

The subject location at 630 W Northwest Highway is a proposed BMO Bank. The property is uniquely shaped and positioned between West Euclid Avenue and US Highway 14 (W. Northwest Highway) the applicant has proposed 4 wall signs, one ground sign and directionals.

1. Wall Signs:

- Per code, only one wall sign is allowed per street frontage. The property has two street frontages, so a maximum of two wall signs are allowed. Four wall signs are proposed, which exceeds the maximum allowed.
- The applicant is seeking a variance for two additional wall signs. Signs would be positioned as follows:
 - o Southeast Elevation: S1 is the sign over the main entrance. This sign faces the parking lot and would be visible for oncoming traffic on N. Northwest Highway headed northwest. This sign identifies the main entrance to the building.
 - o Northeast Elevation: S16 is the sign that faces West Euclid and is adjacent to the drive thru elevation, this sign identifies the drive thru area for traffic entering from W. Euclid Ave.
 - o Northwest Elevation: S2 is the sign that is on the drive thru area of the building face northwest, and it has the potential for visibility from those that are sitting at the intersection where US Highway 14 meets W. Euclid Avenue.
 - o Southwest Elevation: S20 is the pedestrian facing sign along US Route 14 W. Northwest Highway, this sign is necessary for motorists and pedestrians traveling along this route. There is no ground identification signage visible from this vantage point.

2. Ground Sign (Monument Sign):

- The maximum allowed amount of signage on the proposed ground sign is 40 sf.
- The proposed ground sign is compliant. The sign measures 9'3" in overall height and the sign face is 4'5 3/4" x 6' 2 1/4" = 27.7 sq. ft. The overall sign area is 6'7" x 9'3" = 60.89 sq. ft.

3. Directional Ground Signs. The proposed directional ground signs comply with code, these signs direct traffic within the property.

- a. the particular difficulty or peculiar hardship is not self-created by the petitioner; and,

This parcel has multiple points of entry to the front and rear that make it unique. The lot shape is also unique. There is a lot shape hardship here, street frontage hardship as well as the layout of the property and development of the building that puts the entrance to the side of the building instead of street facing. All of the signage serves a purpose and is uniquely created by the shape of the lot, size of the lot, position of the structure and the multiple points of street frontage entry to this lot.

- b. the granting of the variation shall not create a traffic hazard, a depreciation of nearby property values or otherwise be detrimental to the public health, safety, morals, and welfare; and,

This is not a hardship that is shared by others, the granting of this variance will not create a traffic hazard or depreciate the properties, but rather enhance the use of this existing retail service provider.

- c. the variation will serve to relieve the applicant from a difficulty attributable to the location, topography, circumstances on nearby properties or other peculiar hardship; and not merely serve to provide the applicant with a competitive advantage over similar businesses; and,

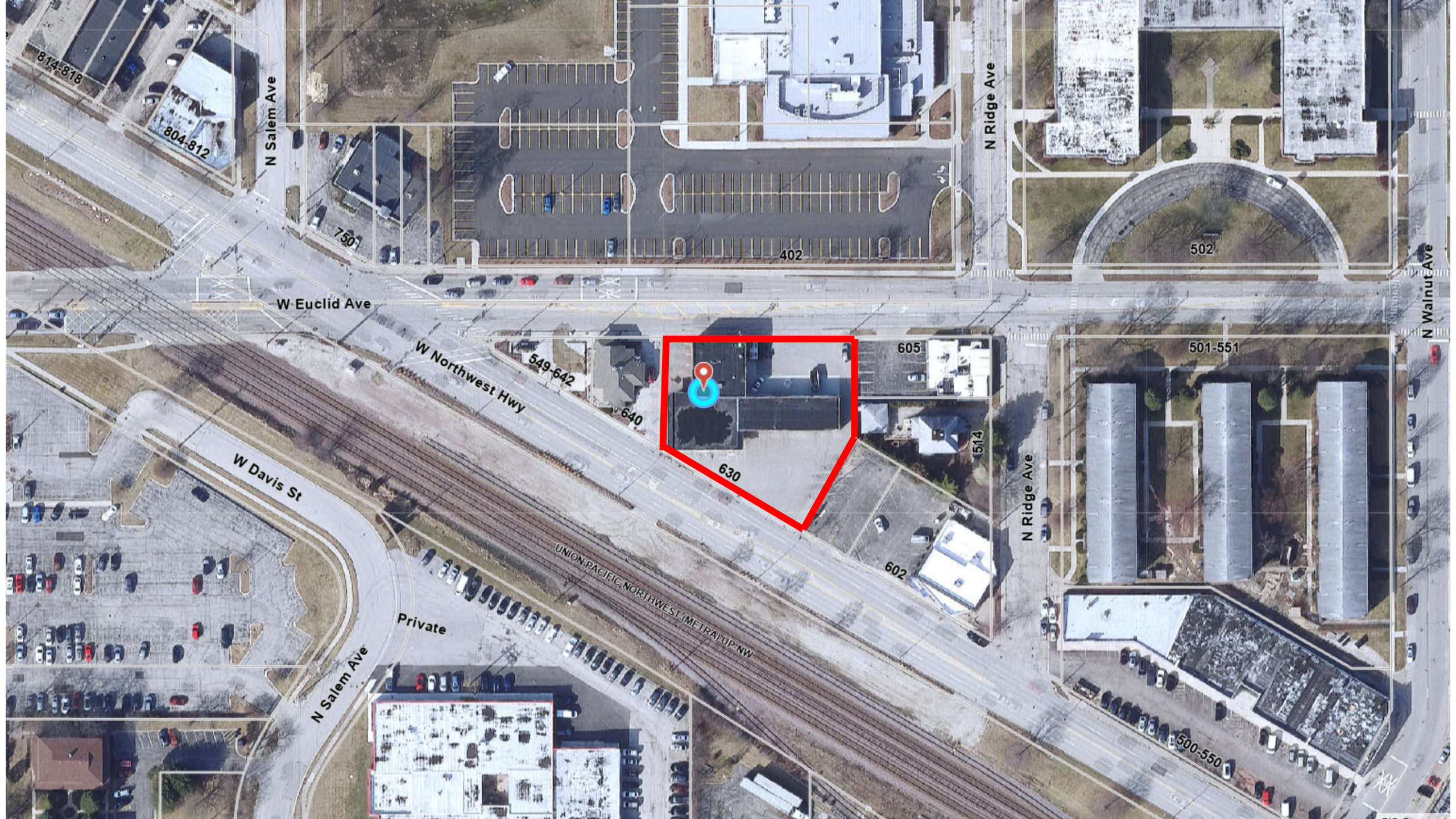
This variance is not sought for competitive advantage, this variance is sought for visibility and because of the current conditions that any business on this property would be at a disadvantage.

