



MEMORANDUM

DATE: 12/05/22

TO: Jorge Torres, Director of Building & Life Safety

FROM: Elliot L. Eldridge, Assistant Building Official of Building & Life Safety

SUBJECT: Holladay Properties Self Storage, P.C. #22-015, 401 W. Golf Rd.

All currently adopted codes shall apply.

Although self-storage operators are currently subject to all the ADA building access regulations applicable to structures generally, the 2010 Standards include “scoping requirements” and identify a specific number of units as accessible to be compliant.

ADA Scoping Requirements:

- 5% if less than 200 units
- 10 units plus 2% if more than 200 units
- Dispersed among classes of spaces
- These must be a mixture of sizes (5x10, 10x10, 10x15, etc.)

ADA Required Modifications:

- A pull must be installed on the door exterior no lower than 15” and no higher than 48”
- Pull must have a loop large enough for a fist to fit into
- A nylon rope must be installed on the bottom bar which hangs 15” – 48” inches when door is open
- Rope must also contain a loop large enough to fit a fist and replaces the traditional rope
- An Accessibility plaque with Braille must be clearly displayed outside of unit

Provide details on the “man door” in close proximity to an overhead door in the loading dock area. The referenced door must be accessible.

Accessible doors must be tensioned at 5lbs. maximum force as it pertains to the continuous application of force necessary to fully open a door, not the initial force needed to overcome the inertia of the door.

- At least 50% of all public entrances must be accessible.
- Provide an accessible entrance from the public right-of-way, Golf Road, to the Self-Storage office.
- In addition, curbing used in site work for surface water management must comply with ADA.
- Vertical maximum change in vertical elevation is ¼ inch (6mm).
- If the slope of the bevel is not greater than 1:2 the vertical elevation changes may be ½ inch (13mm).
- Door hardware (i.e., handles, pulls, latches, locks) may not be lower than 34 inches or higher than 48 inches.
- Door operation must be operable with one hand and shall not require tight grasping pinching or twisting of the wrist.
- Maximum Thresholds heights are ½ inch (13mm)
- Maximum Door opening force is limited to 5.0 pounds

Provide elevator shafts and stairwell shafts fire-resistance rating.

Buildings or facilities exceeding 30 feet or three stories in height shall have not fewer than two means of fire apparatus access for each structure.

Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof. One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

Fire department connections (FDC) shall be located on the street side of buildings, fully visible and located at the main front entrance of the building and within a maximum travel distance of 100 feet to the nearest fire hydrant and in accordance with the NFPA standard applicable to the system design. The location of fire department connections shall be approved.

A complete NFPA compliant fire suppression system is required. Supervised indicating control valves shall be provided at the point of connection to the riser on each floor.

Fire protection equipment and mechanical and electrical service rooms shall be identified in an approved manner.

Approved access shall be provided and maintained for all fire protection equipment to permit immediate safe operation and maintenance of such equipment.

Buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building.

In buildings and structures where standby power is required or furnished to operate an elevator, the operation shall comply with current code requirements.

Provide a fully functional fire alarm shall be installed per NFPA 72. The alarm annunciator panel shall be located at the front entrance.

The fire alarm shall be capable of sending a wireless signal and shall be monitored by Northwest Central Dispatch. Once accepted, fire alarm system shall not be placed out of service unless approved by the Village.

A visible exterior weatherproof alarm notification device, emitting a white in color flashing light when activated, shall be located within closest proximity to the front main entrance of the building or tenant space as approved by the Fire Code Official.

Shop drawings for fire alarm systems shall be submitted for review and approval prior to system installation.

A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance.

A key box (Knox Box) shall be provided and contain keys to gain necessary access as required by the fire code official.

Where provided, fire pump rooms and automatic sprinkler system riser rooms shall be designed with adequate space for all equipment necessary for the installation, as defined by the manufacturer, with sufficient working space around the stationary equipment.

Clearances around equipment to elements of permanent construction, including other installed equipment and appliances, shall be sufficient to allow inspection, service, repair or replacement without removing such elements of permanent construction or disabling the function of a required fire- resistance-rated assembly. Fire pump and automatic sprinkler system riser rooms shall be provided with doors and unobstructed passageways large enough to allow removal of the largest piece of equipment. Fire pumps shall be installed in accordance with the Fire Code and NFPA 20 and shall comply with all current code requirements including a minimum of two water mains located in different streets.

