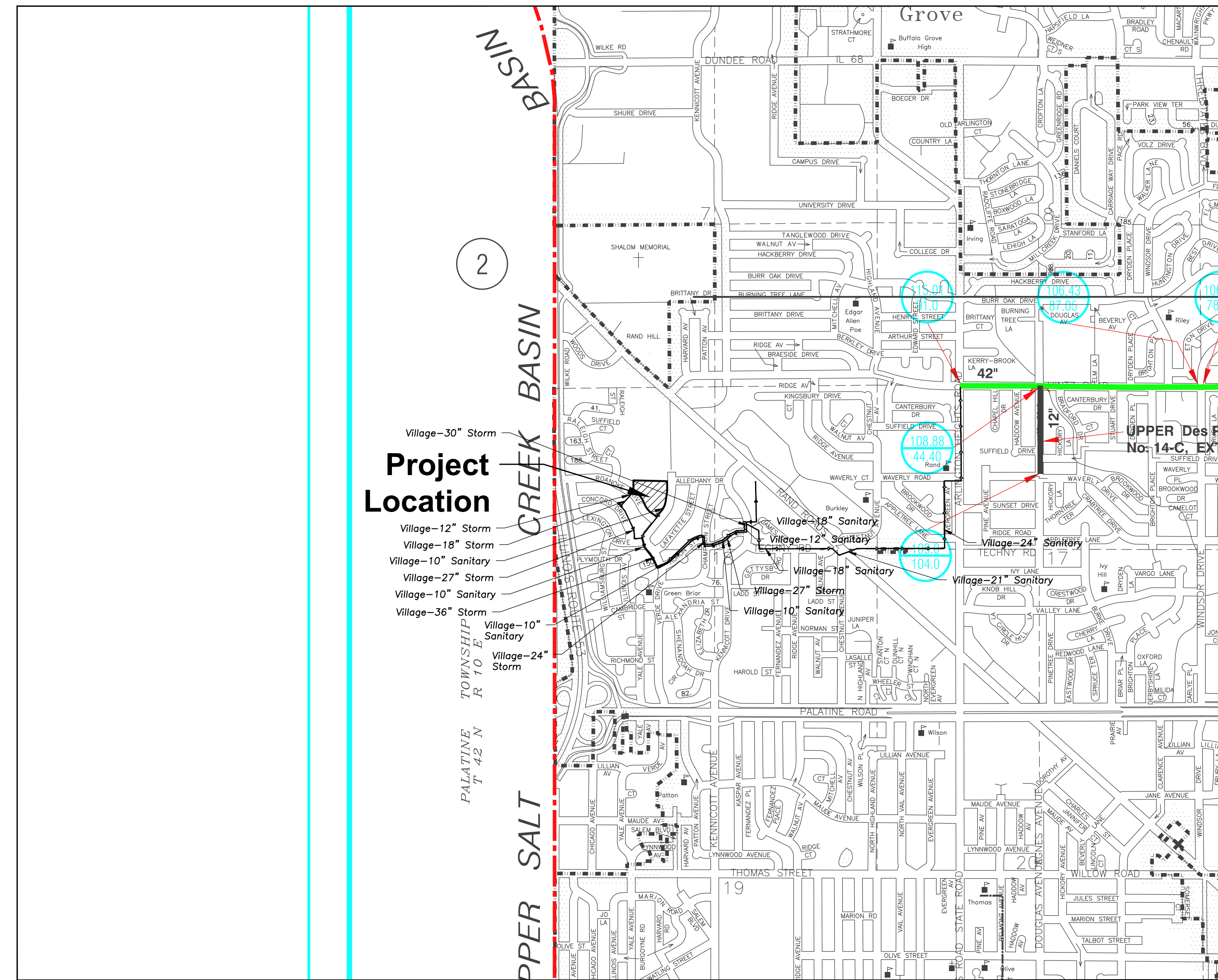


GREENBRIER SCHOOL ADDITION AND RENOVATIONS

2330 N. Verde Dr. Arlington Heights, IL 60004

**GREENBRIER SCHOOL ADDITIONS
AND RENOVATIONS**
 2330 N. VERDE DR.
 ARLINGTON HEIGHTS, ILLINOIS



CIVIL SHEET INDEX

- C000 CIVIL COVER SHEET
- C001 TOPOGRAPHICAL SURVEY
- C002 MWD GENERAL NOTES
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- CX101 EXISTING VS. PROPOSED SITE COVERAGE
- CX201 EXISTING VS. PROPOSED REDEVELOPMENT AREA (VILLAGE SWM)
- CX301 EXISTING STORAGE IN ONSITE PIPE
- CX401 VILLAGE FIRE TRUCK EXHIBIT

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022.

PROJECT BENCHMARKS

Source Benchmark:
Village of Arlington Heights Recovery Sheet
Village of Arlington Heights, IL
Benchmark Designation: 17
At Verde Drive And Allegheny Drive.
NAVD88 Elevation = 726.29 NAVD88

Site Benchmark:
Survey Control Point, Cut Cross On The South Side Of Sidewalk
NAVD88 Elevation = 723.13
Easting: 1083719.692
Northings: 1977018.846

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 692-0123

Reserved for Seal:

No.	Date	Description
	12/06/22	ISSUE FOR PLAN COMMISSION
▲	02/02/23	REVISED FOR PLAN COMMISSION

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Design By:	Approved By:	Date:
JC	JC	02/02/23

Sheet Title:

CIVIL COVER SHEET

Sheet No:

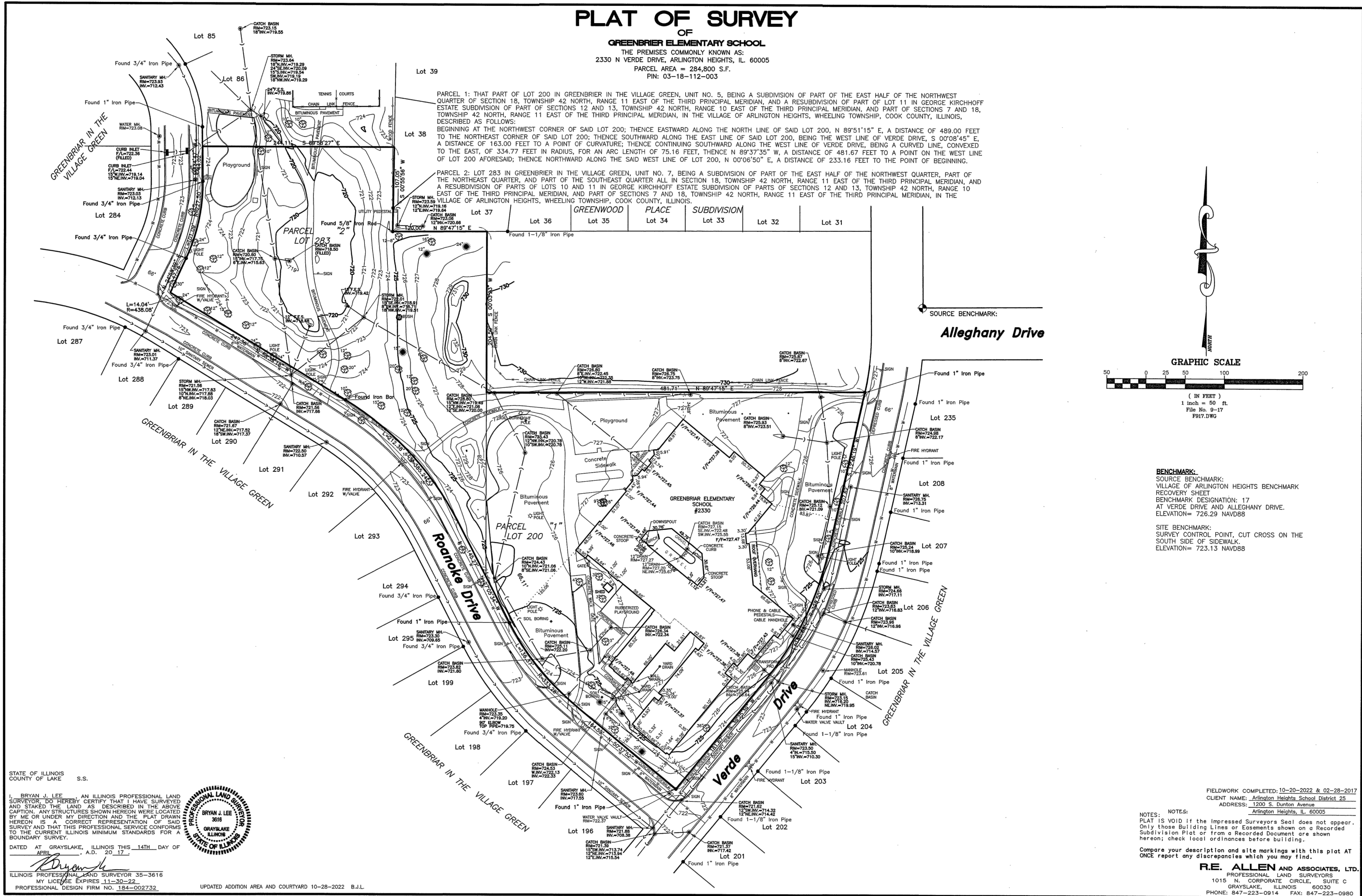
C000

DRAINAGE STATEMENT

To The Best Of Our Knowledge And Belief, It Is Our Professional Opinion That The Proposed Improvements On The Property Are Not Within One-Hundred (100) Feet Of A Known Flood Protection Area. The Drainage Of The Surface Waters Will Not Be Changed By The Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The Adjoining Property Because Of The Construction Of The Development.

PLAT OF SURVEY

OF
GREENBRIER ELEMENTARY SCHOOL
THE PREMISES COMMONLY KNOWN AS:
2330 N VERDE DRIVE, ARLINGTON HEIGHTS, IL 60005
PARCEL AREA = 284,800 S.F.
PIN: 03-18-112-003

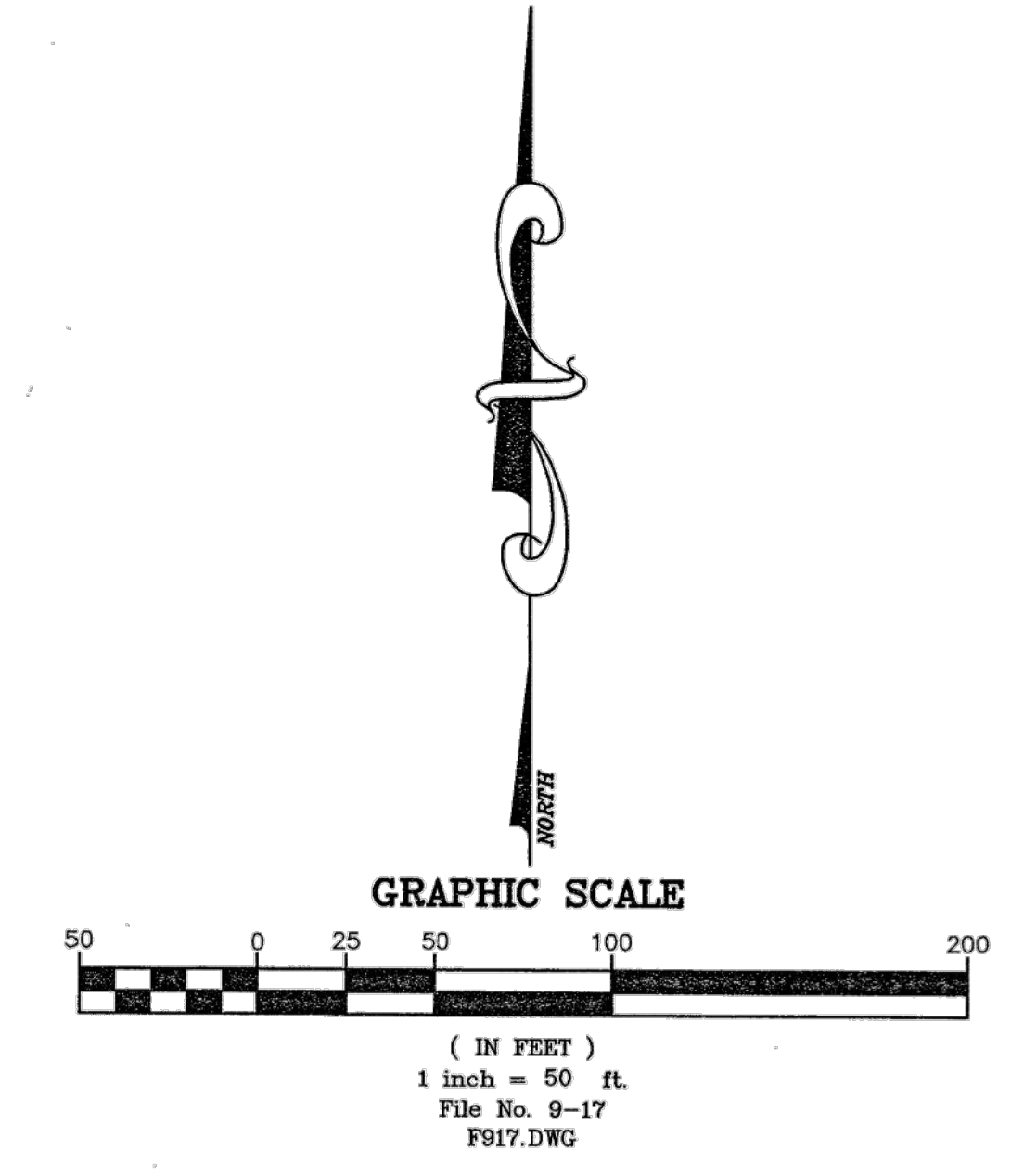


PARCEL 1: THAT PART OF LOT 200 IN GREENBRIER IN THE VILLAGE GREEN, UNIT NO. 5, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND A RESUBDIVISION OF PART OF LOT 11 IN GEORGE KIRCHHOFF ESTATE SUBDIVISION OF PART OF SECTIONS 12 AND 13, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTIONS 7 AND 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF ARLINGTON HEIGHTS, WHEELING TOWNSHIP, COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 200; THENCE EASTWARD ALONG THE NORTH LINE OF SAID LOT 200, N 89°51'15" E, A DISTANCE OF 489.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 200; THENCE SOUTHWARD ALONG THE EAST LINE OF SAID LOT 200, BEING THE WEST LINE OF VERDE DRIVE, S 00°08'45" E, A DISTANCE OF 163.00 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHWARD ALONG THE WEST LINE OF VERDE DRIVE, BEING A CURVED LINE, CONVEX TO THE EAST, OF 334.77 FEET IN RADIUS, FOR AN ARC LENGTH OF 75.16 FEET; THENCE N 89°37'35" W, A DISTANCE OF 481.67 FEET TO A POINT ON THE WEST LINE OF LOT 200 AFORESAID; THENCE NORTHWARD ALONG THE SAID WEST LINE OF LOT 200, N 00°06'50" E, A DISTANCE OF 233.16 FEET TO THE POINT OF BEGINNING.

PARCEL 2: LOT 283 IN GREENBRIER IN THE VILLAGE GREEN, UNIT NO. 7, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER, PART OF THE NORTHEAST QUARTER, AND PART OF THE SOUTHWEST QUARTER ALL IN SECTION 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND A RESUBDIVISION OF PARTS OF LOTS 10 AND 11 IN GEORGE KIRCHHOFF ESTATE SUBDIVISION OF PARTS OF SECTIONS 12 AND 13, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTIONS 7 AND 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF ARLINGTON HEIGHTS, WHEELING TOWNSHIP, COOK COUNTY, ILLINOIS.

LOT	PLACE	SUBDIVISION
Lot 37	GREENWOOD	
Lot 36		
Lot 35		
Lot 34		
Lot 33		
Lot 32		
Lot 31		

SOURCE BENCHMARK:
Alleghany Drive



BENCHMARK:
SOURCE BENCHMARK:
VILLAGE OF ARLINGTON HEIGHTS BENCHMARK
RECOVERY SHEET
BENCHMARK DESIGNATION: 17
AT VERDE DRIVE AND ALLEGHANY DRIVE.
ELEVATION = 726.29 NAVD88

SITE BENCHMARK:
SURVEY CONTROL POINT, CUT CROSS ON THE SOUTH SIDE OF SIDEWALK.
ELEVATION = 723.13 NAVD88

STATE OF ILLINOIS
COUNTY OF LAKE S.S.

I, **BRYAN J. LEE**, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND STAKED THE LAND AS DESCRIBED IN THE ABOVE CAPTION. ANY STRUCTURES SHOWN HEREON WERE LOCATED BY ME OR UNDER MY DIRECTION AND THE PLAT DRAWN HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT GRAYSLAKE, ILLINOIS THIS 14TH DAY OF APRIL, A.D. 2017.

BRYAN J. LEE
3616
GRAYSLAKE, ILLINOIS
STATE OF ILLINOIS

ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616
MY LICENSE EXPIRES 11-30-22
PROFESSIONAL DESIGN FIRM NO. 184-002732

UPDATED ADDITION AREA AND COURTYARD 10-28-2022 B.J.L.