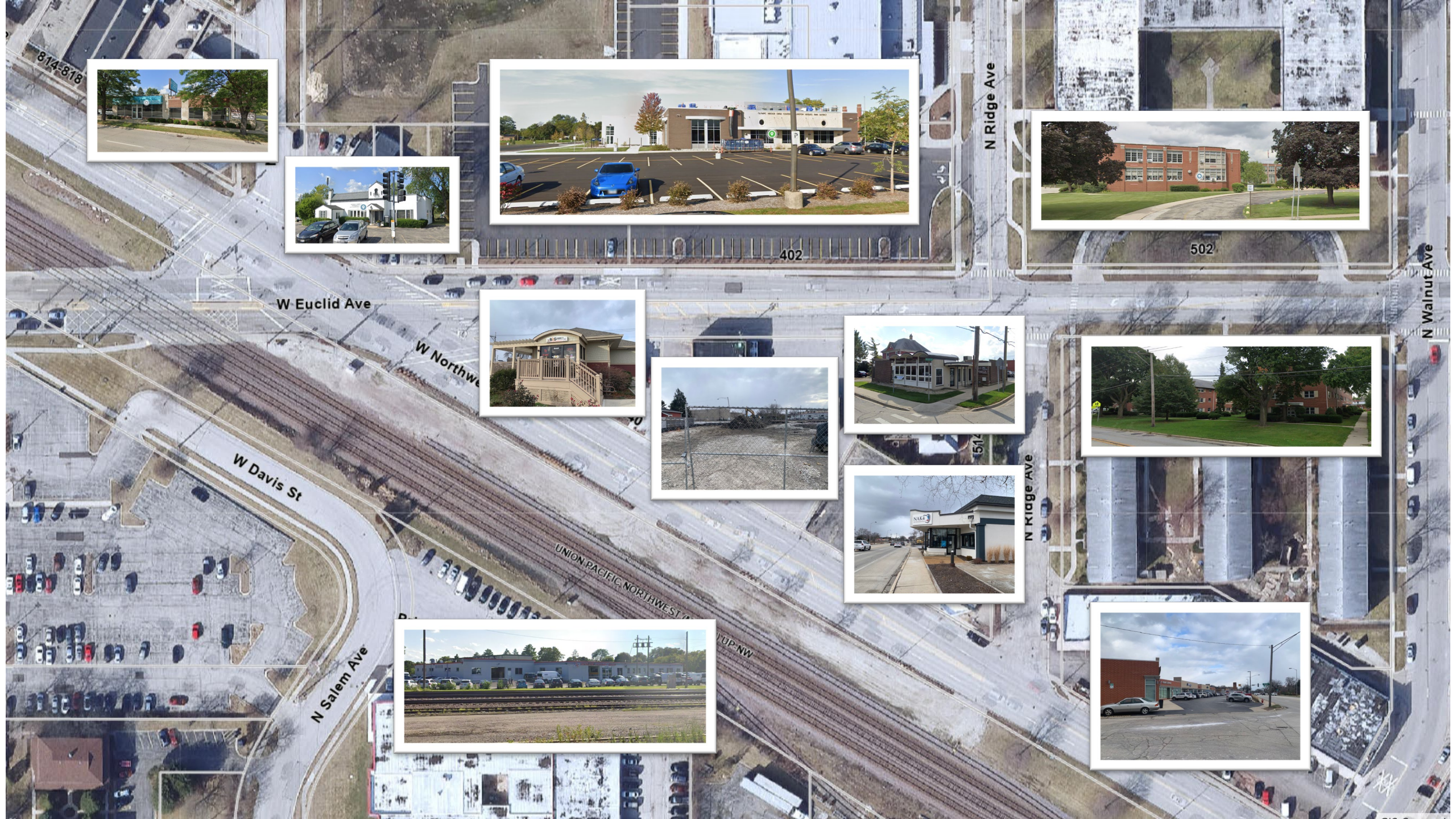
- d. the variation will not alter the essential character of the locality; and,

The sign proposed is consistent with other signs that exist here. This does not alter the character of the location or zoning district.

- e. the applicant's business cannot reasonably function under the standards of this Chapter.

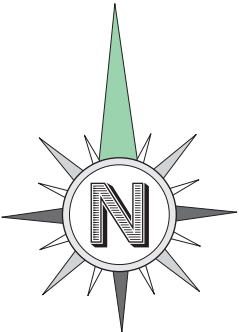
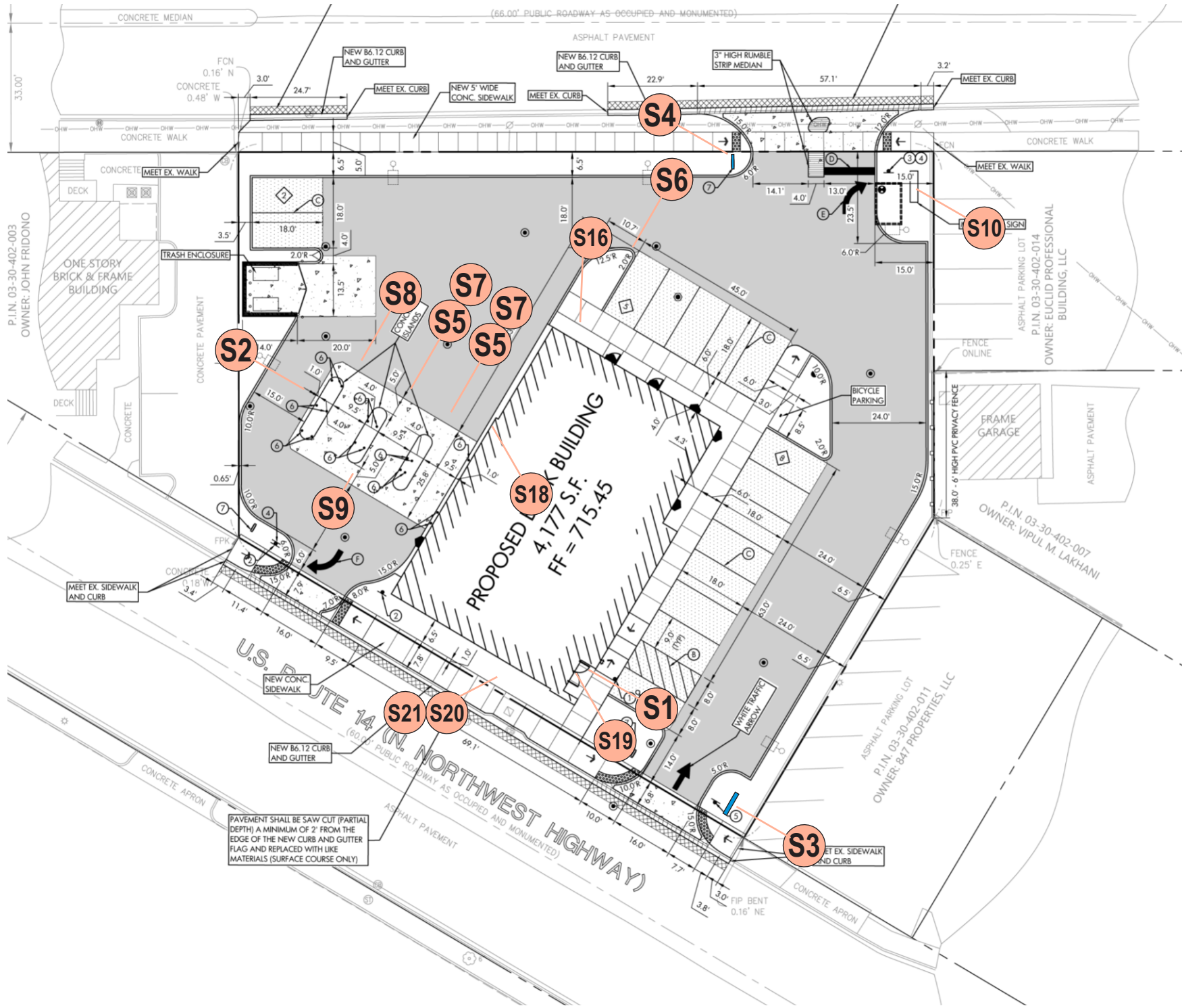
Banks rely on local as well as transient traffic. Not all customers using this financial service will have familiarity with the area. Many will be transient in nature. Signage is important for motorists to identify their destination, prepare for time to turn and adequately slow down to enter the parking lot. The business cannot function reasonably if it is not visible from all vantage points and street frontages. This property is unique and not all businesses serve customers from multiple points of the building. The drive through serves customers, that's a point of "entry" and the main entrance serves customers. Due to the shape of this lot, the size of this lot, to adequately develop this lot as a bank property, allow for drive through and traffic flow as well as adequate parking, the entrance to the front of the bank is on the side of the building, it does not face the street. The entrance needs to be identified for customers. The drive-through is also on the side of the building, and it needs to be identified for customers. The ground sign is along the north side of the property, and it is not visible from the south side of the property, however this is an entrance along the south side of the property that creates a unique need for the signage on the southwest and southeast elevations. All of the signage here serves a purpose and is minimally designed to identify the location. Please note that the size of the signs is complimentary and proportional for the structure, and minimal visibility. The signs are not excessive in size either.





