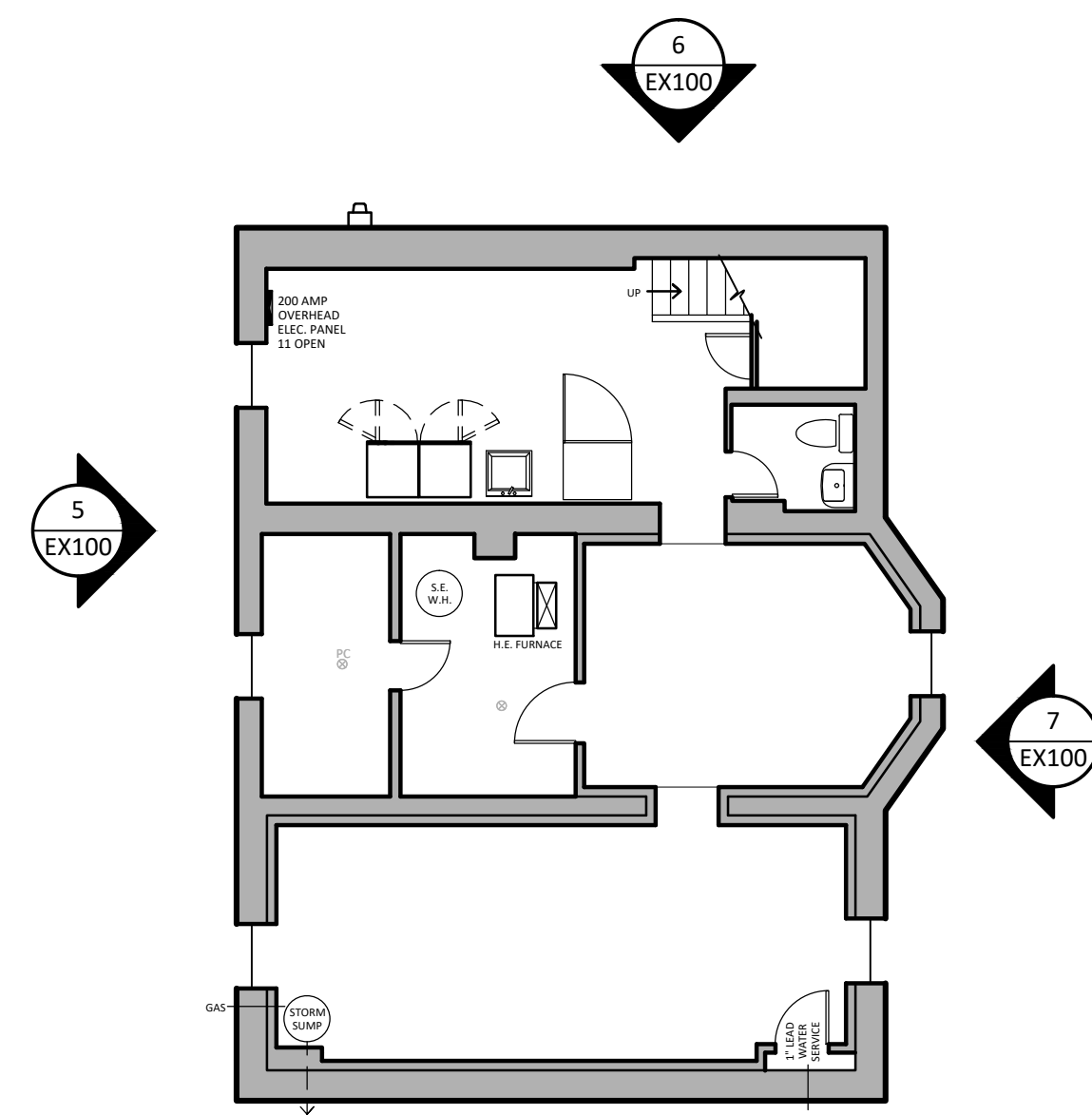
A

B

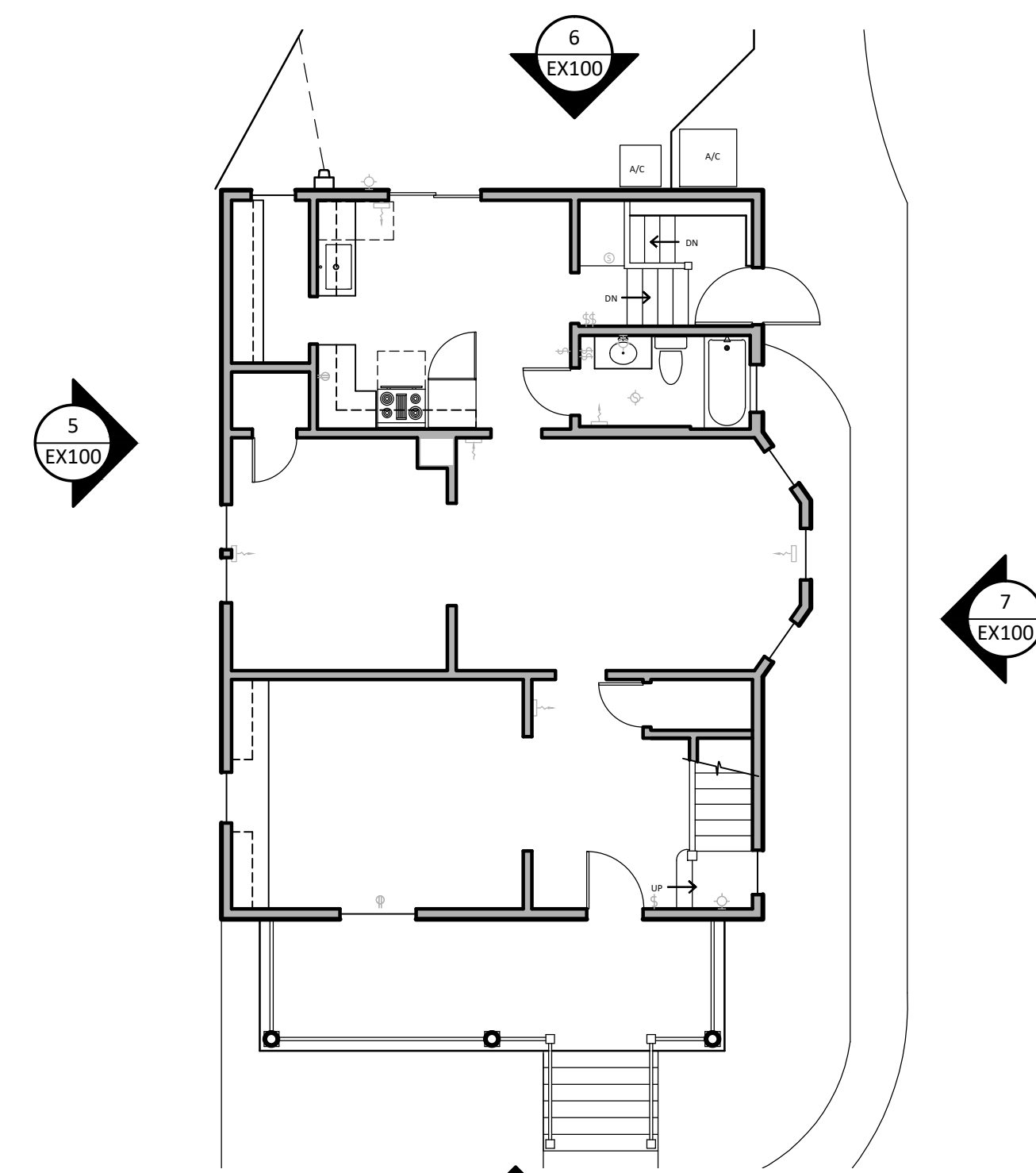
C

D

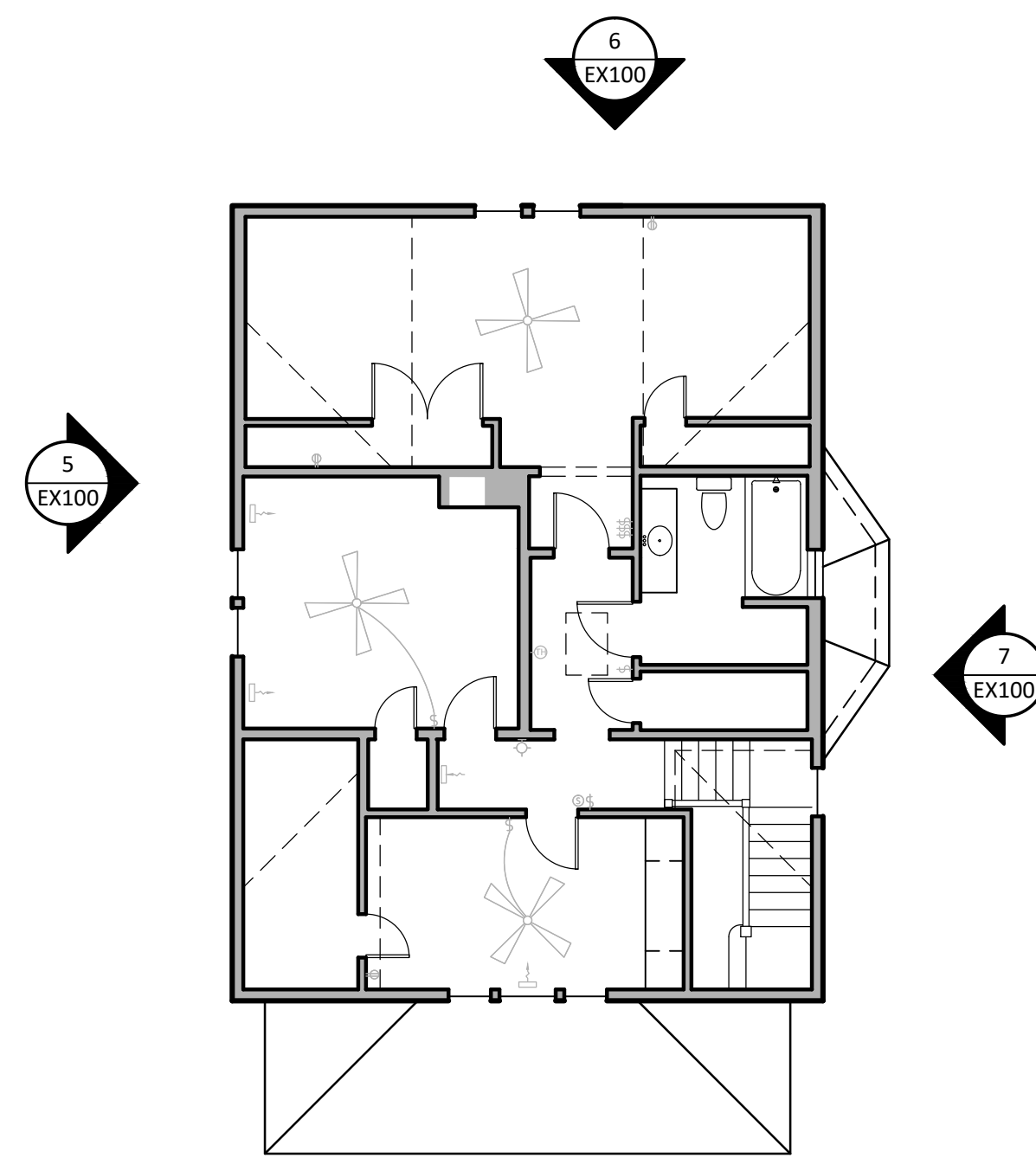
E



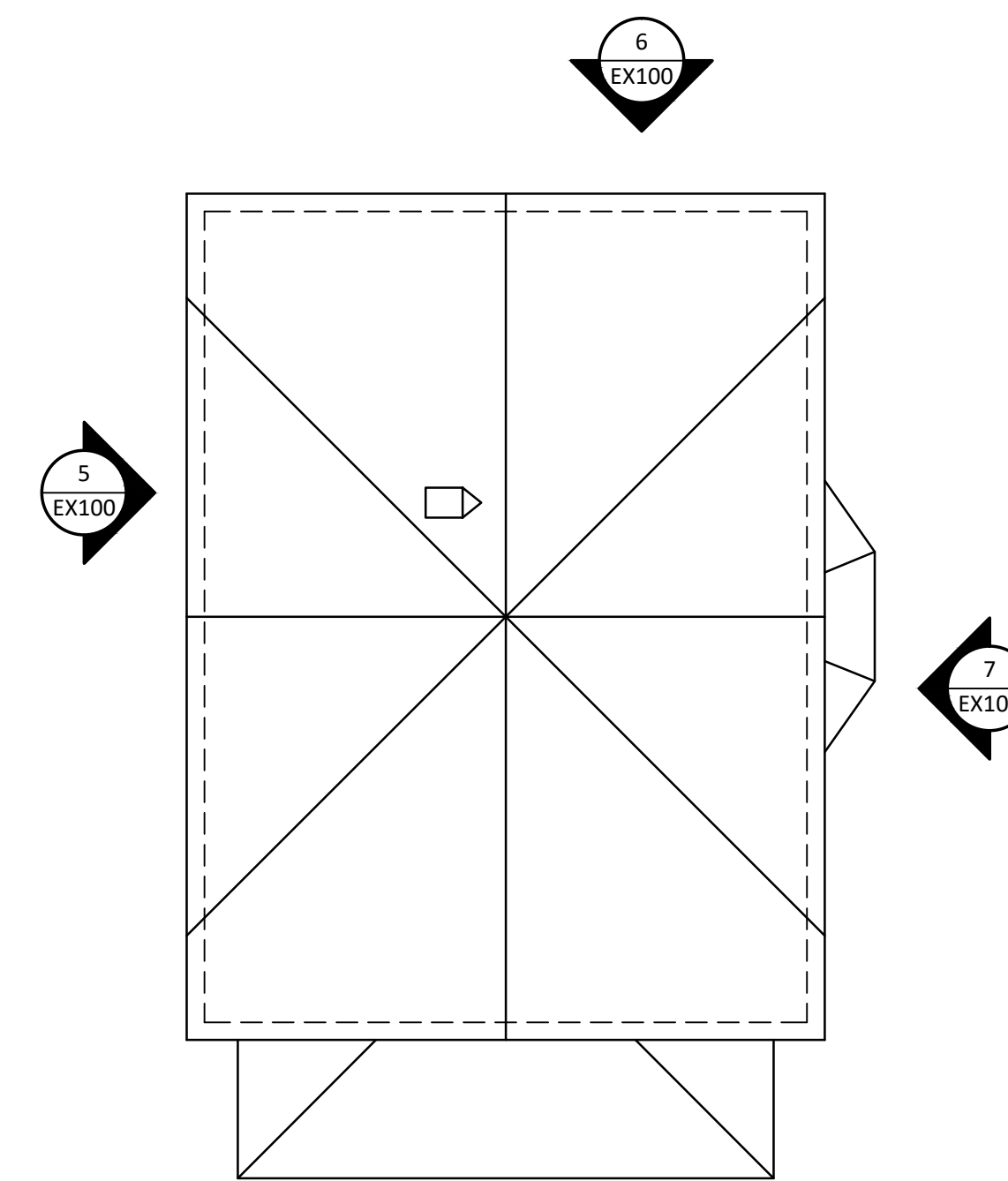
4 EXISTING BASEMENT PLAN  
1/8" = 1'-0"



3 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN  
1/8" = 1'-0"



1 EXISTING ROOF PLAN  
1/8" = 1'-0"



8 EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



7 EXISTING EAST ELEVATION  
1/8" = 1'-0"



6 EXISTING NORTH ELEVATION  
1/8" = 1'-0"



5 EXISTING WEST ELEVATION  
1/8" = 1'-0"



KINGSLEY + GINNODO ARCHITECTS  
33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodo.com

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

**TAMA & CHRIS FILPI**  
318 W MUELLER STREET  
ARLINGTON HTS, IL 60004

**FILPI RESIDENCE**

no.	revision	init.	date
	PERMIT SET		1/26/22

**EXISTING PLANS AND ELEVATIONS**

date drawn by checked by

Job No. **FILPI**

Sheet No. **EX100**

1  
1/2 1/4  
A  
B  
C  
D  
E

2

3

4

5

6

**HANDRAIL CONSTRUCTION:**  
 HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION 311.7.8 - HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL ENDS SHALL BE RETURNED PER SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5.

**STEP CONSTRUCTION:**  
 • MAXIMUM 7 1/2" RISER HEIGHT  
 • MINIMUM 10" TREAD DEPTH  
 • MAXIMUM HEIGHT DIFFERENCE BETWEEN THE GREATEST AND THE SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8"

**FIREBLOCKING SHALL BE LOCATED IN THE FOLLOWING LOCATIONS:**

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS
- VERTICALLY AT THE CEILING AND THE FLOOR LEVELS
- HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
- AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES FOR SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STINGERS AT THE TOP AND BOTTOM OF THE RUN
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT THE CEILING AND THE FLOOR LEVELS.

