VILLAGE OF	F ARLINGTON HEIGHTS
ORDINAN	NCE NO. 2023
GRANTING VARIATIO AT GREENBRIE	DING A SPECIAL USE PERMIT AND INS FOR A BUILDING EXPANSION ER ELEMENTARY SCHOOL 0 N. Verde Drive)
ADOPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGH THIS DAY OF, 2023.	HTS
Published in pamphlet form by the authority of the President and Board of Trustees of the Village of Arlington Heights, Cook County, Illinois this	
Village Clerk	

AN ORDINANCE AMENDING A SPECIAL USE PERMIT AND GRANTING VARIATIONS FOR A BUILDING EXPANSION AT GREENBRIER ELEMENTARY SCHOOL (2330 N. Verde Drive)

WHEREAS, Arlington Heights School District 25 ("Applicant") is the owner of record of that certain property located in the R-3 One Family Dwelling District ("R-3 District") commonly known as 2330 N. Verde Drive, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance ("Property"); and

WHEREAS, the Property is currently used for an elementary school, and is improved with an elementary school building, parking lots, and other related improvements (collectively, the "Existing Improvements"); and

WHEREAS, on September 18, 2017, the President and Board of Trustees adopted Ordinance No. 17-035, granting, among other things, a special use permit for the operation of an elementary school on the Property, a variation from the side yard setback requirements, and a variation from the minimum number of off-street parking spaces required, to allow 75 spaces on the Property ("Existing Special Use Permit"); and

WHEREAS, the Applicant desires to expand the elementary school building on the Property and make other modifications to the Existing Improvements (collectively, the "*Proposed Improvements*"); and

WHEREAS, pursuant to Section 5.5-1 of "The 2002 Comprehensive Amendment of the Zoning Ordinance of the Village of Arlington Heights," as amended ("Zoning Code"), the Proposed Improvements may only be constructed and used on the Property upon issuance by the Village Board of Trustees of an amended special use permit therefor; and

WHEREAS, pursuant to Section 6.6-5.1 of the Zoning Code, overhanging eaves may not project more than two and a half feet into a required front yard setback; and

WHEREAS, the Applicant desires to construct a portion of the eaves included in the Proposed Improvements to project three feet into the required front yard setback, in violation of Section 6.6-5.1 of the Zoning Code; and

WHEREAS, pursuant to Section 10.4-4 of the Zoning Code, upon implementation of the Proposed Improvements, an additional 11 parking spaces will be required on the Property; and

WHEREAS, pursuant to Sections 8 and 12 of the Zoning Code, the Applicant has filed an application for approval of: (i) an amendment to the Existing Special Use Permit to permit the construction and use of the Proposed Improvements on the Property; (ii) a variation from Sections 6.6-5.1 of the Zoning Code to permit the construction of the Proposed Improvements on the Property; and (iii) a variation from the minimum parking spaces requirement in Section 10.4 of the Zoning Code to allow the Proposed Improvements with 75 parking spaces on the Property, where the Zoning Code requires 86 parking spaces on the Property (collectively, the "*Requested Relief*"); and

WHEREAS, a public hearing of the Plan Commission of the Village to consider approval of the Requested Relief was duly advertised in the *Daily Herald* on March 28, 2023, and held on April 12, 2023; and

WHEREAS, on April 12, 2023, the Plan Commission made findings and recommendations in support of the Requested Relief, with conditions; and

WHEREAS, the President and Board of Trustees have determined that the Requested Relief meets the required standards for special use permits and variations as set forth in Sections 8.5 and 12.2 of the Zoning Code; and

WHEREAS, the President and Board of Trustees have determined that it will serve and be in the best interest of the Village to grant the Requested Relief, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

- SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.
- SECTION 2. GRANT OF SPECIAL USE PERMIT AMENDMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 8 of the Zoning Code and the home rule powers of the Village, the Village hereby grants an amendment to the Existing Special Use Permit to the Applicant for the construction and use of the Proposed Improvements on the Property.
- SECTION 3. GRANT OF VARIATIONS. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 12 of the Zoning Code and the home rule powers of the Village, the Village hereby grants the following variations to the Applicant in connection with the Proposed Improvements of the Property:
 - A. <u>Permitted Obstructions</u>. A variation from Section 6.6-5.1 of the Zoning Code to allow the eaves portion of the Proposed Improvements on the southwest side of the elementary school building fronting Roanoke Road to encroach into the front yard setback, from up to two and a half feet to up to three feet.
 - B. <u>Parking Stalls</u>. A variation from Section 10.4-4 of the Zoning Code to decrease the number of required parking spaces on the Property, from 86 spaces to 75 spaces.

SECTION 4. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Code, the approvals granted pursuant to Sections 2 and 3 of this Ordinance are hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. <u>Compliance with Regulations</u>. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and the Property must comply at all times with all applicable Federal, State, and Village statutes, codes, ordinances, and regulations, as the same have been or may be amended from time to time.
- B. <u>Compliance with Plans</u>. Except for minor changes and site work approved by the Village Director of Building & Life Safety (for matters within their permitting authority) in accordance with all applicable Village standards, and except as may be approved pursuant to Section 4.C of this Ordinance, the development, use, operation, and maintenance of the

Proposed Improvements and of the Property must be substantially compliant with the following plans:

- 1. The Site Plan, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of March 1, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit B;
- 2. The Floor Plans, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of February 3, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit C;
- 3. The Roof Plan, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of December 5, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit D;
- 4. The Building Elevations / Color Rendering, prepared by STR Partners, LLC consisting of one sheet, with a last revision date of December 5, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit E:
- 5. The Greenbrier School Addition and Renovations plans and drawings, prepared by Eriksson Engineering Associates, Ltd. consisting of 14 sheets, with a last revision date of February 28, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit F;
- 6. The Landscape Plan, prepared by Eriksson Engineering Associates, Ltd. consisting of two sheets, with a last revision date of February 3, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit G; and
- 7. The Site Plan Photometric Calculations, prepared by STR Partners, LLC consisting of 1 sheet, with a last revision date of February 2, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit H.
- C. Parking Demand. If enrollment at the elementary school on the Property exceeds or is projected to exceed 406 students within the expanded building, the Applicant must promptly provide written notice to the Village and demonstrate, to the satisfaction of the Village Manager, that adequate on-site parking can accommodate peak demand and that drop-off and pick-up operations will not create unsafe vehicular or pedestrian movements. Thereafter, the Applicant must either: (1) implement improvements on the Property as may be necessary, in the determination of the Village Manager, to accommodate the increased vehicular traffic and parking generated by the increased enrollment; or (2) obtain approval of the Board of Trustees of appropriate amendments to the special use permit granted pursuant to this Ordinance.
- D. <u>Drop-Off and Pick-Up Coordination</u>. The Applicant will coordinate and work with the Village and neighbors of the Property regarding traffic and safety issues related to student drop-off and pick-up activity within the vicinity of the Property.
- E. <u>Stormwater Information</u>. The Applicant must provide the Village with stormwater information necessary to verify compliance with all Metropolitan Water Reclamation District of Greater Chicago and Village regulations to the satisfaction of the Village.

- F. <u>Design Commission</u>. The Applicant must comply with all required conditions imposed by the Village Design Commission at its meeting on February 28, 2023.
- SECTION 5. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded on title to the Property with the Cook County Clerk's Recording Division. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon the Applicant and each of its heirs, representatives, successors, and assigns.
- SECTION 6. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approvals granted in Sections 2 and 3 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approvals granted in Sections 2 and 3 of this Ordinance unless they first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the R-3 District and the applicable provisions of the Village Code, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such enforcement action as may be appropriate under the circumstances.
- SECTION 7. AMENDMENTS. Any amendments to the approvals granted in Sections 2 or 3 of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code.
- SECTION 8. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 9. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
 - 1. Passage by the Village President and Board of Trustees in the manner required by law; and
 - 2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of Exhibit I attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.
- B. In the event the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 9.A.2 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

Village Clerk	
ATTEST:	
	Village President
	,,
PASSED AND APPROVED THIS	day of , 2023
NAYS:	
AYES:	

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

THAT PART OF LOT 200 IN GREENBRIER IN THE VILLAGE GREEN, UNIT NO. 5, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND A RESUBDIVISION OF PART OF LOT 11 IN GEORGE KIRCHHOFF ESTATE SUBDIVISION OF PART OF SECTIONS 12 AND 13, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTIONS 7 AND 18, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF ARLINGTON HEIGHTS, WHEELING TOWNSHIP, COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 200; THENCE EASTWARD ALONG THE NORTH LINE OF SAID LOT 200, N 89°51′15″ E, A DISTANCE OF 489.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 200; THENCE SOUTHWARD ALONG THE EAST LINE OF SAID LOT 200, BEING THE WEST LINE OF VERDE DRIVE, S 00°08′45″ E, A DISTANCE OF 163.00 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHWARD ALONG THE WEST LINE OF VERDE DRIVE, BEING A CURVED LINE, CONVEXED TO THE EAST, OF 334.77 FEET IN RADIUS, FOR AN ARC LENGTH OF 75.16 FEET, THENCE N 89°37′35″ W, A DISTANCE OF 481.67 FEET TO A POINT ON THE WEST LINE LOT 200 AFORESAID; THENCE NORTHWARD ALONG THE SAID WEST LINE OF LOT 200, N 00°06′50″ E, A DISTANCE OF 233.16 FEET TO THE POINT OF BEGINNING.

Commonly known as: 2330 N. Verde Drive, Arlington Heights, Illinois.