SITE PLAN

SITE OVERVIEW



Sign	Recommendation	Sq.Ft.
S1	FACE-LIT/HALO-LIT	34.5
S2	FACE-LIT/HALO-LIT	34.5
S3	DIRECTIONAL	3
S4	DIRECTIONAL	3.9
S5	LANE INDICATOR SIGN	1.8
S6	CLEARANCE PANEL	3.5
S7	ALUMINUM PANEL	3.5
S8	ALUMINUM PANEL	6
S9	ALUMINUM PANEL	-
S10	D/F ILLUM MONUMENT - MB35	27.7
S11	WASH ROOM SYMBOL	-
S12	DESK VINYL	-
S13	OFFICE VINYL	-
S14	COUPON BOOTH VINYL	-
S15	MEETING ROOM VINYL	-
S16	FACE-LIT/HALO-LIT	34.5
S17	EMPLOYE ENCLAVE VINYL	-
S18	EMPLOYE ENCLAVE VINYL	-
S19	ADDRESS VINYL	.5
S20	FACE-LIT/HALO-LIT	34.5
S21	TEMPORARY BANNER	
S22	TEMPORARY BANNER	

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PAGE NO.:

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ORDER NUMBER:

1159291

SITE NUMBER:

4678

ELECTRONIC FILE NAME:

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PROJECT NUMBER:

881

PROJECT MANAGER:

CHRIS SMALEC

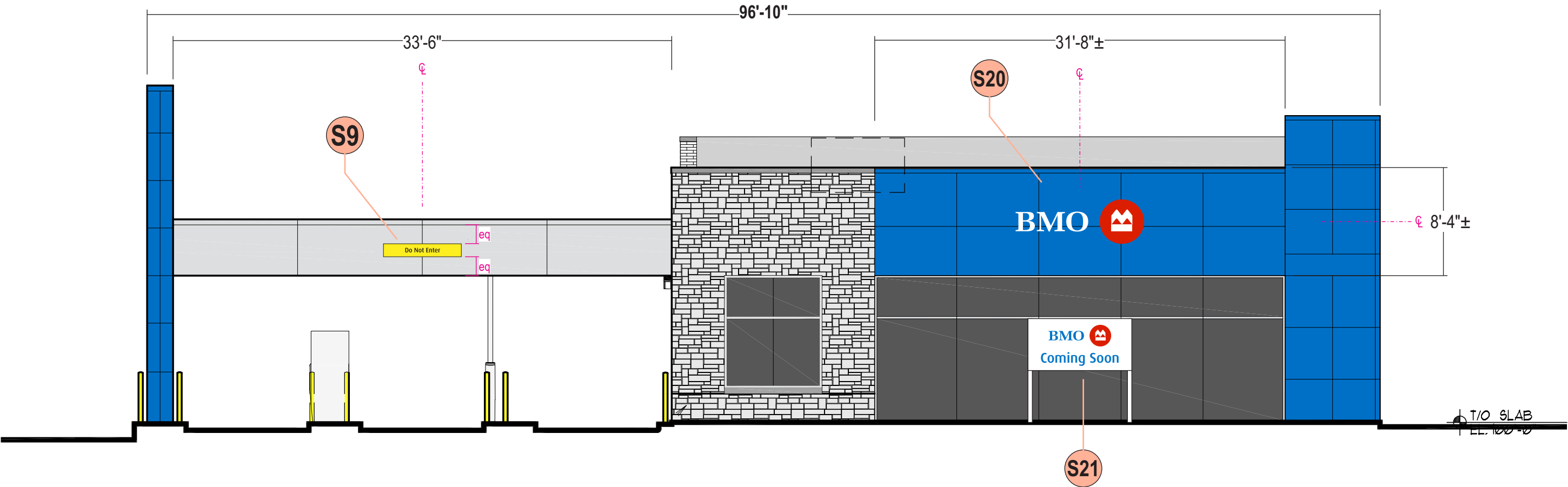
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Original	351429	09/13/21 JF		Rev 7	391270	07/14/22 AG	
Rev 1	352775	09/24/21 JF		Rev 8	408620	11/22/22 Viv	Updated S10 square footage
Rev 2	354116	10/01/21 JF	Revised site plan and sign legend.				
Rev 3	370075	02/23/22 JF	Revised all sign numbers after sign 2 on site plan & legend.				
Rev 4	370739	03/01/22 JF	Updated site plan and sign legend				
Rev 5	372707	03/14/22 JF	Updated site plan and sign legend				
Rev 6	374443	03/23/22 JF					