In order to be considered part of an accessible means of egress, an elevator shall comply with the emergency operation and signaling device requirements.

Signs shall be posted on both sides of an approach of any fire lane stating "NO PARKING - FIRE LANE". Signs shall have arrows indicating the area of parking restriction.

PLAN COMMISSION PC #22-015
Holladay Properties Self Storage
401 W Golf Road
Round 1 (revised)

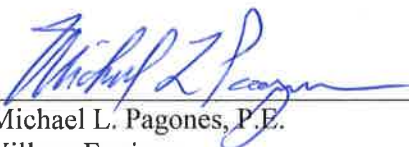
11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
	Prime Meridian: Greenwich
	Angular Unit: Degree
13. The proposed detention facility will be a private system and as such will not be the Village's responsibility to maintain. The basin requires a 1-foot freeboard with an overflow weir at the 6" line. The basin requires a 5' flat zone around the perimeter before the top of slope begins. Provide calculations for sizing the weir. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village Engineer for an editable version of the OUMA.
14. Plan Commission approval will require preliminary engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. Any detention storage system located under pavement must be designed to AASHTO HS-25 loading standard. The Village's allowable release rate is 0.18 cfs/Ac. Use C=0.50 for pervious areas, C=0.95 for impervious areas. Use updated Bulletin 70 rainfall data.
 - a) Provide a stormwater narrative.
 - b) Provide the overflow route for the detention and the overall site.
 - c) Provide additional information on the underground detention system.
 - d) An MWRD permit is required.
15. The following comments pertain to the permeable pavers:
 - a) The paver system utilized must be classified by the manufacturer as a permeable paver system. Include a copy of the manufacturer's brochure showing the specifications for the paver system.
 - b) Provide a typical cross section showing the various layers.
16. Indicate on the demolition plan all existing utilities to be removed.

17. The fire lane must be a minimum of 26 ft wide. The heavy-duty pavement shown around the perimeter access road and the concrete apron meet the fire lane requirements. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Provide an additional exhibit showing a westbound fire truck entering the site from the shared access through the property to the west.
18. The existing site has a shared access with the property to the west that allows for westbound traffic off of Golf Road to access the site. Maintaining cross access is recommended, consider adjusting the alignment to enter the site at 90 degrees from the property line. Cross access would also be beneficial for emergency access to the site. Provide a copy of the cross-access agreement. In the event there is not an existing agreement, a cross-access agreement shall be provided
19. Golf Road is under the jurisdiction of the Illinois Department of Transportation (IDOT). A permit from IDOT is required for all work within the right-of-way.
20. Due to the raised median on Golf Road, the entrance will be right-in / right-out.
21. Detectable warning panels are required at the entrance.
22. The sidewalk shall carry through the entrance and the curb shall stop at the sidewalk.
23. The parking stalls adjacent to the sidewalk should have a parking bumper to prevent a vehicle overhanging the sidewalk. This could also be addressed by providing a curb or widening the sidewalk.
24. The concrete curb wall section A-A is shown on the east side of the property; however, the note indicates the curb wall is located in the southwest corner of the property near the detention basin. Clarify the location of the concrete curb wall and if any work is to take place on adjacent property.

Public Works:

25. Provide the maintenance access points for the 60" underground detention system.
26. Provide an operation and maintenance plan for the stormwater detention.
27. The existing wells on the property must be properly capped.
28. A domestic water service line with RPZ is required.
29. Attached is a diagram that must be used for the fire line meter pit