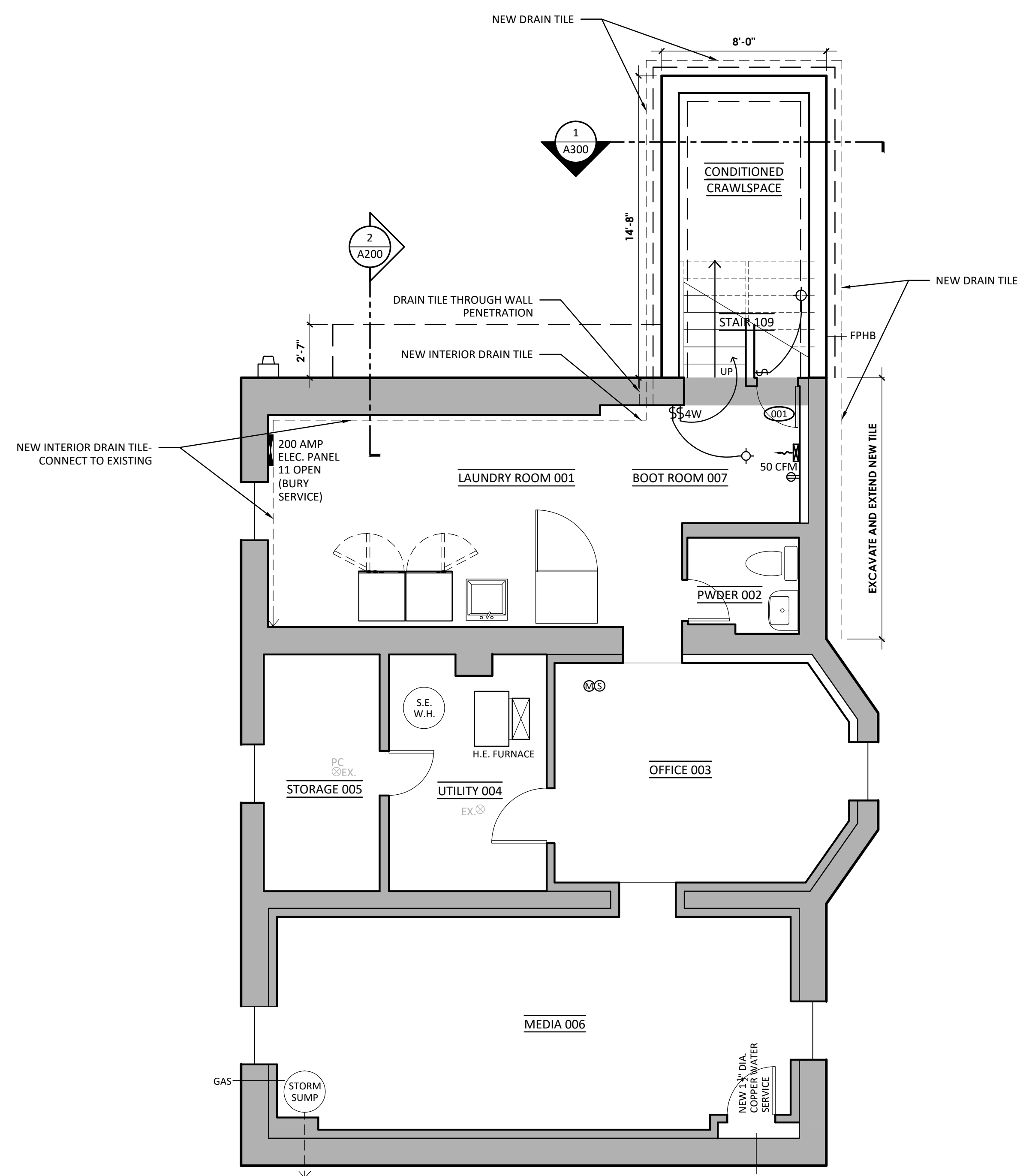
**WALL LEGEND**

EXISTING WALL

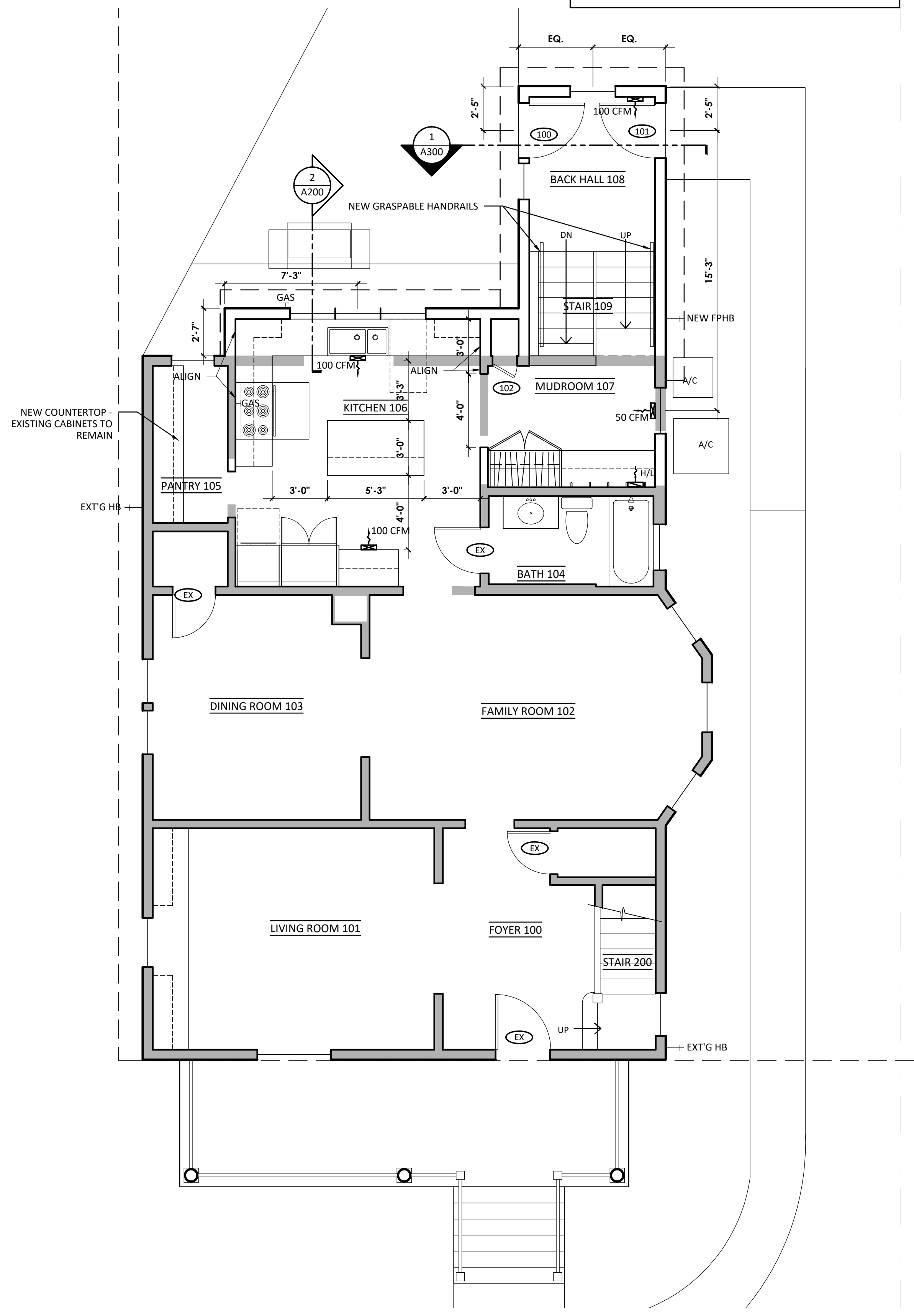
NEW WALL

EXISTING WALL TO BE REMOVED

**STAIRS:**  
 + TREAD DEPTH 10" + 1" NOSING  
 + RISER HEIGHT NOT TO EXCEED 7 1/2"  
 + MINIMUM 80" CLEAR HEAD HEIGHT



**2 BASEMENT PLAN**  
 1/4" = 1'-0"



**1 FIRST FLOOR PLAN**  
 1/4" = 1'-0"



KINGSLEY + GINNODO ARCHITECTS  
 33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodoc.com

**TAMA & CHRIS FILPI**  
 318 W MUELLER STREET  