FIELDWORK COMPLETED: 10-20-2022 & 02-28-2017
CLIENT NAME: Arlington Heights School District 25
ADDRESS: 1200 S. Durton Avenue
Arlington Heights, IL 60005

NOTES:
PLAT IS VOID if the Impressed Surveyors Seal does not appear. Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinances before building.

Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0990

Reserved for Seal:

No.	Date	Description
12/06/22		ISSUE FOR PLAN COMMISSION
02/02/23		REVISED FOR PLAN COMMISSION

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THIS PLAT IS A SERVICE OF THE PROFESSIONAL ENGINEERING ASSOCIATION OF ILLINOIS. ANY REVISIONS TO THIS PLAT MUST BE APPROVED BY THE ASSOCIATION.
Design By: JC Approved By: JC Date: 02/02/23

Sheet Title:
PLAT OF SURVEY

Sheet No:
C001



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4864
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-0123220
 EXPIRES: 04/30/2023

**GREENBRIER SCHOOL ADDITIONS
 AND RENOVATIONS**
 2830 N. VERDE DR.
 ARLINGTON HEIGHTS, ILLINOIS

A. REFERENCED SPECIFICATIONS

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF _____ MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO WMOJOBSTART@MWRD.ORG).

2. THE VILLAGE OF _____ ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.

3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS _____ FT.

2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.

3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.

4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.

5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.

6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.

8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.

9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.

10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.

2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.

3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.

4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).

5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.

6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.

7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE 6-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM D-3034 ASTM F-679	ASTM D-3212 ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)	ASTM D-3350 ASTM D-3035	ASTM D-3261, F-2620 (HEAT FUSION) ASTM D-3212, F-477 (GASKETED)
WATER MAIN QUALITY PVC 4-INCH TO 36-INCH 4-INCH TO 12-INCH 14-INCH TO 48-INCH	ASTM D-2241 AWWA C900 AWWA C905	ASTM D-3139 ASTM D-3139 ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4" THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.

9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.

10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.

11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.

13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.

14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.

15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.

16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.

17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.

18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.

3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.

4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.

6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.

7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.

8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.

9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.

10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.

11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.

12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).

13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.

15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.

16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.

17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.

18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A PUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.

20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.

21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.

22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.

23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL
 MWRD GENERAL NOTES

10/13/2022
 STD. DWG. NO.18
 PAGE NO. 19

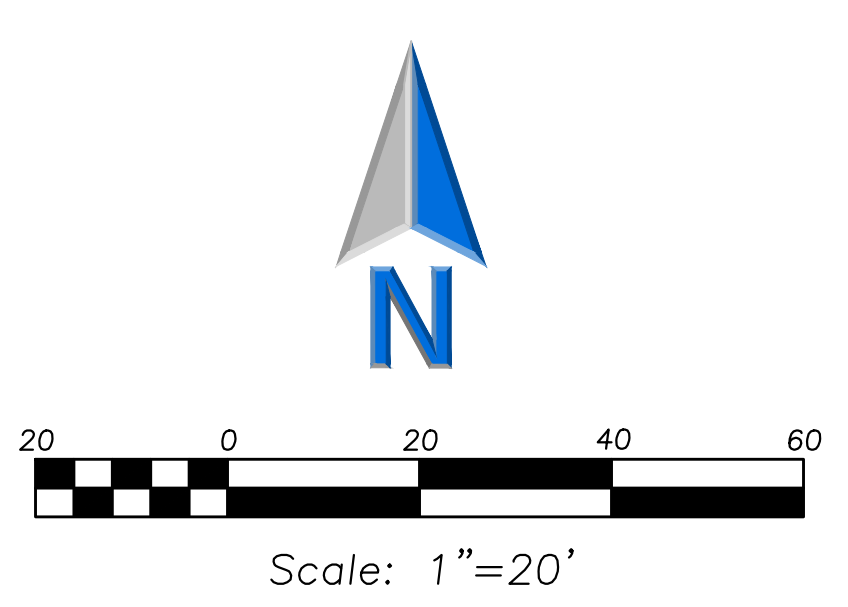
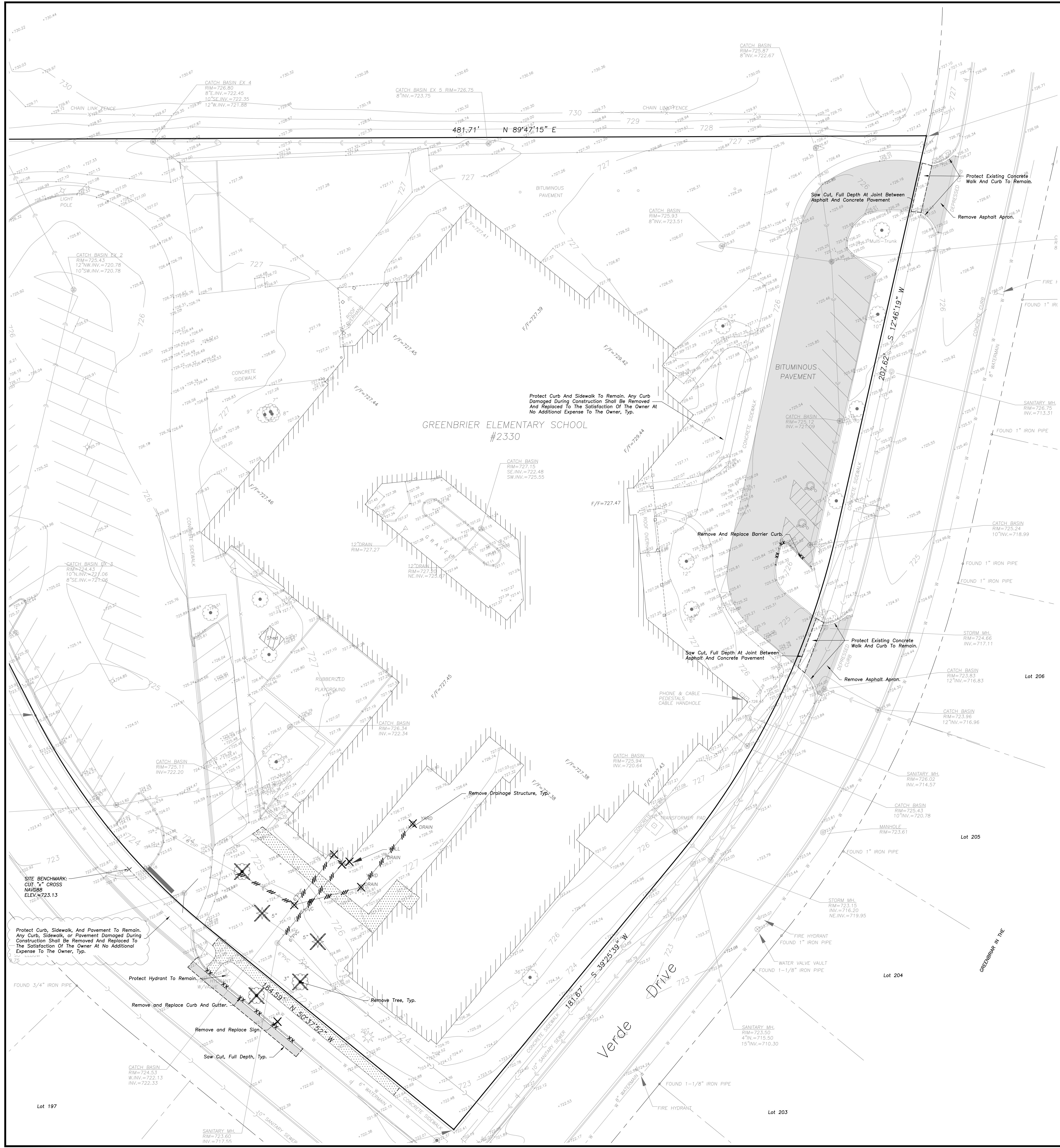
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	12/06/22	ISSUE FOR PLAN COMMISSION
Δ	02/02/23	REVISED FOR PLAN COMMISSION

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 Design By: JC Approved By: JC Date: 02/02/23

Sheet Title:
MWRD GENERAL NOTES

Sheet No:
C002



DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Of Arlington Heights Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations of Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- Perform Tree Pruning in All Locations Where Proposed Pavement And/Or Utility Installation Encroach Within The Existing Drip Line Of Trees to Remain. All Tranching Within The Drip Line Of Existing Trees to Remain Shall Be Done Radially Away From Trunk if Roots in Excess Of 1" Diameter are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Much For Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

LEGEND

EXISTING	PROPOSED

DEMOLITION LEGEND

	Utility Line Removal
	Bituminous Pavement Removal (Full Depth)
	Concrete Pavement Removal (Full Depth)
	Pavement Sawcut
	Curb & Gutter Removal
	Structure Removal
	Tree Removal

GENERAL NOTES

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- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, on or off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
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- No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings for Construction Purposes as a Convenience to The Owner, Architect, Surveyor, or Contractor. Prior to The Use of These Drawings For Construction Purposes, The User of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sites, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, And All Appends Therein, Shall Govern The Earthwork and Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022.

PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet Village of Arlington Heights, IL
 Benchmark Designation: 17
 At Verde Drive and Alleghany Drive, NAVD88 Elevation = 726.29 NAVD88

Site Benchmark: Survey Control Point, Cut Cross On the South Side Of Sidewalk
 NAVD88 Elevation = 723.13
 Easting: 1083719.692
 Northing: 1977018.846

J.U.L.I.E.

Note: The Exact Location of All Utilities Shall Be Verified By The Contractor Prior to Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

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 LICENSE NO. 184-003220
 EXPIRES: 04/30/2023

GREENBRIER SCHOOL ADDITIONS AND RENOVATIONS
 2830 N. VERDE DR.
 ARLINGTON HEIGHTS, ILLINOIS

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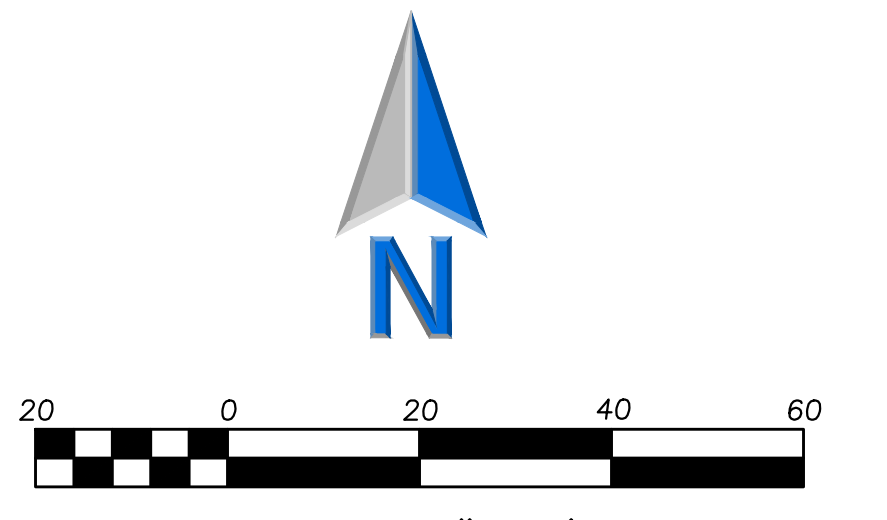
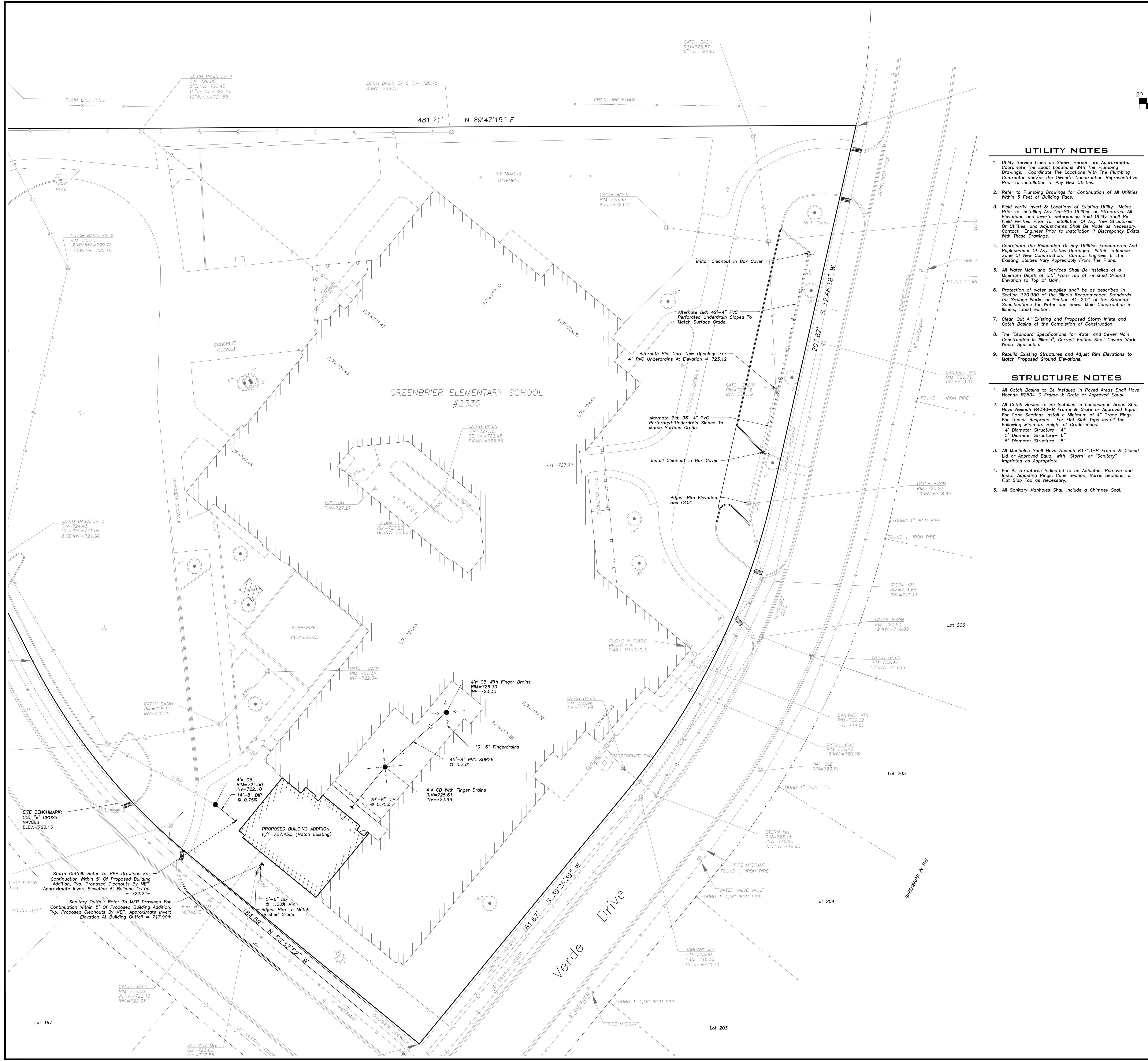
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No.	Date	Description

Design By: JC JC Date: 02/02/23

SITE DEMOLITION PLAN

Sheet No:
C101



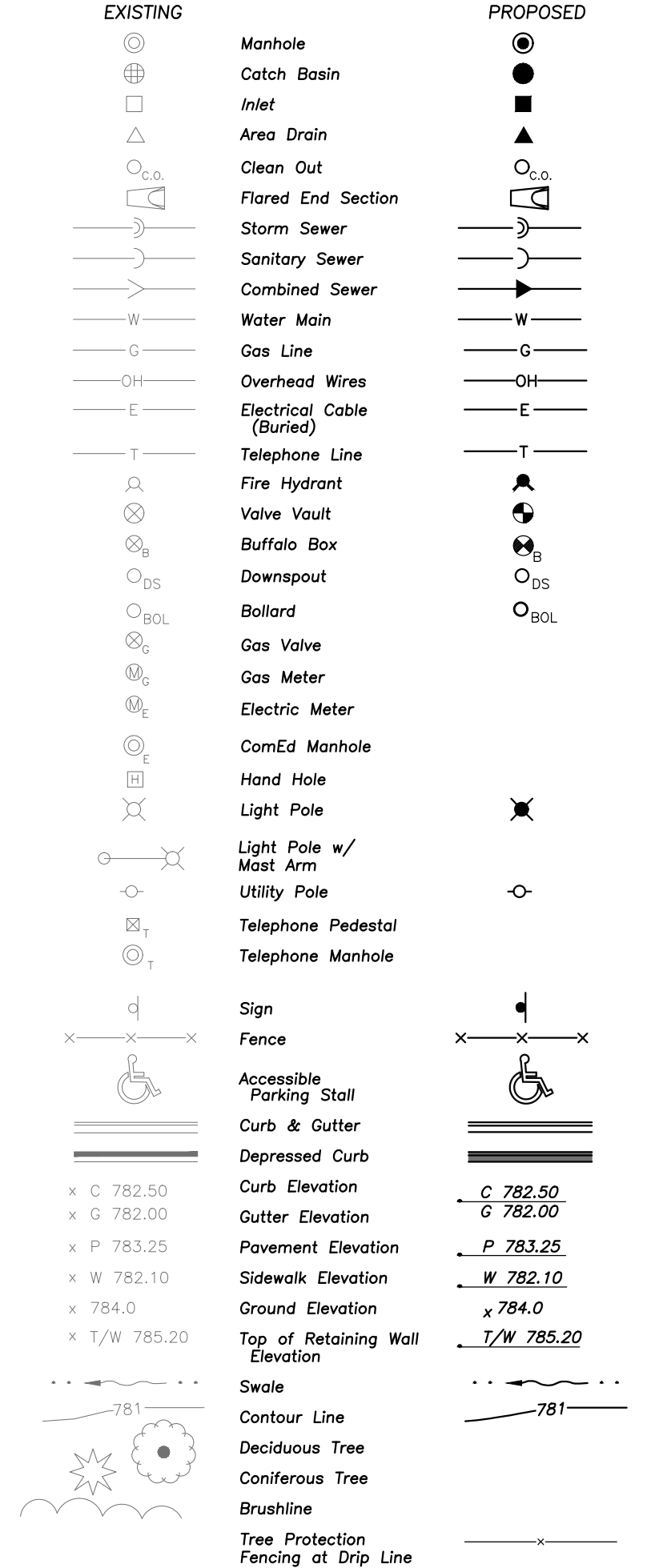
UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Foot.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged. Within Influence Zone of New Construction. Contact Engineer if the Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
 - 4" Diameter Structure - 4"
 - 5" Diameter Structure - 6"
 - 6" Diameter Structure - 8"
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Sanitary Manholes Shall Include a Chimney Seal.