PIN: 03-18-112-003

EXHIBIT B

SITE PLAN

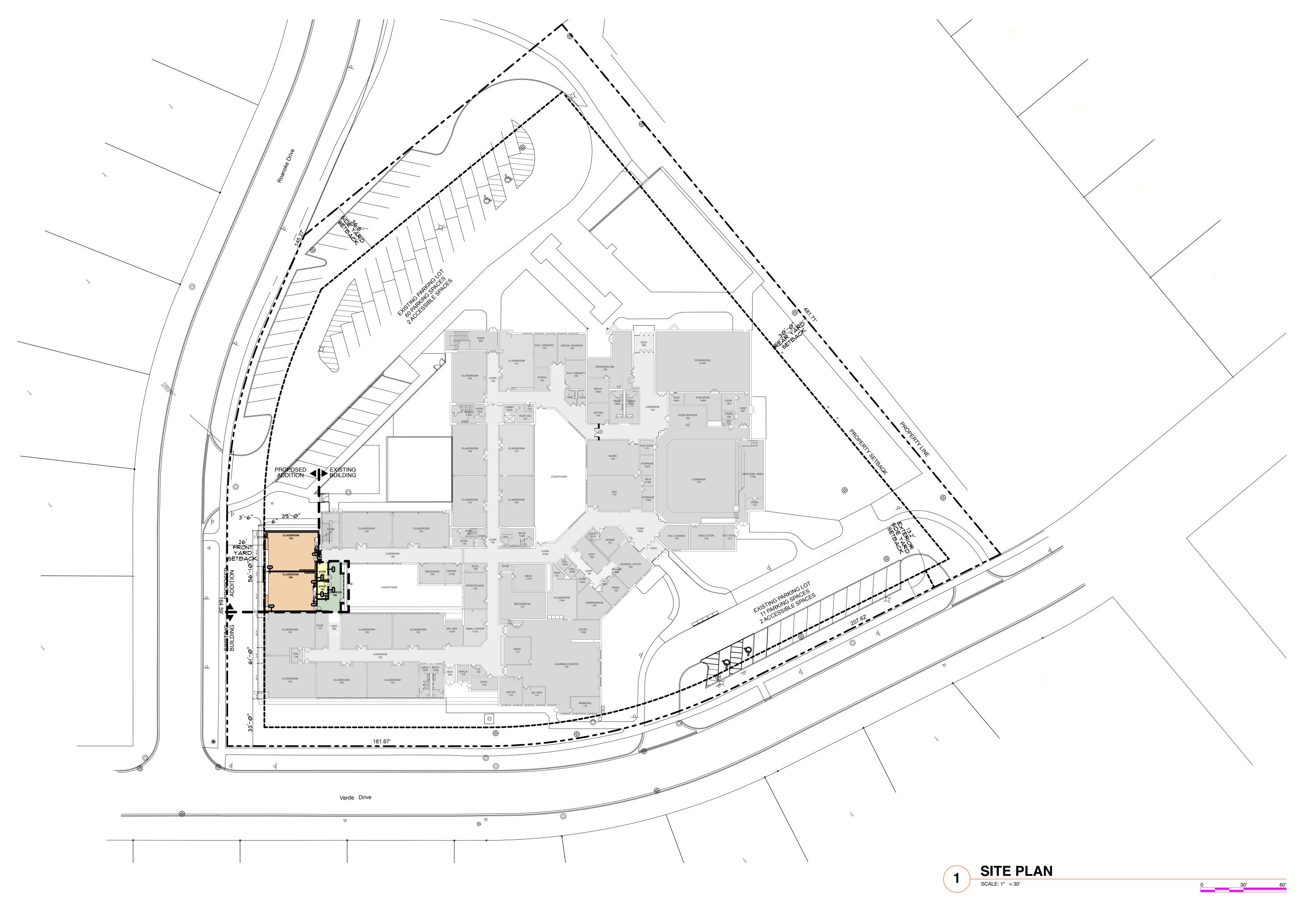






EXHIBIT C

FLOOR PLANS

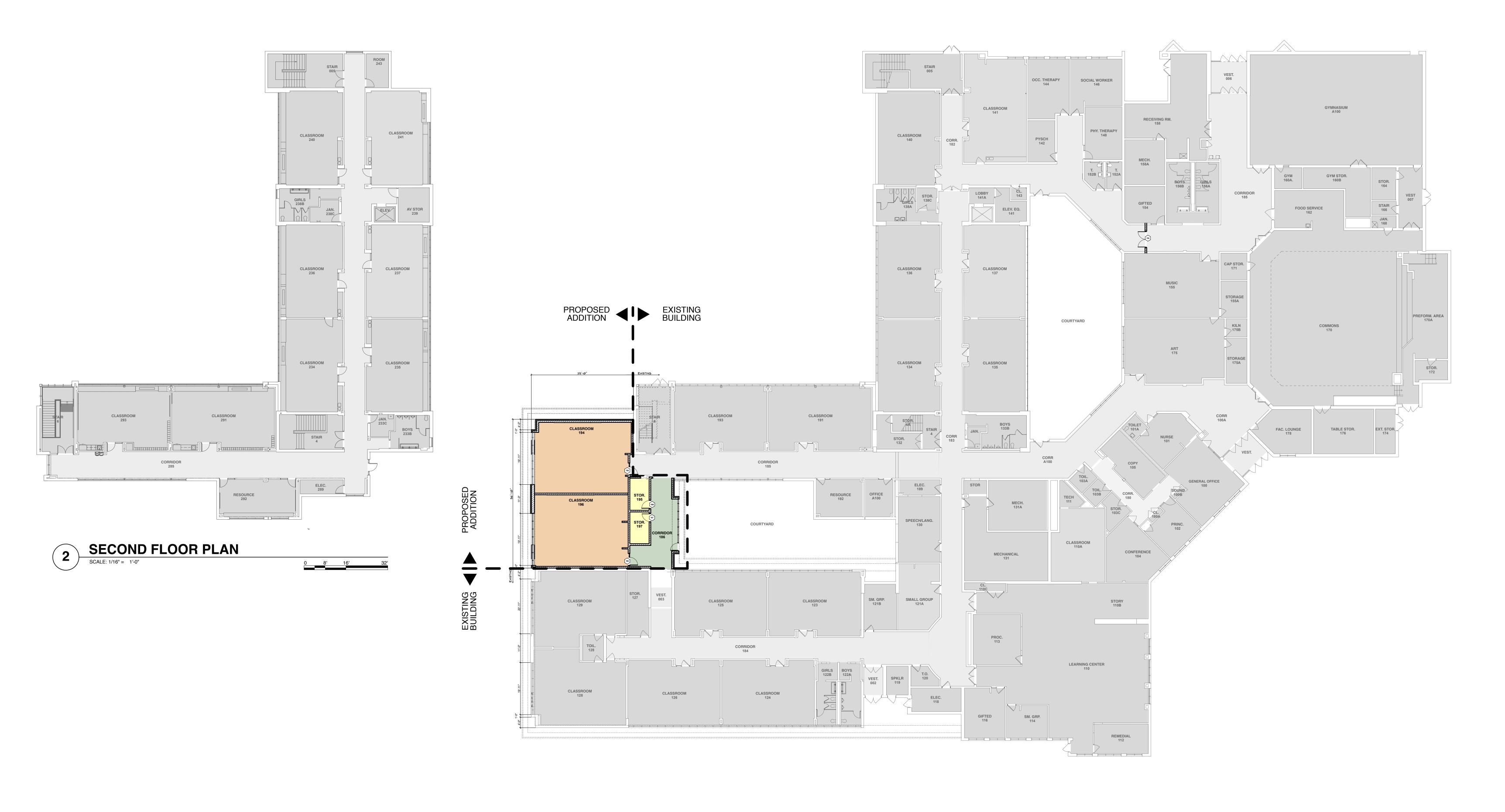




EXHIBIT D

ROOF PLAN

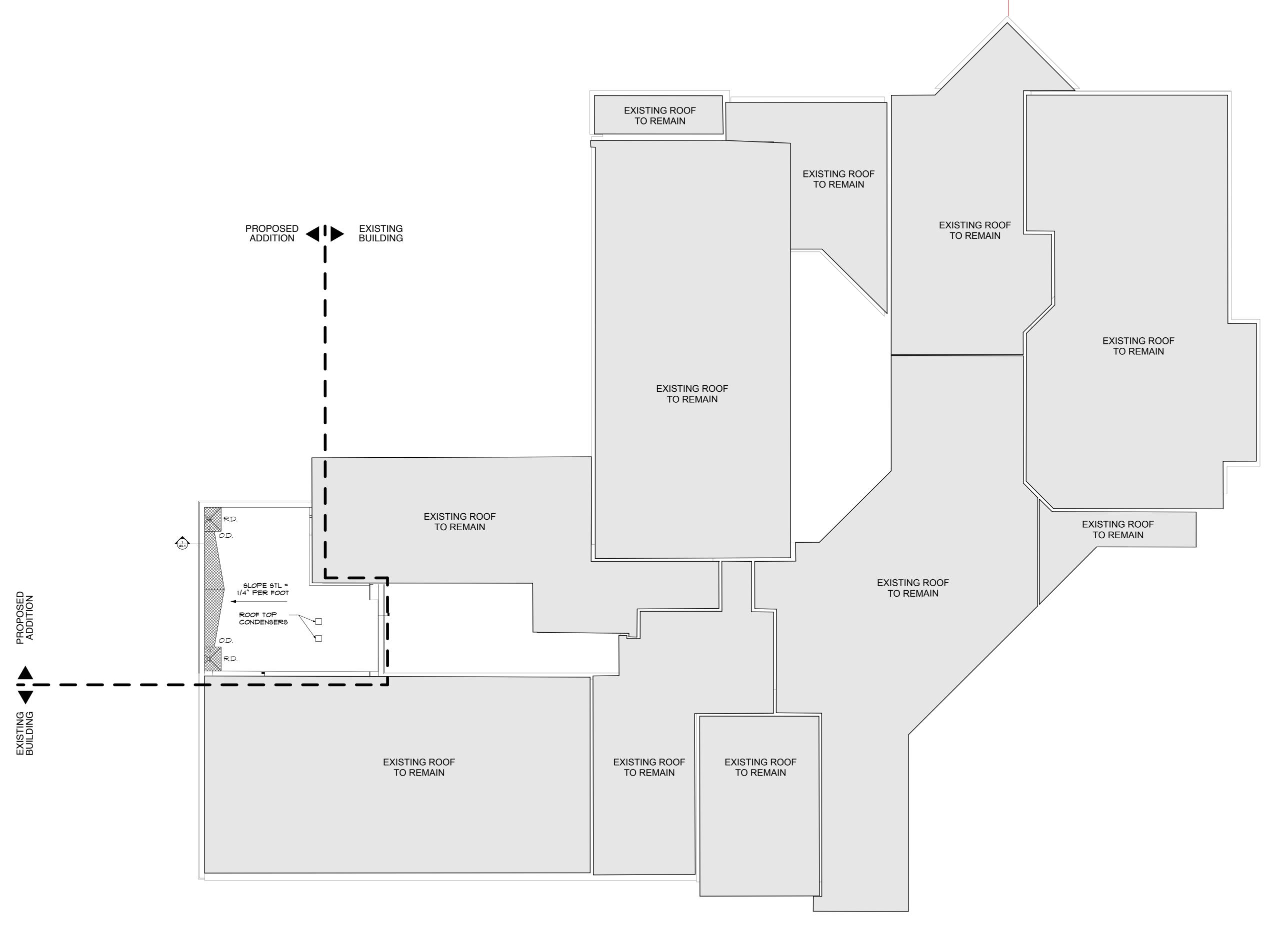


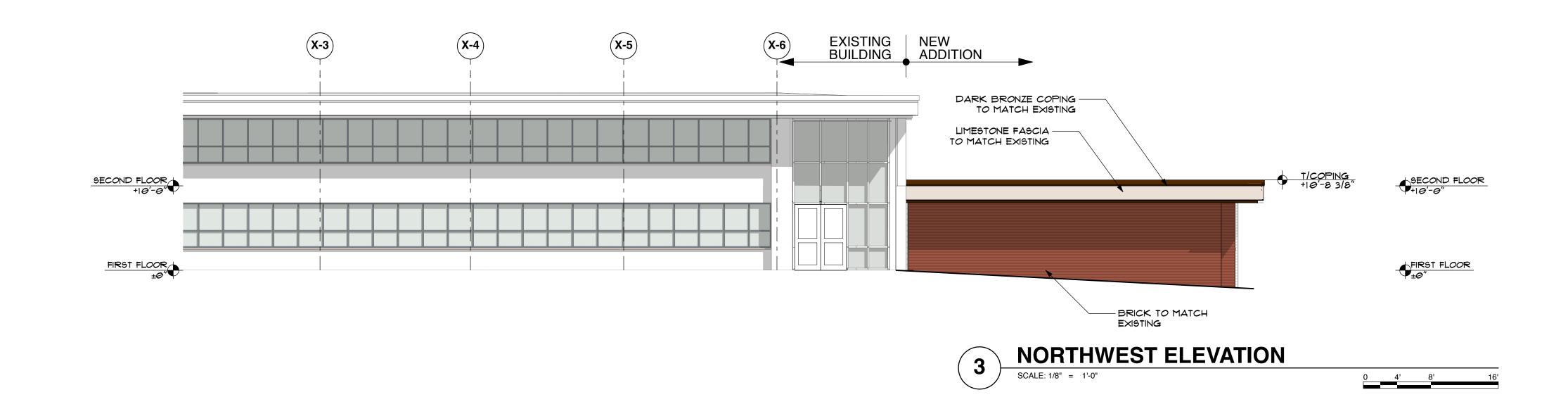


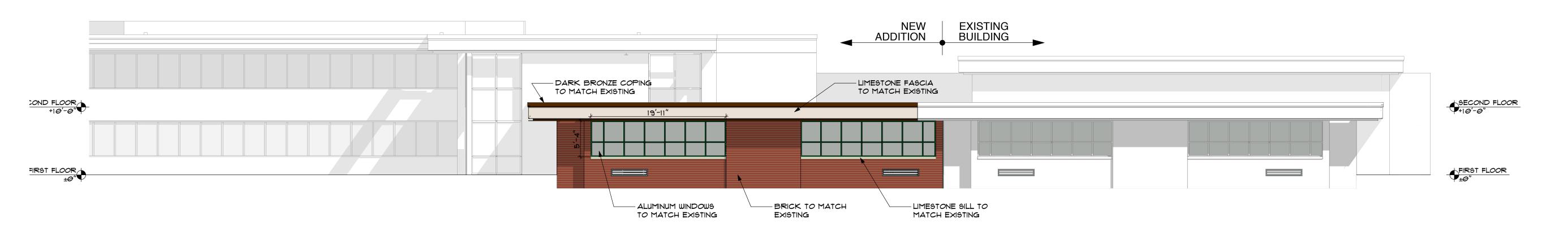




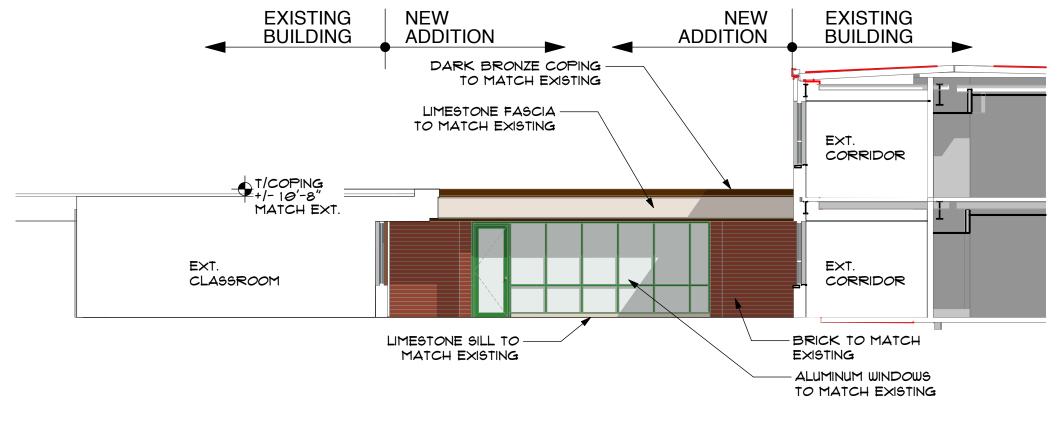
EXHIBIT E

BUILDING ELEVATIONS / COLOR RENDERING











BUILDING ELEVATIONS/COLOR RENDERING

EXHIBIT F

GREENBRIER SCHOOL ADDITION AND RENOVATIONS PLANS AND DRAWINGS

GREENBRIER SCHOOL ADDITION AND RENOVATIONS

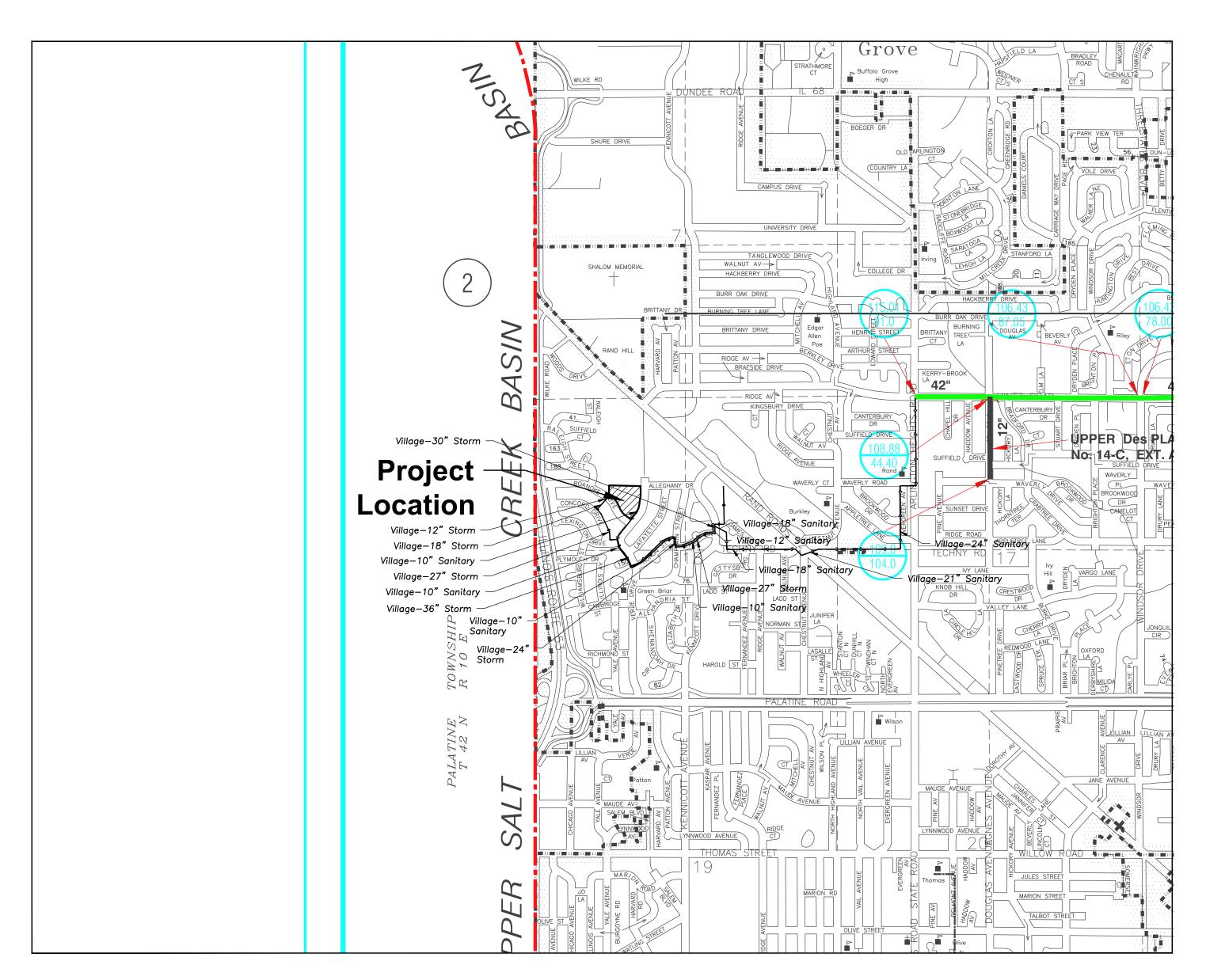
2330 N. Verde Dr. Arlington Heights, IL 60004

Contact the Metropolitan
Water Reclamation District
of Greater Chicago 2 days
before starting work.