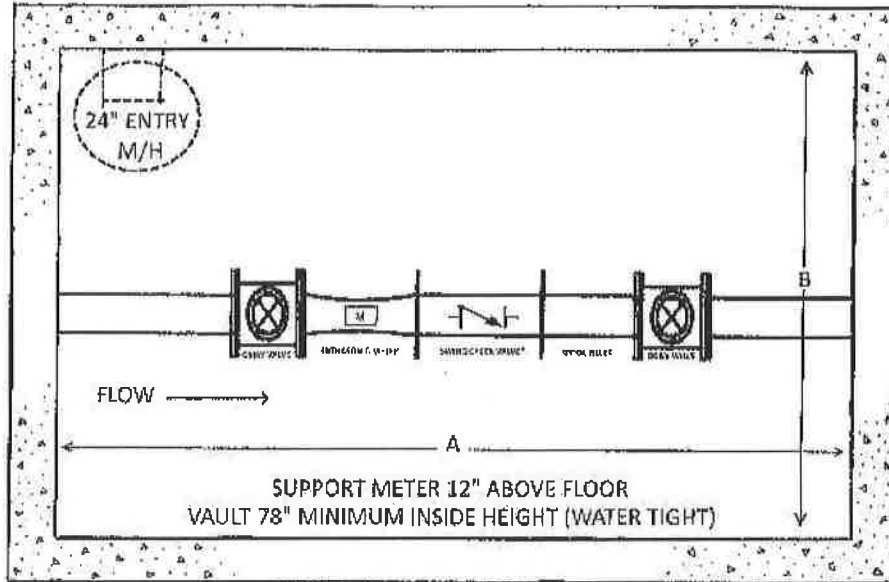

Michael L. Pagones, P.E. 12/5/22
Village Engineer Date

Attachments:

Fire Apparatus Turning Performance Analysis (1 page)

VILLAGE OF ARLINGTON HEIGHTS WATER METER PIT SPECIFICATIONS

METER SIZE	LENGTH "A"	WIDTH "B"	HEIGHT
3"	120"	60"	78"
4"	120"	60"	78"
6"	120"	72"	78"
8"	144"	84"	78"
10"	180"	96"	78"



* SWING CHECK VALVE IS ONLY REQUIRED WITH INTERCONNECTED MULTIPLE METER PITS TO PREVENT REVERSE FLOW. SWING CHECKS SHOULD BE SMITH COPPER BRAND OR EQUIVALENT QUALITY AND FLOW CHARACTERISTICS. UPDATED: 4-19-2022 MG

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Holladay Properties Self-Storage 401 W Golf Rd

Round 1 Review Comments

11/28/2022

1. Character of use:

The character of use is consistent with the area and is not a concern. Attached you will find the calls for service over the last year for our two existing Self-Storage facilities in that area; Public Storage (903 E Algonquin Rd) and Safe Guard Self Storage (523 W Algonquin Rd). The quantity and type of calls for service generated at both locations are typical for this type of business and are not a concern.

2. Are lighting requirements adequate?

Lighting should be up to Village of Arlington Heights code. The exterior of the building should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, and other criminal activity.

3. Present traffic problems?

The intersections of Golf Rd/Algonquin Rd and Golf Rd/Arlington Heights Rd are both top ten crash intersections. The proximity of this development to those intersections may create traffic issues. Additionally, Golf Rd is busy during both peak and non-peak hours, a traffic impact study for this project is recommended. This property poses some concerns with vehicle entering and leaving the property due to median placement in the roadway, lack of signaled intersection, and high risk of accident if a large moving truck or similar vehicle is attempting a left turn into or out of the parking lot. Right in/right out access is recommended. Due to the size of the facility, a general increase of vehicles to this property also poses an accident risk if left turns are permitted.

4. Traffic accidents at particular location?

See above.

5. Traffic problems that may be created by the development.

See above.

6. General comments:

- Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

- Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations and havens for illegal activities- theft, trespassing, vandalism, underage drinking, drug use, etc.
- Will the property have a perimeter fence with gate for vehicle access? Or is the parking lot public access? Perimeter definition and access control are essential to deter unwanted access to the facility. Utilize signage to clearly distinguish public access from private access if no perimeter gate is utilized.
- Emergency telephones or call boxes should be installed in the interior storage area for added safety.
- CPTED recommends one means of entry and exit for all vehicles. The less entrances there are, the easier it is to control the users and uses of the facility.
- Plantings higher than 3 feet should not be placed within 10 to 15 feet of entrances to prevent hiding spots, and mature trees should be pruned to 8 feet.
- Structural support elements should be round rather than rectangular. A round column allows for much greater visibility around the corners than a rectangular or square column.
- Elevators and stairwells should incorporate as much glass and high-visibility placement as structurally possible. Glass-walled elevators placed along the exterior of the building provide for good natural visibility by people on the street and within the facility.
- Lighting is an important aspect of CPTED. Lighting increases the amount and quality of natural surveillance. If people cannot see the activity, they cannot report the activity. Lighting can also deter those intending to conduct criminal/nuisance activity. Exterior lighting needs to be activated by sensor, timer or motion depending on the need and location.
- The interior of the building should be painted in light colors to increase reflectivity of the luminaries, which should use polycarbonate lenses for vandal- and break-resistance. The ceiling should be painted white to further increase the goal of reflectivity.
- CCTV is an essential part of CPTED and is highly recommended for self-storage type businesses and especially for the large-scale building proposed in this project. Signage indicating the use of video surveillance and monitoring is also highly recommended in conjunction with CCTV.