LEGEND



GENERAL NOTES

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- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor Prior to The Use of These Drawings For Construction Purposes. The User of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sites, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction, Latest Edition, And All Appendices Thereof, Shall Govern The Earthwork and Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022.

PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet, Arlington Heights, IL
Benchmark Designation: 17
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J.U.L.I.E.

Note: The Exact Location of All Utilities Shall Be Verified By The Contractor Prior to Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

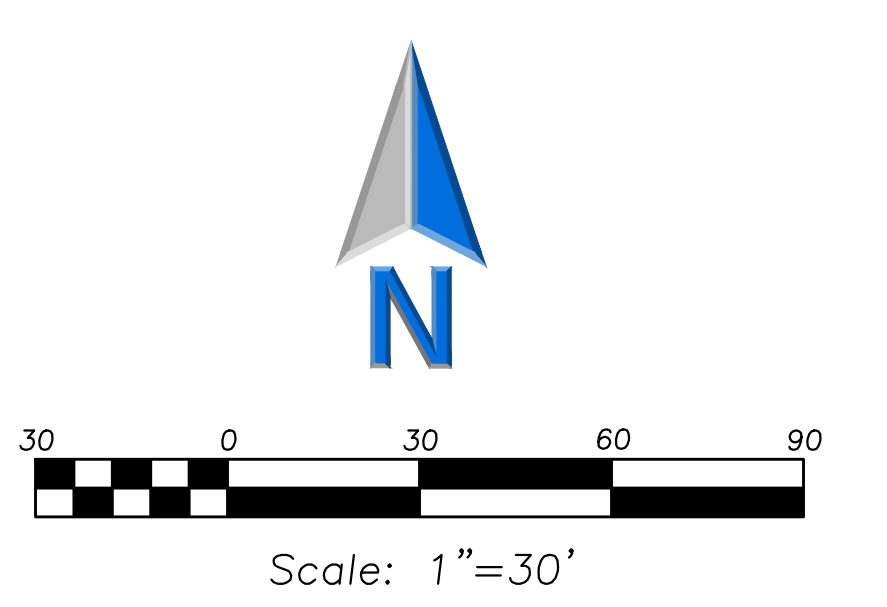
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Design By: JG JC Date: 02/02/23

Sheet Title: SITE UTILITY PLAN

Sheet No: C301



GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done in A Manner Which Will Allow For Positive Drainage and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Sodded Unless Noted Otherwise On The Landscape Drawings.
- Maximum Sidewalk Cross Slopes Shall Be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer If Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

PAVING & SURFACE LEGEND

- Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NSO
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NSO
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar Geogrid TX160 (Installed per Manufacturers Specifications)
- Concrete Driveway Section**
 - 8" Portland Cement Concrete
 - 6"x6" W2-BWZ-2 Welded Wire Fabric
 - 6" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section**
 - 5" Portland Cement Concrete
 - 6"x6" W1.4xW1.4 Welded Wire Fabric
 - 2" Aggregate Base Course, Type B, Crushed
- Heavy-Duty Asphalt Pavement Section**
 - 2" Hot Mix Asphalt, Mix D, IL-9.5, NSO
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NSO
 - 5" Hot Mix Asphalt Binder, IL-19.0, NSO
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar Geogrid TX160 (Installed per Manufacturers Specifications)
- Light-Duty Asphalt Pavement Section**
 - 1" Hot Mix Asphalt, Mix D, IL-9.5, NSO
 - 4" Aggregate Base Course, Type B, Crushed
- Asphalt Pavement Seal Coat and Crack Fill**
 - Asphalt Emulsions Seal Coat or Coats (NO COAL TAR SEALER OR PRODUCT)
 - Crack Filling, Hot Applied Joint Sealant
- Pavement Restoration in Public Way**
 - See Detail
- BASE BID: Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NSO
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NSO
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar Geogrid TX160 (Installed per Manufacturers Specifications)
 - ALTERNATE: UniLock Eco-Priora™ Permeable Paver
 - Large or Small Square (TBD by Architect And/Or Owner)
 - Color: Heritage Brown
 - 3-1/2" Paver Depth
 - 1-1/2" CA-16 Setting Bed
 - 6" Min. CA-7 (Variable Based On Pavement Slope)
 - 12" CA-1 Permeable Subbase
 - Aggregate Subbase Stone Shall Be Wrapped In Non-Woven Geotextile Fabric As Required By The MWRD, Typ.

LEGEND

- | EXISTING | PROPOSED |
|-------------------------------------|-------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Bollard | Bollard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection Fencing at Dig Line | Tree Protection Fencing at Dig Line |

GENERAL NOTES

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- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

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GREENBRIER SCHOOL ADDITIONS AND RENOVATIONS
 2830 N. VERDE DR.
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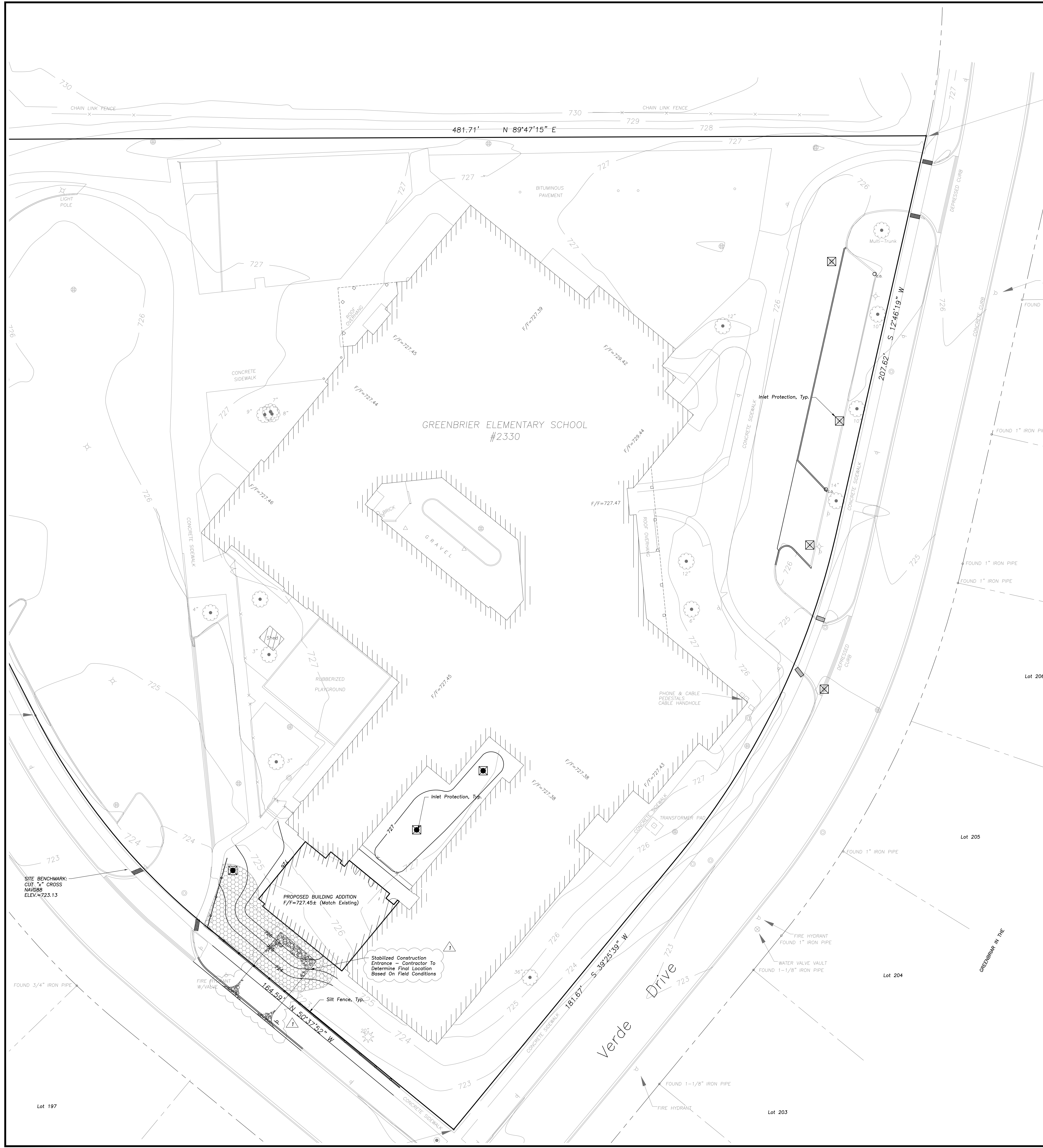
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Design By: JC JC Date: 02/02/23

Sheet Title: GRADING AND PAVING PLAN

Sheet No: C401



SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
2. Contractor Shall Be Responsible for Compliance With IEPA NPDES and ILR10 Permit Requirements for Project.
3. Soil Disturbance Shall Be Conducted in Such a Manner as to Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
4. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
5. Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas. Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days, Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until the Site is Permanently Stabilized. And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
6. All Temporary and Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After the Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
7. Final Site Stabilization is Defined by the EPA General Permit As Meaning That All Soil Disturbance At the Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Ungraded Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such as the Use of Riprap, Gabions, Or Geotextiles) Have Been Employed.
8. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated to Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Watties Around the Grate in Landscaped Areas and "Catch-All" Inlet Protectors (or equal) in Paved Areas To Prevent Siltation.
9. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated to Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Watties Around the Grate in Landscaped Areas and "Catch-All" Inlet Protectors (or equal), such as Park Chop Sediguard) in Paved Areas To Prevent Siltation and Discharge into Waterways.
10. All Temporary and Permanent Sediment and Erosion Control Measures Must Be Maintained, Repaired, and Inspected in Conformance With All Applicable IEPA-NPDES Phase II and Lake County DECI Requirements.
11. Following the Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", the Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice of Intent For A Period Of At Least Three Years Following Final Stabilization.
12. Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
13. Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services in Accordance with NPDES and Governmental Requirements. Inspections Shall Occur at Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Called on Inspection Log.
14. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
15. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
16. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur in Accordance with IEPA NPDES Requirements.
17. All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
18. If Necessary, the SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILR10 and Local and County Permits.
19. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Cables, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

INTENDED SEQUENCE OF MAJOR SEDIMENT CONTROL MEASURES

1. Install Stabilized Construction Entrance
2. Install All Downslope and Side Slope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
3. Do Not Disturb An Area Until it is Necessary For Construction to Proceed.
4. Cover and Stabilize Disturbed Areas as Soon as Possible.
5. When Practical, Time Construction Activities to Limit Impact From Seasonal Climate Changes or Weather Events.
6. Construct Sedimentation Basins and Structures.
7. Perform Grading Operations and Installation of Site Infrastructure and Pavement.
8. Install Permanent Seeding and Plantings.
9. Remove Accumulated Sediment From Basins and Along Silt Fence.
10. Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
11. Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

	Silt Fence
	Erosion Control Blanket North American Green DS75 Or Approved Equal
	Permanent Turf Reinforcement Mat North American Green C350 Or Approved Equal
	Erosion Control Ditch Check
	Catch-All, Park Chop Sediguard (or equal) Paved or Existing Stabilized Areas
	Filter Wattle Inlet Protection with Dandy Pop (or equal) Landscape Areas
	Erosion Eel (Temporary Silt Barrier) Paved Areas - Location by Contractor Dependent on Construction Sequencing/Phasing

LEGEND

EXISTING	PROPOSED

GENERAL NOTES

1. The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For the Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That the Actual Location of Those Which Are Shown May Be Different From the Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
2. Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify the Owner, Engineer and the Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
8. The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sites, Risers and Invert Elevations, Watermain and Valve and Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction, Latest Edition, And All Appends Therein, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022.

PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet
Village of Arlington Heights, IL
Benchmark Designation: 17
At Verde Drive and Allegheny Drive,
NAVD88 Elevation = 726.29 NAVD88

Site Benchmark: Survey Control Point, Cut Cross On the South Side Of Sidewalk
NAVD88 Elevation = 723.13
Easting = 1083719.692
Northing = 1977018.846

J.U.L.I.E.
Note: The Exact Location of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

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LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

GREENBRIER SCHOOL ADDITIONS AND RENOVATIONS
2830 N. VERDE DR.
ARLINGTON HEIGHTS, ILLINOIS

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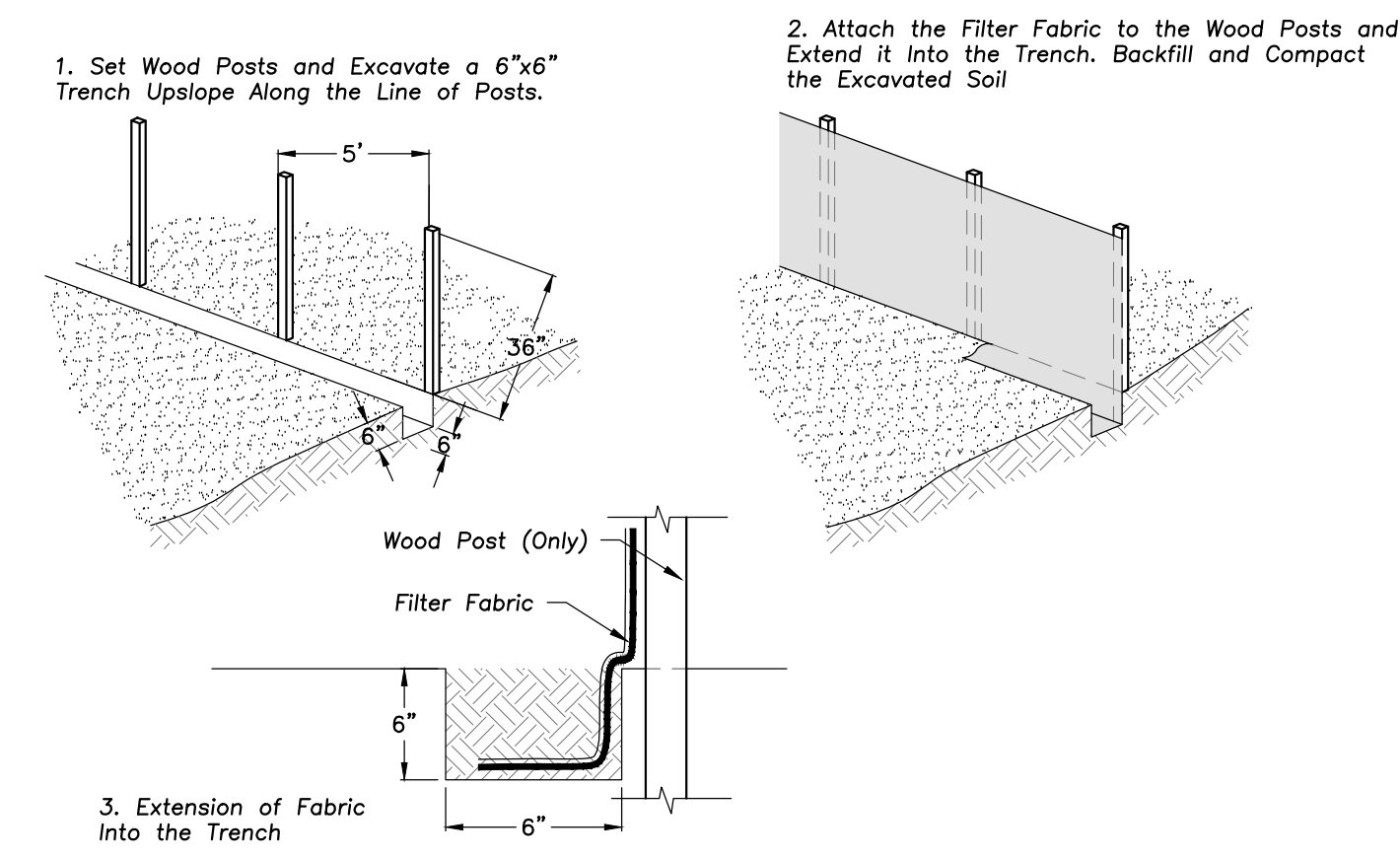
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	02/02/23	REVISED FOR PLAN COMMISSION