P (708) 588-4055

E WMOJobStart@mwrd.org





CIVIL SHEET INDEX

C000 CIVIL COVER SHEET
C001 TOPOGRAPHICAL SURVEY
C002 MWRD GENERAL NOTES
C101 SITE DEMOLITION PLAN
C201 SITE GEOMETRY PLAN
C301 SITE UTILITY PLAN
C401 SITE GRADING AND PAVING PLAN
C501 SITE EROSION AND CONTROL PLAN
C601 SITE WORK DETAILS
C602 SITE WORK DETAILS

L100 LANDSCAPE SHEET INDEX

L100 LANDSCAPE PLAN
PRELIMINARY LANDSCAPE DETAILS

EXHIBIT INDEX

CX101 EXISTING VS. PROPOSED SITE COVERAGE

CX401 VILLAGE FIRE TRUCK EXHIBIT

EXISTING VS. PROPOSED REDEVELOPMENT AREA (VILLAGE SWM) EXISTING STORAGE IN ONSITE PIPE

No. Date Description

12/06/22 ISSUE FOR PLAN COMMISSION

02/02/23 REVISED FOR PLAN COMMISSION

2 02/28/23 REVISED FOR PLAN COMMISSION

ENGINEERING

GRAYSLAKE, ILLINOIS 60030

EMAIL INFO@EEA-LTD.COM

LICENSE No. 184-003220

Expires: 04/30/2023

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Design By:

Approved By:

Date:

02/02/23

Sheet Title:

CIVIL COVER SHEET

Sheet No:

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022.

PROJECT BENCHMARKS

Village of Arlington Heights Recovery Sheet
Village of Arlington Heights, IL
Benchmark Designation: 17
At Verde Drive And Alleghany Drive.
NAVD88 Elevation = 726.29 NAVD88

Site Benchmark:
Survey Control Point, Cut Cross On The South Side Of Sidewalk.
NAVD88 Elevation = 723.13

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility

Locations Call: J.U.L.I.E. 1 (800) 892-0123

Easting: 1083719.692 Northing: 1977018.846

DRAINAGE STATEMENT

To The Best Of Our Knowledge And Belief, It Is Our Professional Opinion That The Proposed Improvements On The Property Are Not Within One—Hundred (100) Feet Of A Known Flood Protection Area. The Drainage Of The Surface Waters Will Not Be Changed By The

Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has

Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The

Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And

A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With

Adjoining Property Because Of The Construction Of The Development.



EXPIRES: 04/30/2023

GREENBRIER SCHOOL ADDITIONS AND RENOVATIONS

Reserved for Seal:

No.	Date	Description
	12/06/22	ISSUE FOR PLAN COMMISSION
1	02/02/23	REVISED FOR PLAN COMMISSION
2	02/28/23	REVISED FOR PLAN COMMISSION

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Design By: Approved By: Date:

JG JC 02/02/23

Design By: Approved By: Date:

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PLAT OF SURVEY

eet No:

C001

A. REFERENCED SPECIFICATIONS

EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION; _ MUNICIPAL CODE; * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED

MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL; * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO <u>WMOJOBSTART@MWRD.ORG</u>).

ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.

3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

 ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS _____

2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.

3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK

4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.

5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER, VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.

6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.

8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.

9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.

10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE, ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.

2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.

3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL

FROM THE MUNICIPALITY OR MWRD.
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).

5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.

6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.

7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL PIPE SPECIFICATIONS JOINT SPECIFICATIONS VITRIFIED CLAY PIPE ASTM C-700 ASTM C-425 REINFORCED CONCRETE SEWER PIPE ASTM C-76 ASTM C-443 ASTM A-74 CAST IRON SOIL PIPE ASTM C-564 DUCTILE IRON PIPE ANSI A21.51 ANSI A21.11 POLYVINYL CHLORIDE (PVC) PIPE 6-INCH TO 15-INCH DIAMETER SDR 26 ASTM D-3034 ASTM D-3212 ASTM F-679 18-INCH TO 27-INCH DIAMETER F/DY=46 ASTM D-3212 ASTM D-3261,F-2620 (HEAT FUSION) HIGH DENSITY POLYETHYLENE (HDPE) ASTM D-3350 ASTM D-3035 ASTM D-3212,F-477 (GASKETED) WATER MAIN QUALITY PVC 4-INCH TO 36-INCH ASTM D-3139 ASTM D-2241 ASTM D-3139 4-INCH TO 12-INCH AWWA C900

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

AWWA C905

ASTM D-3139

JOINT SPECIFICATIONS PIPE MATERIAL PIPE SPECIFICATIONS POLYPROPYLENE (PP) PIPE D-3212, F-477 12-INCH TO 24-INCH DOUBLE WALL ASTM F-2736 D3212, F-477 30-INCH TO 60-INCH TRIPLE WALL ASTM F-2764

14-INCH TO 48-INCH

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4 " TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.

9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.

10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS, SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.

11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHEWER-TAP" MACHINE OR SIMILAR)

AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE. b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.

c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION

OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED. OR THE SEWER CROSSES ABOVE THE WATER MAIN. THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A

13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.

WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.

14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRÉ-CAST REINFORCED CONCRETE.

15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.

16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.

17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.

A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE

2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC

4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE

6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION.

SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.

SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING

8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING

9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.

HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.

11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.

12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE

13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING

SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.

BLANKET.

BY APPROPRIATE SEDIMENT CONTROL MEASURES.

17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR

18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE

19. THE CONTRCTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD

20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.

21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.

22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.

23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

APPROVED EROSION AND SEDIMENT CONTROL PLAN.

DISTURBANCE OF THE SITE.

3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.

SITE AT ALL TIMES.

5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY

b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.

IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE

7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.

10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM

PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).

DRAINAGE AREA HAS BEEN STABILIZED.

14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS.

15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL

16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED

GREEN INFRASTRUCTURE PRACTICES.

COMMENCEMENT OF DEWATERING ACTIVITIES.

PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.

TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

10/13/2022

STD. DWG. NO.18

PAGE NO. 19

Reserved for Seal:

No. Date Description

MWRD GENERAL NOTES

C002

Approved By: Date:

JC 02/02/23

12/06/22 ISSUE FOR PLAN COMMISSION 02/02/23 REVISED FOR PLAN COMMISSIO

02/28/23 REVISED FOR PLAN COMMISSIO

ERIKSSON

ENGINEERING

ASSOCIATES, LTD.

45 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030

PHONE (847) 223-4804 _{FAX} (847) 223-4864

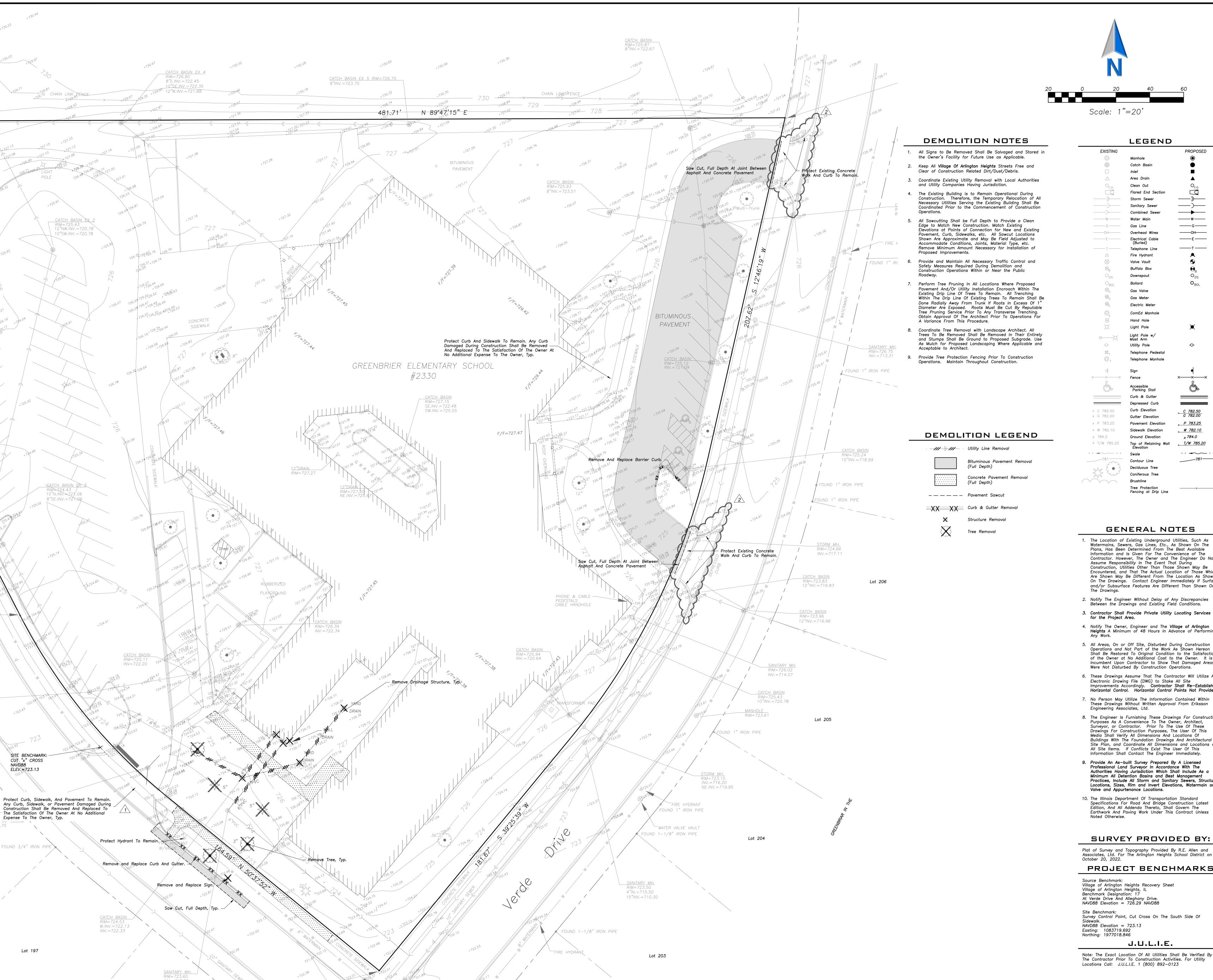
EMAIL INFO@EEA-LTD.COM

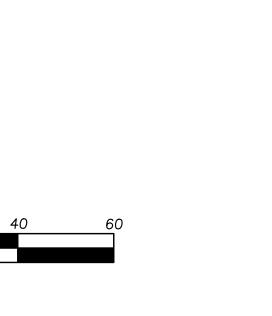
PROFESSIONAL DESIGN FIRM

LICENSE No. 184-003220

Expires: 04/30/2023

S II





LEGEND

EXISTING		PROPOSED
	Manhole	lacktriangle
	Catch Basin	•
	Inlet	
\triangle	Area Drain	A
O _{c.o.}	Clean Out	O _{c.o.}
C.O.	Flared End Section	- C.o.
	Storm Sewer	
	Sanitary Sewer	<u> </u>
>	Combined Sewer	
W	Water Main	w
	Gas Line	——-G——
——OH——	Overhead Wires	——он——
——E——	Electrical Cable	——Е——
_	(Buried)	_
——————————————————————————————————————	Telephone Line	—т—
Q	Fire Hydrant	A
\otimes	Valve Vault	lacktriangle
\bigotimes_{B}	Buffalo Box	⊕ _B
$\circ_{ t DS}$	Downspout	O_{DS}
\circ_{BoL}	Bollard	O_BOL
\bigotimes_{G}	Gas Valve	
\mathbb{M}_{G}	Gas Meter	
€.	Electric Meter	
© _F	ComEd Manhole	
Н	Hand Hole	
X	Light Pole	×
о————————————————————————————————————	Light Pole w/ Mast Arm	
-0-	Utility Pole	-
\boxtimes_{τ}	Telephone Pedestal	_
© _T	Telephone Manhole	
4	Sian	۵
ч ××	Sign Fence	▼ ××
<u>C</u>	Accessible Parking Stall	
	Curb & Gutter	
	Depressed Curb	
× C 782.50	Curb Elevation	C 702 50
x G 782.00	Gutter Elevation	<u>C 782.50</u> G 782.00
x P 783.25	Pavement Elevation	P 783.25
× W 782.10	Sidewalk Elevation	W 782.10
× 784.0	Ground Elevation	× 784.0
× T/W 785.20	Top of Retaining Wall Elevation	T/W 785.20
• • • • • • • • • • • • • • • • • • • •	Swale	
781	Contour Line	781
() () () () () () () () () ()	Deciduous Tree	
	Coniferous Tree	
~ ~ v `		

GENERAL NOTES

Tree Protection Fencing at Drip Line

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- 2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
- 4. Notify The Owner, Engineer and The Village of Arlington **Heights** A Minimum of 48 Hours In Advance of Performing Any Work.
- 5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon
 Shall Be Restored To Original Condition to the Satisfaction
 of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas
 Were Not Disturbed By Construction Operations.
- 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of
- Information Shall Contact The Engineer Immediately. 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022. PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet Village of Arlington Heights, IL

Benchmark Designation: 17

At Verde Drive And Alleghany Drive.