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SOUTHWEST ELEVATION

Scale: 1/8" = 1'-0"





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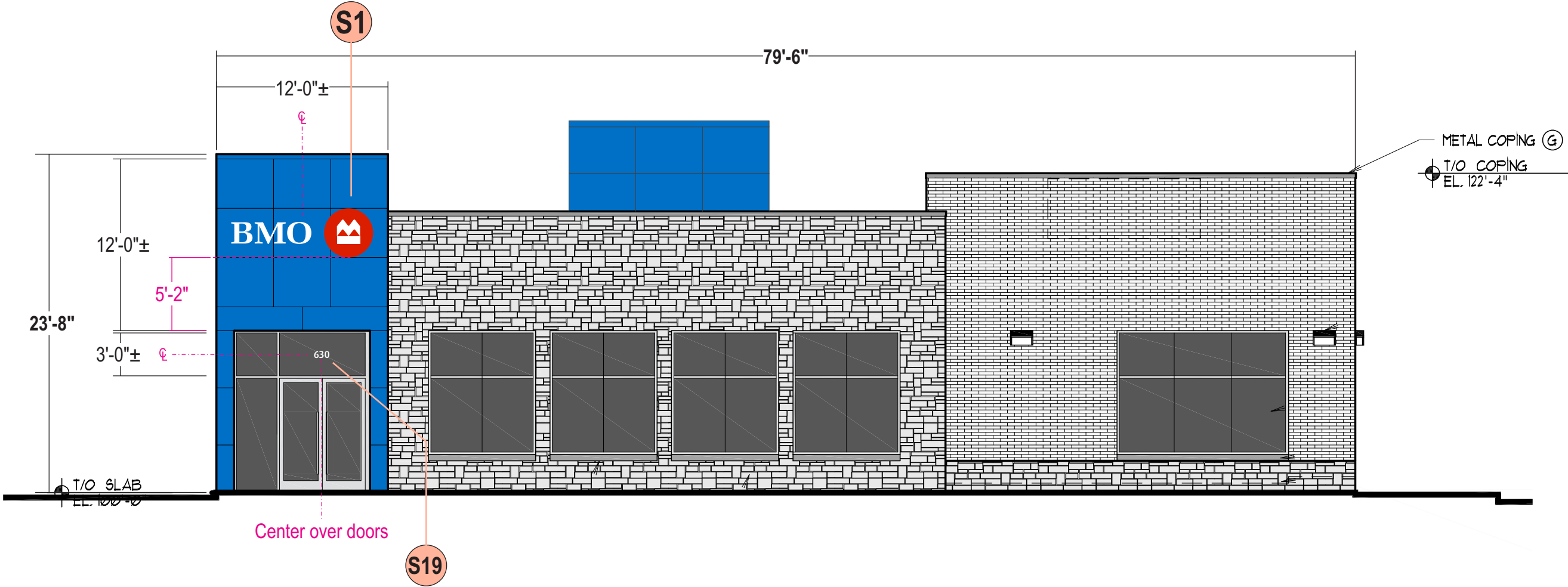
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Rev 2	354116	10/01/21 JF	Revised sign number.				
Rev 3	370075	02/23/22 JF	New elevation. Revised all sign numbers				
Rev 4	370739	03/01/22 JF	Added sign 17				
Rev 5	372707	03/14/22 JF	Added letterset and temp banner				
Rev 6	374443	03/23/22 JF					

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SOUTHEAST ELEVATION

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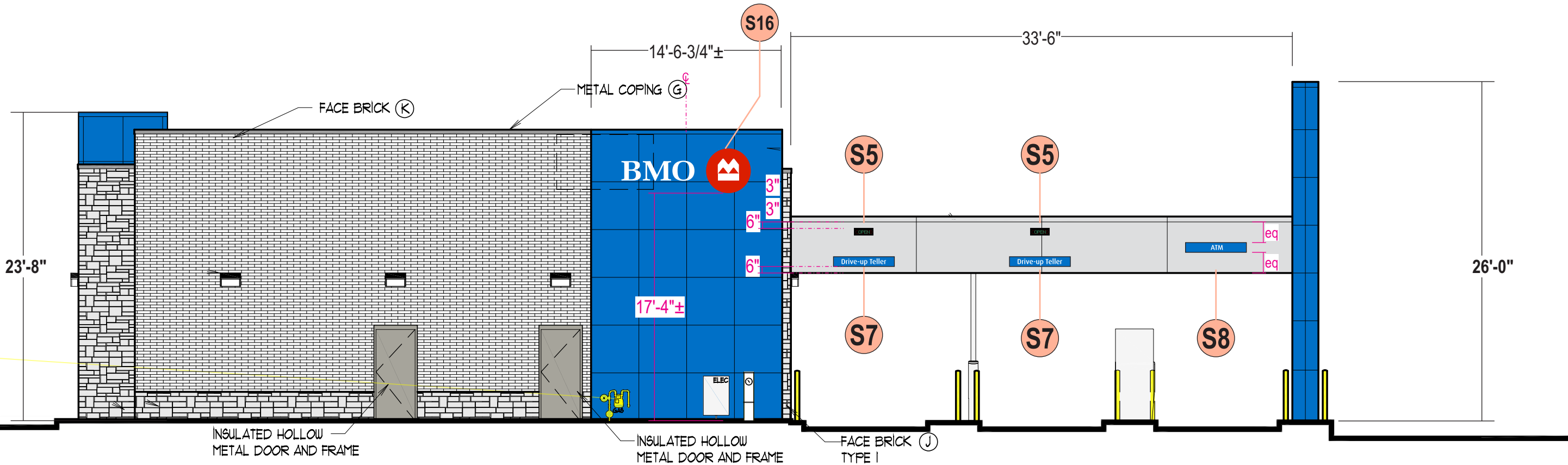
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Rev 1	352775	09/24/21 JF	Removed window vinyl.	Rev 8	408620	11/22/22 Viv	
Rev 2	354116	10/01/21 JF	Revised fascia band & removed door vinyl.				
Rev 3	370075	02/23/22 JF	New elevation				
Rev 4	370739	03/01/22 JF					
Rev 5	372707	03/14/22 JF	Added door vinyl				
Rev 6	374443	03/23/22 JF					

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NORTHEAST ELEVATION

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PROJECT MANAGER:

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Rev #

Req #

Date/Artist

Description

Original

351429

09/13/21 JF

Rev 1

352775

09/24/21 JF

Added sign 3, removed clearance panels.