Address visibility:

- Directional signage located at the entry to the complex should be utilized, clearly indicating location of management office, covered drive through access and hundred blocks of numbered storage units.
- Include signage for “No Trespassing,” “No Loitering” and/or “No Solicitation.”
- Interior and exterior of storage facility space should utilize signage and increase visibility of addresses and storage unit numbers. Interior hallways and doorways should prominently/adequately display floor plans. Exterior of building should have directional signage indicating hundred blocks of storage units for first responders to access the closest door to an emergency. This is essential for first responders as well as persons unfamiliar with

the complex layout that may need emergency services. Lobby areas and storage complex should be equipped with interior signage indicating unit numbers and floor plans.

-For each individual storage unit within the building, there should be a prominent unit number displayed.

A-OJ #330
Alexandra Ovington, Crime Prevention Officer
Community Services Bureau

Approved by:

J. H. 583
Supervisor's Signature

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 22-019
 Petitioner: Donald Tomei - Holladay Properties

Owner: Hume Properties, LLC Animal Feeds & Needs

Contact Person: _____
 Address: _____

Phone #: _____
 Fax #: _____
 E-Mail: _____

P.I.N.# 08-16-200-077 thru -079
 Location: 401 W. Golf Rd.
 Rezoning: _____ Current: M-2 Proposed: _____
 Subdivision: _____
 # of Lots: 3 Current: 3 Proposed: 3
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: For: Self Storage in M-2 along Major Arterial Road
 Land Use: _____ Current: Mixed Industria
 Proposed: Self Storage
 Site Gross Area: 2.47 AC
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____


(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

Solid waste storage sites must comply with the following:

- Container Site
 - Area shall be of a sufficient size to easily accommodate the container.
 - The surface shall be paved, curbed and graded to the front to prevent accumulation of liquid.
 - Visual screening of the site shall be provided.
- Access to Container
 - Sufficient space to accommodate the turning requirements of the scavenger truck shall be provided.
 - Parking, fences, plantings, etc., shall be located so as to create no obstacles to service vehicles.

Sean Freres  11/17/22
 Environmental Health Officer Date

James McCalister  11/17/22
 Director Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. <u>22-015</u>	P.I.N.# <u>08-16-200-077 thru -079</u>
Petitioner: <u>Donald Tomei - Holladay Properties</u>	Location: <u>401 W. Golf Rd.</u>
_____	Rezoning: _____ Current: <u>M-2</u> Proposed: _____
_____	Subdivision: _____
Owner: <u>Hume Properties, LLC Animal Feeds & Needs</u>	# of Lots: <u>3</u> Current: <u>3</u> Proposed: <u>3</u>
_____	PUD: _____ For: _____
_____	Special Use: _____ For: _____
Contact Person: _____	Land Use Variation: <input checked="" type="checkbox"/> For: <u>Self Storage in</u>
Address: _____	<u>M-2 along Major Arterial Road</u>
_____	Land Use: _____ Current: <u>Mixed Industria</u>
Phone #: _____	Proposed: <u>Self Storage</u>
Fax #: _____	Site Gross Area: <u>2.47 AC</u>
E-Mail: _____	# of Units Total: _____
	1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

- | | <u>YES</u> | <u>NO</u> | |
|----|------------|-----------|---|
| 1. | _____ | _____ | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <u>X</u> | _____ | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | _____ | _____ | VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.) |
| 4. | _____ | <u>X</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.) |
| 5. | _____ | <u>X</u> | SUBDIVISION REQUIRED? |
| 6. | _____ | <u>X</u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.) |

Comments:

See attached comments

Sana Hussari 12-5-22
Date

Planning & Community Development Dept. Review

December 5, 2022



REVIEW ROUND 1

Project: Holladay Properties Self-Storage
397-401 W. Golf Rd.

Case Number: PC 22-015

Zoning:

7. The Plan Commission must review, and the Village Board must approve, the following actions:
- Land Use Variation to allow a Storage Facility located along a major arterial street.