SITE EROSION AND SEDIMENT CONTROL PLAN

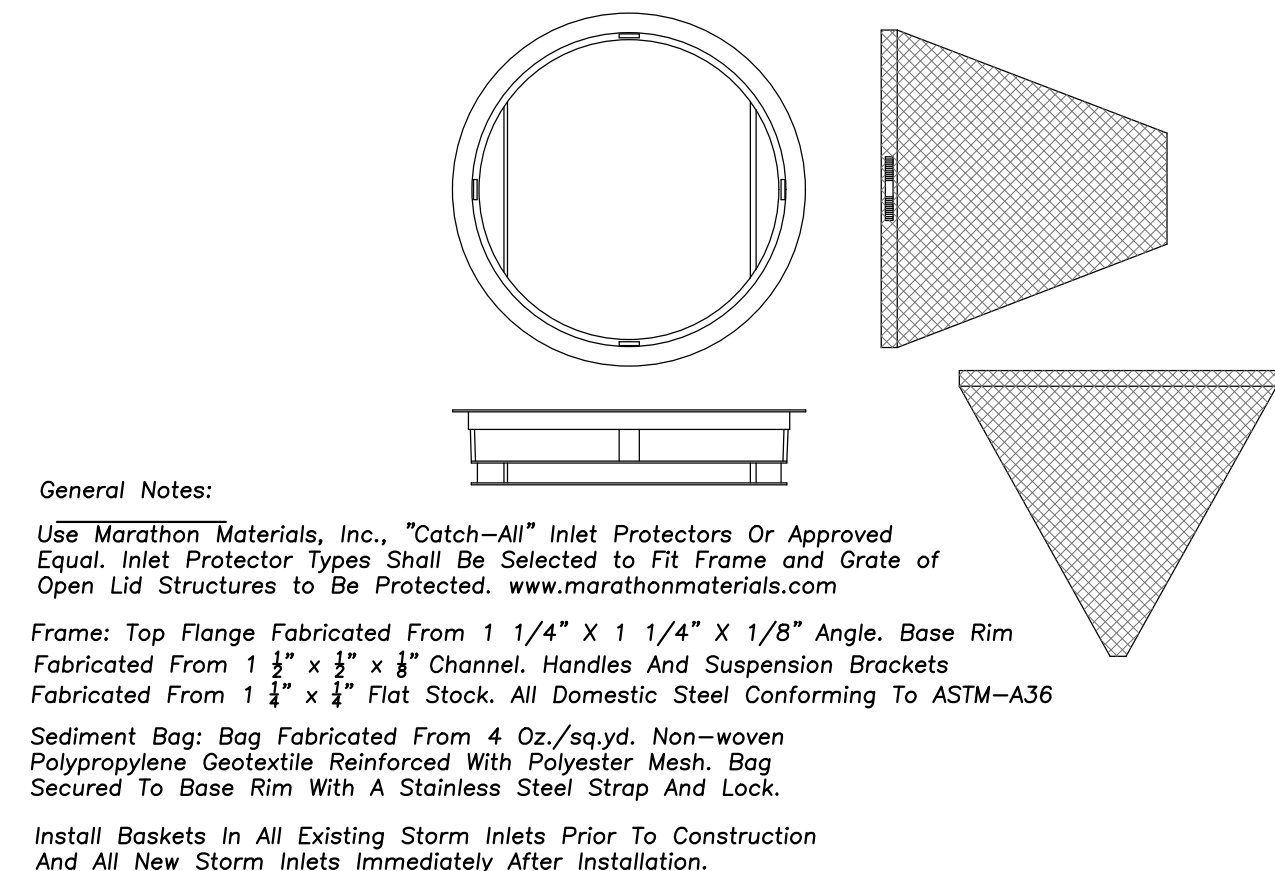
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C501

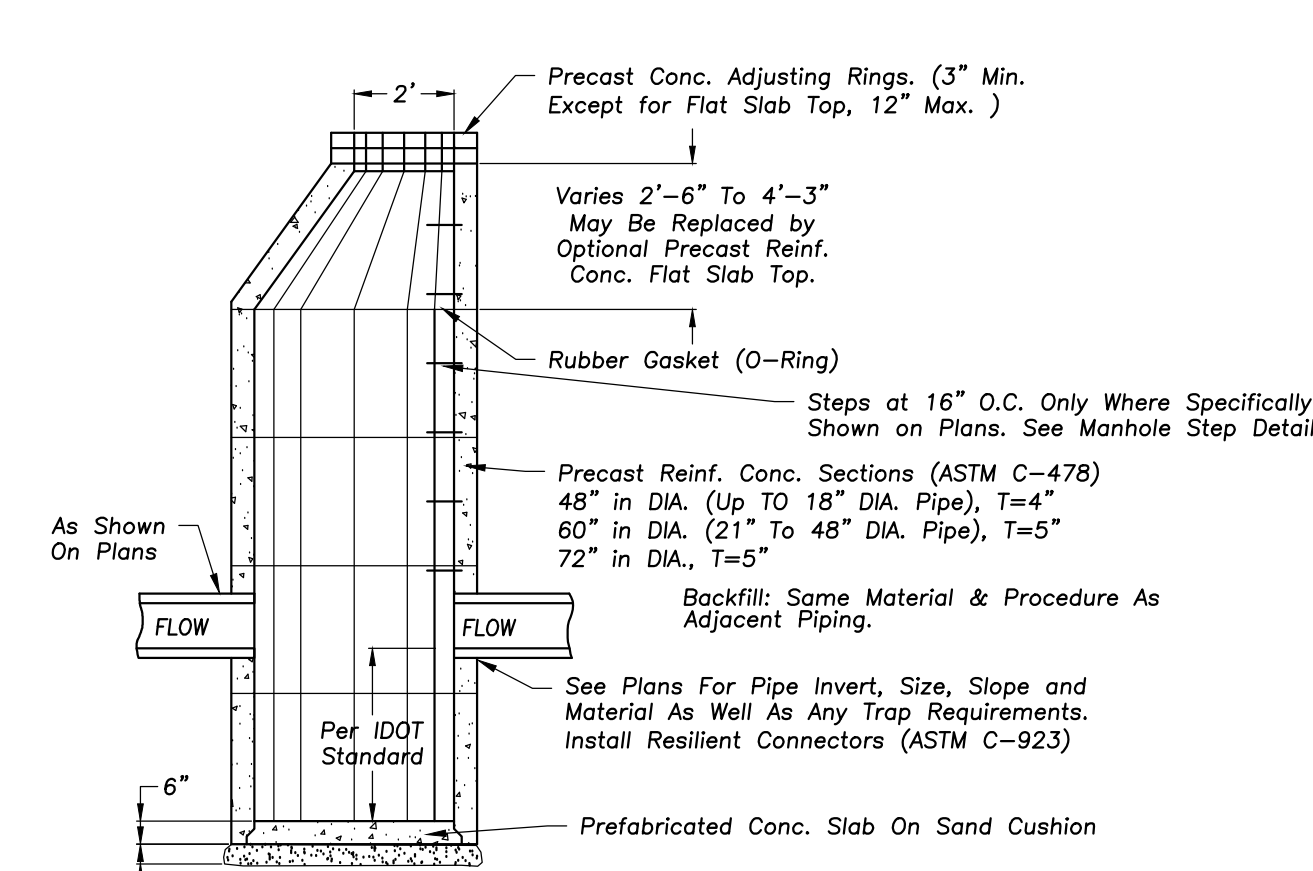
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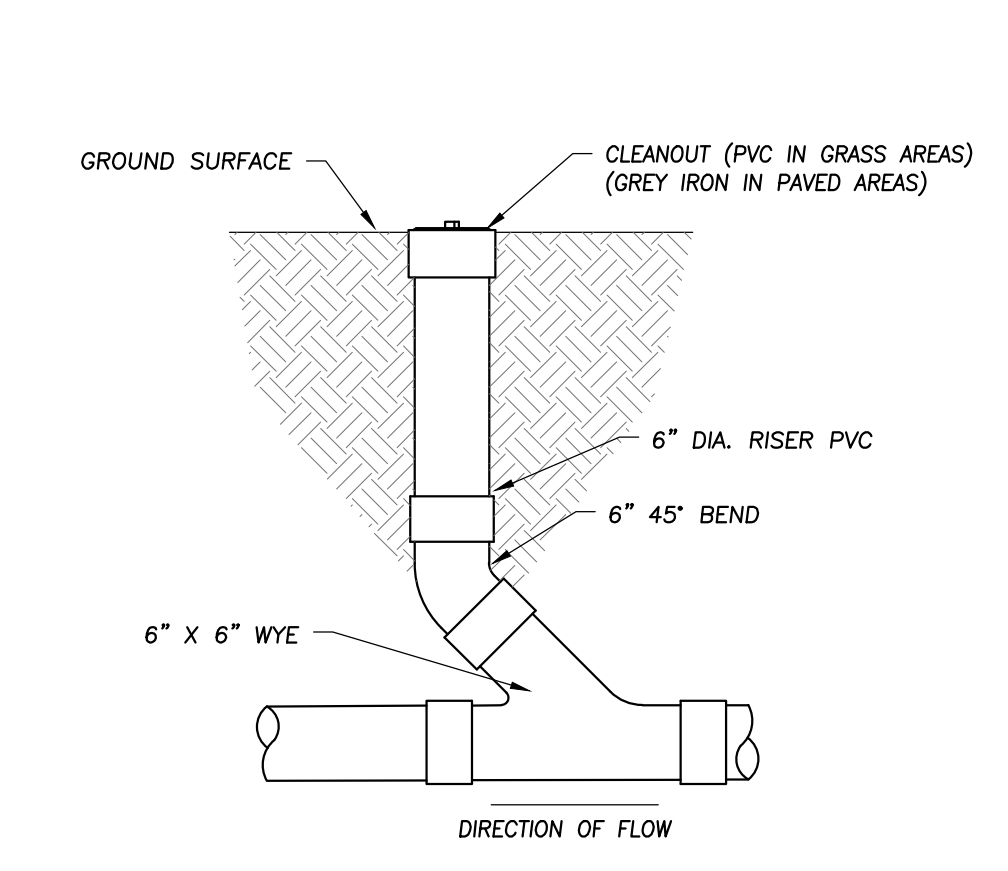
SILT FENCE CONSTRUCTION (AASHTO 288-00)