Rev 2

354116

10/01/21 JF

Revised fascia band & re-located letterset.

Rev 3

370075

02/23/22 JF

New elevation. Revised all sign numbers

Rev 4

370739

03/01/22 JF

Added sign 16 back to elevation

Rev 5

372707

03/14/22 JF

Rev 6

374443

03/23/22 JF

Rev #

Req #

Date/Artist

Description

Rev 7

391270

07/14/22 AG

Rev 8

408620

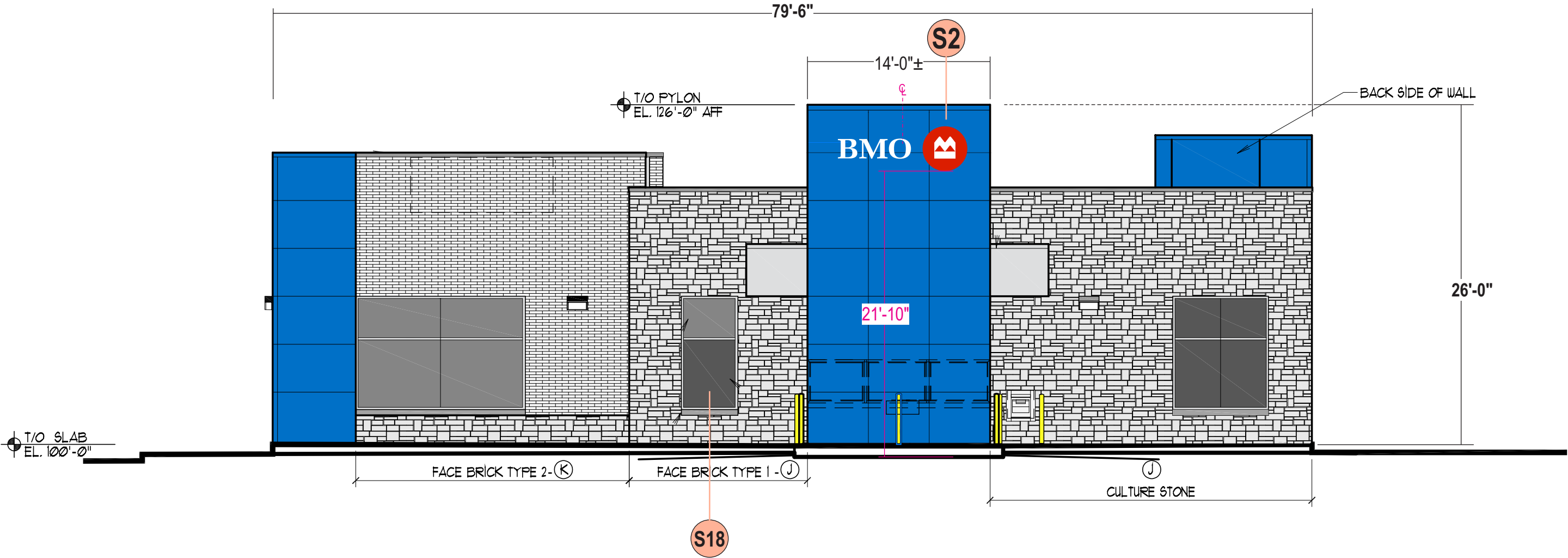
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NORTHWEST ELEVATION

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Rev 2	354116	10/01/21 JF	Revised letterset to ATM drive up cabinet.				
Rev 3	370075	02/23/22 JF	New elevation. Revised all sign numbers				
Rev 4	370739	03/01/22 JF					
Rev 5	372707	03/14/22 JF	Added ACM panel and employee enclave vinyl				
Rev 6	374443	03/23/22 JF					

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S1

S2

S16

S20

FACE-LIT/HALO-LIT LETTERS

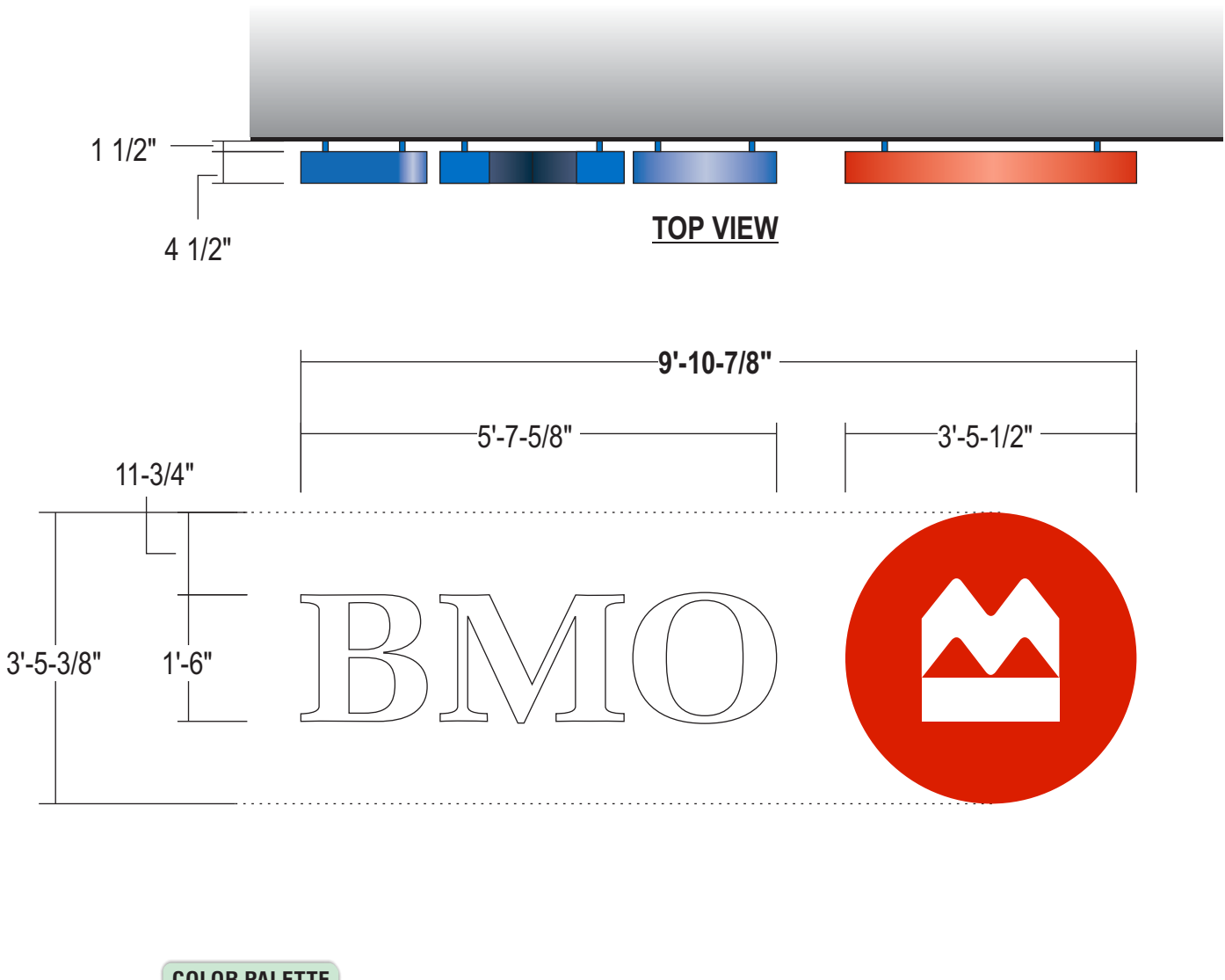
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IL-18-W