NAVD88 Elevation = 726.29 NAVD88

Survey Control Point, Cut Cross On The South Side Of NAVD88 Elevation = 723.13

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility

ERIKSSON ENGINEERING ASSOCIATES, LTD. 45 COMMERCE DRIVE, SUITE A

GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 _{FAX} (847) 223-4864 EMAIL INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE No. 184-003220 Expires: 04/30/2023

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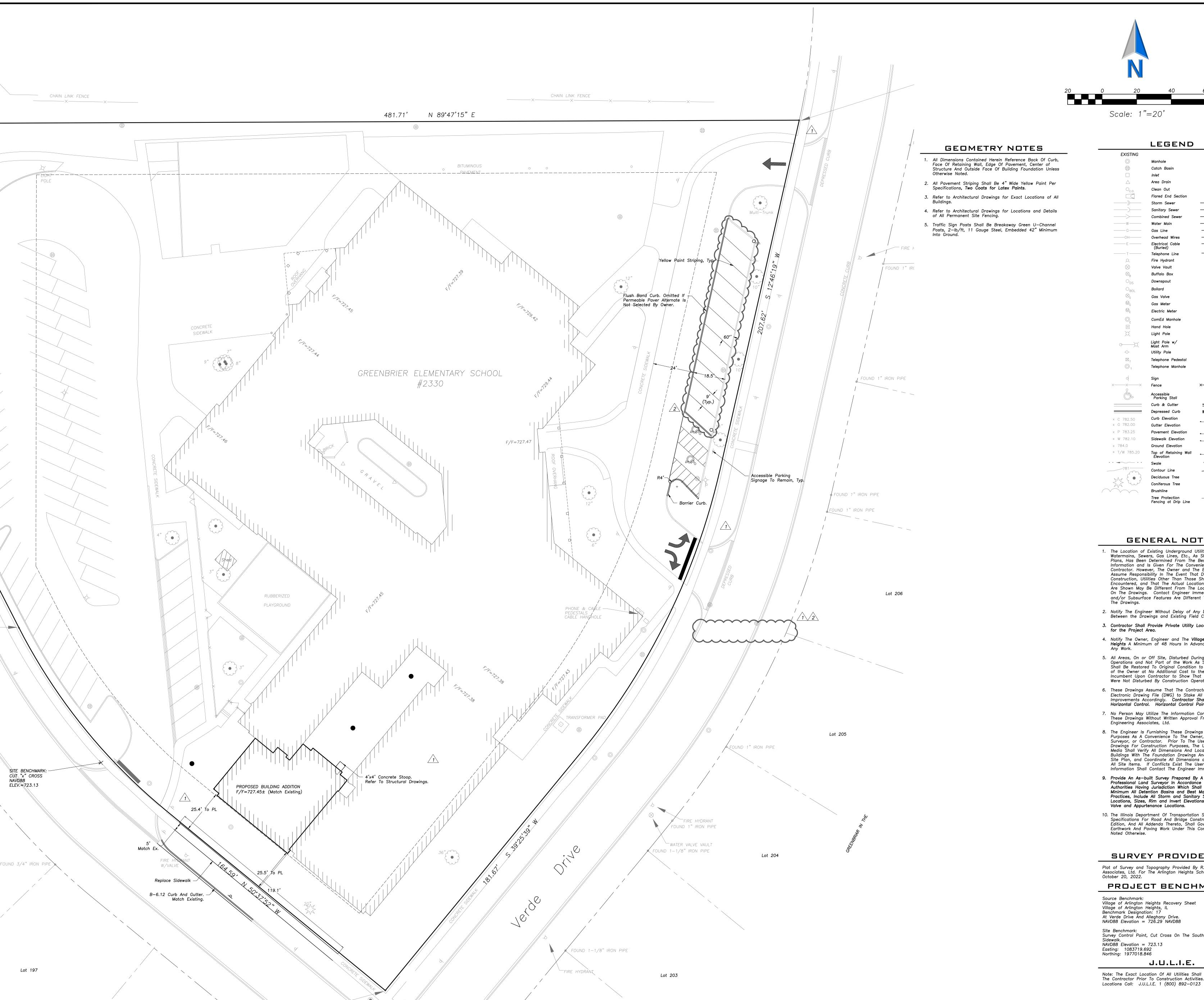
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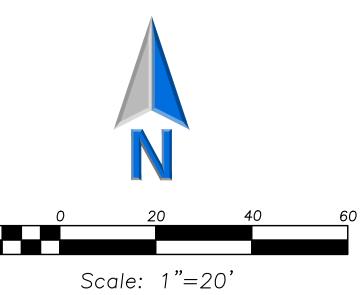
Design By: Approved By: Date: JC 02/02/23

Sheet Title:

SITE DEMOLITION PLAN

Sheet No: C101





LEGEND Manhole Catch Basin Area Drain Clean Out Flared End Section ——**》**— ——)— Sanitary Sewer ——G—— ——ОН—— Overhead Wires ——E—— —___T___ Telephone Line Fire Hydrant Valve Vault Buffalo Box Downspout

Bollard Gas Valve Electric Meter ComEd Manhole Light Pole Utility Pole

Telephone Pedestal Telephone Manhole Fence x-----x

Gutter Elevation P 783.25 _x 784.0 Ground Elevation ____T/W_785.20 Contour Line

Deciduous Tree Tree Protection

Fencing at Drip Line

GENERAL NOTES

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 Site Plan, and Coordinate All Dimensions and Locations of
 All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless

SURVEY PROVIDED BY:

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Source Benchmark: Village of Arlington Heights Recovery Sheet Village of Arlington Heights, IL Benchmark Designation: 17 At Verde Drive And Alleghany Drive. NAVD88 Elevation = 726.29 NAVD88

Survey Control Point, Cut Cross On The South Side Of Sidewalk. NAVD88 Elevation = 723.13

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility

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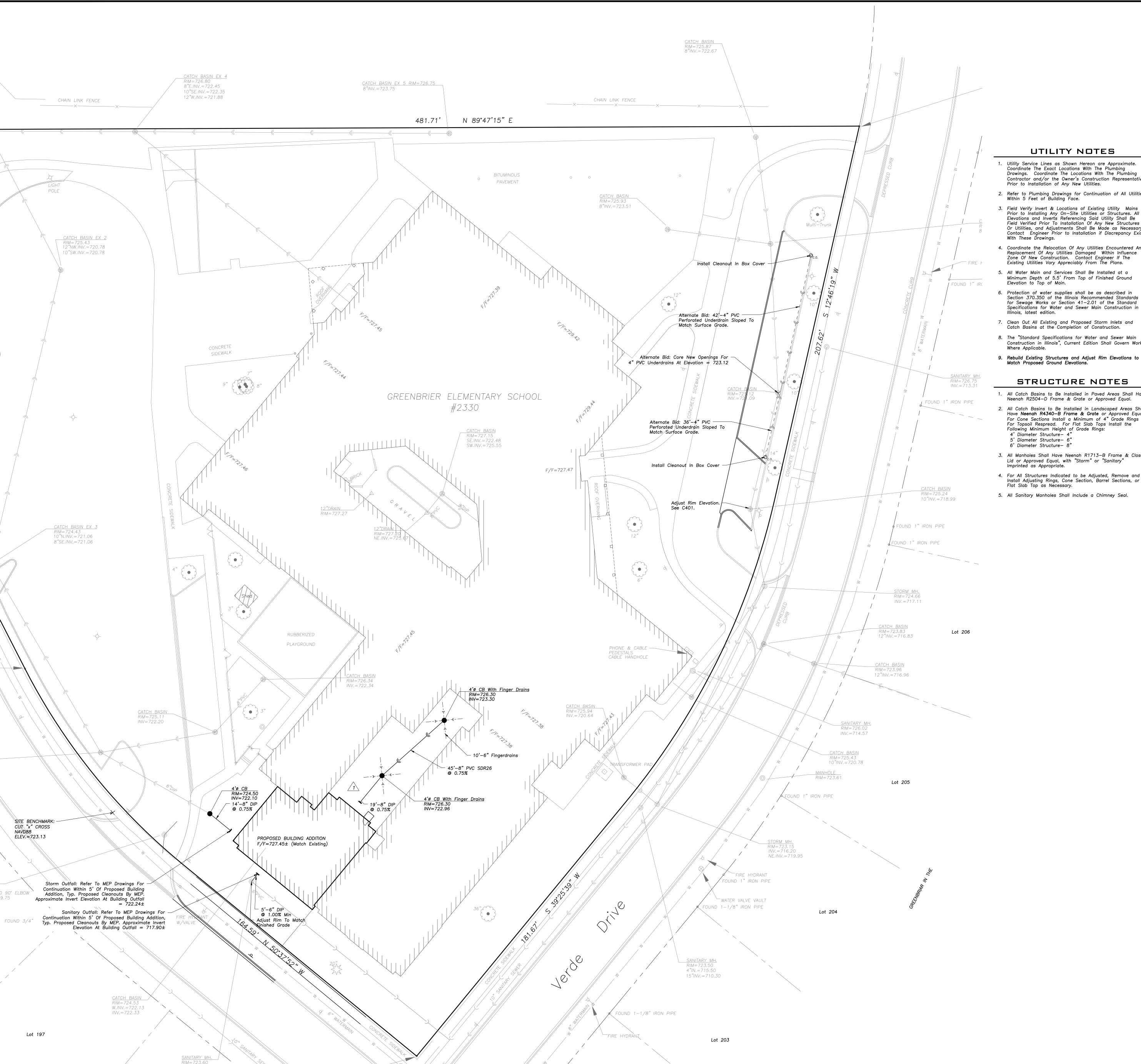
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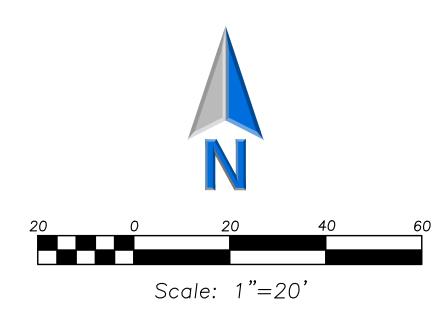
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Sheet No:

SITE GEOMETRY PLAN

C201





UTILITY NOTES

- 1. Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative
- 2. Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Prior to Installing Any On—Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior To Installation Of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists
- 4. Coordinate the Relocation Of Any Utilities Encountered And Replacement Of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
- 5. All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground
- 6. Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in
- 7. Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- 8. The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work
- 9. Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504—D Frame & Grate or Approved Equal.
- 2. All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
- 3. All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary"
- 4. For All Structures Indicated to be Adjusted, Remove and
- 5. All Sanitary Manholes Shall Include a Chimney Seal.

	LEGEND	
EXISTING		PROPOSED
	Manhole	lacktriangle
\bigoplus	Catch Basin	
	Inlet	
\triangle	Area Drain	A
O _{c.o.}	Clean Out	$O_{c.o.}$
	Flared End Section	
)	Storm Sewer	
	Sanitary Sewer	—) —
_>	Combined Sewer	——
—	Water Main	——w—
— G ——	Gas Line	———G——
OH	Overhead Wires	——ОН——
—Е——	Electrical Cable (Buried)	——Е——
— T ———	Telephone Line	——т ——
Q	Fire Hydrant	A
\otimes	Valve Vault	•
\bigotimes_{B}	Buffalo Box	$oldsymbol{\Theta}_{B}$
O_{DS}	Downspout	O _{DS}
\bigcirc_{BOL}	Bollard	O_BOL
\bigotimes_{G}	Gas Valve	
\mathbb{M}_{G}	Gas Meter	
\mathbb{M}_{E}	Electric Meter	
(C)_	ComEd Manhole	
H	Hand Hole	
X	Light Pole	×

Telephone Pedestal Telephone Manhole Fence x-----x Curb & Gutter

P 783.25

_x 784.0

____T/W_785.20

_____781-----

Light Pole w/ Mast Arm

Utility Pole

Gutter Elevation x P 783.25 × W 782.10 Ground Elevation

x 784.0 × T/W 785.20

Contour Line Deciduous Tree

GENERAL NOTES

Tree Protection Fencing at Drip Line

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- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022. PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet Village of Arlington Heights, IL
Benchmark Designation: 17
At Verde Drive And Alleghany Drive. NAVD88 Elevation = 726.29 NAVD88

Locations Call: J.U.L.I.E. 1 (800) 892-0123

Site Benchmark: Survey Control Point, Cut Cross On The South Side Of NAVD88 Elevation = 723.13 Easting: 1083719.692 Northing: 1977018.846

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility

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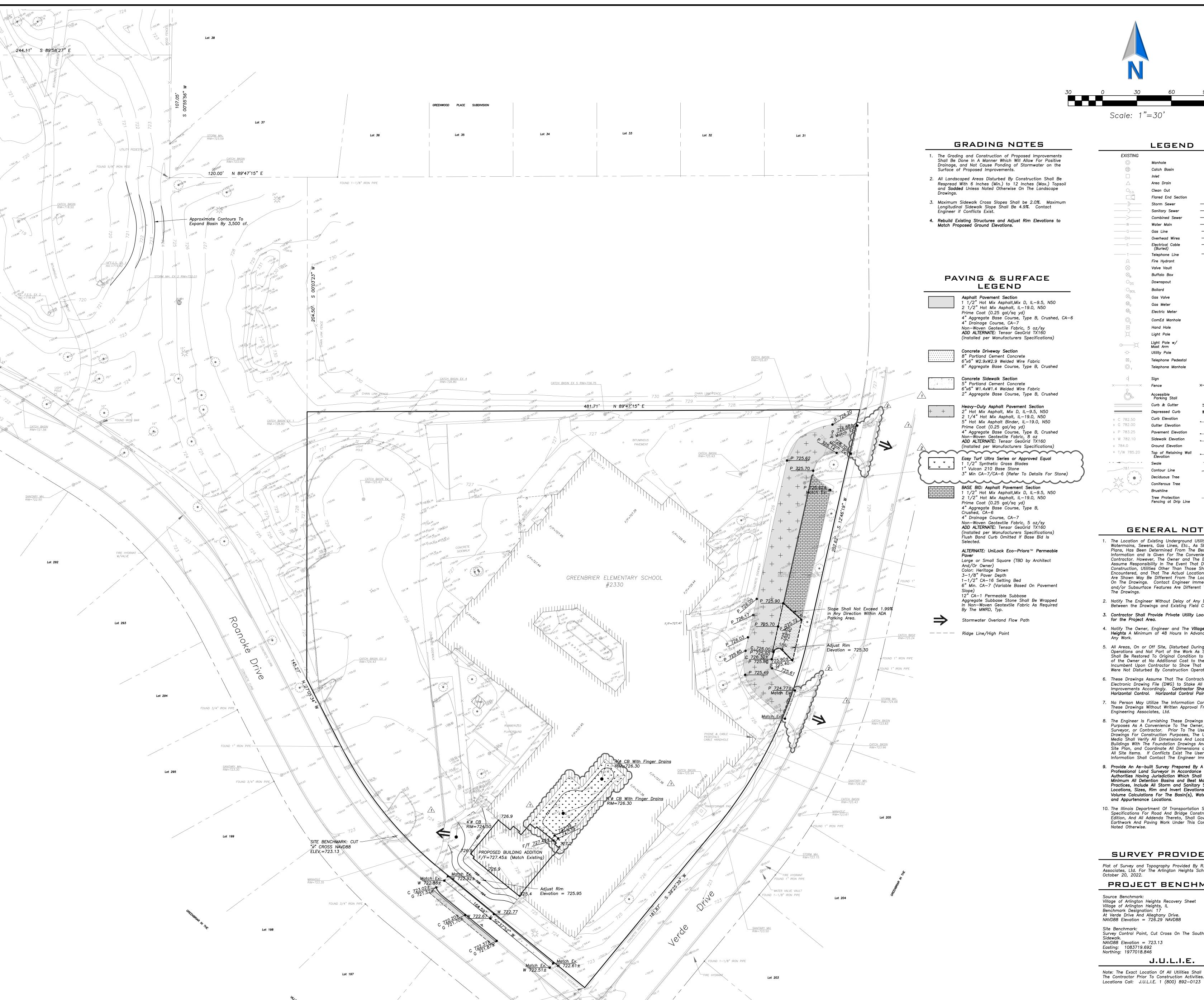
No. Date Description 12/06/22 ISSUE FOR PLAN COMMISSION 02/02/23 REVISED FOR PLAN COMMISSION 📐 02/28/23 REVISED FOR PLAN COMMISSION

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Sheet Title:

SITE UTILITY PLAN

Sheet No: C301





45 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 _{FAX} (847) 223-4864 EMAIL INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE No. 184-003220

EXPIRES: 04/30/2023

GENERAL NOTES

LEGEND

Manhole

Catch Basin

Area Drain

Clean Out

Storm Sewer

Sanitary Sewer

Combined Sewer

Overhead Wires

Telephone Line Fire Hydrant Valve Vault Buffalo Box

Downspout

Bollard

Gas Valve

Gas Meter

Electric Meter

Light Pole

Light Pole w/ Mast Arm

Utility Pole

Fence

Curb & Gutter

Ground Elevation

Contour Line

Deciduous Tree

Coniferous Tree

Tree Protection

Fencing at Drip Line

Telephone Pedestal

Telephone Manhole

ComEd Manhole

Flared End Section

——)——

—)—

——G—— ——ОН——

——E—— ____T___

x-----x

P 783.25

_ W 782.10

_x 784.0

___T/W_785.20

_____781-----

- 1. The Location of Existing Underground Utilities, Such As Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- 2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
- 4. Notify The Owner, Engineer and The **Village of Arlington Heights** A Minimum of 48 Hours In Advance of Performing
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations. 6. These Drawings Assume That The Contractor Will Utilize An
- Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd. 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect,
- Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As—built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022. PROJECT BENCHMARKS

Source Benchmark: Village of Arlington Heights Recovery Sheet Village of Arlington Heights, IL

Benchmark Designation: 17

At Verde Drive And Alleghany Drive.