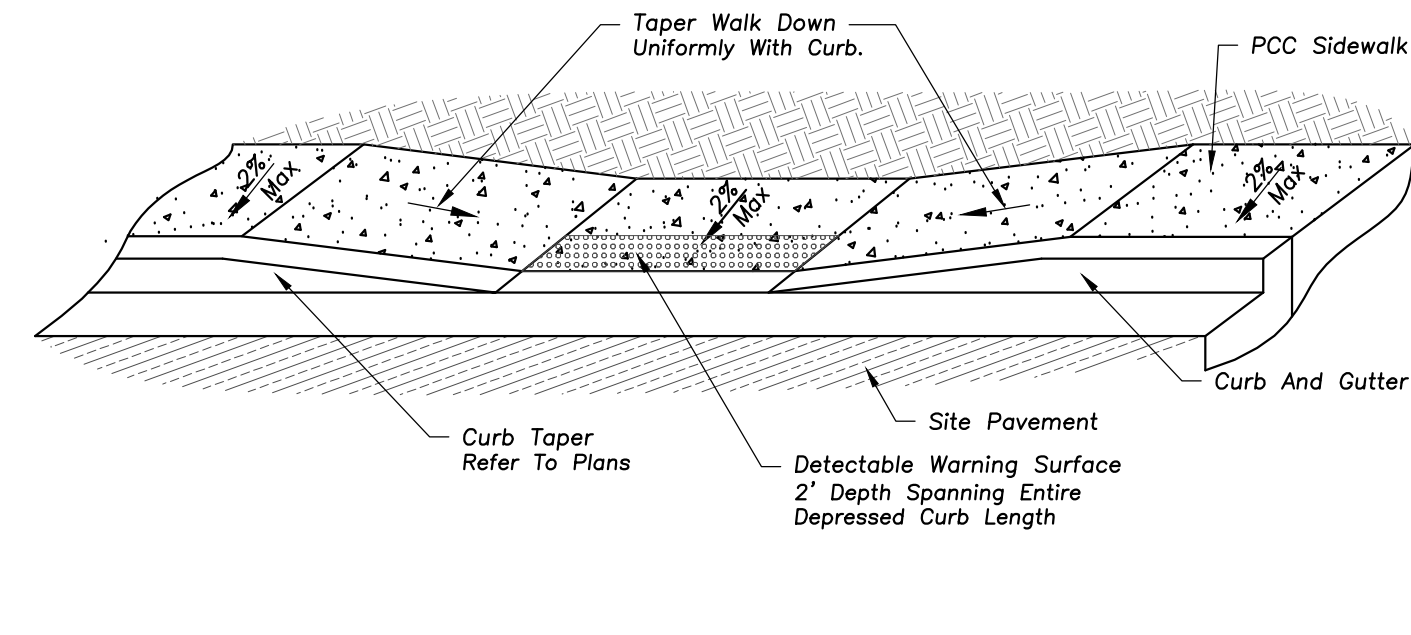
INLET PROTECTORS - SEDIMENT BAG



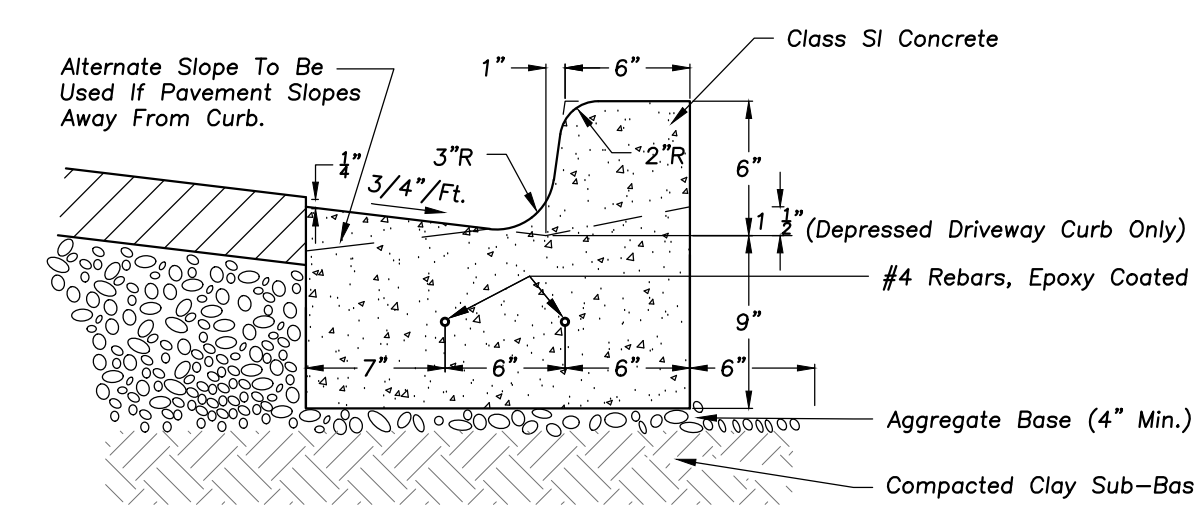
CATCH BASIN



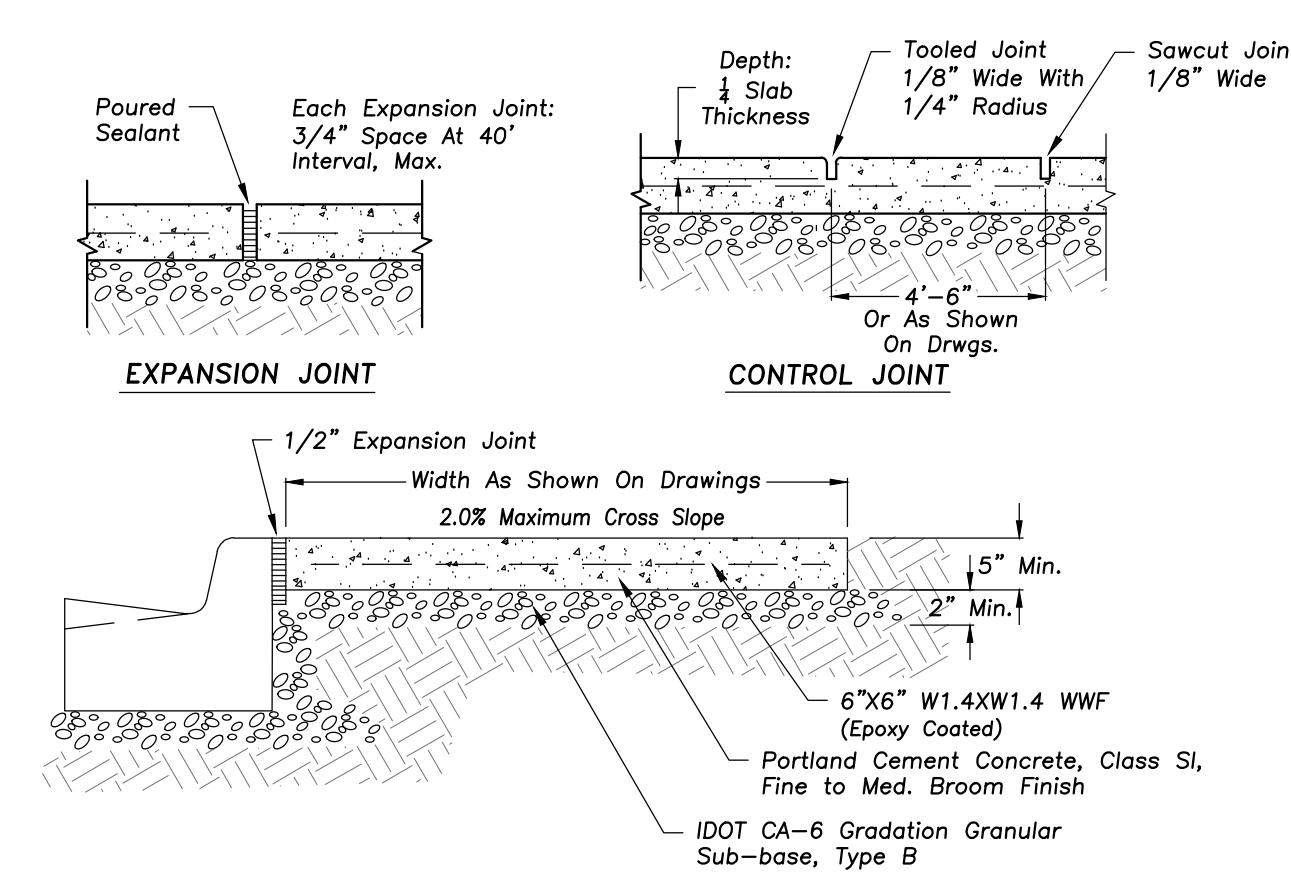
CLEANOUT



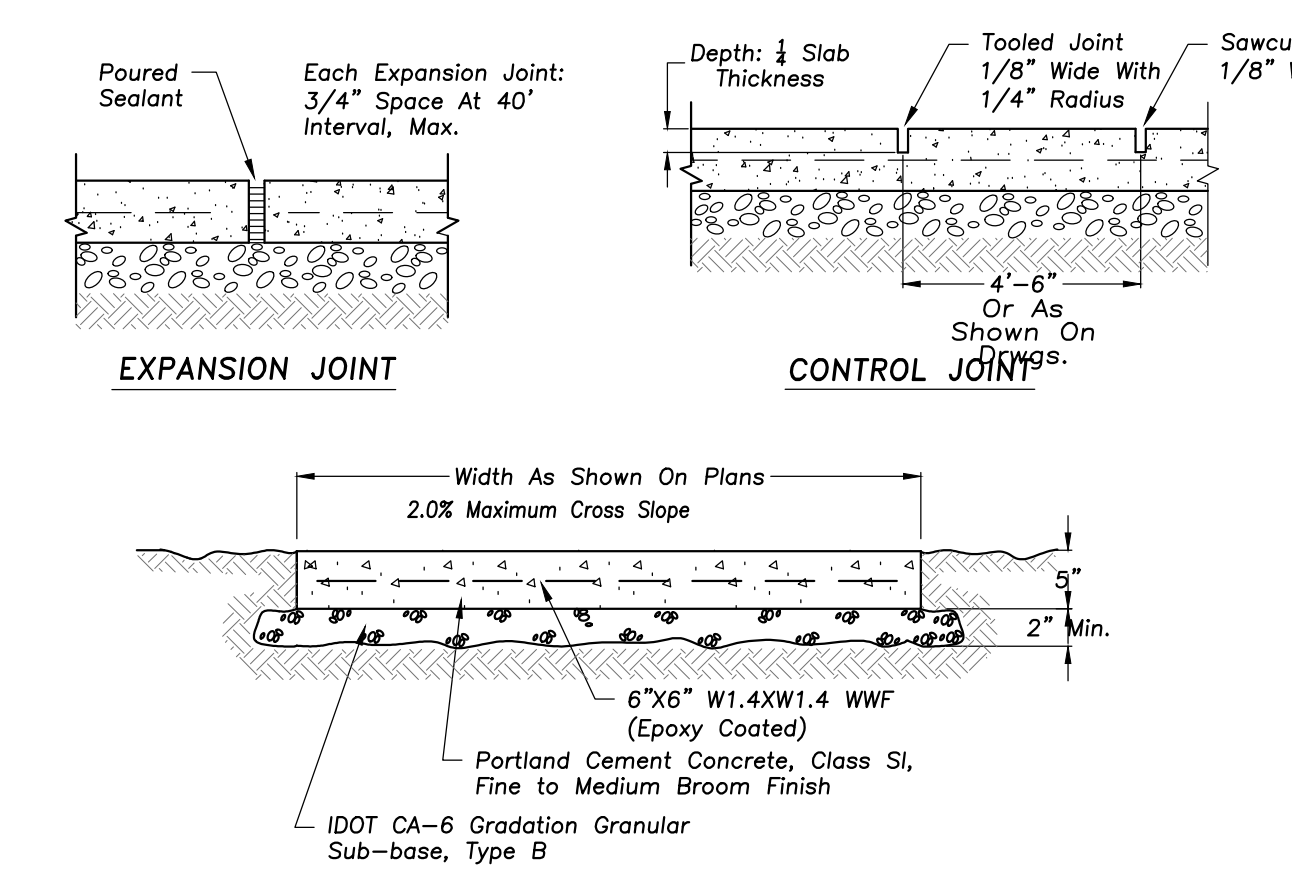
DEPRESSED ACCESSIBLE LANDING DETAIL



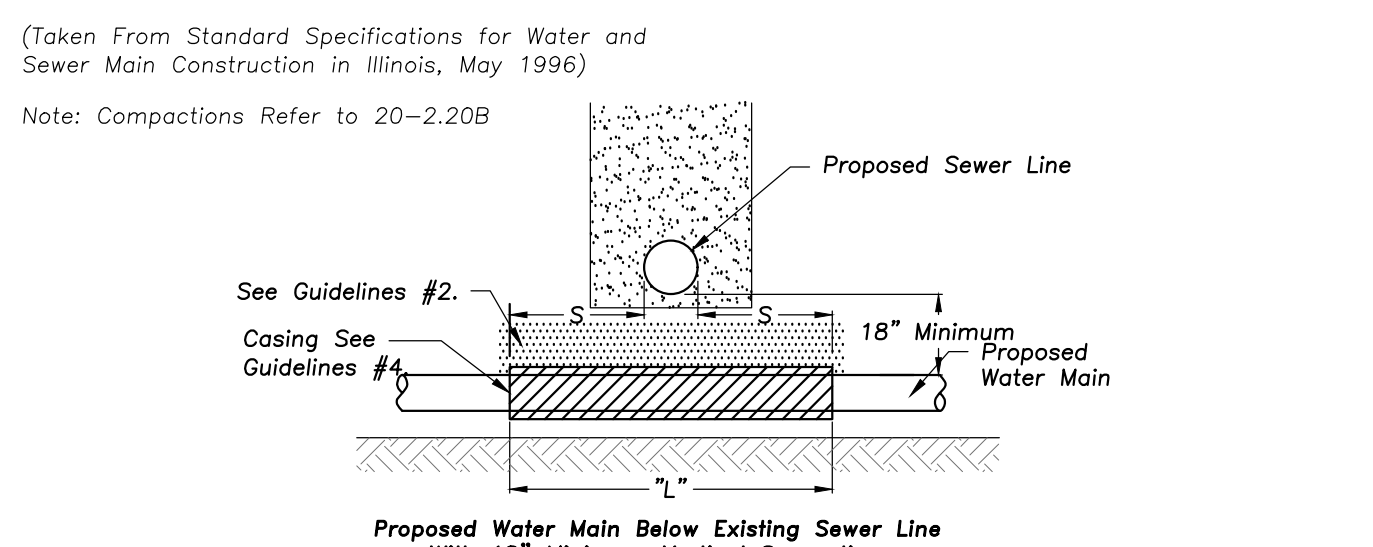
B-6.12 CURB & GUTTER



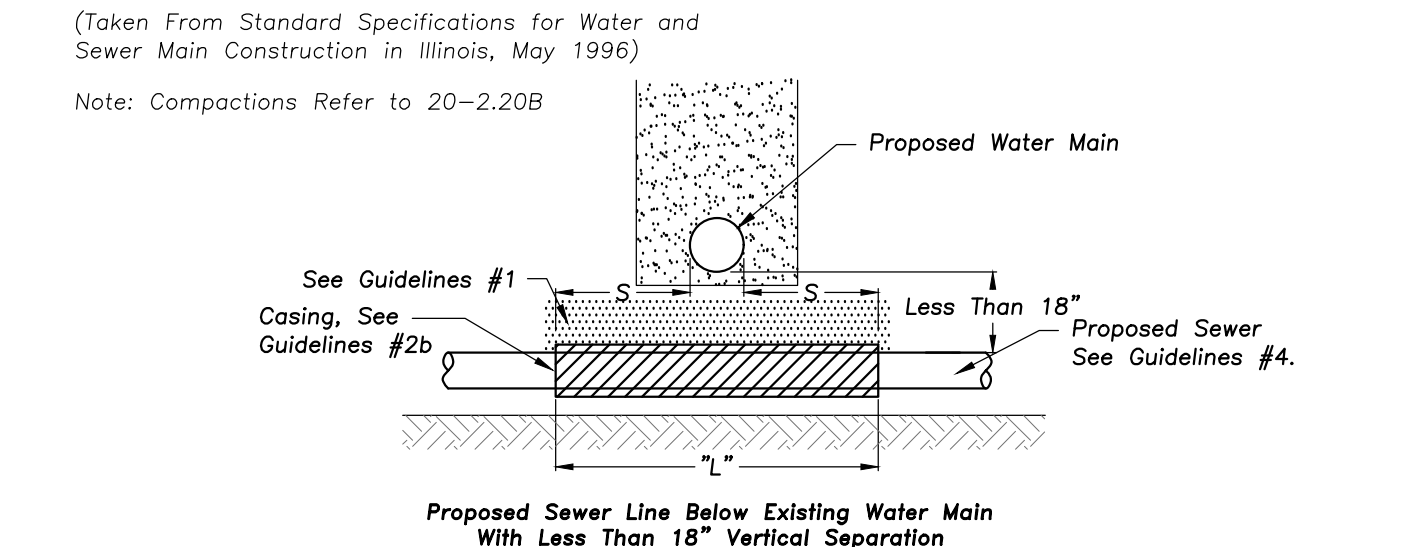
PORTLAND CEMENT CONC. SIDEWALK



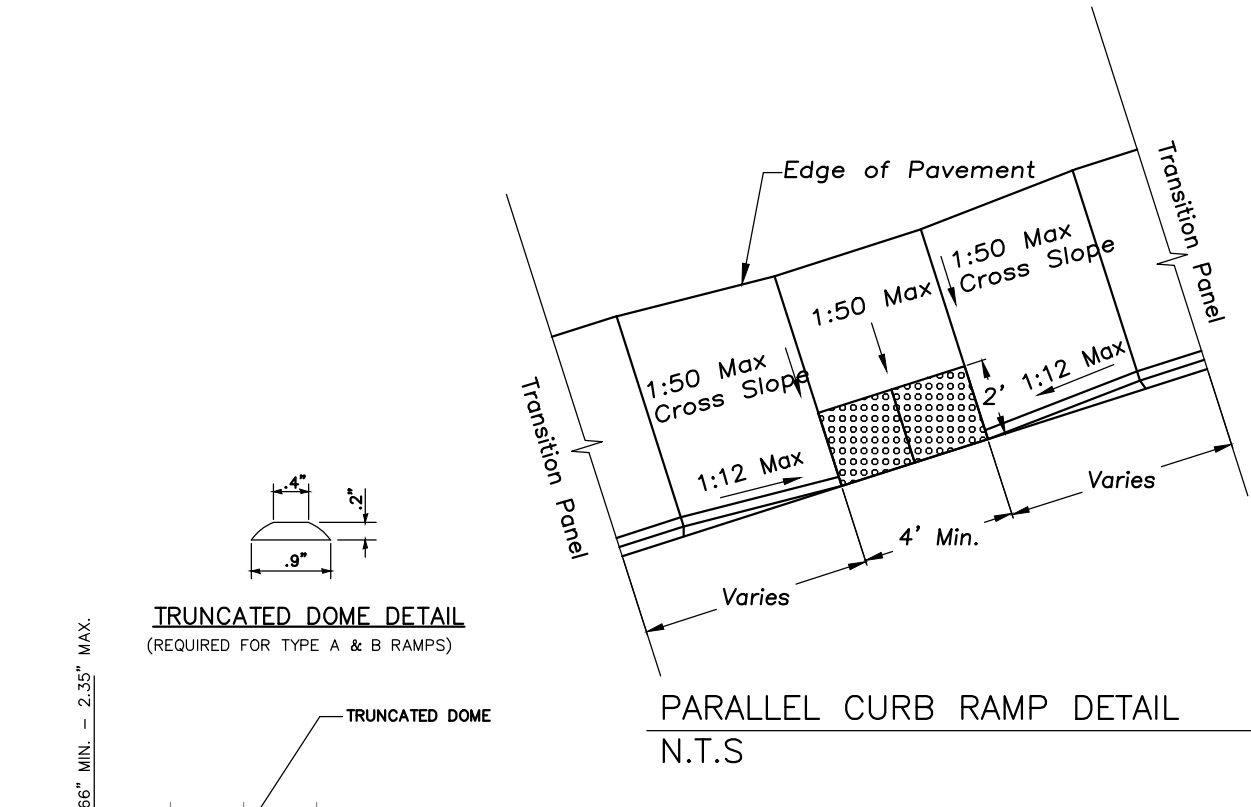
PORTLAND CEMENT CONC. SIDEWALK



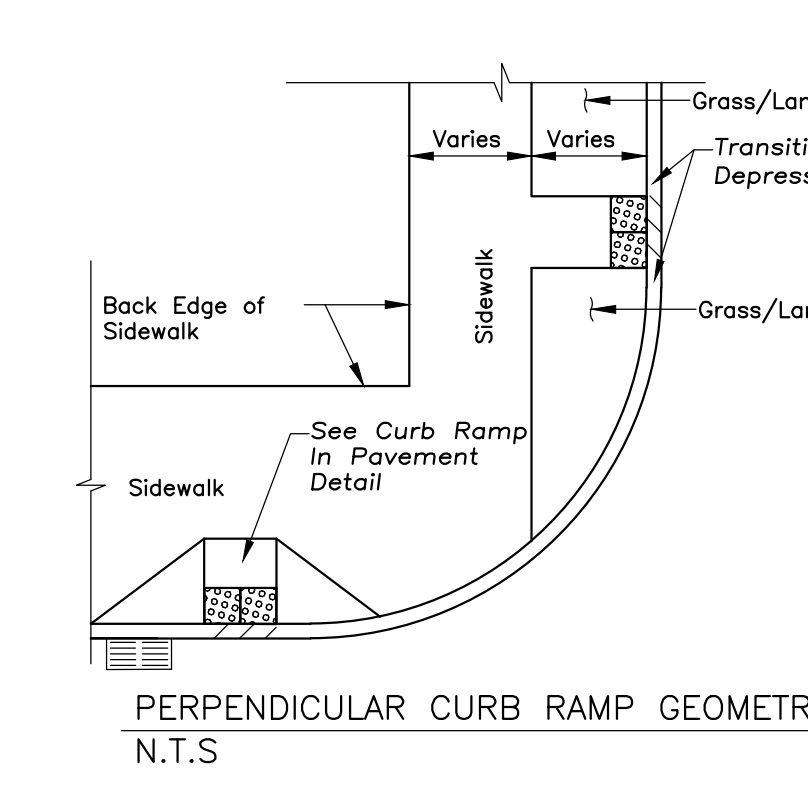
WATER AND SEWER SEPARATION REQUIREMENTS



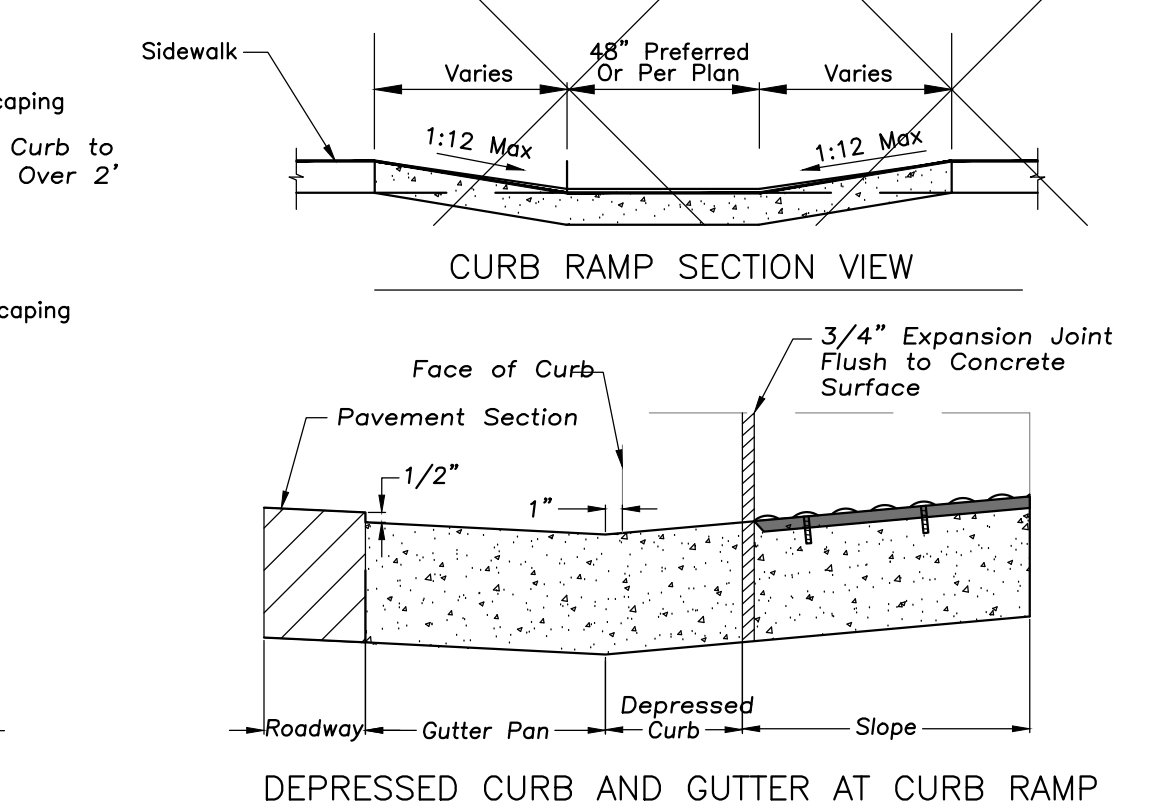
WATER AND SEWER SEPARATION REQUIREMENTS



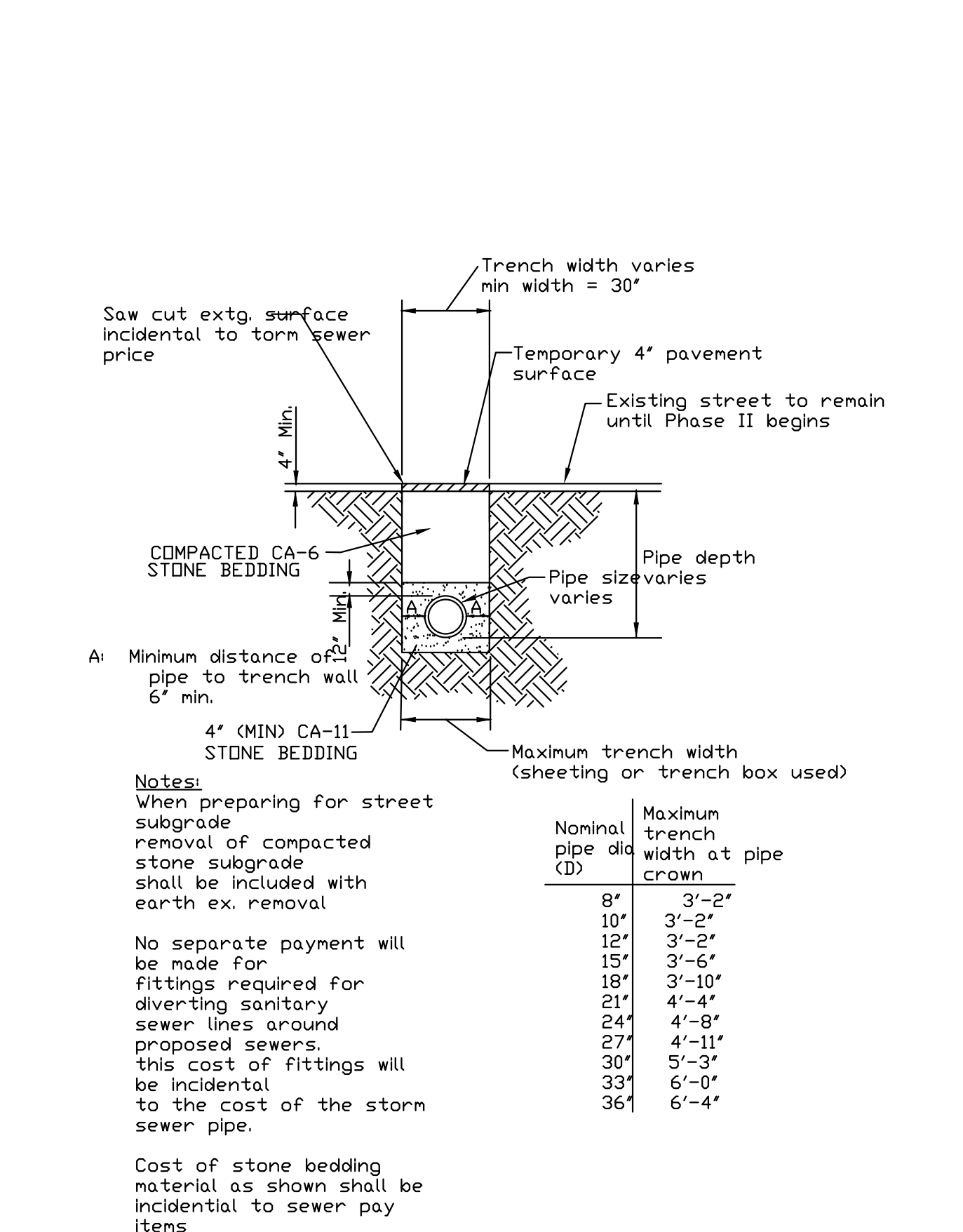
CURB RAMP AT RADIUS SKEWED INTERFACE DETAIL



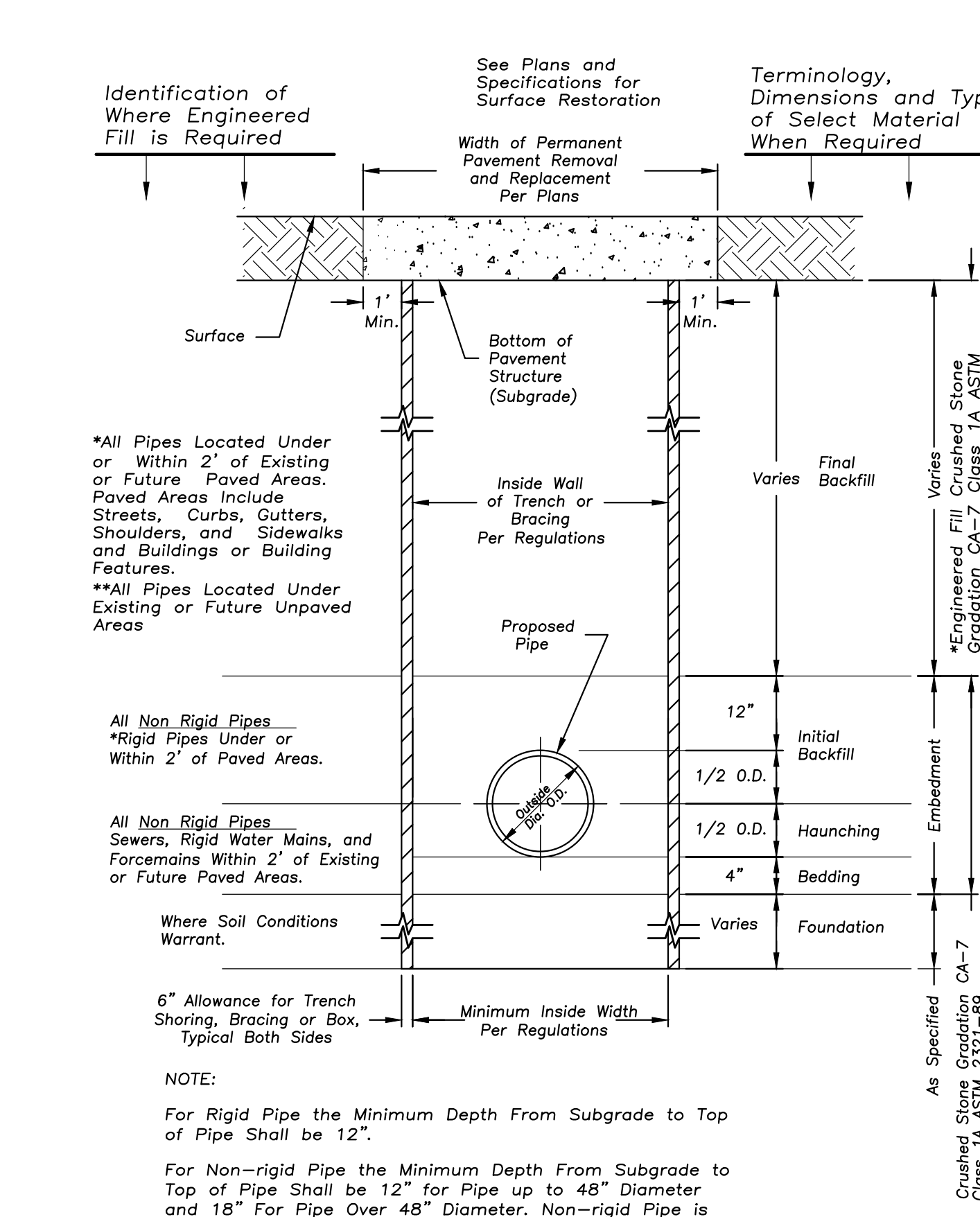
CURB RAMP IN PAVEMENT



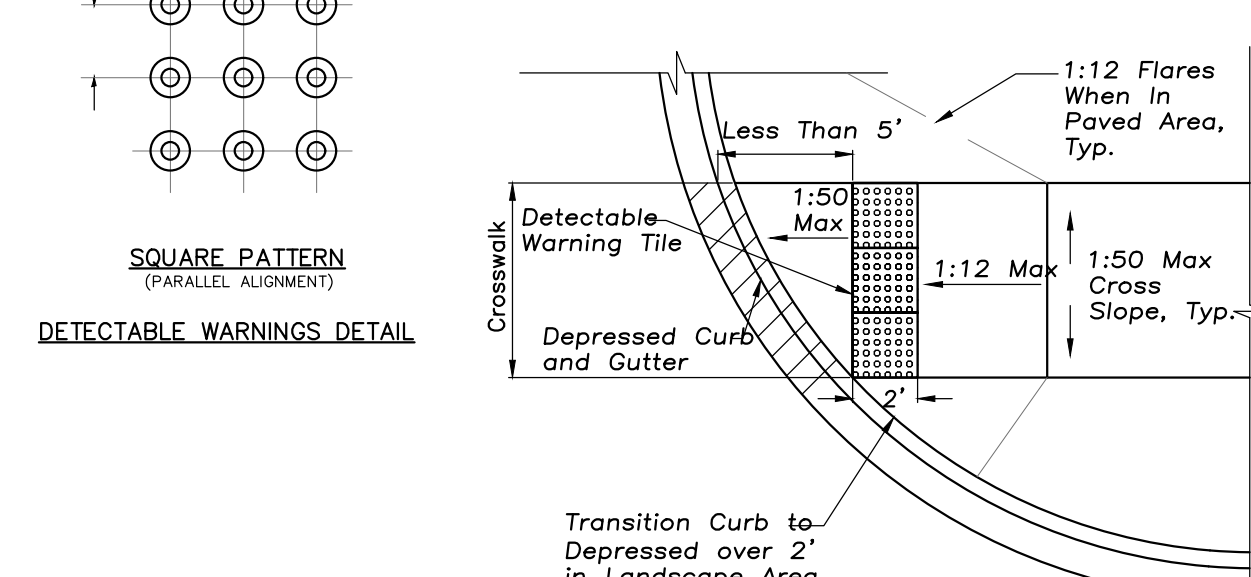
DEPRESSED CURB AND GUTTER AT CURB RAMP



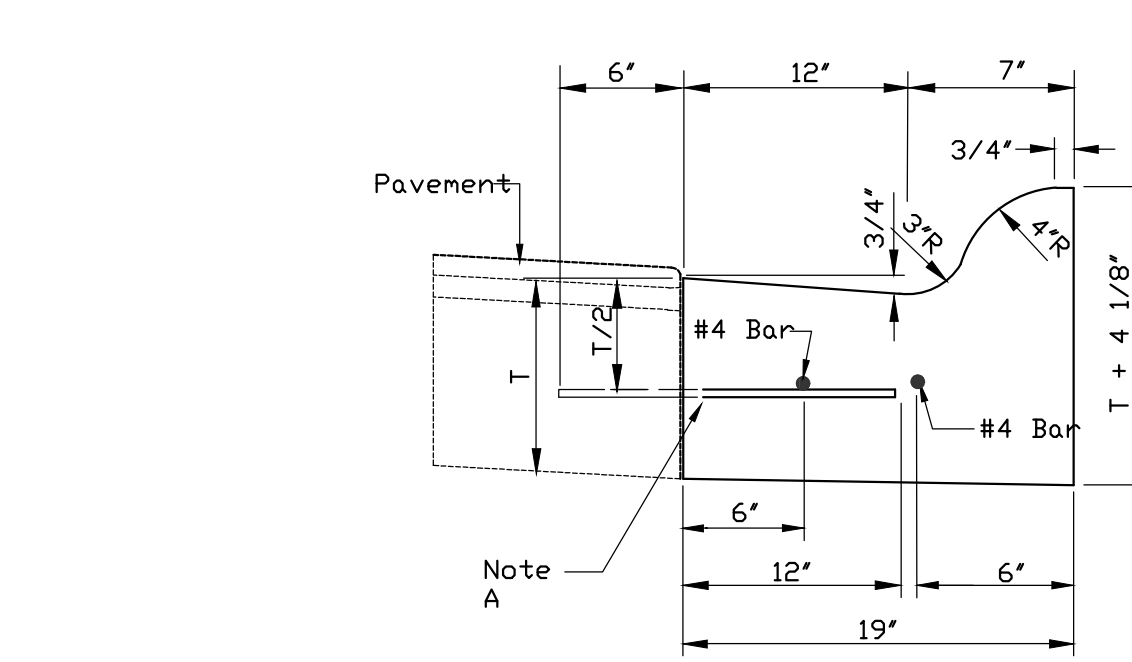
SANITARY SEWER TRENCH DETAIL



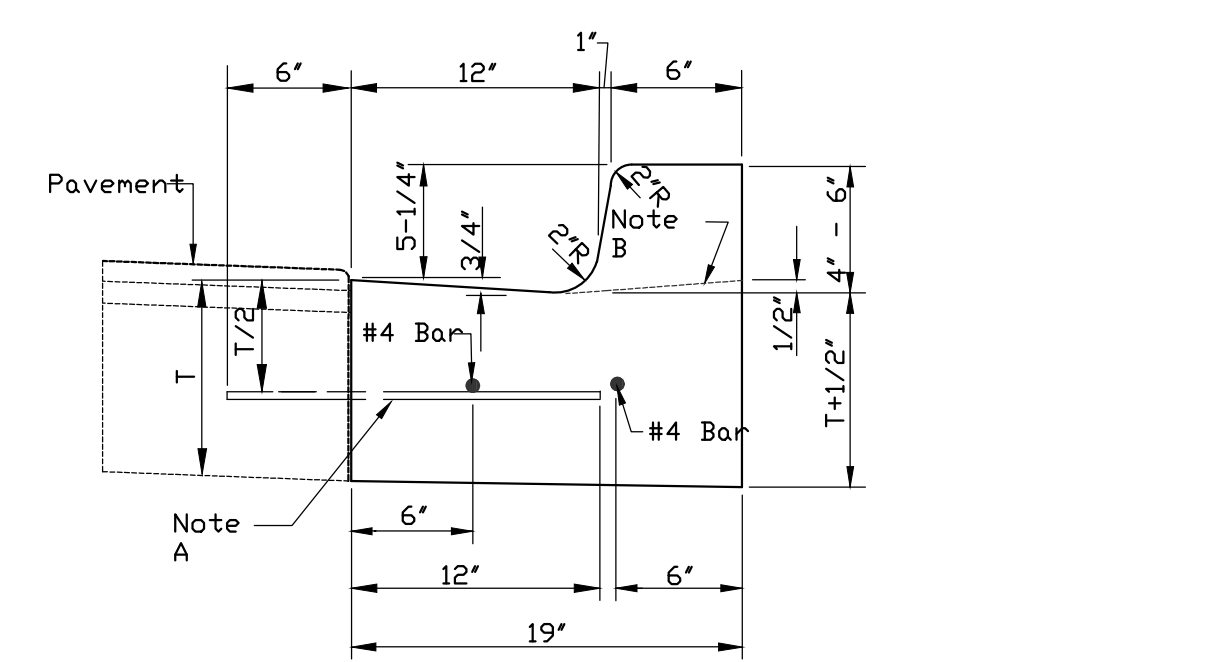
STANDARD SEWER AND WATER TRENCH SECTION



ACCESSIBLE RAMPS FOR SIDEWALKS



ROLL TYPE CURB



BARRIER TYPE CURB

GENERAL NOTES
 Description: This work shall consist of constructing sidewalk curb ramps with detectable warnings in compliance with the Americans with Disabilities Act, Accessibility Guidelines (AGMG). The detectable warnings shall consist of an area of truncated domes that provide both visual and tactile cues to pedestrians who are about to enter into traffic.
 The detectable warnings shall present a contrast in color from the adjacent sidewalk.
 Construction Requirements:
 1. Ramps shall be located as shown on plans in alignment with normal sidewalk and/or crosswalk and shall have sufficient curb length at corner radius to prevent vehicular encroachment.
 2. Curb Ramps at Marked Crossings shall be wholly contained within the markings excluding flared sides.
 3. In No Case shall Expansion Joints that are constructed in Curbs and Gutters at or Near Corner Radiuses be Located Within the Accessible Ramp Areas.
 4. Where Preformed Joint Filler (p/j) is installed against a Curved Surface, the Contractor shall Use a Flexible Filler in Accordance with the Illinois Department of Transportation (IDOT) Standard Specifications.
 Equipment: Equipment for the detectable warning area of the curb ramps shall meet the requirements of the Authorities having Jurisdiction.
DETECTABLE WARNING SURFACE TILES
 Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2 Dimensions: Cast in Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances:
 Length and Width in One of the Following as Necessary for the Dimensions of the Surface in which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of Tiles is Allowed.
 Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions.
 Verify with the Local Authorities Having Jurisdiction that Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface.
 Verify with the Local Authorities Having Jurisdiction that the Manufacturer's Products are Acceptable for the Detectable Warning Surface.