34.5 square feet



ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



- LETTERS:**
- FACES:** .187 # 7328 white acrylic
- TRIMCAP:** 1" Standard jewelite painted blue
- RETURNS:** 4-1/2" deep .050 alum. painted blue
- BACKS:** 1/4" thick clear hyzod polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces;
Blue Hanley LEDs for Halo Back-Lit
3mm ACP inner Baffle.
Power supplies are remote
- LOGO:**
- FACES:** 3/16" #7328 white acrylic w/ surface applied trans red vinyl overlay
- TRIMCAP:** 1" Standard Red
- RETURNS:** 5" deep .050 alum. painted Red
- BACKS:** 1/4" thick clear hyzod polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces;
Blue Hanley LEDs for Halo Back-Lit
3mm ACP inner Baffle.
Power supplies are remote
- INSTALL:** Thru bolted with 1-1/2" stand off from wall surface using 3/8" threaded rod into approved blocking; spacers to be provided painted to match wall.
- WALL MATERIAL:** ACM panel
- QUANTITY:** (4) Four sets required Southwest, Southeast, Northeast and Northwest elevations

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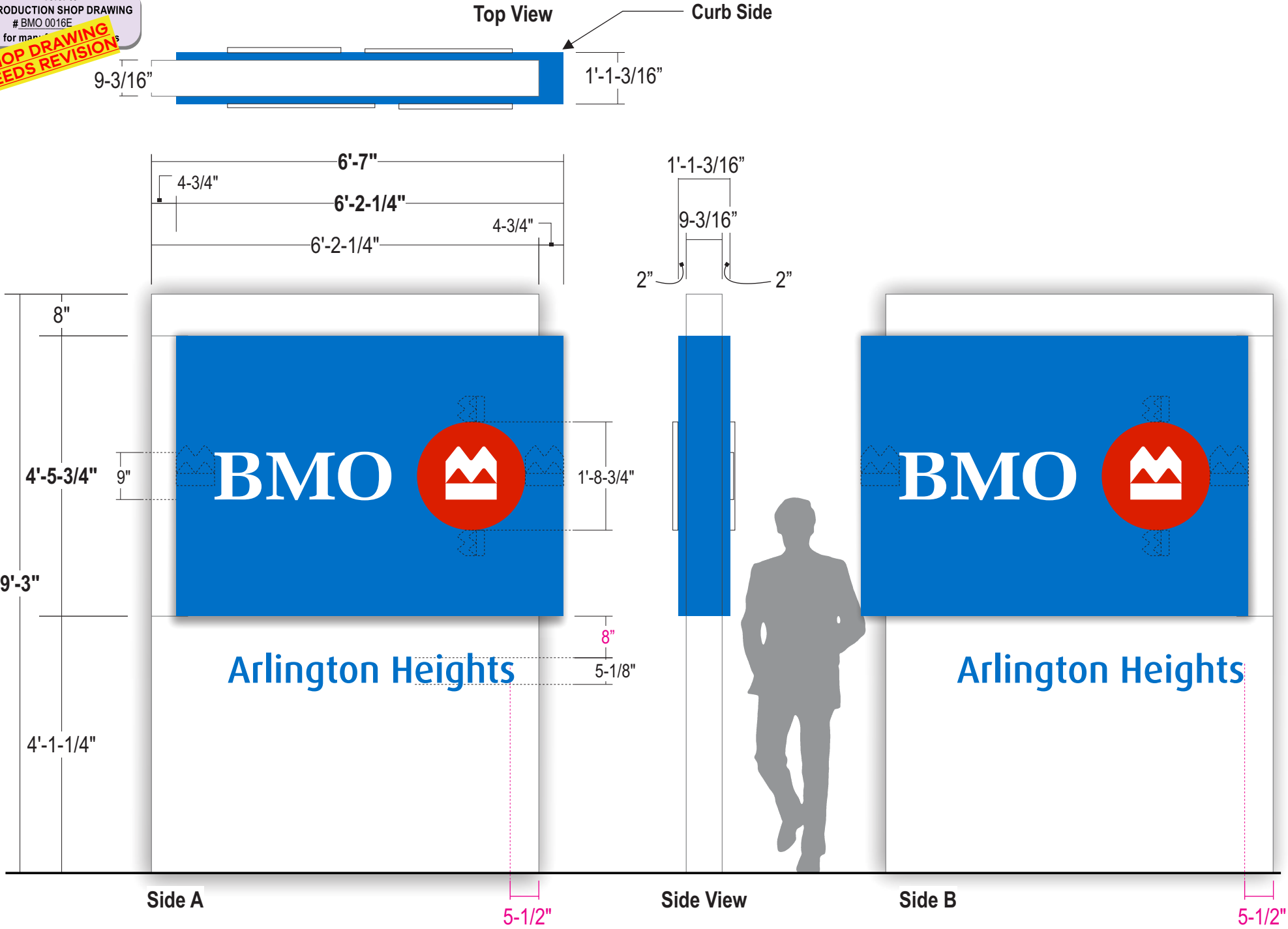
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Rev 2	354116	10/01/21 JF	Revised to face-lit/halo-lit w/ no backer.				
Rev 3	370075	02/23/22 JF	Revised all sign numbers after sign 2				
Rev 4	370739	03/01/22 JF	Added sign 16 back, updated quantity to 3 lettersets				
Rev 5	372707	03/14/22 JF	Added new sign number				
Rev 6	374443	03/23/22 JF					

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PRODUCTION SHOP DRAWING
BMO 0016E
for manufacturing details
**SHOP DRAWING
NEEDS REVISION**