NAVD88 Elevation = 726.29 NAVD88

Site Benchmark: Survey Control Point, Cut Cross On The South Side Of NAVD88 Elevation = 723.13Easting: 1083719.692 Northing: 1977018.846

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility

No. Date Description 12/06/22 ISSUE FOR PLAN COMMISSION 02/02/23 REVISED FOR PLAN COMMISSION 02/28/23 REVISED FOR PLAN COMMISSION

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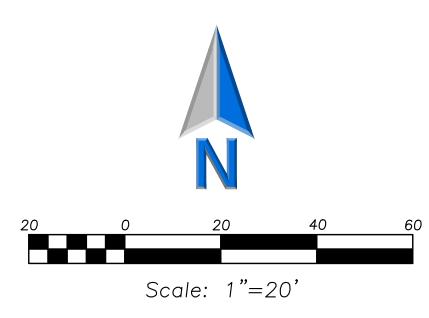
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Design By: Approved By: Date: JC 02/02/23

GRADING AND PAVING PLAN

C401

Sheet No:



EXISTING

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- 1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- 2. Contractor Shall Be Responsible for Compliance With IEPA NPDES and ILR10 Permit Requirements for Project.
- 3. Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- 4. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland
- 5. Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days, Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- 6. All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- 7. Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- 8. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation.
- 9. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal, such as Pork Chop Sediguard) In Paved Areas
- 10. All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II And Lake County DECI Requirements.
- 11. Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final
- 12. Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- 13. Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services in Accordance with NPDES and Governmental Requirements. Inspections Shall Occur at Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
- 14. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion
- 15. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- 16. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
- 17. All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- 18. If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILR10 and Local and County
- 19. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- 1. Install Stabilized Construction Entrance 2. Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity. 3. Do Not Disturb An Area Until It Is Necessary For
- Cover and Stabilize Disturbed Areas As Soon As Possible.
 When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.

 6. Construct Sedimentation Basins and Structures.

 7. Perform Grading Operations and Installation of Site Infrastructure and Payement.
- 8. Install Permanent Seeding and Plantings.9. Remove Accumulated Sediment From Basins and Along Silt
- 10. Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas. 11. Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND



Silt Fence Erosion Control Blanket North American Green DS75 Or Approved Equal

Catch-All, Pork Chop Sediguard (or equal) Paved or Existing Stabilized

LEGEND

Manhole

PROPOSED

Marinole	•
Catch Basin	•
Inlet	
Area Drain	A
Clean Out	$O_{c.o.}$
Flared End Section	
Storm Sewer	—— 》 ——
- Sanitary Sewer	
Combined Sewer	——
Water Main	——w—
- Gas Line	——G——
Overhead Wires	——он——
Electrical Cable (Buried)	——Е——
Telephone Line	—т—
Fire Hydrant	A
Valve Vault	•
Buffalo Box	Θ_{B}
Downspout	O ^{DS}
Bollard	O _{BOL}
Gas Valve	- ROT
Gas Meter	
Electric Meter	
ComEd Manhole	
Hand Hole	<u>~</u>
Light Pole	×
Light Pole w/ Mast Arm	
Utility Pole	-0-
Telephone Pedestal	
Telephone Manhole	
relephone mannole	
Sign	•
× Fence	××
Accessible Parking Stall	Ġ.
Curb & Gutter	
Depressed Curb	
Curb Elevation	0. 700 50
Gutter Elevation	<u>C 782.50</u> G 782.00
Pavement Elevation	P 783.25
Sidewalk Elevation	W 782.10
Ground Elevation	× 784.0
Top of Retaining Wall	x 764.0 T/W 785.20
Elevation Swale	
Contour Line	781
Deciduous Tree	_
Coniferous Tree	
Brushline	
Tree Protection	x

GENERAL NOTES

Fencing at Drip Line

- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On
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- 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.

Information Shall Contact The Engineer Immediately.

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SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For The Arlington Heights School District on October 20, 2022. PROJECT BENCHMARKS

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J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

ENGINEERING ASSOCIATES, LTD. 45 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 _{FAX} (847) 223-4864 EMAIL INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 Expires: 04/30/2023

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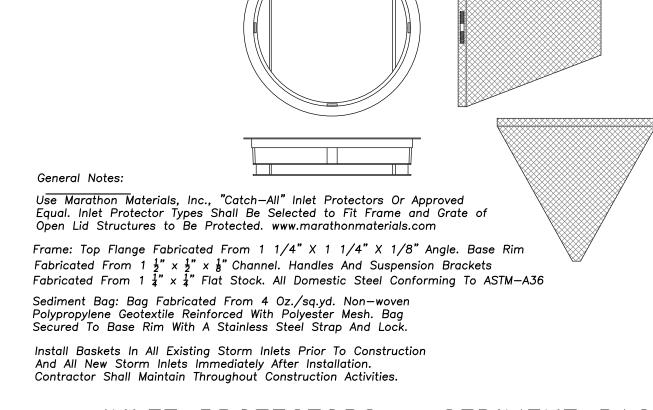
JC 02/02/23

SITE EROSION AND SEDIMENT CONTROL PLAN

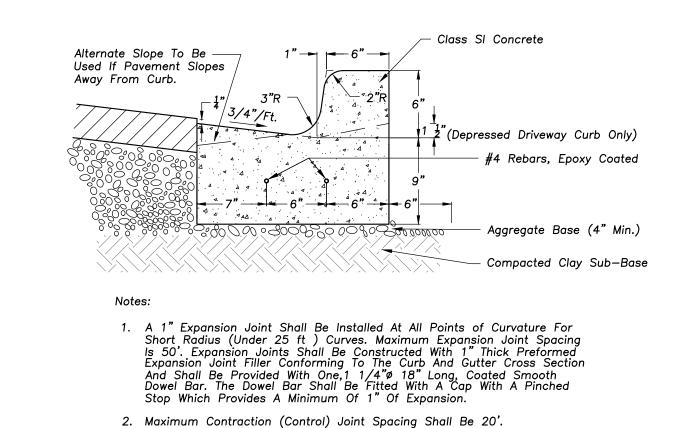
C501

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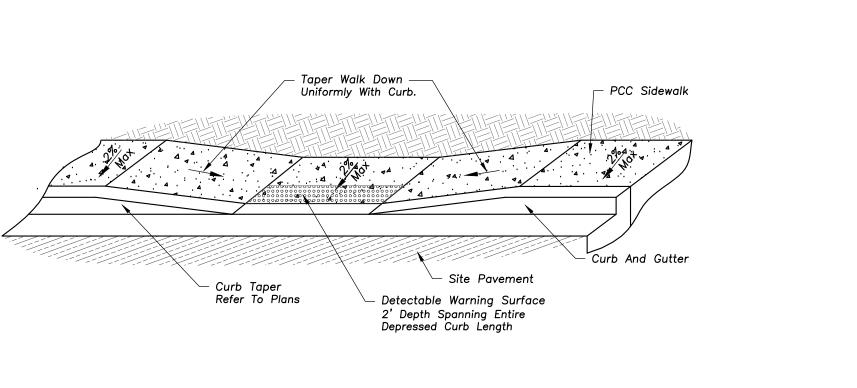
SILT FENCE CONSTRUCTION (AASHTO 288-00)