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GREENBRIER SCHOOL ADDITIONS
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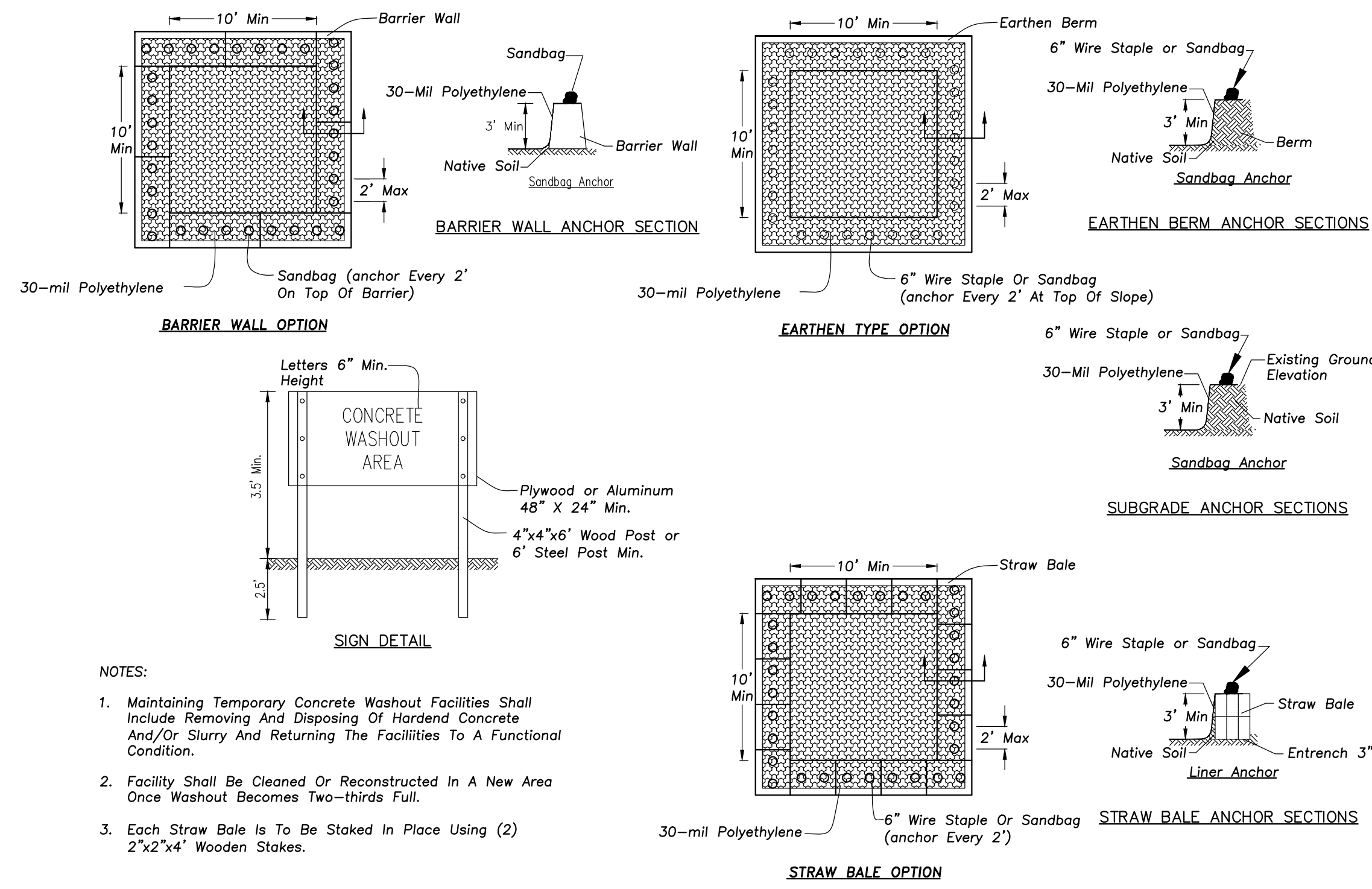
No.	Date	Description

DESIGN BY: JC APPROVED BY: JC DATE: 02/02/23

SHEET TITLE: SITE WORK DETAILS

SHEET NO: C601

E:\A - P\Joshua\Arlington Heights School Dist. 25\2022 Kindergarten Additions Drawings\Greenbrier\Siteplan - Greenbrier.dwg
 Plotter: 2/03/23 @ 9:46am By: jgossard



- NOTES:**
- Maintaining Temporary Concrete Washout Facilities Shall Include Removing And Disposing Of Hardened Concrete And/Or Slurry And Returning The Facilities To A Functional Condition.
 - Facility Shall Be Cleaned Or Reconstructed In A New Area Once Washout Becomes Two-thirds Full.
 - Each Straw Bale Is To Be Staked In Place Using (2) 2"x2"x4" Wooden Stakes.

CONCRETE AND MORTAR WASHOUT FACILITY

GENERAL NOTES

STONE SIZE - Use IDOT gradation CA-1 aggregate stone.

MAINTENANCE - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean-out of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.

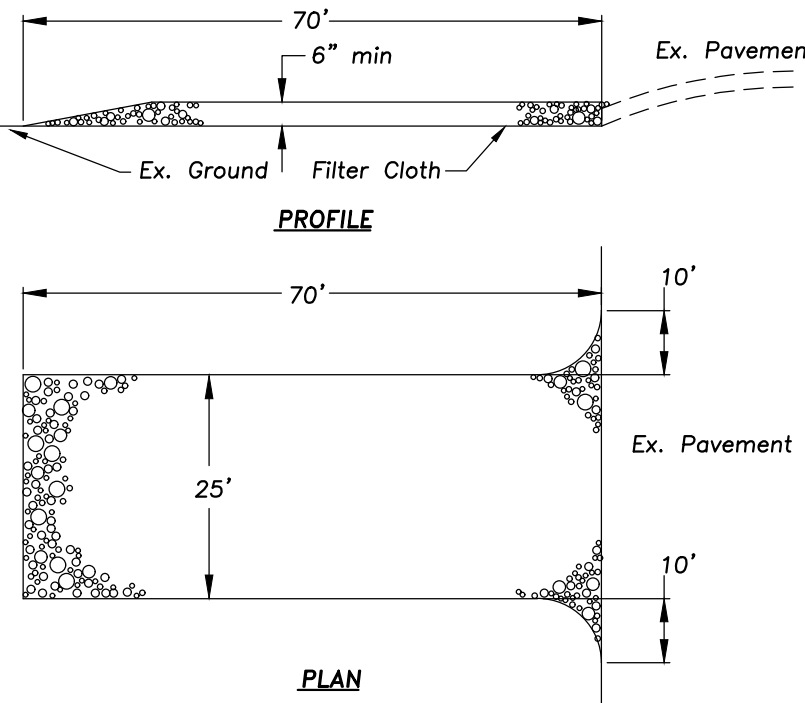
FILTER CLOTH - Will be placed over the entire area prior to placing stone. Conform to Illinois Urban Manual Section 592, Type I, II, or IV.

WASHING - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.

Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



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Design By: JC Approved By: JC Date: 02/02/23

Sheet Title:

**SITE WORK
DETAILS**

Sheet No:

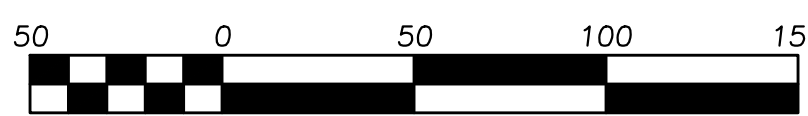
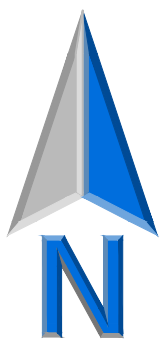
C602



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**GREENBRIER SCHOOL ADDITIONS
AND RENOVATIONS**
2830 N. VERDE DR.
ARLINGTON HEIGHTS, ILLINOIS



Scale: 1"=50'

EXHIBIT LEGEND

IMPERVIOUS AREA

PERMEABLE AREA

PROPERTY LINE
173,147 SF
3.97 ACRES

EXISTING SITE CONDITIONS

IMPERVIOUS AREA

120,470 SF = 2.76 ACRES

PERMEABLE AREA

9,460 SF = 0.22 ACRES

PERVIOUS AREA

43,217 SF = 0.99 ACRES

RUNOFF COEFFICIENT

C = 0.83

PROPOSED SITE CONDITIONS

IMPERVIOUS AREA

122,565 SF = 2.81 ACRES

PERMEABLE AREA

9,460 SF = 0.22 ACRES

PERVIOUS AREA

41,122 SF = 0.94 ACRES

RUNOFF COEFFICIENT

C = 0.83

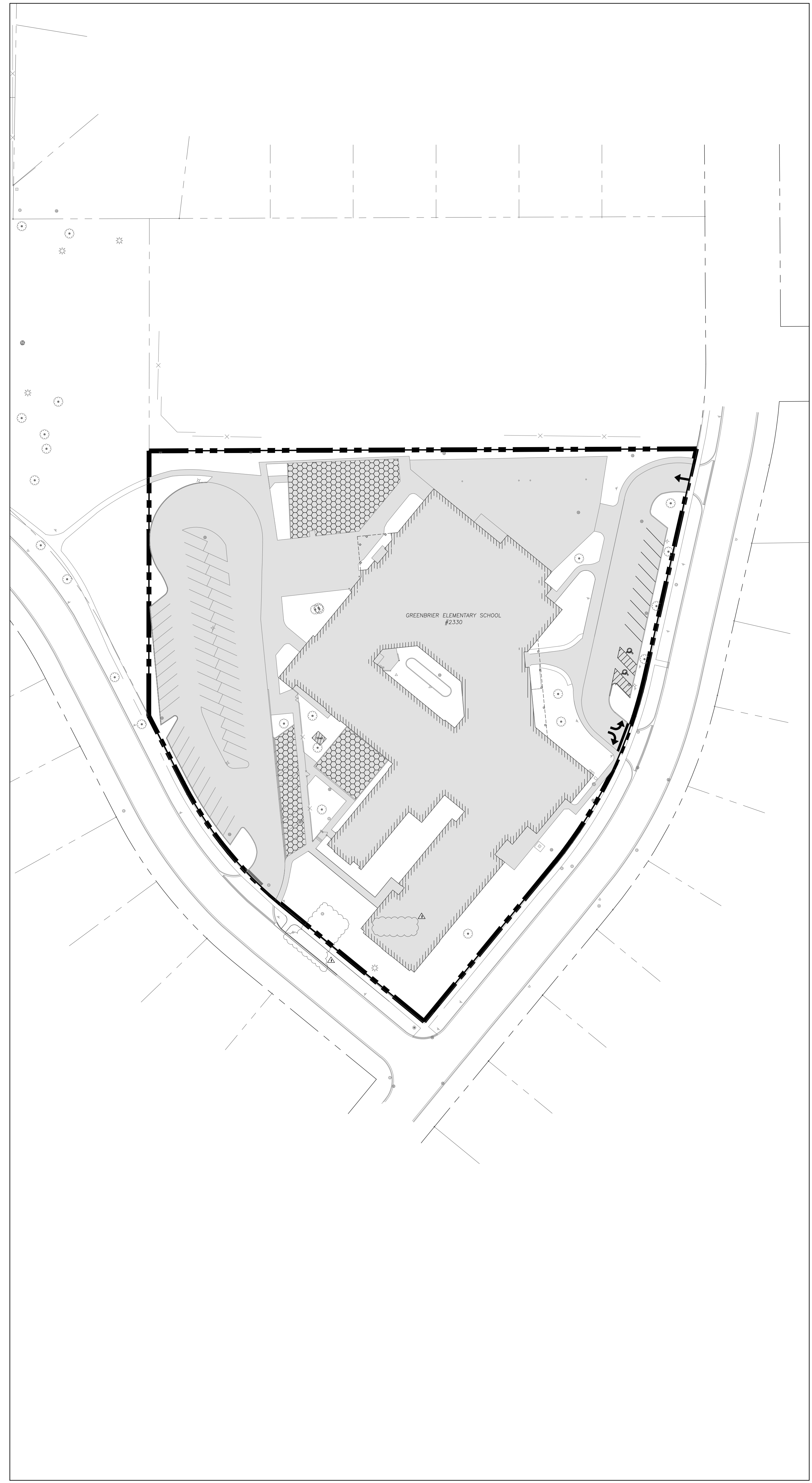
SUMMARY

IMPERVIOUS AREA

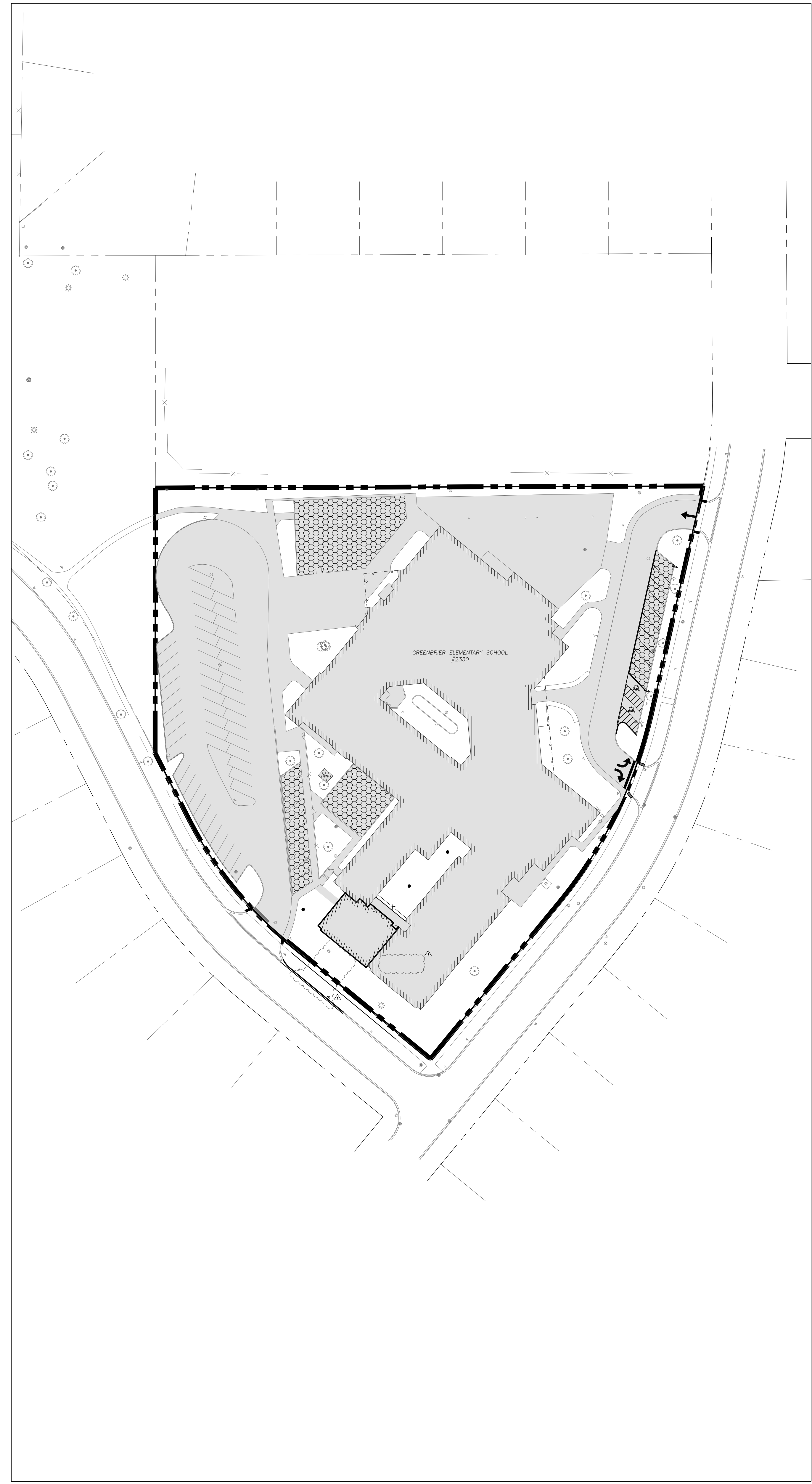
= +0.05 ACRES

PERVIOUS AREA

= -0.05 ACRES



EXISTING CONDITIONS



PROPOSED CONDITIONS

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Design By: JC Approved By: JC Date: 02/02/23