 ARLINGTON HTS, IL 60004

**FILPI RESIDENCE**

no.	revision	init.	date
	PERMIT SET		1/26/22

**BASEMENT AND FIRST FLOOR PLANS**

date drawn by checked by

Job No. **FILPI**  
 Sheet No. **A100**

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

no.	revision	init.	date
	PERMIT SET		1/26/22

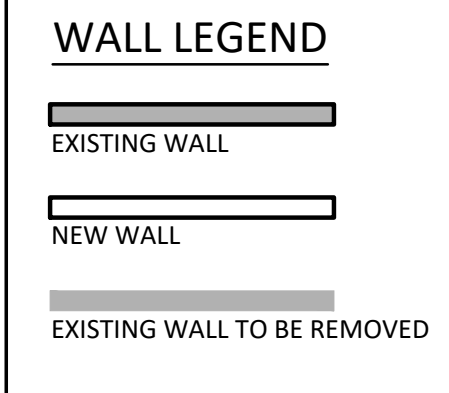
**SECOND FLOOR AND ROOF PLANS**

date	drawn by	checked by

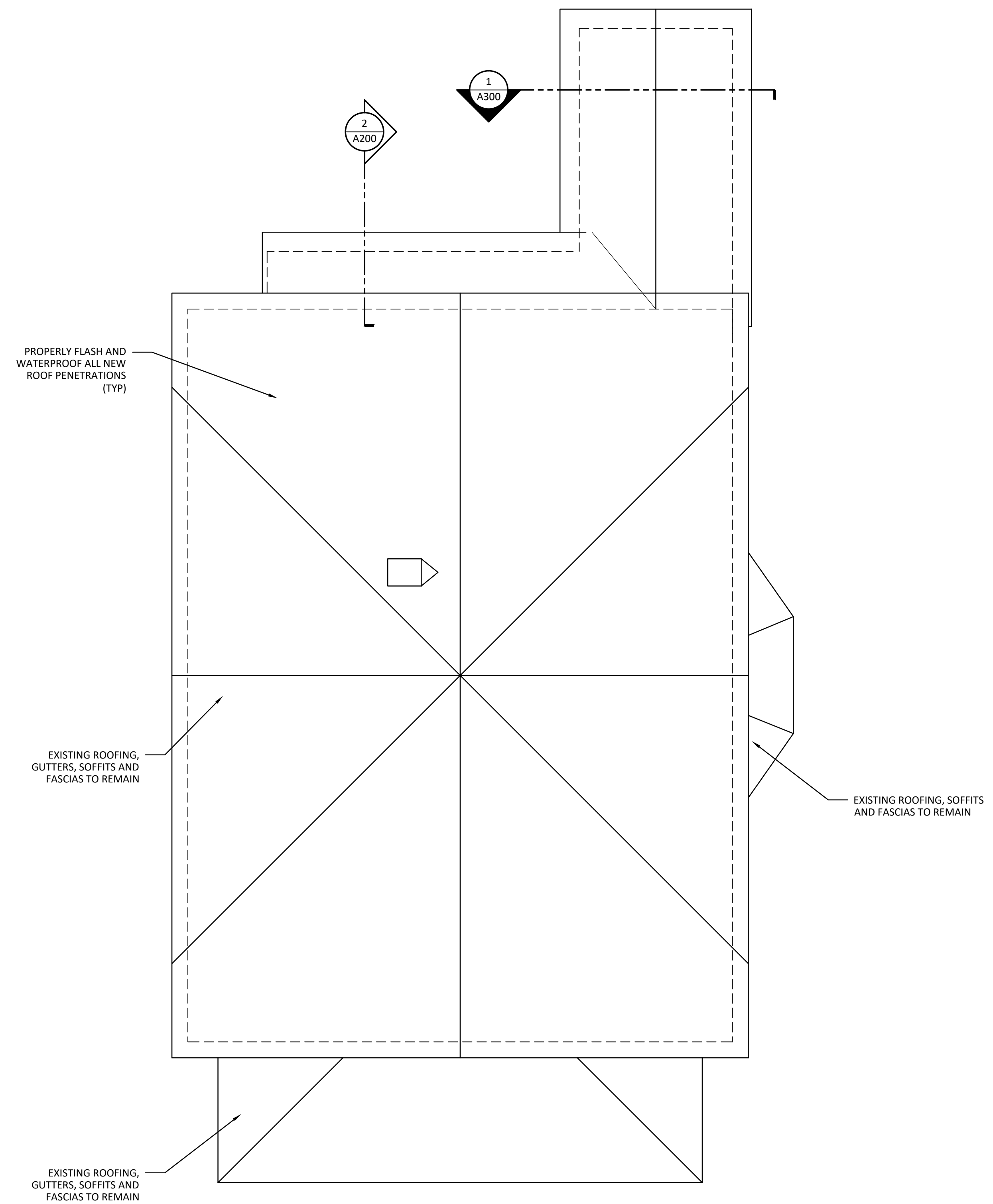
Job No.	<b>FILPI</b>
Sheet No.	<b>A101</b>