General:

8. The proposed use is not allowed within the M-2 Zoning District and without proper site design, may not meet the standards for Land Use Variation approval. There are two primary site-related areas of concern relative to this project:
- Access to the site would be significantly enhanced with a connection through the neighboring property to the west. Such access should be further explored with the neighboring property owner. The Village has touched base with the neighboring property owner and they are open to continued discussions relative to this access. Provide an enhanced shared access connection to the property to the west which would allow for west bound traffic to enter the site and eliminate the proposed driveway on the subject property to provide a landscaped front entry. Elimination of the 8' wide auxiliary connection between the two sites should also occur.
 - The site layout does not contain sufficient greenspace and perimeter buffers. It appears that there is too much building and pavement for the property to properly lay out and reducing the width and length of the building by 10' would address a number of site planning issues. Please continue to explore methods to increase the greenspace and perimeter buffers (most notably on the western side of the site) such as through a reduction of pavement widths (where feasible), elimination of expansive paved areas and unnecessary parking, and a reduction to the size of the building.
9. Please clarify if the storage facility will allow 24-hour access outside of standard business hours.
10. Exterior storage shall be prohibited (e.g. boats, RV's, etc.). Rental of equipment and vehicles that are stored outside of the building shall not be allowed (truck rental, trailer/hitch rental, etc.). Please acknowledge this understanding.
11. Please revise the project description to include details on any green features/sustainable design elements of the proposed building and site. If none are proposed, please state such within the project narrative. Self storage sites are excellent candidates for rooftop solar panels.
12. Please ensure that all plans/documents revised as a result of these comments include a revision date.
13. Provide all resubmittal documents in a USB/flash drive along with the required number of hard copies.
14. All plans revised as part of the Design Commission review must be submitted as part of your Round 2 Plan Commission resubmission. If changes are required by the Design Commission as a result of their approval, the plans must be revised accordingly and should be resubmitted prior to Plan Commission consideration.

Building & Site:

15. Please revise the floorplan to include the following:

- a. Outline the portion of the building that will offer retail sales. Square footage of this area must be shown on the plans.
- b. Indicate which storage lockers will be used to house the dumpsters.

16. Identify any proposed ground mounted mechanical equipment (generators, transformers, utility pedestals etc.) on the site plan and landscape plan. These elements must be appropriately located and screened from view.

Traffic/Circulation/Parking:

17. Please provide a summary of all communication/coordination with IDOT with regards to the site access. Have formal plans been shared with IDOT or has any preliminary review by IDOT been completed? Please provide documentation of any preliminary IDOT review.
18. Provide details on the circulation within the motor court area which provides access to the rear overhead door and two parking stalls. Will traffic flow through this area be one-way? If so, show directionality on the site plan, along with the appropriate directional signage and pavement markings. If circulation is two-way, the drive aisle must be a minimum of 24' in width.
19. Three loading berths, each sized 10' x 50', are required. For the interior space on the western side of the building to be counted as the third loading berth, overhead clearance must be a minimum of 14' (Section 10.6-2). The proposed overhead doors appear to be only 12' in height.
20. Per code, two bike parking stalls are required. Please revise the site plans to show the location and number of bike parking stalls proposed or clarify if a variation is requested.

Prepared by: 

Holladay Properties Self Storage
401 W. Golf Rd
PC #22-015
December 2, 2022

Landscape Comments

- 1) Overall, the site consists of a large span of pavement. Explore reduction of the pavement along the east, west and south property line. Along the west property line the pavement abuts the property line and it is recommended that the pavement be pulled back to allow for landscaping. South of the loading bay it is recommended that the pavement be reduced by tapering or providing a radius in the corner southeast of the parking island. The amount of pavement should be reduced in order to maximize greenspace and landscape screening for the proposed use.
- 2) Opportunities should be explored for expanding the depth of the planting bed along the front (north) elevation. As proposed the planting bed is four feet in width and the depth of the pavement is 35 feet.
- 3) If the drive aisle on the adjacent property to the west cannot be utilized as part of the development, then please coordinate with the neighboring property owner so that turf can be restored in place of the drive.
- 4) Along the east property line the existing vegetation provides a dense screen. The existing vegetation is identified for removal and a dense screen/buffer should be put back in this area. It is recommended that evergreens be provided along the east property line. The mature height of the proposed landscaping must take into consideration the existing power lines along the east property line.
- 5) It is recommended that opportunities be explored for preserving the trees in the southwest corner adjacent to the detention basin.
- 6) A tree fee of \$4 per lineal foot for frontage must be provided as part of the building permit process and a landscape compliance bond of 30% of the estimated landscape cost.