Sheet Title:
**EXISTING VS.
PROPOSED SITE
COVERAGE**

Sheet No:
CX101

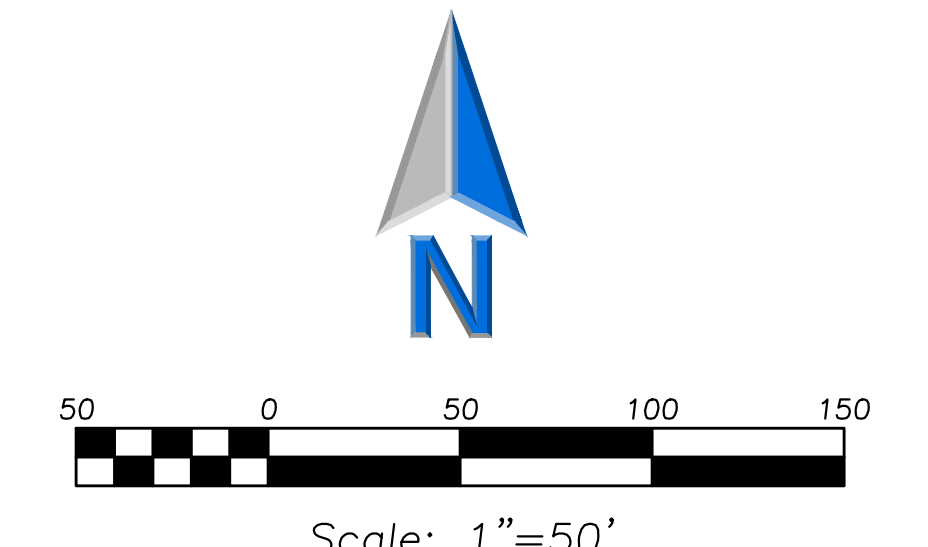

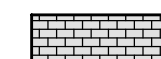



EXHIBIT LEGEND

	IMPERVIOUS AREA
	PERMEABLE PAVERS
	PROPERTY LINE 173,147 SF 3.97 ACRES



AREA DETAINED FOR DURING
2017 ADDITION AND RENOVATIONS

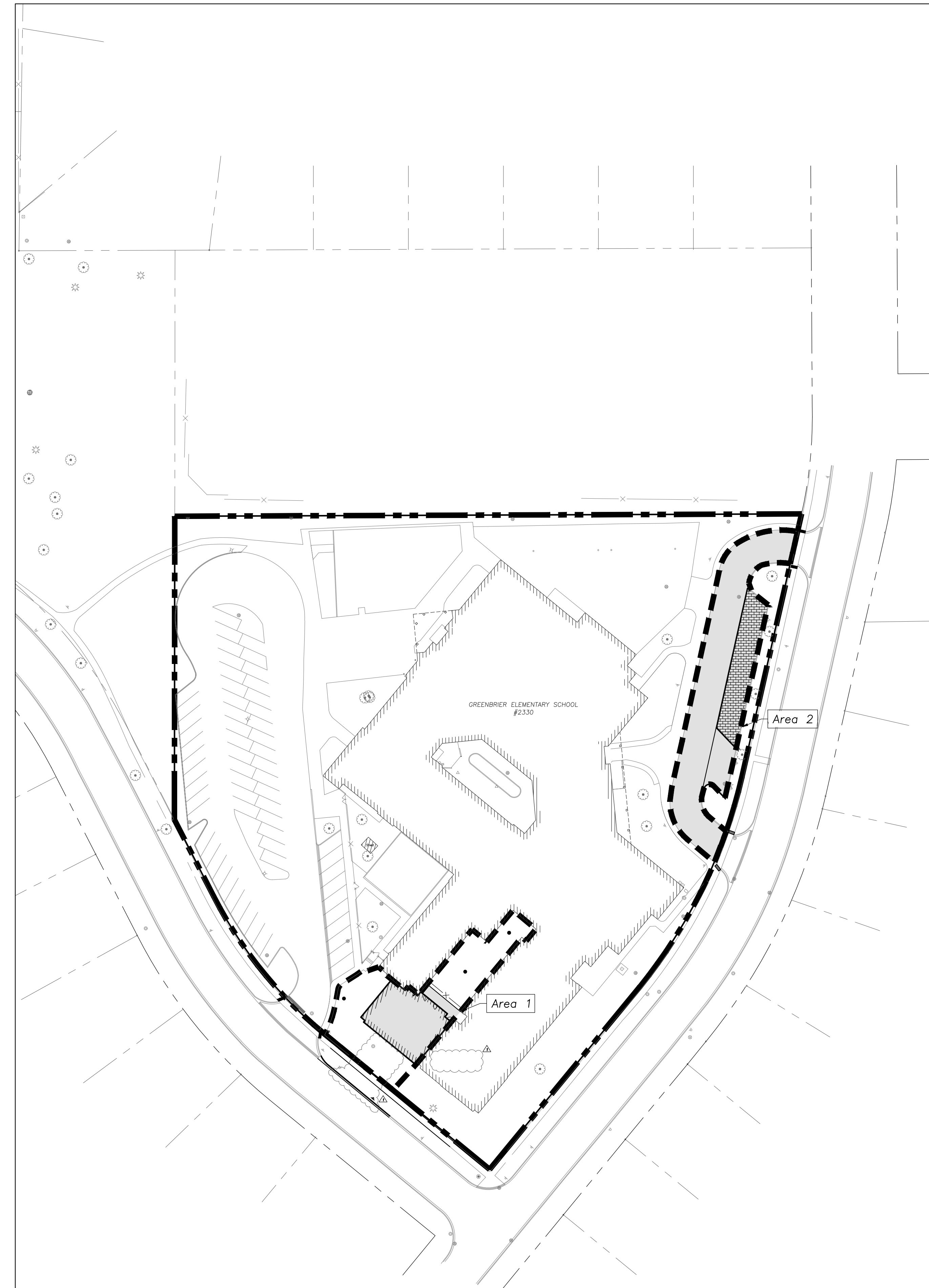




EXHIBIT LEGEND



	IMPERVIOUS AREA 660 SF 0.02 ACRES
	REDEVELOPMENT AREA 5,880 SF 0.13 ACRES

**VILLAGE STORMWATER
DETENTION REQUIREMENT FOR
REDEVELOPMENT AREA**

Existing Impervious Area (Redevelopment)	0.02 Acres
Existing Pervious Area (Redevelopment)	0.11 Acres
Spaves	0.57 (Per Village)
Detention Volume Provided 2017 (MRM B70, Village Release Rate)	0.029 Ac-Ft

EXISTING CONDITIONS

EXHIBIT LEGEND (AREA 1)


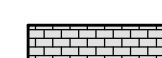

	IMPERVIOUS AREA 2,890 SF 0.06 ACRES
	REDEVELOPMENT AREA 8,000 SF 0.18 ACRES

**VILLAGE STORMWATER
DETENTION REQUIREMENT FOR
REDEVELOPMENT (AREA 1)**

Existing Impervious Area (Redevelopment)	0.06 Acres
Existing Pervious Area (Redevelopment)	0.12 Acres
Spaves	0.65 (Per Village)
Detention Volume Required (MRM B75, Village Release Rate)	0.047 Ac-Ft
Net Detention Volume Required	0.018 Ac-Ft (0.047-0.029)

PROPOSED CONDITIONS

EXHIBIT LEGEND (AREA 2)

	IMPERVIOUS AREA 7,540 SF 0.17 ACRES
	PERMEABLE PAVER AREA 2,000 SF 0.05 ACRES
	DEVELOPMENT AREA 9,490 SF 0.22 ACRES

**VILLAGE STORMWATER
DETENTION REQUIREMENT FOR
REDEVELOPMENT (AREA 2)**

Impervious Area	0.17 Acres
Permeable Paver Area	0.05 Acres
Spaves	0.90 (Per Village)
Detention Volume Required (MRM B75, Village Release Rate)	0.087 Ac-Ft

**GREENBRIER SCHOOL ADDITIONS
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2330 N. VERDE DR.
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DESIGN BY: JG APPROVED BY: JC DATE: 02/02/23

Sheet Title: **EXISTING VS. PROPOSED REDEVELOPMENT AREA**

Sheet No: **CX201**



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**GREENBRIER SCHOOL ADDITIONS
AND RENOVATIONS**
2830 N. VERDE DR.
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Scale: 1"=30'



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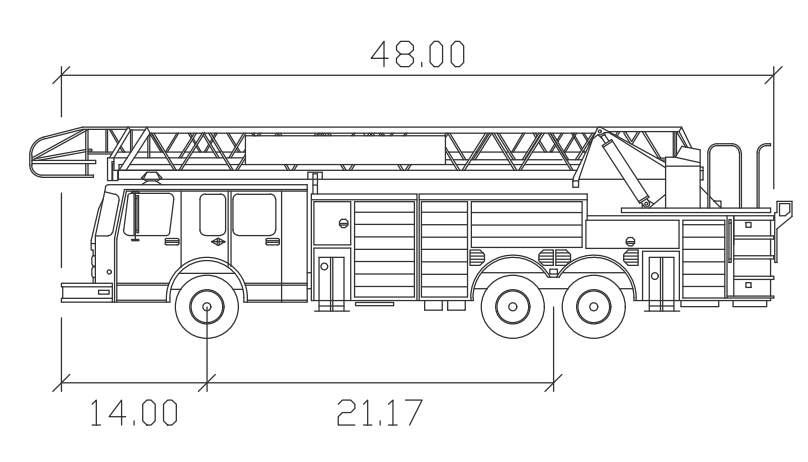
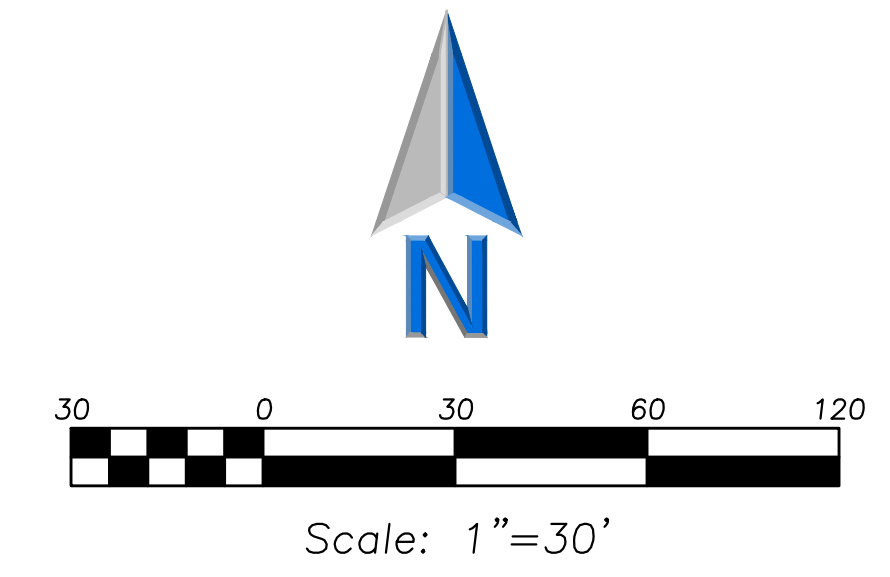
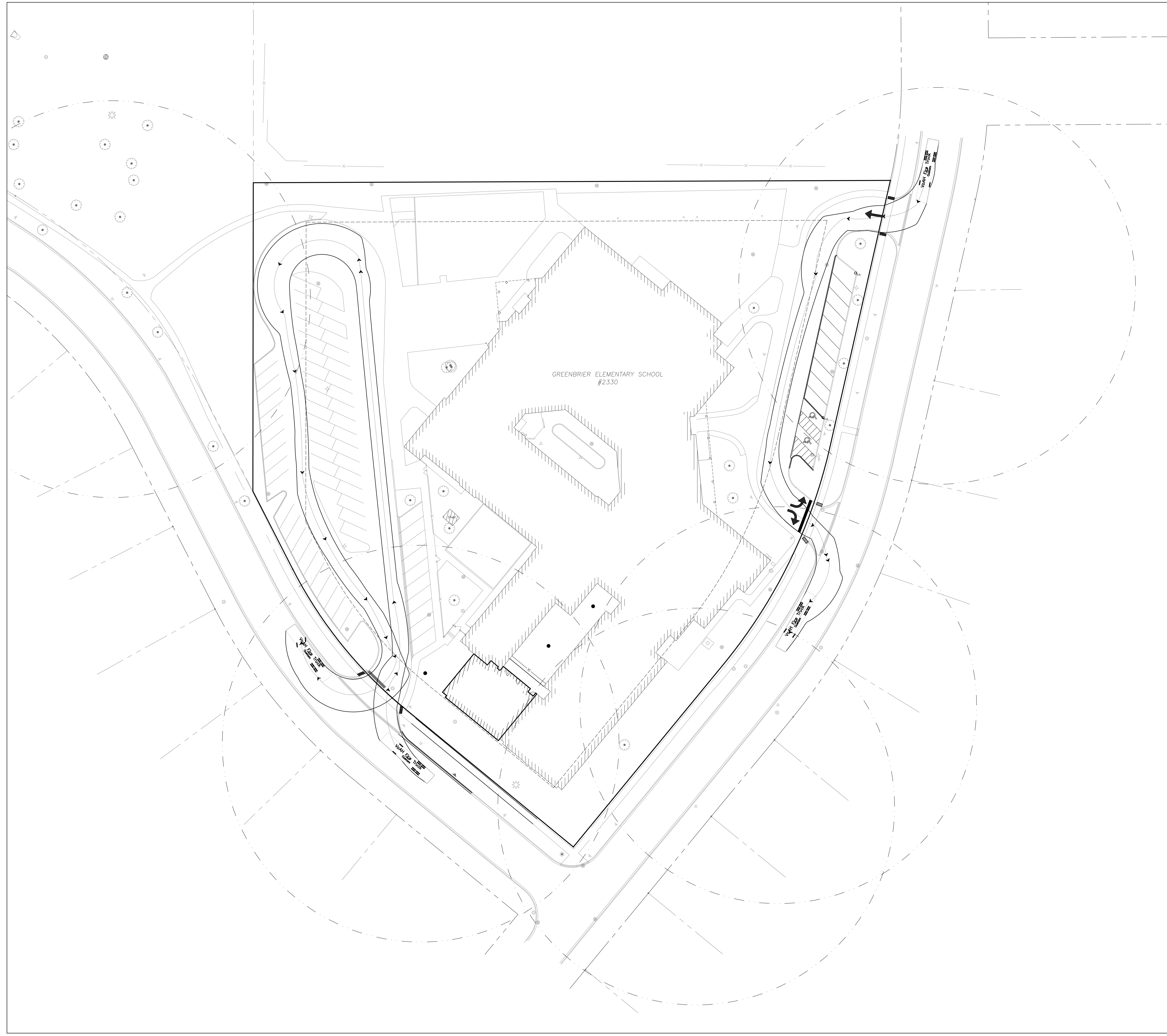
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	02/02/23	REVISED FOR PLAN COMMISSION

Design By: JG Approved By: JC Date: 02/02/23

Sheet Title:
**EXISTING
STORAGE IN
ONSITE PIPE**

Sheet No:
CX301

EA - P:\Vasha\Arlington Heights School Dist_25\2022 Kindergarten Additions\Drawings\Greenbrier\Siteplan - Greenbrier.dwg
 Plotted: 2/03/23 @ 9:36am By: jgassard



VaAH Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

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Sheet Title:
**VILLAGE FIRE
TRUCK EXHIBIT**

Sheet No:
CX401