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

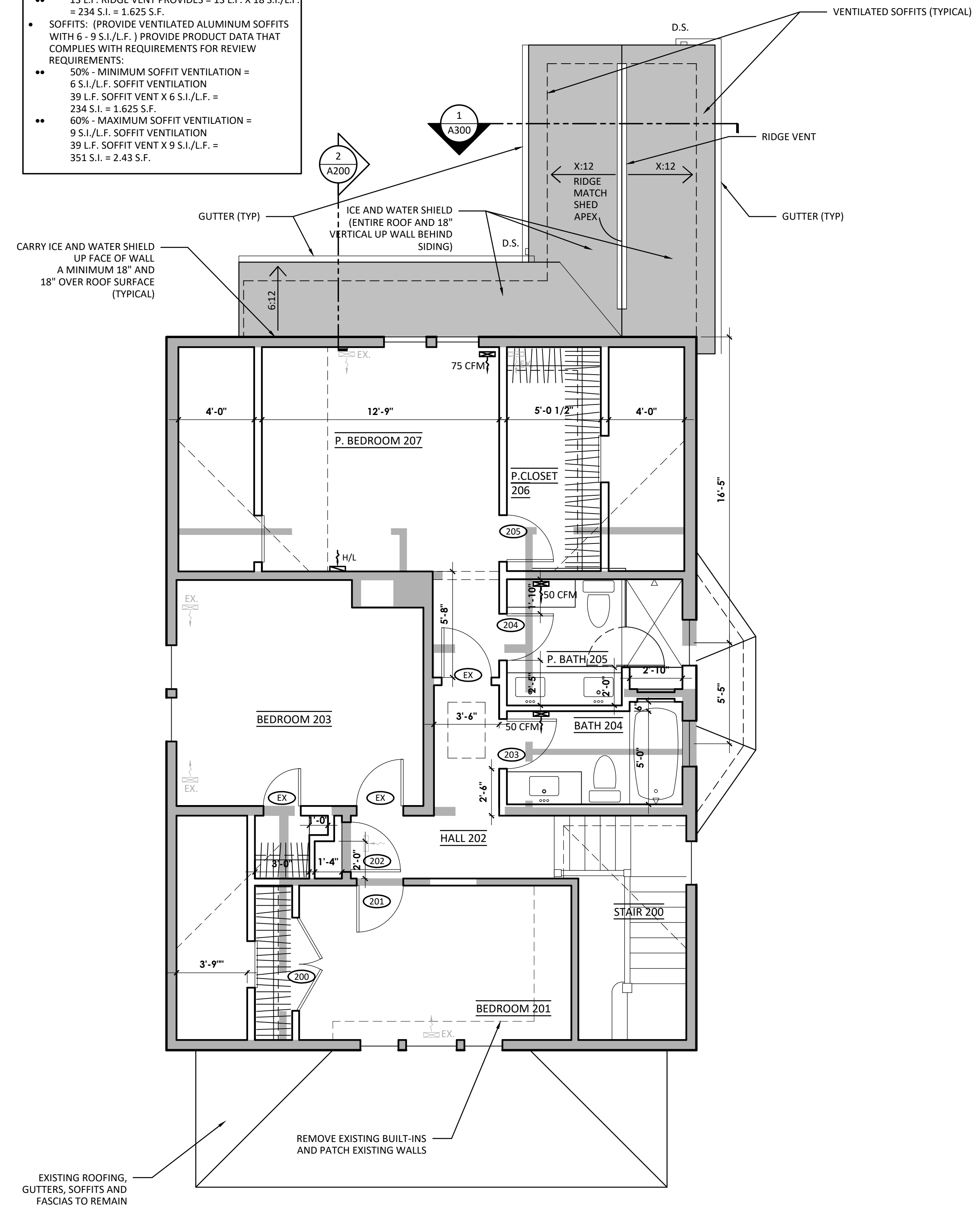
- FIREBLOCKING SHALL BE LOCATED IN THE FOLLOWING LOCATIONS:**
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS
  - VERTICALLY AT THE CEILING AND THE FLOOR LEVELS
  - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
  - AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES FOR SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - IN CONCEALED SPACES BETWEEN STAIR STINGERS AT THE TOP AND BOTTOM OF THE RUN
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT THE CEILING AND THE FLOOR LEVELS.