- CABINET/ SURROUND:** 9" alum. frame extrusion w/ .090 alum. sheeting all painted Semi-Gloss White
- FACES:** .125 alum. w/ 2" deep returns - painted Blue satin finish One side hinged for service access. [See engineering for all construction details](#)
- GRAPHICS:** Routed from alum face; graphics to be router cut 1" (logo) 3/4" (copy) clear acrylic push thru w/ surface applied Trans Red w/ 3M matte overlaminate & trans White vinyl w/ second surface diffuser film; (Projection from face for logo is 7/8" and copy is 5/8")
- BANK. CTR.:** Surface applied vinyl - will not illuminate
- POLE COVER:** Fab'd .090 alum construction painted Semi-Gloss White [See engineering for all construction details](#)
- ILLUMINATION:** Hanley White LED's; power supplies housed within cabinet; Alternate: Sloan VL 4 White - 6500K
- INSTALL:** Internal steel as required w/ Baseplate mounted to concrete footer 6" below grade [See engineering drawings for all details](#)

COLOR PALETTE

- FACES:** Pantone 300 C Blue
- BANKING CENTER:** 3M 3630-8308 BMO Blue
- LOGO VINYL:** Pantone 485 Red, 3M 3630-143 Poppy Red, 3M 3660-M Scotchcal Matte overlaminate
- SURROUND:** White Semi-Gloss
- LETTERS/ LOGO:** 3M 3535-70 70% White Diffuser, 3M 3630-20 Trans. White



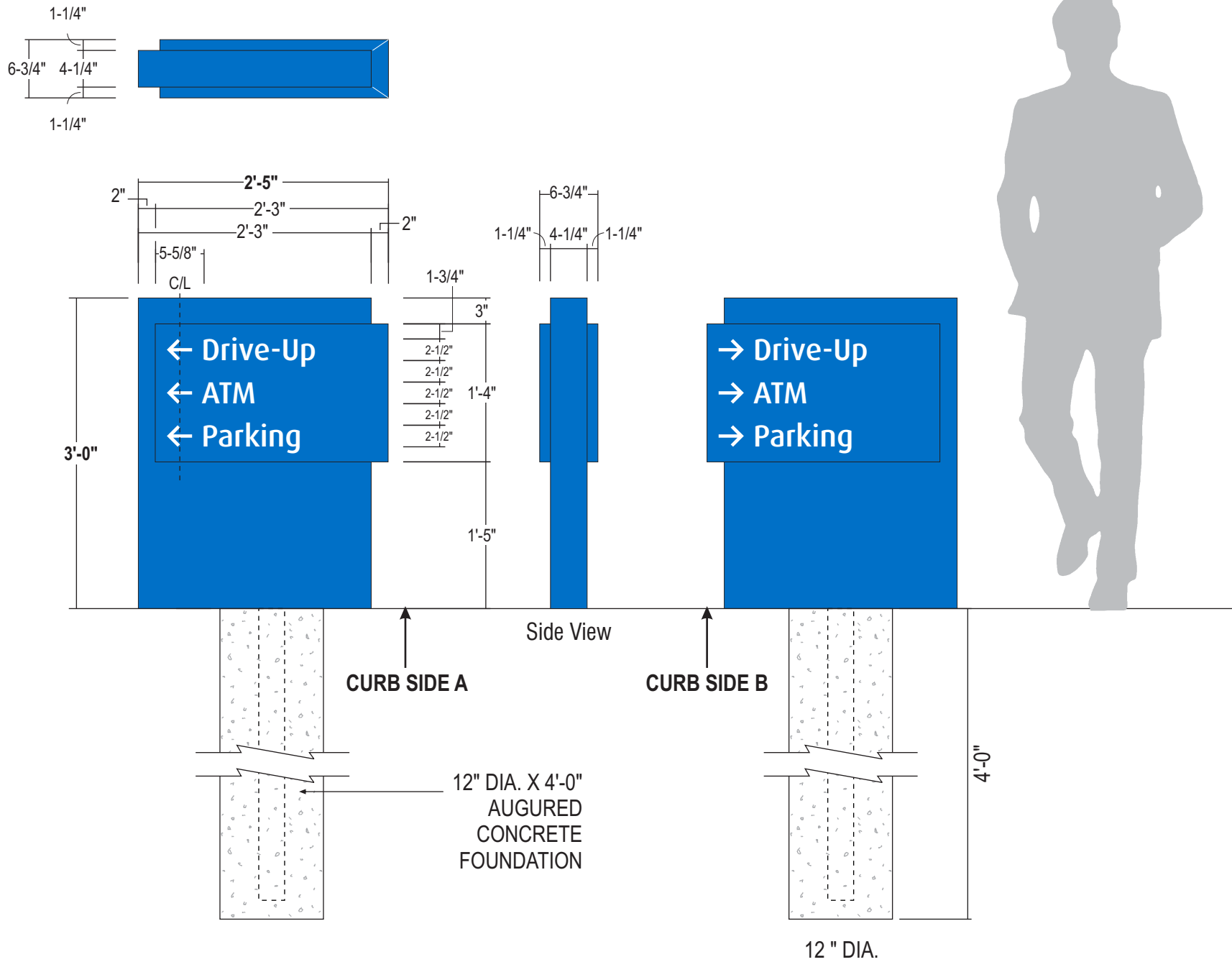
All paint finishes are satin unless otherwise noted.

S3

NON-ILLUMINATED FREESTANDING DIRECTIONAL

Scale: 3/4" = 1'-0"

3 square feet



- SURROUND:** Fabricated alum. 4-1/4" total depth w/ 4" x 1-1/2" x 1/8" alum. channel; skinned with .090 alum. painted White semi gloss finish
- OVERLAY:** 1-1/4" deep 4mm PMS 300 Blue Alpolic ACM bent cladding
- COPY:** Surface applied Reflective white copy & arrows
- INSTALL:** Cabinet to have internal 2" x 2" x 1/4" alum. square tube / direct burial installation
- NOTE:** See Production drawings for complete specs
- QUANTITY:** (1) One directional sign required

COLOR PALETTE

- OVERLAY:**
Pantone 300 C Blue
- SURROUND:**
Akzo Nobel Paint to match
Pantone 300 C
- COPY:**
3M 680-10 Reflective White

ALL PAINT FINISHES TO BE SEMI-GLOSS

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

Northwest Highway and Euclid Ave
Arlington Heights, IL.
60005

PAGE NO.:

8

ORDER NUMBER:

1159291

SITE NUMBER:

4678

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK LOCATIONS\2021\11\4678_Arlington Heights_IL\4678_Arlington Heights_IL_R7

PROJECT NUMBER:

881

PROJECT MANAGER:

CHRIS SMALEC

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	351429	09/13/21 JF		Rev 7	391270	07/14/22 AG	
Rev 1	352775	09/24/21 JF		Rev 8	408620	11/22/22 Viv	
Rev 2	354116	10/01/21 JF	Revised sign number.				
Rev 3	370075	02/23/22 JF	Revised all sign numbers after sign 2				
Rev 4	370739	03/01/22 JF					
Rev 5	372707	03/14/22 JF					
Rev 6	374443	03/23/22 JF					