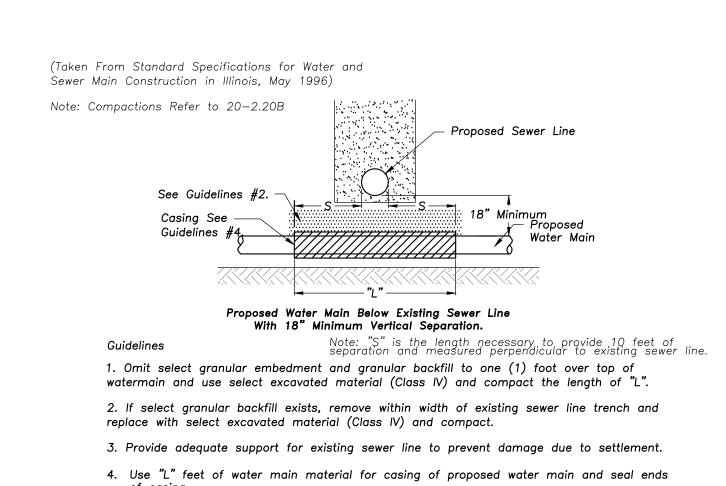
INLET PROTECTORS - SEDIMENT BAG



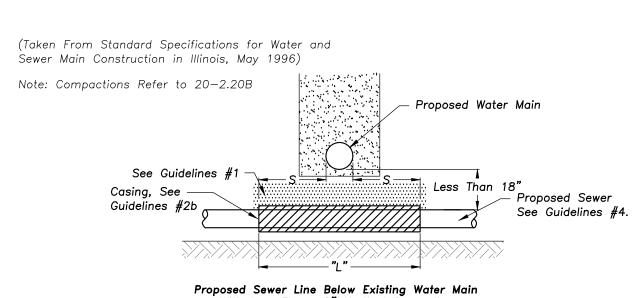
B-6.12 CURB & GUTTER



DEPRESSED ACCESSIBLE LANDING DETAIL



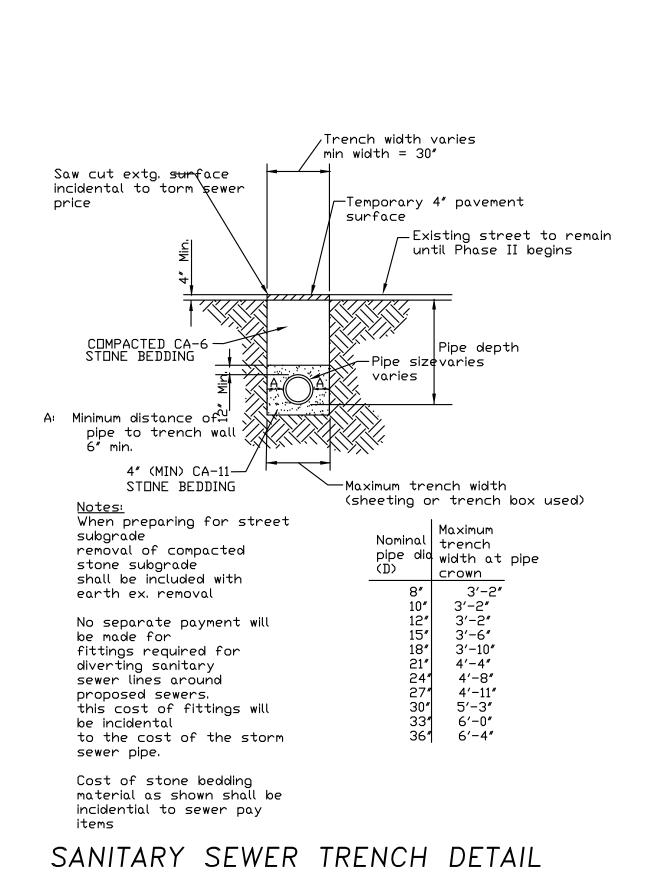
WATER AND SEWER SEPARATION REQUIREMENTS WATER AND SEWER SEPARATION REQUIREMENTS

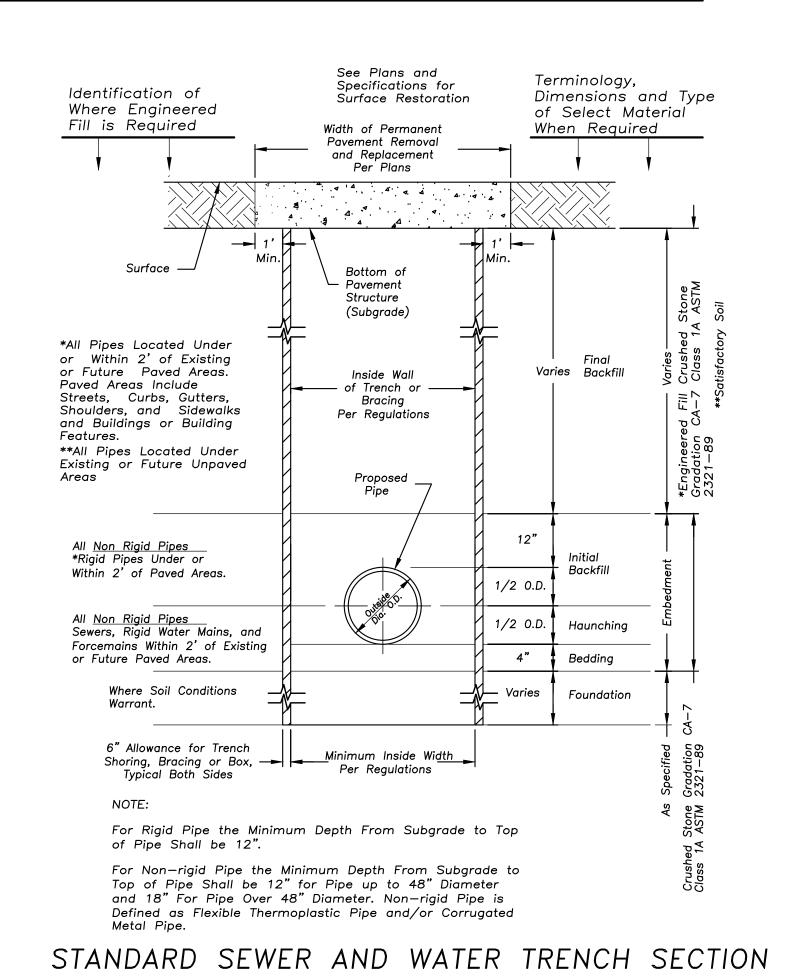


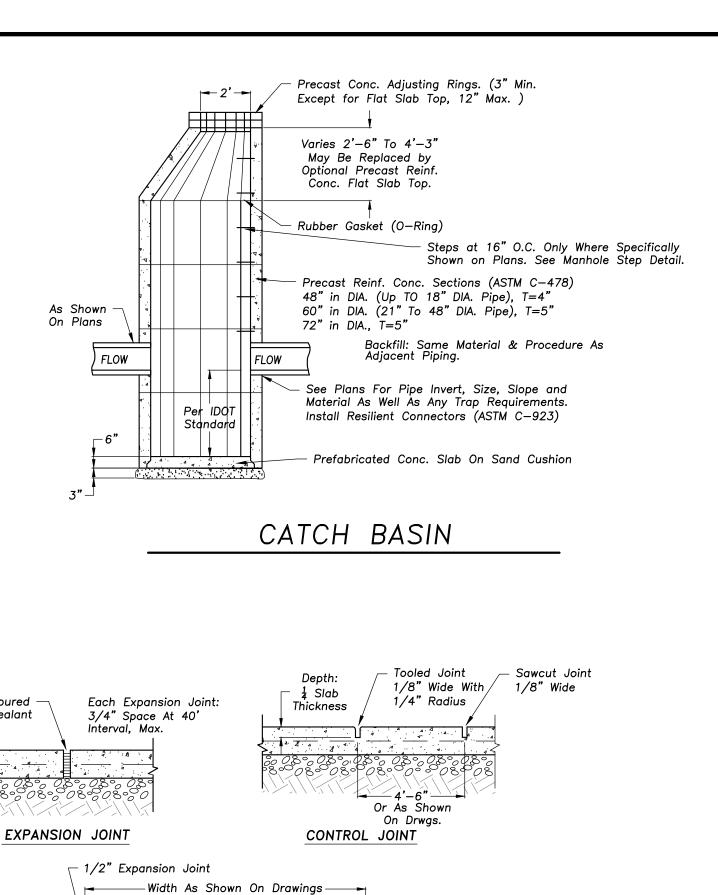
With Less Than 18" Vertical Separation Note: "S" is the length necessary to provide 10 feet of separation and measured perpendicular to existing sewer line. 1. Omit select granular embedment and granular backfill to one (1) foot over top of watermain and use select excavated material (Class IV) and compact for "S" feet on each

2a. Construct "L" feet of proposed sewer or water main material and pressure test, or; 2b. Use "L" feet of water main material for casing of proposed sewer and seal ends of

3. Provide adequate support for existing water main to prevent damage due to settlement







6"X6" W1.4XW1.4 WWF

Portland Cement Concrete, Class S

(Epoxy Coated)

Fine to Med. Broom Finish

IDOT CA-6 Gradation Granular Sub-base, Type B

2.0% Maximum Cross Slope

PORTLAND CEMENT CONC. SIDEWALK

Depressed Curb

Transition Curb to

Depressed over 2'

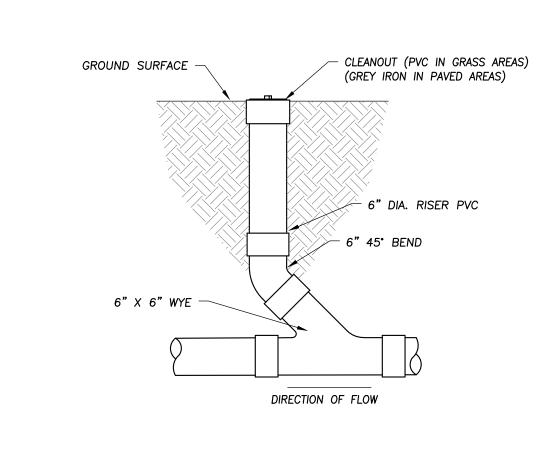
in Landscape Area

CURB RAMP AT RADIUS SKEWED INTERFACE DETAIL

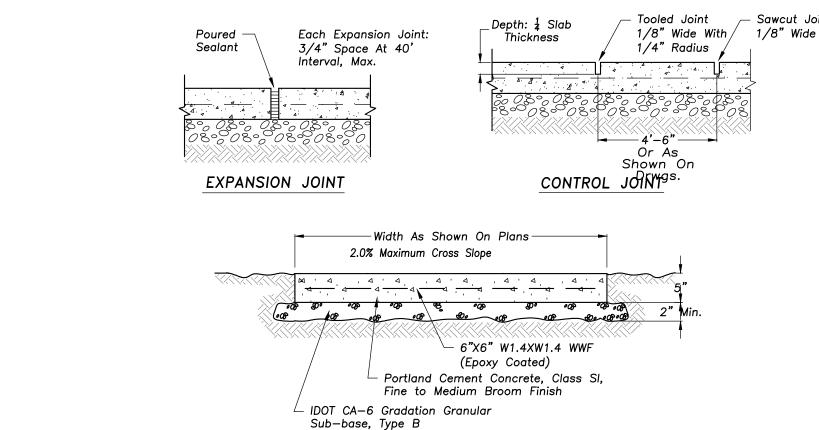
and Gutter

Sealant

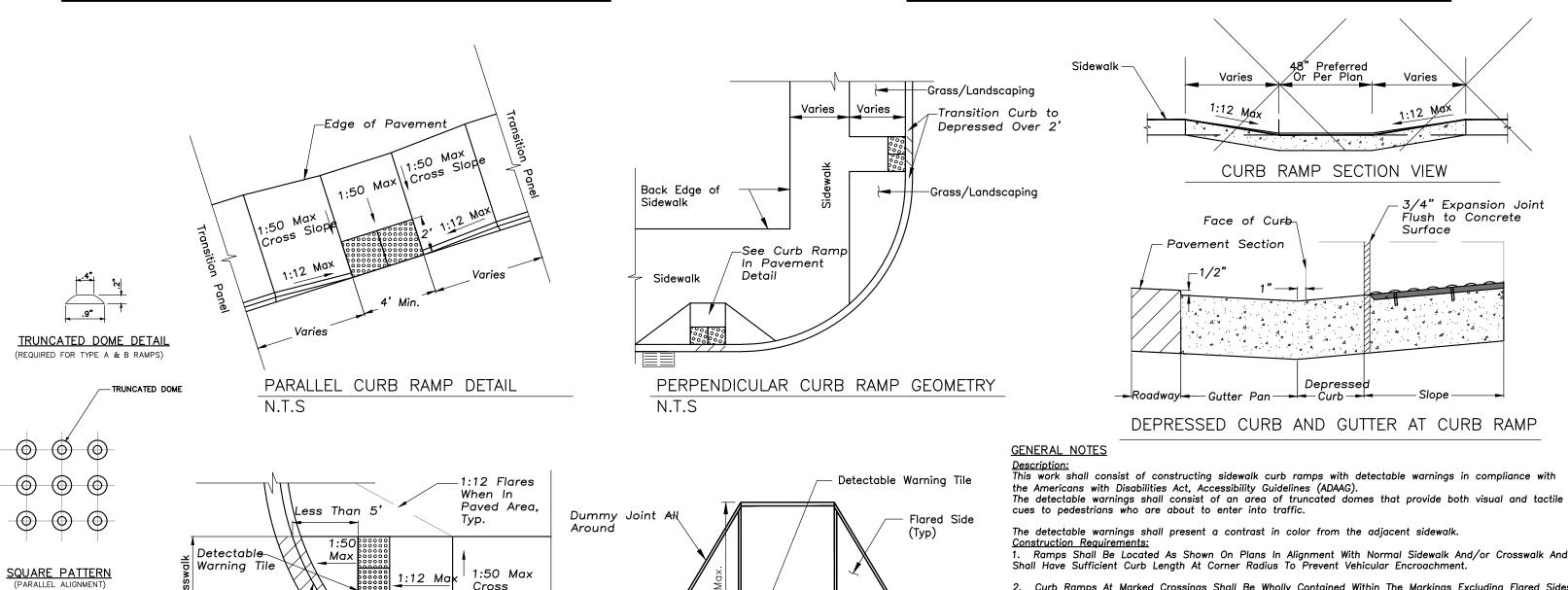
DETECTABLE WARNINGS DETAIL



CLEANOUT



PORTLAND CEMENT CONC. SIDEWALK



48" Preferred

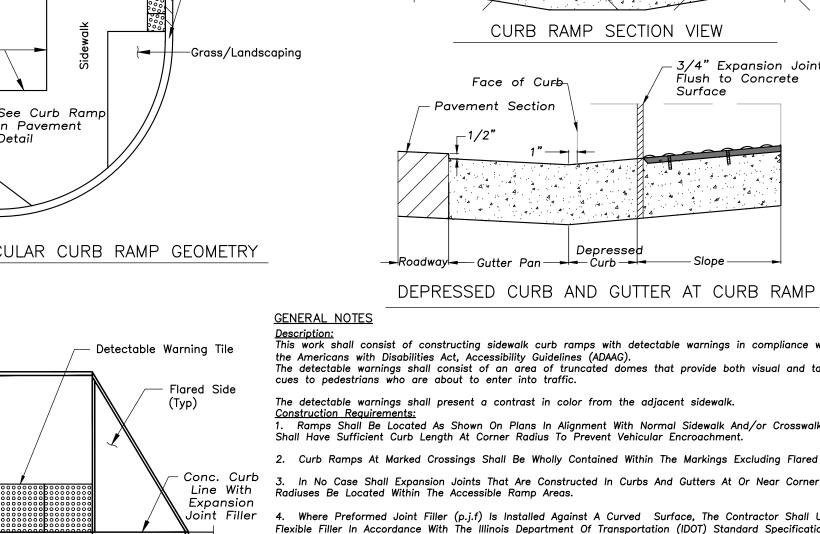
Or Per Plan

CURB RAMP IN PAVEMENT

ACCESSIBLE RAMPS FOR SIDEWALKS

Adjacent Concrete Pavement.

Slope, Typ.

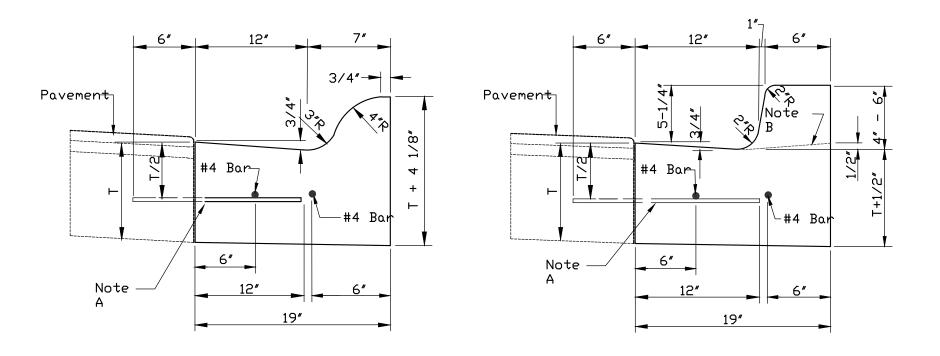


Ramps Shall Be Located As Shown On Plans In Alignment With Normal Sidewalk And/or Crosswalk And 2. Curb Ramps At Marked Crossings Shall Be Wholly Contained Within The Markings Excluding Flared Sides.

. Where Preformed Joint Filler (p.j.f) Is Installed Against A Curved Surface, The Contractor Shall Use A <u>Equipment:</u> Equipment for the detectable warning area of the curb ramps shall meet the requirements of

Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2 Dimensions: Cast In Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances: Length and Width in One of the Following as Necessary for the Dimensions of the Surface In Which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of

Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions. Verify With the Local Authorities Having Jurisdiction that Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface. Verify With the Local Authorities Having Jurisdiction that the Manufacturer's Products are Acceptable for the Detectable Warning Surface.



ROLL TYPE CURB

BARRIER TYPE CURB

1. 2-#4 Longitudinal Bars 20 Feet In Length With 12" Overlaps, At 60' Intervals, Except 2. Expansion Joints Shall Be A Minimum Of 3/4" Preformed Expansion Material And Shall Be Provided With A 1" Dia. X 18" Coated Smooth Dowel Bar Fitted With A Cap That Will Allow A Minimum Of 1" Of Expansion. 3. Construction Joints Shall Be Template Formed Or Saw-cut (Within 24 Hours Of Placement Of The Curb) To 1/5th The Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints In An

Note "a" 1/2" Dia. Steel Tie Bars @ 2'-6" Centers Grouted In Place Or 5/8" Dia. J-bolts Anchored In Place. (omit For Bituminous Base Course) <u>Note "b"</u> Profile For Depressed Curb

