

**PLAN COMMISSION PC #22-015
Holladay Properties Self Storage
401 W Golf Road
Round 2**

CivWorks Responses in red italics dated 01-13-2023

30. The petitioner's response to comments 11-13, 15, 18, 19, 21-23, 25-29 are acceptable.
Acknowledged.
31. The petitioner's response to comment no. 14 is noted.
- a) The Preliminary Stormwater Report is acceptable.
Acknowledged.
 - b) Provide a cross section of the 60" Contech underground detention system.
 - 1. The cross section should include the geotextile layer, bedding stone, backfill, and the heavy-duty pavement cross section.
 - ii. Include the HDPE membrane layer recommended by the manufacturer.
There is a typical cross section on sheet C4.1 for the Contech pipe system that shows all the requested elements. A more detailed cross section with elevations and added information will be included on the final permit construction plans. We are currently also in conversations with Contech regarding the HDPE liner. It's been our experience that they don't necessarily recommend it for the perforated pipe system as the water pressures can push against it and potentially cause issues with shifting backfill. If it is determined that they recommend the install in this particular instance, we will include it with the final design.
 - c) Provide a staging plan for the installation of the underground detention system, including the depth of excavation.
A staging plan is enclosed for your review.
32. The petitioner's response to comment no. 16 is noted. The demolition plan calls for the sanitary sewer service to be removed to the property line; however, the site utility plan calls for a 22 ft section of 6" PVC to connect to the existing sanitary manhole.
- a) The condition of the existing sanitary manhole should be verified.
We have visually inspected the existing sanitary manhole and the condition appears to be acceptable for a connection.
 - b) Televising the 8" VCP sanitary sewer line and connection to the main to verify the condition before reusing it.
The developer will coordinate the televising of the existing sewer line to verify condition prior to permit approval.
33. The petitioner's response to comment no. 17 is noted. In the event a shared access agreement is established, the modifications to the shared access should allow for the tower truck to access the site from eastbound Golf Road.
Acknowledged.
34. The petitioner's response to comment no. 20 is noted. Provide a "RIGHT TURN ONLY" sign and an arrow.
The Right Turn Only sign and arrow have been added.
35. The petitioner's response to comment no. 24 is noted.
- a) Provide additional cross sections.
The typical cross section provided is representative of most locations where wall will be needed. Additional cross sections will be provided at the time of final permit submittal along with the required structural design of the wall.
 - b) Indicate the limits of the wall.
The anticipated limits of the retaining wall are indicated on the grading plan Sheet C5.0.
 - c) Provide additional spot elevations at the bottom of the wall, for the area between the bottom of the

Additional ground spot elevations have been added. Note that the swale has been removed as it might not be constructible due to the request that we maintain the existing vegetation as much as possible. The intent would be to construct the wall with minimal disturbance to the existing ground along the property line in order to establish the new vegetation.

- d) The HWL for the system is at 709.36. With the exposed wall along the east side of the parking lot, there appears to be potential for water to bleed into the base and towards the concrete curb wall, potentially impacting the structural stability of the curb wall.

We do not believe this will be a major concern as the HWL is not expected to be a constant and only come into play during major (100-year) storm events. We will however work with the structural engineer on this concern and determine the best design option to mitigate the risks.

36. Show the Fire Department connection to the building.

The Fire Department Connection has been added to the plans near the main entrance and is shown on the Utility Plan Sheet C4.0.

37. The neighboring property to the west shall be notified before making the connection for the proposed fire hydrant. Village staff is reviewing internal records to verify if the public water main is located within an easement.

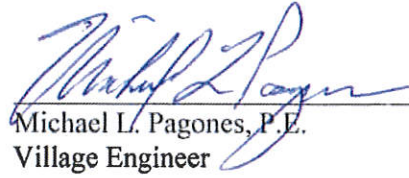
Acknowledged. The neighboring property will be notified prior to the connection being made. Please forward any easement records that might be available to our attention.

38. The neighboring property to the southeast shall be notified before making the connection to the storm sewer.

Acknowledged. The neighboring property will be notified before making the connection to the storm sewer.