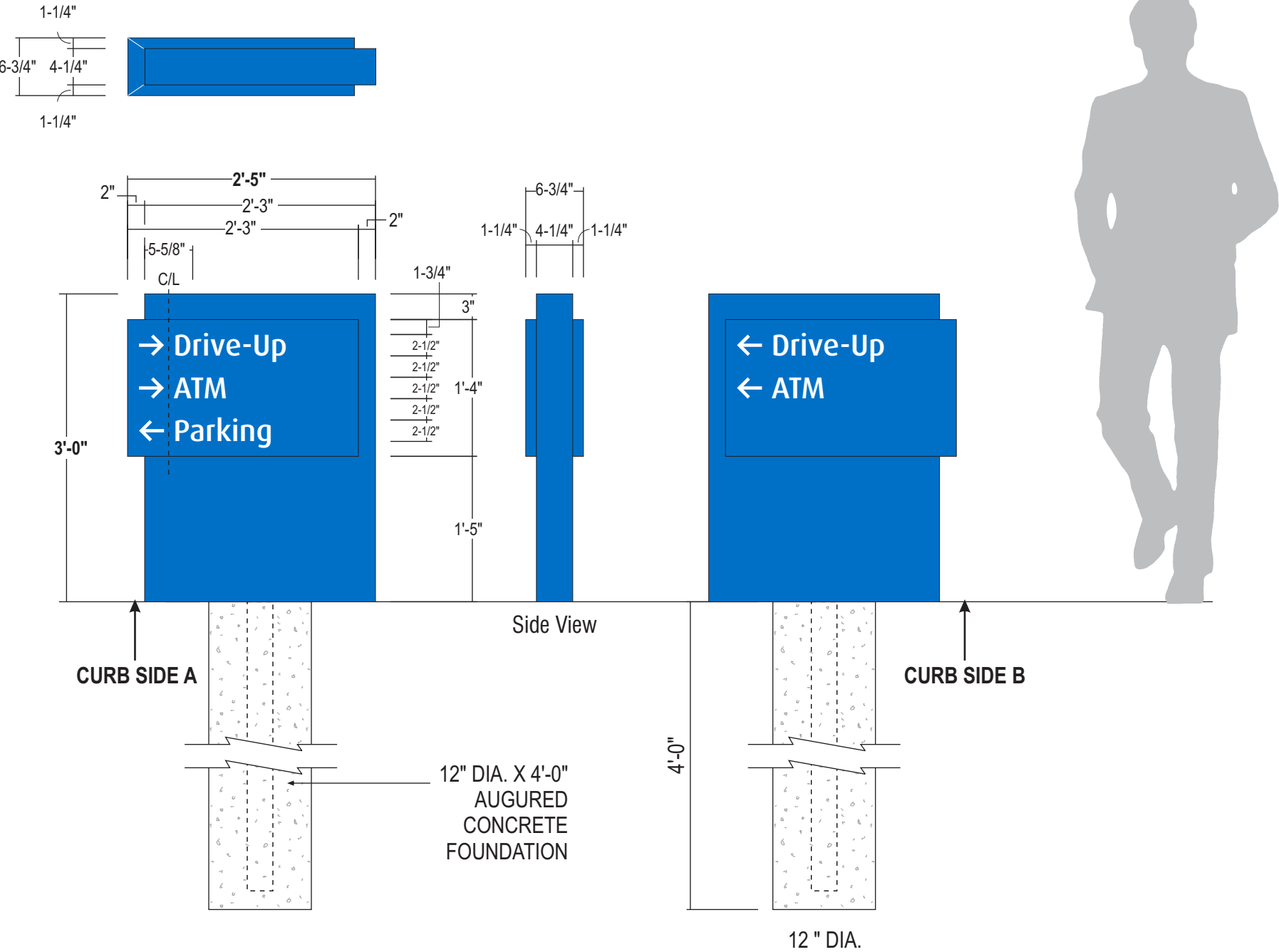
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S4

NON-ILLUMINATED FREESTANDING DIRECTIONAL

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3 square feet



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- OVERLAY:** 1-1/4" deep 4mm PMS 300 Blue Alpolic ACM bent cladding
- COPY:** Surface applied Reflective white copy & arrows
- INSTALL:** Cabinet to have internal 2" x 2" x 1/4" alum. square tube / direct burial installation
- NOTE:** See Production drawings for complete specs
- QUANTITY:** (1) One directional sign required

COLOR PALETTE

- OVERLAY:**
Pantone 300 C Blue
- SURROUND:**
Akzo Nobel Paint to match
Pantone 300 C
- COPY:**
3M 680-10 Reflective White

ALL PAINT FINISHES TO BE SEMI-GLOSS

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SITE NUMBER:

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ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK LOCATIONS\2021\11\4678_Arlington Heights_R7
4678_Arlington Heights_R7.cd

PROJECT NUMBER:

881

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CHRIS SMALEC

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	351429	09/13/21 JF		Rev 7	391270	07/14/22 AG	
Rev 1	352775	09/24/21 JF	Revised copy.	Rev 8	408620	11/22/22 Viv	
Rev 2	354116	10/01/21 JF	Revised sign number & removed parking from side B				
Rev 3	370075	02/23/22 JF	Revised all sign numbers after sign 2				
Rev 4	370739	03/01/22 JF					
Rev 5	372707	03/14/22 JF					
Rev 6	374443	03/23/22 JF					

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Sign Variation Application and Procedures

Village of Arlington Heights

33 S. Arlington Heights Road

Arlington Heights, IL 60005

SAMPLE MATERIAL LIST*

1. Petitioner Name: Expedite The Diehl for BMO Bank
2. Date: 12.20.2022
3. Project: BMO Bank
4. Location: 630 W Northwest Highway

Retail/Condominium Building:

Storefront: "Hemlock Green" aluminum
Fabric Awnings: Light green, Sunbrella fabric
Signage: Plexi-glass internally illuminated, channel sign

this project is limited to signage

material samples are provided.

**List of primary colors, textures and materials to be used.*

Each page of the attached drawings shows a color palate. The colors used are as follows:

Pantone 300 C Blue
Pantone 485 Red
3 M 3630-143 Poppy Red
3 M 3660-M Scotchcal Matte overlamine
White semi gloss
3 M 3535-70
3 M 3630-20 Trans White
3M Custom Color BMO Red
VTL 17893
Akzo Nobel Paint to match
Pantone 300 C
Returns: Akzo Nobel Paint to match
Pantone 485 C
Akzo Nobel Paint to match
Pantone 300 C
3M 680-10 Reflective White
Safety Colour AkzoNobel paint
to match Pantone 109 C