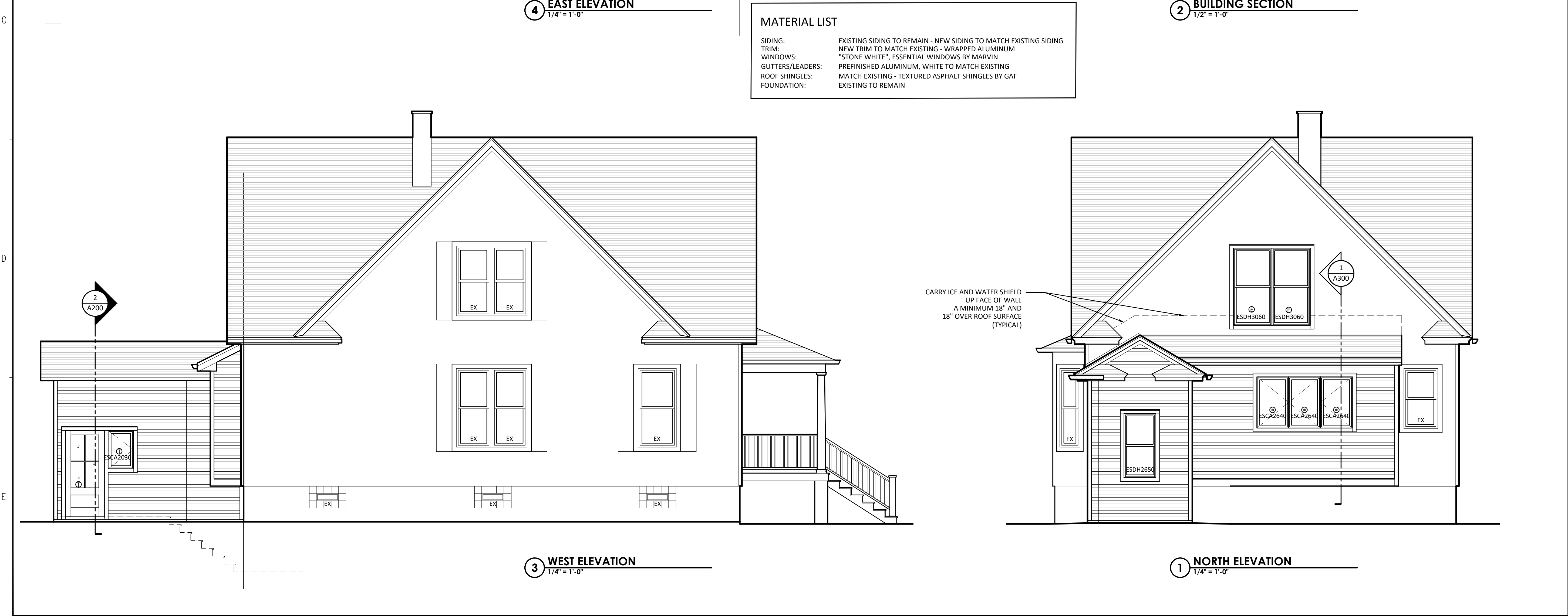
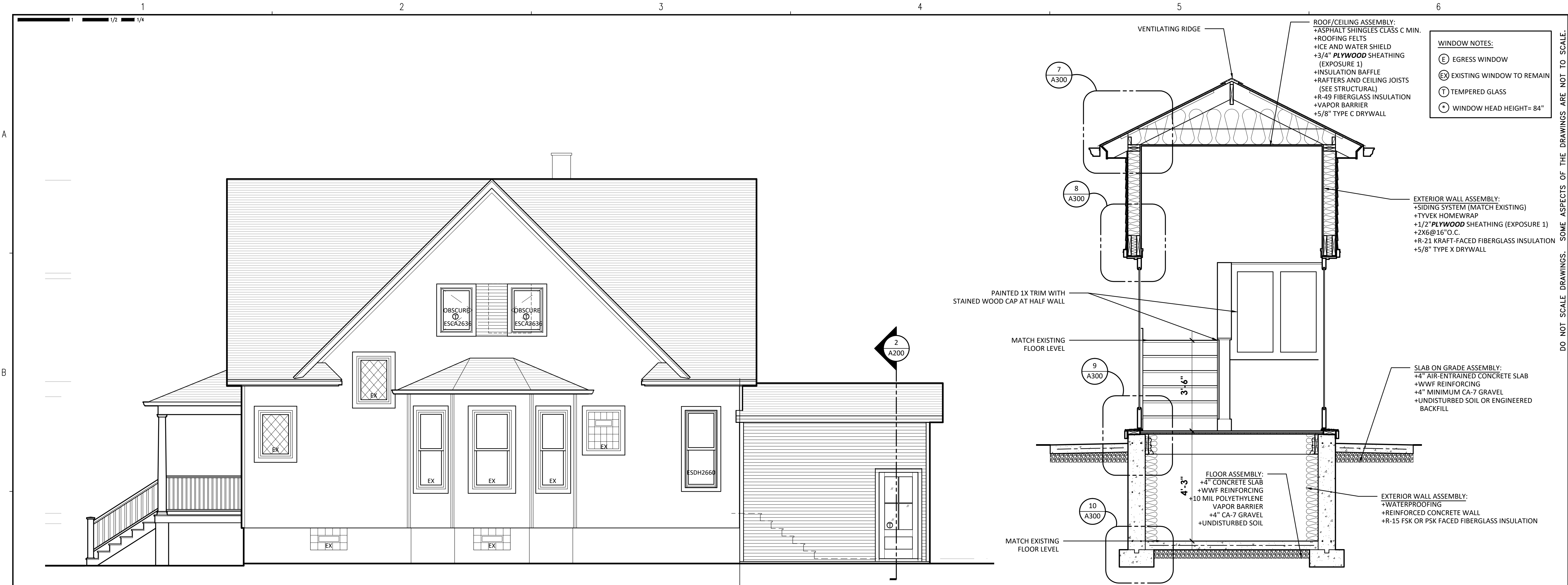
- NEW FIRST FLOOR ROOF VENTILATION REQUIREMENTS:**
- ROOF AREA = 166 S.F.
  - 166/300 = .56 S.F. (80 S.I.) TOTAL VENTILATION REQ'D
  - RIDGE VENT: AIR VENT SHINGLE VENT II (PROVIDES 18 S.I./L.F.)
    - 13 L.F. RIDGE VENT PROVIDES = 13 L.F. X 18 S.I./L.F. = 234 S.I. = 1.625 S.F.
  - SOFFITS: (PROVIDE VENTILATED ALUMINUM SOFFITS WITH 6 - 9 S.I./L.F.) PROVIDE PRODUCT DATA THAT COMPLIES WITH REQUIREMENTS FOR REVIEW REQUIREMENTS:
    - 50% - MINIMUM SOFFIT VENTILATION = 6 S.I./L.F. SOFFIT VENTILATION 39 L.F. SOFFIT VENT X 6 S.I./L.F. = 234 S.I. = 1.625 S.F.
    - 60% - MAXIMUM SOFFIT VENTILATION = 9 S.I./L.F. SOFFIT VENTILATION 39 L.F. SOFFIT VENT X 9 S.I./L.F. = 351 S.I. = 2.43 S.F.