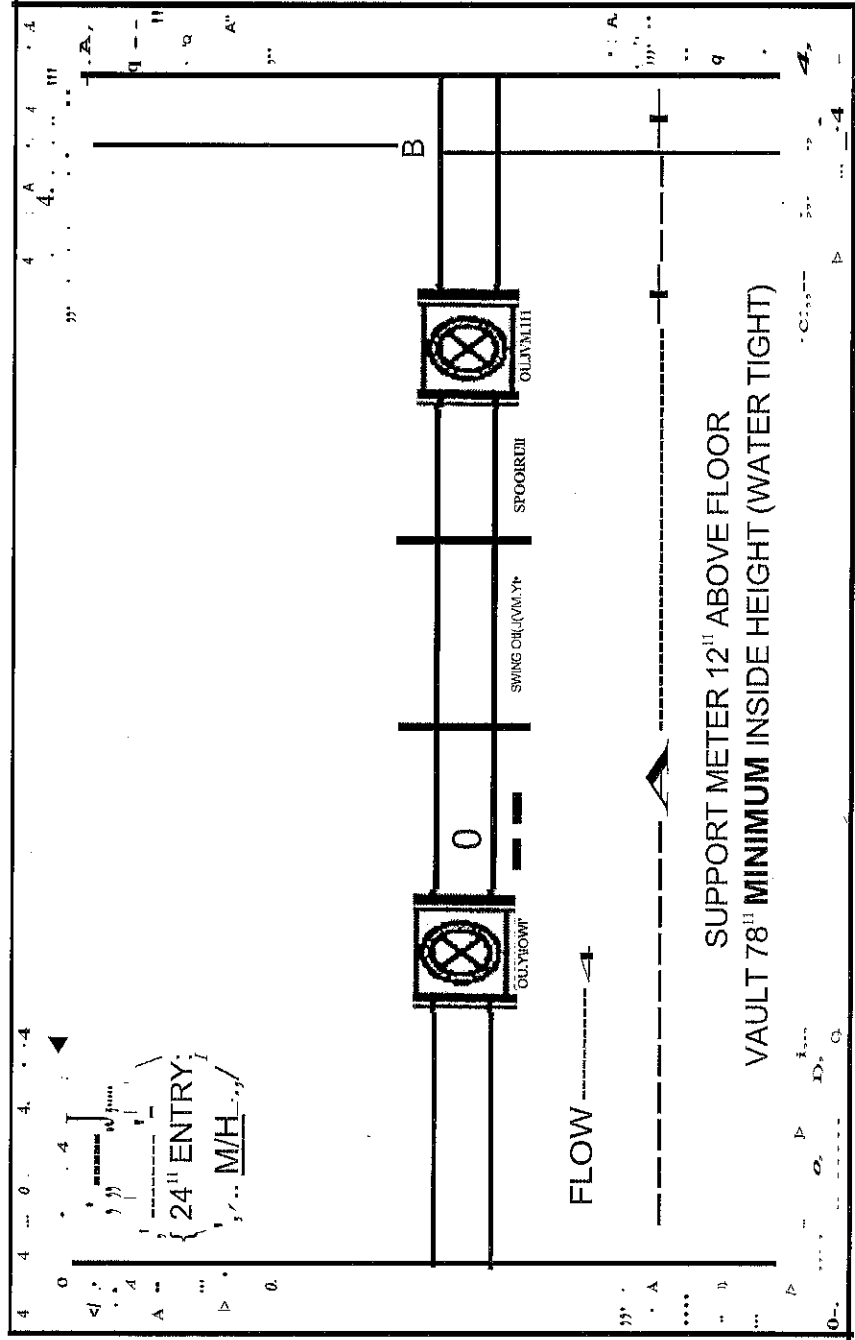
Public Works:

39. Install the new meter pit with new valves on the existing 6" service line to the fire hydrant.
The new fire meter pit location has been adjusted as requested.
40. Remove the old check valve in the existing vault.
The old check valve is called out to be removed.
41. Use the attached diagram for the fire line meter pit.
The fire line meter pit diagram has been updated on Sheet C6.1.

 12/28/22
Michael L. Pagones, P.E. Date
Village Engineer

VILLAGE OF ARLINGTON HEIGHTS WATER METER PIT SPECIFICATIONS

METER SIZE	LENGTH "A"	WIDTH "B"	HEIGHT
3"	120"	60"	78"
4"	120"	60"	78"
6"	120"	72"	78"
8"	144"	84"	78"
10"	180"	96"	78"



- SWING CHECK VALVE IS ONLY NEEDED WITH INTERCONNECTED MULTIPLE METER PITS TO PREVENT REVERSE FLOW.
 SWING CHECKS SHOULD BE SMITH COOPER BRAND OR EQUIVALENT QUALITY AND FLOW CHARACTERISTICS. UPDATED 4-13-2022 MG



Arlington Heights Fire Department Plan Review Sheet

P. C. Number 22-015

Project Name

Holladay Properties Self Storage

Project Location

401 S Golf Rd

Planning Department Contact

Sam Hubbard

General Comments

Round 2 comments:

Please provide a response to the following from round 1.

- Provide an approved water supply capable of supplying the required fire flow for fire protection shall be provided.

It is our understanding that the existing water service line that we are tying into has adequate flow required for fire protection.

Also, please provide a diagram showing the planned fire hydrant locations. Documents provided did not provide a clear indication of their location.

There are two hydrants that will be serving the property. An existing hydrant that is to remain and will end up in the parking island of the angled parking toward the south of the site. The second hydrant is a proposed hydrant towards the north of the building that will be within 50' of the proposed F.D.C. connection near the front entrance of the building.

Knox Box Information

<https://www.knoxbox.com/Products/Commercial-KnoxBoxes>

NOTE: PLAN IS CONCEPTUAL ONLY SUBJECT TO DETAILED PLAN REVIEW

Date 12/6/22

Reviewed By: D/C Roberts

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Holladay Properties
401 W Golf Rd

Round 2 Review Comments

12/26/2022

1. **Character of use:**
Nothing further.
2. **Are lighting requirements adequate?**
Nothing further
3. **Present traffic problems?**
Nothing further.
4. **Traffic accidents at particular location?**
Nothing further.
5. **Traffic problems that may be created by the development.**
Nothing further.
6. **General comments:**
Nothing further.

