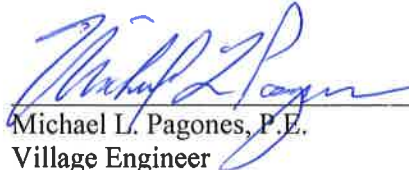


PLAN COMMISSION PC #22-015
Holladay Properties Self Storage
401 W Golf Road
Round 2

30. The petitioner's response to comments 11-13, 15, 18, 19, 21-23, 25-29 are acceptable.
31. The petitioner's response to comment no. 14 is noted.
 - a) The Preliminary Stormwater Report is acceptable.
 - b) Provide a cross section of the 60" Contech underground detention system.
 - i. The cross section should include the geotextile layer, bedding stone, backfill, and the heavy-duty pavement cross section.
 - ii. Include the HDPE membrane layer recommended by the manufacturer.
 - c) Provide a staging plan for the installation of the underground detention system, including the depth of excavation.
32. The petitioner's response to comment no. 16 is noted. The demolition plan calls for the sanitary sewer service to be removed to the property line; however, the site utility plan calls for a 22 ft section of 6" PVC to connect to the existing sanitary manhole.
 - a) The condition of the existing sanitary manhole should be verified.
 - b) Televis the 8" VCP sanitary sewer line and connection to the main to verify the condition before reusing it.
33. The petitioner's response to comment no. 17 is noted. In the event a shared access agreement is established, the modifications to the shared access should allow for the tower truck to access the site from eastbound Golf Road.
34. The petitioner's response to comment no. 20 is noted. Provide a "RIGHT TURN ONLY" sign and an arrow.
35. The petitioner's response to comment no. 24 is noted.
 - a) Provide additional cross sections.
 - b) Indicate the limits of the wall.
 - c) Provide additional spot elevations at the bottom of the wall, for the area between the bottom of the wall and the property line, and for the proposed swale.
 - d) The HWL for the system is at 709.36. With the exposed wall along the east side of the parking lot, there appears to be potential for water to bleed into the base and towards the concrete curb wall, potentially impacting the structural stability of the curb wall.
36. Show the Fire Department connection to the building.
37. The neighboring property to the west shall be notified before making the connection for the proposed fire hydrant. Village staff is reviewing internal records to verify if the public water main is located within an easement.
38. The neighboring property to the southeast shall be notified before making the connection to the storm sewer.

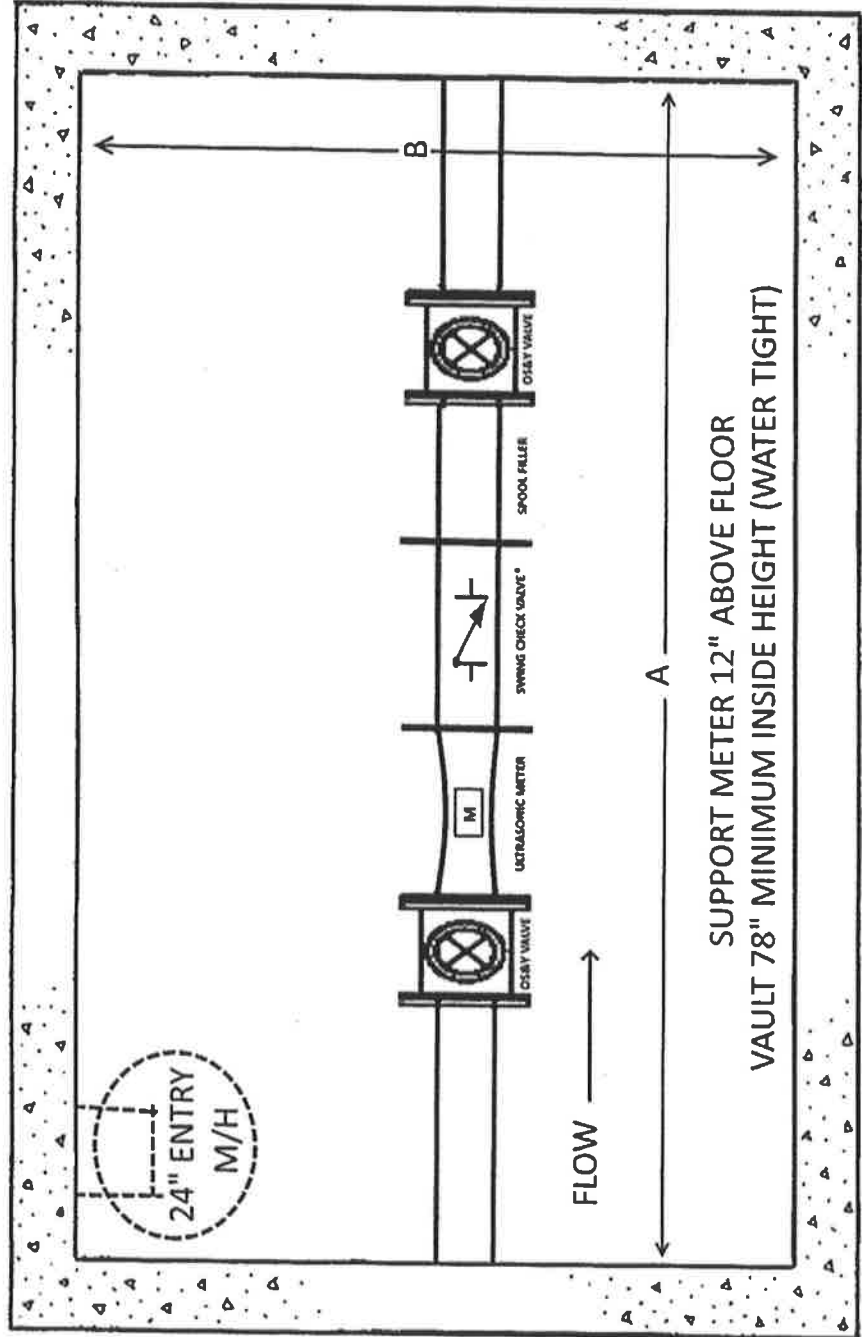
Public Works:

- 39. Install the new meter pit with new valves on the existing 6" service line to the fire hydrant.
- 40. Remove the old check valve in the existing vault.
- 41. Use the attached diagram for the fire line meter pit.

 12/28/22
Michael L. Pagones, P.E. Date
Village Engineer

VILLAGE OF ARLINGTON HEIGHTS WATER METER PIT SPECIFICATIONS

METER SIZE	LENGTH "A"	WIDTH "B"	HEIGHT
3"	120"	60"	78"
4"	120"	60"	78"
6"	120"	72"	78"
8"	144"	84"	78"
10"	180"	96"	78"



* SWING CHECK VALVE IS ONLY NEEDED WITH INTERCONNECTED MULTIPLE METER PITS TO PREVENT REVERSE FLOW.
 SWING CHECKS SHOULD BE SMITH COOPER BRAND OR EQUIVALENT QUALITY AND FLOW CHARACTERISTICS.

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Holladay Properties
401 W Golf Rd

Round 2 Review Comments

12/26/2022

- 1. Character of use:**
Nothing further.
- 2. Are lighting requirements adequate?**
Nothing further
- 3. Present traffic problems?**
Nothing further.
- 4. Traffic accidents at particular location?**
Nothing further.
- 5. Traffic problems that may be created by the development.**
Nothing further.
- 6. General comments:**
Nothing further.

A. J. #330
Alexandra Ovington, Crime Prevention Officer
Community Services Bureau

Approved by:

[Signature] 587
Supervisor's Signature

Planning & Community Development Dept. Review

December 22, 2022



REVIEW ROUND 2

Project: Holladay Properties Self-Storage
397-401 W. Golf Rd.

Case Number: PC 22-015

21. The response to the following comments is acceptable: #8b, #10, #15a, #18, and #19.
22. The response to comment #8a is noted. Staff continues to encourage a connection to the property at the west, which would be beneficial for access to the Holladay site and also may be required for fire apparatus purposes.
23. No response was provided to comment #9. To reiterate, please clarify if the storage facility will allow 24-hour access outside of standard business hours.
24. The response to comment #11 is noted, however, the project narrative was not revised. Please revise accordingly and provide an update on the discussions regarding solar power.
25. The response to comment #12 is acceptable. Please provide revision dates on any plans that are updated as a result of the Round 2 comments.
26. No response was provided to comment #14. Please make sure that your response to these comments includes revised building elevations and renderings to reflect the outcome of the Design Commission meeting.
27. The response to comment #15b is noted. Will garbage be collected within the interior loading bay or on the exterior of the site? If on the exterior of the site, please outline where the garbage bins will be stored on pick-up day.
28. The response to comment #16 is noted. Your response indicated that no exterior transformer or ground mounted mechanical equipment will be necessary. Please be aware that if these elements are determined to be necessary upon development of detailed construction plans, they must be appropriately sited and screened by landscaping at the discretion of the Village.
29. The response to comment #17 is noted. When are preliminary comments from IDOT expected?
30. The response to comment #20 is noted. Please be aware that the landscape plan did not pick up the newly drawn bike parking stalls. Additionally, two bike parking stalls are required and the engineering plans did not indicate how many bike parking stalls will be provided. This can be addressed at time of building permit.
31. Please provide details on the finishing of the exposed exterior of the concrete curb wall. It is recommended that a stamped stone pattern be implemented.

Prepared by:

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 22-019
 Petitioner: Donald Tomei - Holladay Properties

 Owner: Hume Properties, LLC Animal Feeds
& Needs

 Contact Person: _____
 Address: _____

 Phone #: _____
 Fax #: _____
 E-Mail: _____

P.I.N.# 08-16-200-077 thru -079
 Location: 401 W. Golf Rd.
 Rezoning: _____ Current: M-2 Proposed: _____
 Subdivision: _____
 # of Lots: 3 Current: 3 Proposed: 3
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: For: Self Storage in
M-2 along Major Arterial Road
 Land Use: _____ Current: Mixed Industria
 Proposed: Self Storage
 Site Gross Area: 2.47 AC
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

LANDSCAPE & TREE PRESERVATION:

	<u>YES</u>	<u>NO</u>
1. Complies with Tree Preservation Ordinance	<u>X</u>	_____
2. Complies with Landscape Plan Ordinance	<u>X</u>	_____
3. Parkway Tree Fee Required (See below.)	<u>X</u>	_____

Comments:

No comments



 Coordinator 12/19/22 Date