Ø Driveways And Ramps

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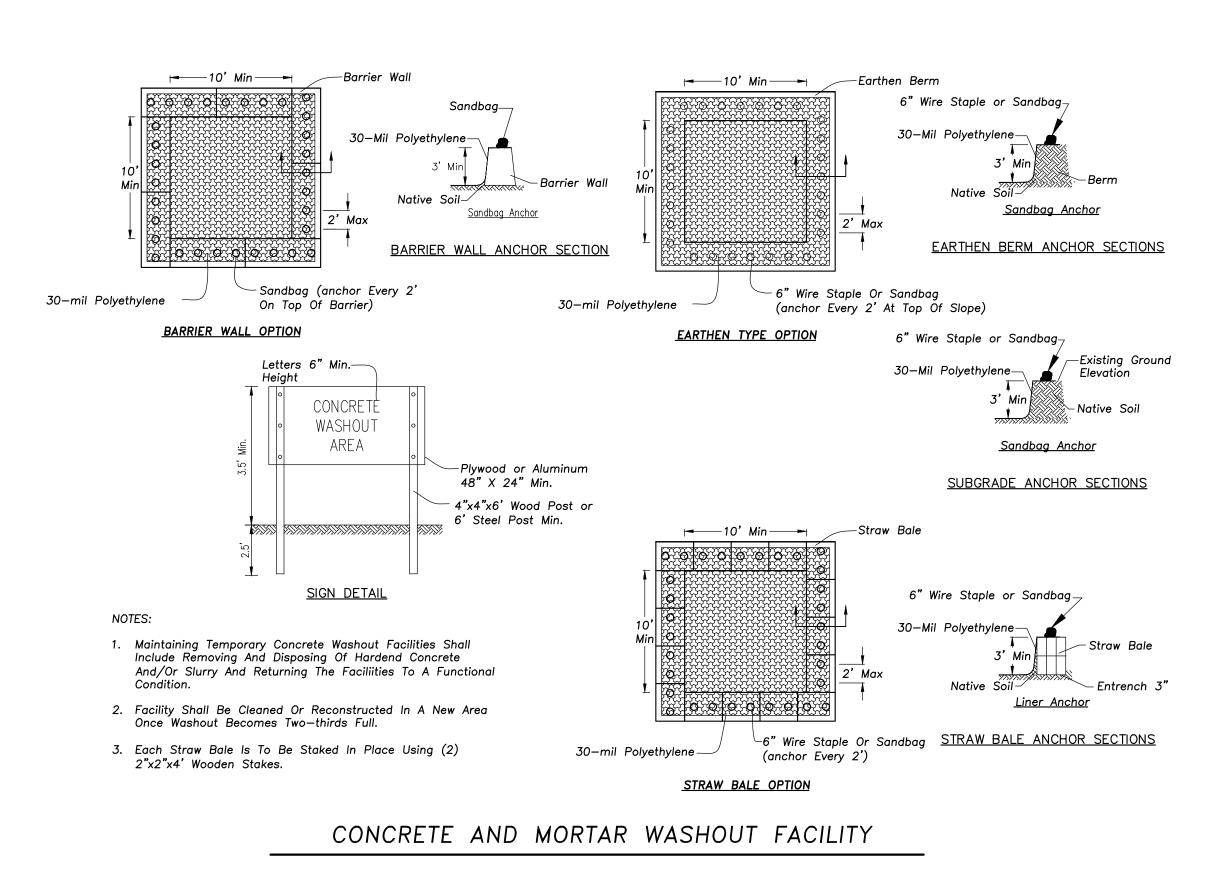
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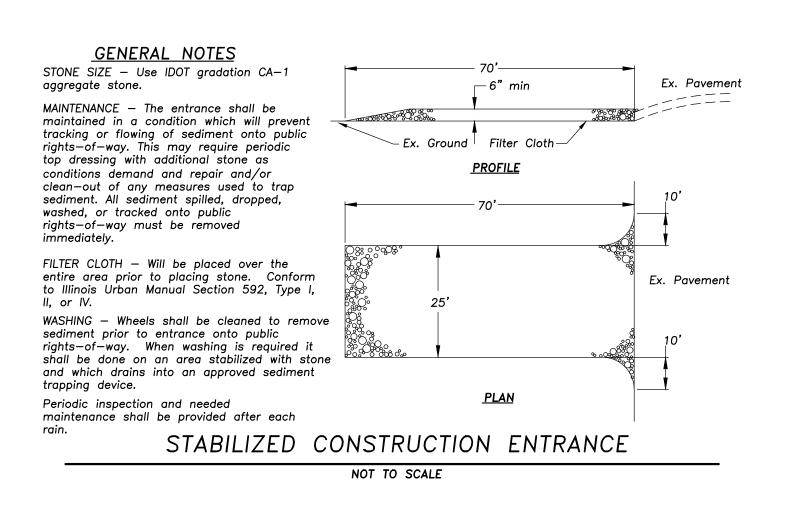
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Sheet Title:

SITE WORK **DETAILS**

Sheet No: C601





GREENBRIER SCHOOL ADDITIONS
AND RENOVATIONS
2330 N. VERDE DR.

ERIKSSON

ENGINEERING

ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804

_{FAX} (847) 223-4864

EMAIL INFO@EEA-LTD.COM

PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 EXPIRES: 04/30/2023

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Date Description

12/06/22 ISSUE FOR PLAN COMMISSION

02/02/23 REVISED FOR PLAN COMMISSION

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Design By: Approved By: Date:

JG JC 02/02/23

Sheet Title

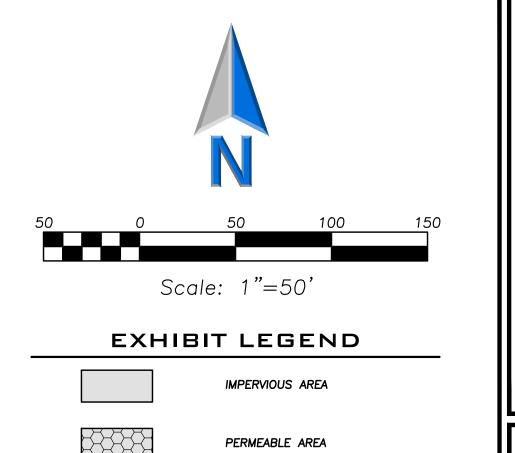
SITE WORK DETAILS

C602



EXISTING CONDITIONS





PROPERTY LINE 173,147 SF 3.97 ACRES

EXISTING SITE CONDITIONS

IMPERVIOUS AREA 120,470 SF = 2.76 ACRES PERMEABLE AREA 9,460 SF = 0.22 ACRES PERVIOUS AREA 43,217 SF = 0.99 ACRES RUNOFF COEFFICIENT C = 0.83

PROPOSED SITE CONDITIONS

IMPERVIOUS AREA 122,565 SF = 2.81 ACRES PERMEABLE AREA 9,460 SF = 0.22 ACRES PERVIOUS AREA 41,122 SF = 0.94 ACRES RUNOFF COEFFICIENT C = 0.83

SUMMARY

IMPERVIOUS AREA = +0.05 ACRES PERVIOUS AREA

ENGINEERING ASSOCIATES, LTD. 145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 FAX (847) 223-4864 EMAIL INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 EXPIRES: 04/30/2023

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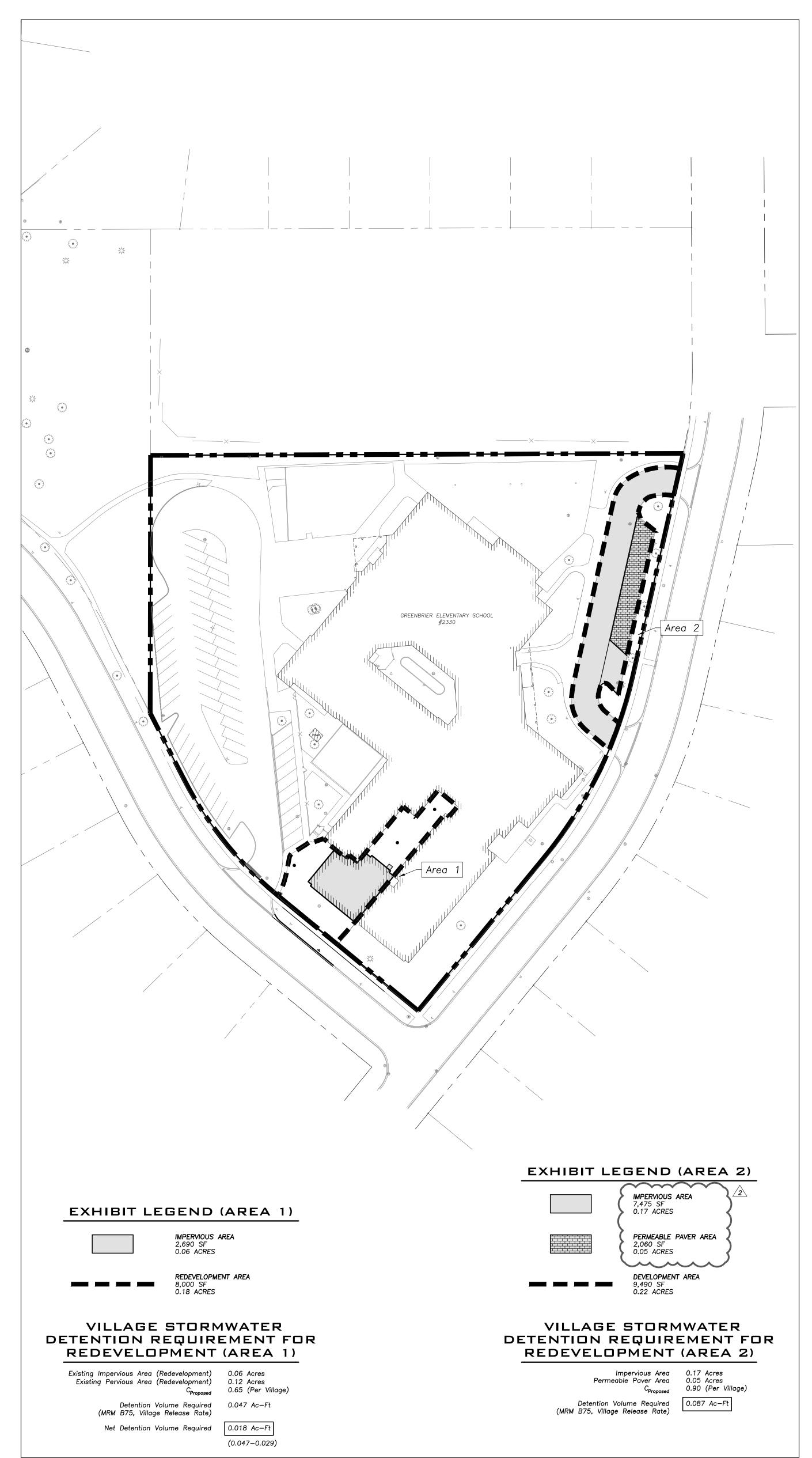
JG JC 02/02/23

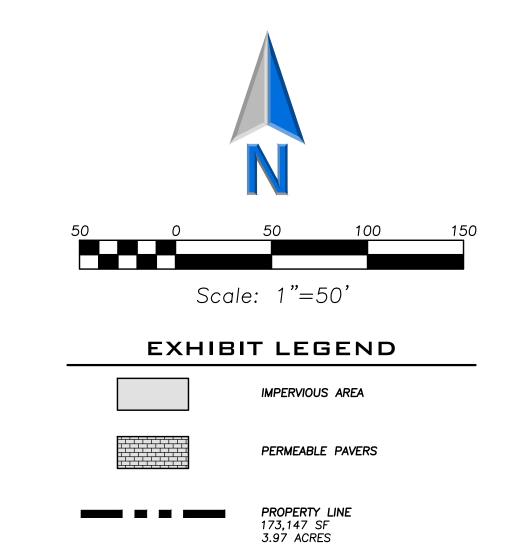
EXISTING VS. PROPOSED SITE COVERAGE

CX101

PROPOSED CONDITIONS

EXISTING CONDITIONS





ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2023

GREENBRIER SCHOOL ADDITIONS
AND RENOVATIONS

served for Seal:

Date Description

12/06/22 ISSUE FOR PLAN COMMISSION

02/02/23 REVISED FOR PLAN COMMISSION

02/28/23 REVISED FOR PLAN COMMISSION

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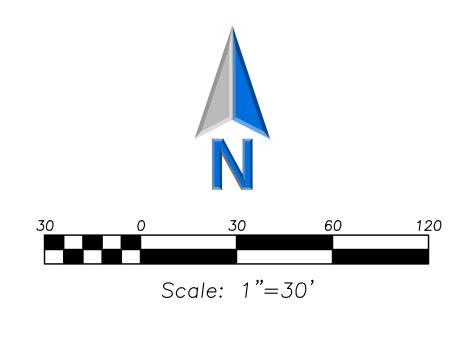
JG JC 02/02/23

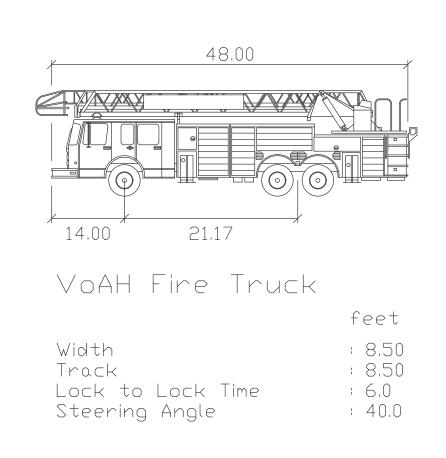
EXISTING VS.
PROPOSED
REDEVELOPMENT
AREA

CX201

PROPOSED CONDITIONS









GREENBRIER SCHOOL ADDITION
AND RENOVATIONS
2330 N. VERDE DR.

served for Sea

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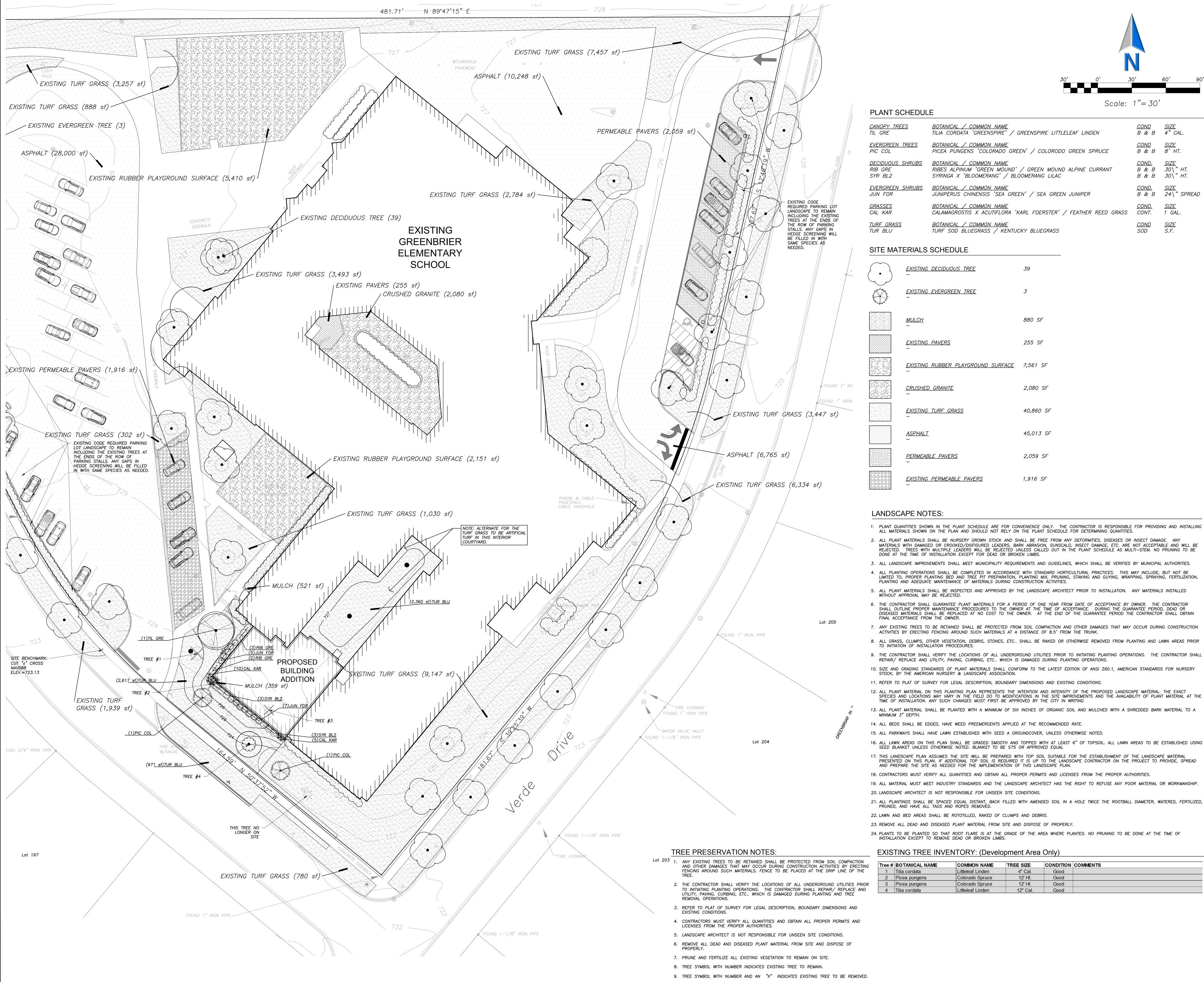
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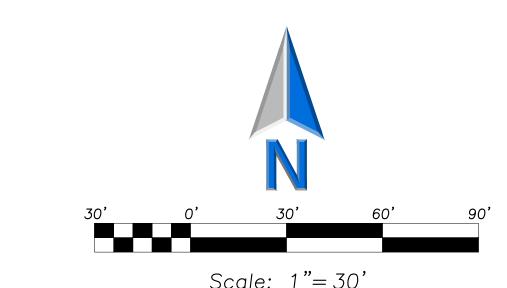
VILLAGE FIRE
TRUCK EXHIBIT