A. Oj #330

Alexandra Ovington, Crime Prevention Officer
Community Services Bureau

Approved by:

[Signature] 582
Supervisor's Signature

Planning & Community Development Dept. Review

December 22, 2022



REVIEW ROUND 2

Project: Holladay Properties Self-Storage
397-401 W. Golf Rd.

Case Number: PC 22-015

21. The response to the following comments is acceptable: #8b, #10, #15a, #18, and #19.

Noted.

22. The response to comment #8a is noted. Staff continues to encourage a connection to the property at the west, which would be beneficial for access to the Holladay site and also may be required for fire apparatus purposes.

Detailed information has been provided in our cover letter.

23. No response was provided to comment #9. To reiterate, please clarify if the storage facility will allow 24-hour access outside of standard business hours.

Our storage facility will not offer 24-hour access outside of normal business hours.

24. The response to comment #11 is noted, however, the project narrative was not revised. Please revise accordingly and provide an update on the discussions regarding solar power

An updated project narrative has been provided along with this submittal. We have contacted several solar companies to explore this possibility and are generally supportive of this idea. We intend to evaluate this further with our MEP engineer, and assuming it proves to be feasible, will implement solar in our Construction Drawings set. One provider from DRE, Inc. has mentioned that the facility is "ideal for solar", and we plan to continue this further with them. Further discussion on 1/13/23.

25. The response to comment #12 is acceptable. Please provide revision dates on any plans that are updated as a result of the Round 2 comments.

Noted. All updated plans submitted as result of Round 2 comments have been dated to 1/13/23.

26. No response was provided to comment #14. Please make sure that your response to these comments includes revised building elevations and renderings to reflect the outcome of the Design Commission meeting.

All plans have been updated to reflect the recommendations of the Design Commission:

- Horizontal metal panel has been mirrored on all 3 NW corners of the building.

- **Brick knee wall extends along the entire West façade of the building.**
- **Metal panel stops at metal awning and knee walls at NW corners, and brick sits below.**
- **Full Height brick has been incorporated along the East façade of building extending to first entrance.**

27. The response to comment #15b is noted. Will garbage be collected within the interior loading bay or on the exterior of the site? If on the exterior of the site, please outline where the garbage bins will be stored on pick-up day.

Garbage will be collected at a loading zone on the East portion of the property. Containers will be stored in the facility aside from on loading day, when they will sit on the loading bay identified on the plans.

28. The response to comment #16 is noted. Your response indicated that no exterior transformer or ground mounted mechanical equipment will be necessary. Please be aware that if these elements are determined to be necessary upon development of detailed construction plans, they must be appropriately sited and screened by landscaping at the discretion of the Village.

Noted, will comply with the above requirement when detailed construction plans are finalized.

29. The response to comment #17 is noted. When are preliminary comments from IDOT expected?

Preliminary comments have been received from IDOT. They are conceptually in agreement with the proposed access drive in the event that an access easement agreement cannot be reached with the property owner to the west.

30. The response to comment #20 is noted. Please be aware that the landscape plan did not pick up the newly drawn bike parking stalls. Additionally, two bike parking stalls are required, and the engineering plans did not indicate how many bike parking stalls will be provided. This can be addressed at time of building permit.

The proposed bike parking area has capacity for parking two bicycles. A note has been added to the site dimensional plan to clarify that. The landscape plan has also been updated to reflect the bike parking stall area.

31. Please provide details on the finishing of the exposed exterior of the concrete curb wall. It is recommended that a stamped stone pattern be implemented.

A note has been added to the concrete curb wall typical section on sheet C5.0 indicating this requirement.

PETITIONER'S APPLICATION- ARLINGTON HEIGHTS PLAN COMMISSION

Petition#: P.C. z.i.o'17
 Petitioner: Donald Tomei - Holladay Properties

Owner: Hume Properties, LLC Animal Feeds & Needs

Contact Person: _____
 Address: _____

Phone#: _____
 Fax#: _____
 E-Mail: _____

P.I.N.# 08-16-200-077 thru -079
 Location: 401 W. Golf Rd.
 Rezoning: ___ Current: M-2 Proposed: ___
 Subdivision: _____
 # of Lots: 3 Current: 3 Proposed: 3
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: v' For: Self Storage in M-2 along Major Arterial Road
 Land Use: _____ Current: Mixed Industria
 Proposed: Self Storage
 Site Gross Area: .24⁰⁰⁰⁰7 AC
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

LANDSCAPE & TREE PRESERVATION:

- 1. Complies with Tree Preservation Ordinance
- 2. Complies with Landscape Plan Ordinance
- 3. Parkway Tree Fee Required will provide.
 (See below.)

	<u>YES</u>	<u>NO</u>
1.	<u>X</u>	
2.	<u>K</u>	
3.	<u>X</u>	

Comments:

No comments


 Coordinator

12/19/22
 Date