**2 ROOF PLAN**  
 1/4" = 1'-0"



**1 SECOND FLOOR PLAN**  
 1/4" = 1'-0"



**KINGSLEY + GINNODO ARCHITECTS**

33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 9008 info@kingsleyginnodo.com

**TAMA & CHRIS FILPI**  
 318 W MUELLER STREET  
 ARLINGTON HTS, IL 60004

**FILPI RESIDENCE**

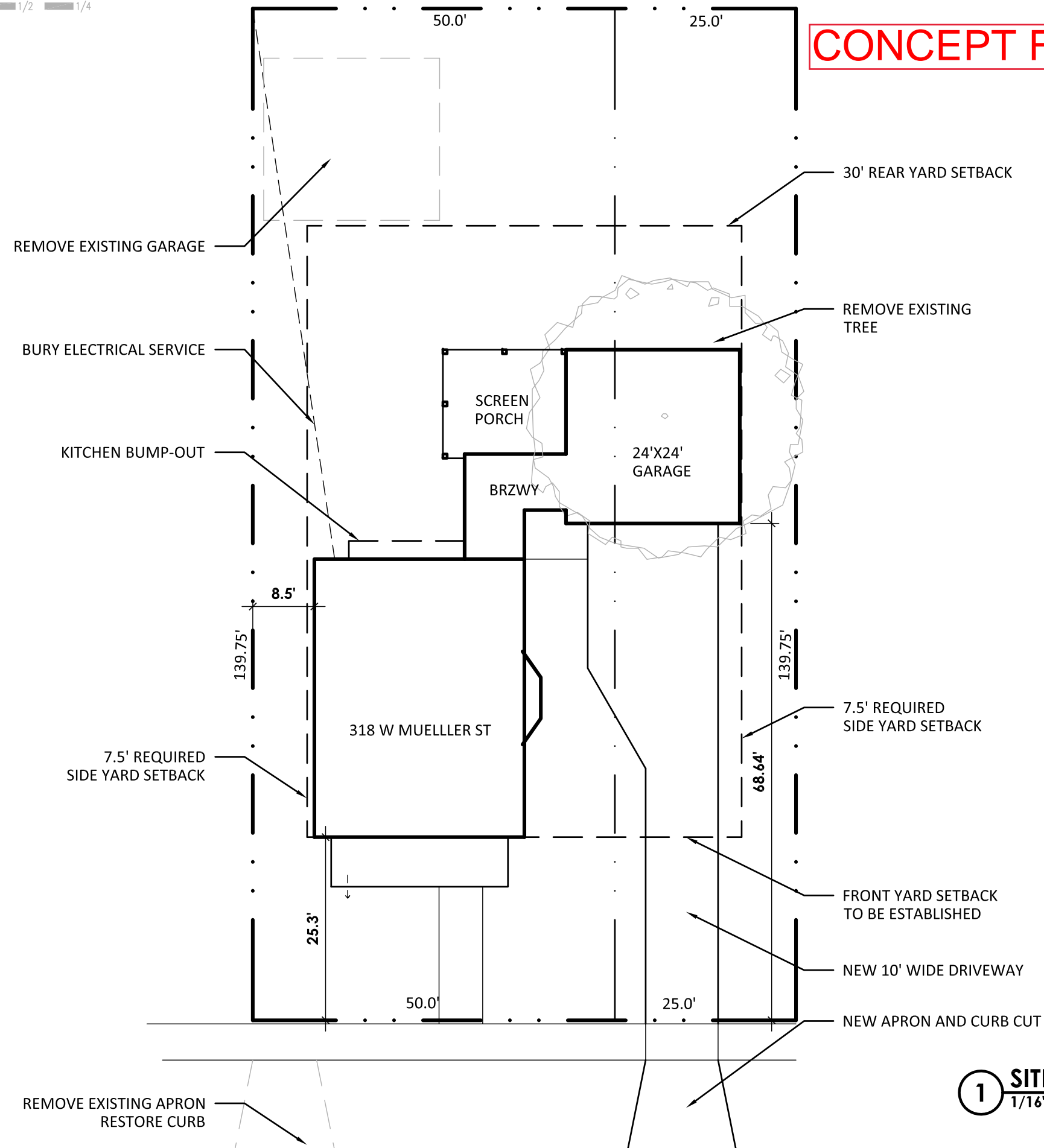
no.	revision	init.	date
1	PERMIT SET		1/26/22

**EXTERIOR ELEVATIONS**

date	drawn by	checked by
Job No.	<b>FILPI</b>	
Sheet No.	<b>A200</b>	

1 1/2 1/4

# CONCEPT FOR FUTURE GARAGE



**1 SITE PLAN**  
1/16" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS  
 33 N HICKORY AV, ARLINGTON HTS, IL 60004  
 6.18.21  
 © KINGSLEY + GINNODO ARCHITECTS



**TAMA AND CHRIS FILPI**  
 318 W MUELLER ST, ARLINGTON HEIGHTS, IL 60004