CX401

EXHIBIT G

LANDSCAPE PLAN





<u>CANOPY TREES</u>	BOTANICAL / COMMON NAME	<u>COND</u>	<u>SIZE</u>	<u>QTY</u>
TIL GRE	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	4" CAL.	1
<u>EVERGREEN TREES</u>	BOTANICAL / COMMON NAME	<u>COND</u>	<u>SIZE</u>	<u>QTY</u>
PIC COL	PICEA PUNGENS 'COLORADO GREEN' / COLORODO GREEN SPRUCE	B & B	8' HT.	2
<u>DECIDUOUS SHRUBS</u>	BOTANICAL / COMMON NAME	<u>COND.</u>	<u>SIZE</u>	<u>QTY</u>
RIB GRE	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	B & B	30\" HT.	5
SYR BL2	SYRINGA X 'BLOOMERANG' / BLOOMERANG LILAC	B & B	30\" HT.	6
<u>EVERGREEN SHRUBS</u>	BOTANICAL / COMMON NAME	<u>COND.</u>	<u>SIZE</u>	<u>QTY</u>
JUN FOR	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24\" SPREAD	12
<u>GRASSES</u>	BOTANICAL / COMMON NAME	COND.	<u>SIZE</u>	<u>QTY</u>
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	1 GAL.	15
<u>TURF GRASS</u>	BOTANICAL / COMMON NAME	<u>COND</u>	<u>SIZE</u>	<u>QTY</u>
TUR BLU	TURF SOD BLUEGRASS / KENTUCKY BLUEGRASS	SOD	S.F.	5,948 SF

	<u>EXISTING DECIDUOUS TREE</u> _	39
	EXISTING EVERGREEN TREE —	3
	<u>MULCH</u> –	880 SF
	<u>EXISTING PAVERS</u> –	255 SF
	EXISTING RUBBER PLAYGROUND SURFACE -	7,561 SF
	<u>CRUSHED GRANITE</u> –	2,080 SF
	<u>EXISTING TURF GRASS</u> –	40,860 SF
	<u>ASPHALT</u> –	45,013 SF
	<u>PERMEABLE PAVERS</u> —	2,059 SF
6/5/5/5/6 6/5/5/6/6 6/6/6/6/6 6/6/6/6/6	<u>EXISTING PERMEABLE PAVERS</u> —	1,916 SF

- 1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING
- 2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE
- 3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- 4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION,
- 5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- 6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN
- 7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- 8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC.. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR
- 9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC.. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- 10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY
- 11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- 12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING
- 13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A
- 14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- 15. ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- 16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL
- 17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD
- 18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- 20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.

- 22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- 23. REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY. 24. PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF

Tree #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	Tilia cordata	Littleleaf Linden	4" Cal.	Good	
2	Picea pungens	Colorado Spruce	12' Ht.	Good	
3	Picea pungens	Colorado Spruce	12' Ht.	Good	
4	Tilia cordata	Littleleaf Linden	12" Cal.	Good	

ERIKSSON ENGINEERING ASSOCIATES, LTD. 145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 FAX (847) 223-4864 EMAIL INFO@EEA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE No. 184-003220 Expires: 04/30/2023

No. | Date | Description 12/06/2022 ISSUE FOR PLAN COMMISSION 02/03/2023 REVISED FOR PLAN COMMISSION

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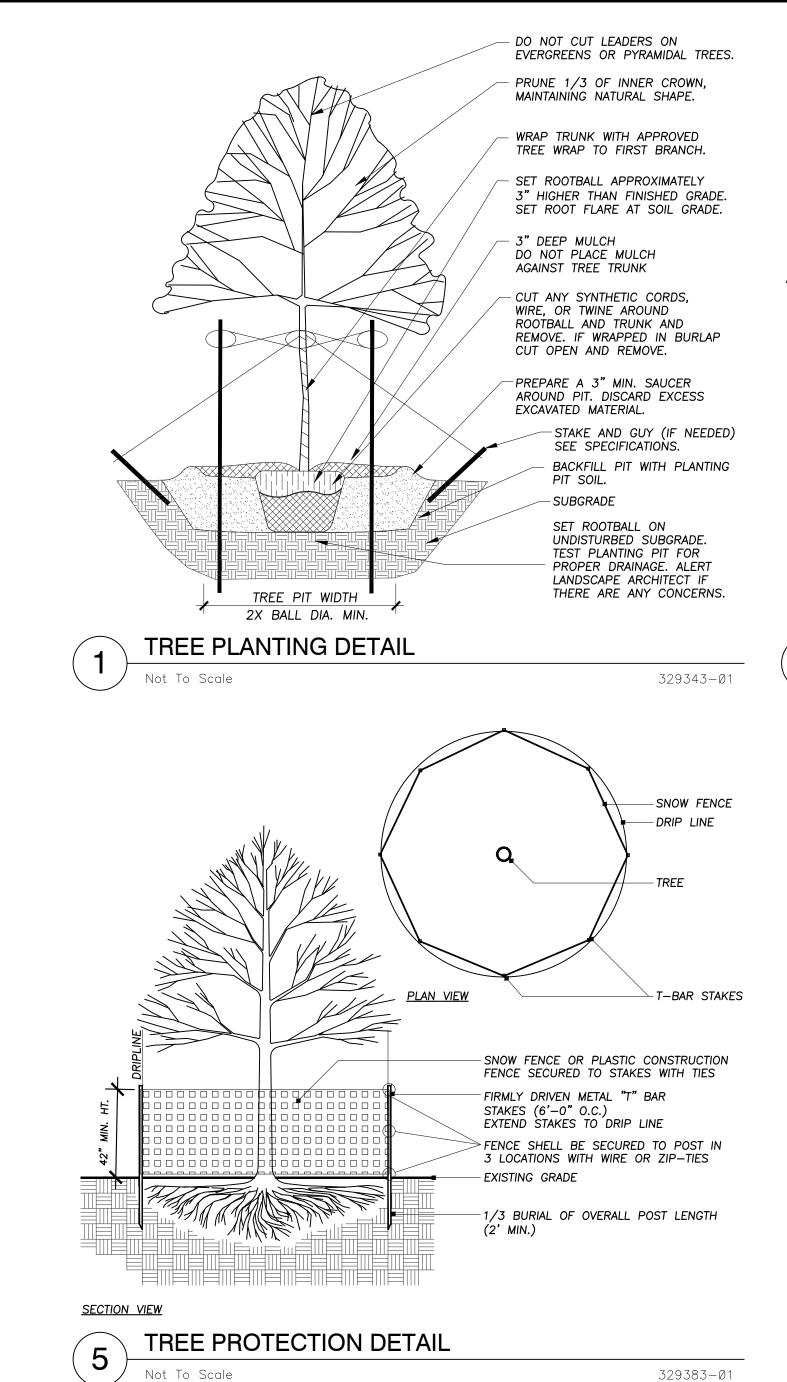
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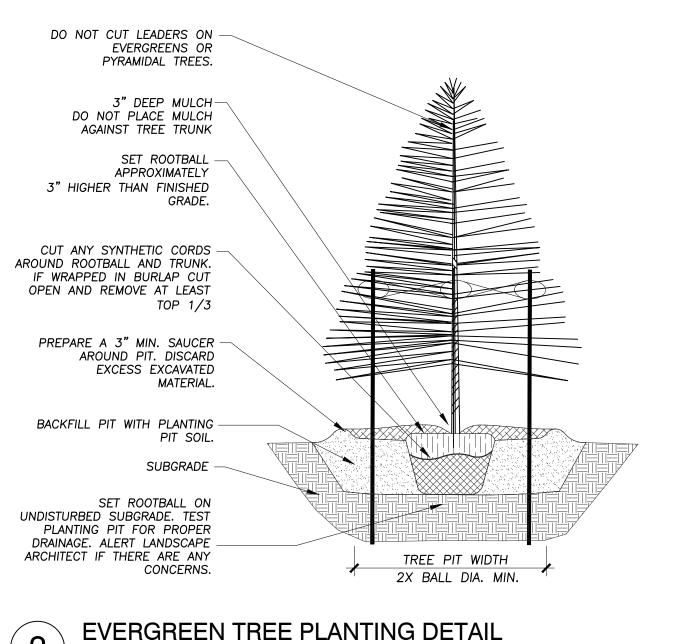
LANDSCAPE

PLAN

SSG

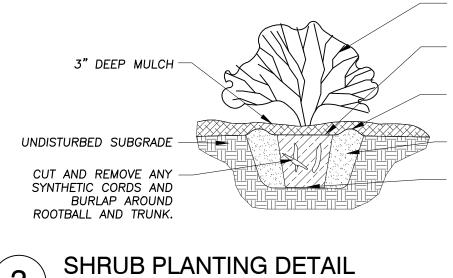
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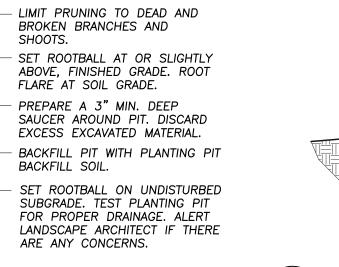


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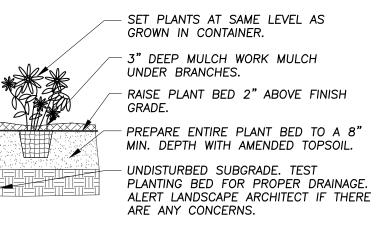
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Not To Scale



329333-Ø1



ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL 329301-03

ERIKSSON

ENGINEERING

ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030

PHONE (847) 223-4804

_{FAX} (847) 223-4864

EMAIL INFO@EEA-LTD.COM

Professional Design Firm LICENSE No. 184-003220

Expires: 04/30/2023

12/06/2022 ISSUE FOR PLAN COMMISSION 02/03/2023 REVISED FOR PLAN COMMISSIO

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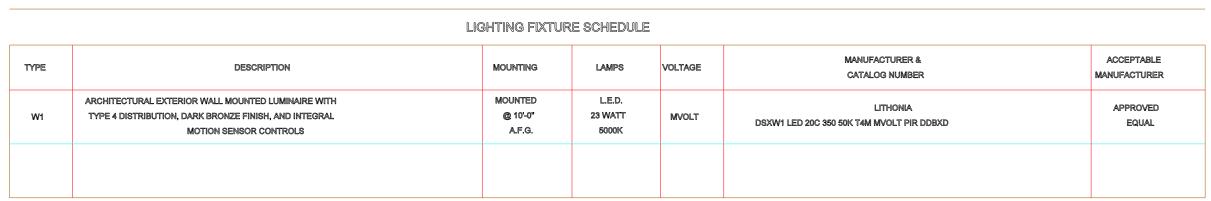
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 JC
 02/03/202

LANDSCAPE **DETAILS**

L200

EXHIBIT H

<u>SITE PLAN – PHOTOMETRIC CALCULATIONS</u>



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	4.8 fc	0.0 fc	N/A	N/A

Luminaire Locations						
		Loca	ation			
No.	Label	X	Y	МН	Orientation	Tilt
3	W1	393.05	442.30	8'	0.00	0.00
2	W1	373.60	411.60	8'	270.00	0.00



SITE PLAN - ELECTRICAL

SCALE: 1" = 30'

N



ARCHITECTS:

STR Partners, LLC 350 West Ontario Street | Suite 200 Chicago, IL 60654

T: 312.464.1444 www.strpartners.com

• CIVIL ENGINEERING:

ERIKSSON ENGINEERING ASSOCIATES, LTD.

145 Ccommerce Drive, Suite A

Grayslake, IL 60030
(847) 223-4804

• LANDSCAPE ARCHITECTURE:

ERIKSSON ENGINEERING ASSOCIATES, LTD.

145 Ccommerce Drive, Suite A
Grayslake, IL 60030
(847) 223-4804

• ROOFING AND BUILDING ENVELOPE:

STR-SEG/STR BUILDING RESOURCES LLC
350 West Ontario Street, Suite 200
Chicago, IL 60654

(262) 253-4700

• STRUCTURAL ENGINEERING:

THE STRUCTURAL GROUP

707 Lake Cook Road, Suite 300

Deerfield, IL 60015

(847) 562-1977

MEP/FP ENGINEERING:
 CS2 DESIGN GROUP LLC
 837 Oakton Street
 Elk Grove Village, IL 60007

(847) 981-1880

CONSTRUCTION MANAGER:
 NICHOLAS & ASSOCIATES
 1001 Feehanville Drive
 Mount Prospect, IL 60056
 (847) 394-6205

KEY PLAN

SCOPE DOCUMENT

This drawing is one drawing within a complete set of documents and shall not be considered separately from the Drawings as a whole. The Drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents. On the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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PROJECT

GREENBRIER ELEMENTARY
SCHOOL ADDITION
2330 N Verde Dr.

Arlington Heights, IL 60004

ARLINGTON HEIGHTS SCHOOL DISTRICT 25

1200 South Dunton Avenue Arlington Heights, IL 60005

STR PROJECT NUMBER

22049

DRAWING DATES

IN-PROGRESS NOT FOR CONSTRUCTION 2/2/23

FEB. 2, 2023 ISSUE FOR PLAN COMMISSION

DRAWING TITLE

SITE PLAN -PHOTOMETRIC CALCULATION

SHEET NUMBER

PH0.0

Actual size to read at scale

EXHIBIT I

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Arlington Heights, Illinois ("Village"):

WHEREAS, Arlington Heights School District 25 ("Applicant") is the owner of record of that certain property located in the R-3 One Family Dwelling District, and commonly known as 2330 N. Verde Drive ("Property"); and

WHEREAS, Ordinance No. 2023-______, adopted by the Village President and Board of Trustees on _______, 2023 ("*Ordinance*"), approves an amendment to an existing special use permit and grants variations to the Applicant for the expansion and continued operation of an elementary school on the Property; and

WHEREAS, Section 9 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

- 1. The Applicant hereby unconditionally agrees to, accepts, consents to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
- 2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
- 3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the amended special use permit and the variations for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
- 4. The Applicant hereby agrees to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the amended special use permit and the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated:, 2023	
ATTEST:	ARLINGTON HEIGHTS SCHOOL DISTRICT 25
Ву:	By:
Ite	Itc