

VILLAGE OF ARLINGTON HEIGHTS

ORDINANCE NO. 2023-_____

AN ORDINANCE AMENDING A SPECIAL USE PERMIT
FOR A BUILDING EXPANSION
AT WINDSOR ELEMENTARY SCHOOL
(1315 E. Miner Street)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF ARLINGTON HEIGHTS
THIS ____ DAY OF _____, 2023.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Arlington Heights,
Cook County, Illinois this
_____ day of _____, 2023

Village Clerk

AN ORDINANCE AMENDING A SPECIAL USE PERMIT
FOR A BUILDING EXPANSION
AT WINDSOR ELEMENTARY SCHOOL
(1315 E. Miner Street)

WHEREAS, Arlington Heights School District 25 (“**Applicant**”) is the owner of record of that certain property located in the R-3 One Family Dwelling District (“**R-3 District**”) commonly known as 1315 E. Miner Street, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance (“**Property**”); and

WHEREAS, the Property is currently used for an elementary school, and is improved with an elementary school building, parking lots, and other related improvements (collectively, the “**Existing Improvements**”); and

WHEREAS, on September 4, 1990, the President and Board of Trustees adopted Ordinance No. 90-082 granting, among other things, a special use permit for the operation of an elementary school on the Property, a variation to waive the parking lot landscape requirement along the western and southern sides of the parking lot, and a variation from the minimum number of off-street parking spaces required, to allow 83 spaces on the Property (“**Original Special Use Permit**”); and

WHEREAS, on March 6, 2017, the President and the Board of Trustees adopted Ordinance No. 17-013, granting, among other things, an amendment to the existing special use permit for the operation of an elementary school on the Property granted in the Original Special Use Permit, a variation from the side yard setback requirements, a variation from the impervious surface coverage requirements, and a variation from the minimum number of off-street parking spaces required, to allow 101 spaces on the Property (“**Existing Special Use Permit**”); and

WHEREAS, the Applicant desires to expand the elementary school building on the Property and make other modifications to the Existing Improvements (collectively, the “**Proposed Improvements**”); and

WHEREAS, pursuant to Section 5.5-1 of “The 2002 Comprehensive Amendment of the Zoning Ordinance of the Village of Arlington Heights,” as amended (“**Zoning Code**”), the Proposed Improvements may only be constructed and used on the Property upon issuance by the Village Board of Trustees of an amended special use permit therefor; and

WHEREAS, pursuant to Section 8 of the Zoning Code, the Applicant has filed an application for approval of an amendment to the Existing Special Use Permit to permit the construction and use of the Proposed Improvements on the Property (collectively, the “**Requested Relief**”); and

WHEREAS, a public hearing of the Plan Commission of the Village to consider approval of the Requested Relief was duly advertised in the *Daily Herald* on March 28, 2023, and held on April 12, 2023; and

WHEREAS, on April 12, 2023, the Plan Commission made findings and recommendations in support of the Requested Relief, with conditions; and

WHEREAS, the President and Board of Trustees have determined that the Requested Relief meets the required standards for special use permits as set forth in Section 8.5 of the Zoning Code; and

WHEREAS, the President and Board of Trustees have determined that it will serve and be in the best interest of the Village to grant the Requested Relief, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. GRANT OF SPECIAL USE PERMIT AMENDMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, and in accordance with, and pursuant to, Section 8 of the Zoning Code and the home rule powers of the Village, the Village hereby grants an amendment to the Existing Special Use Permit to the Applicant for the construction and use of the Proposed Improvements on the Property.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Code, the approvals granted pursuant to Sections 2 of this Ordinance are hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. Compliance with Regulations. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and the Property must comply at all times with all applicable Federal, State, and Village statutes, codes, ordinances, and regulations, as the same have been or may be amended from time to time.
- B. Compliance with Plans. Except for minor changes and site work approved by the Village Director of Building & Life Safety (for matters within their permitting authority) in accordance with all applicable Village standards, and except as may be approved pursuant to Sections 3.C of this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and of the Property must be substantially compliant with the following plans:
 - 1. The Site Plan, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of February 3, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit B;
 - 2. The Floor Plans, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of February 3, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit C;
 - 3. The Roof Plan, prepared by STR Partners, LLC and consisting of one sheet, with a last revision date of December 5, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit D;
 - 4. The Building Elevations / Color Rendering, prepared by STR Partners, LLC consisting of one sheet, with a last revision date of December 5, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit E;

5. The Windsor Elementary School Building Addition and Renovations plans and drawings, prepared by Eriksson Engineering Associates, Ltd. consisting of 14 sheets, with a last revision date of February 28, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit F;
 6. The Landscape Plan, prepared by Eriksson Engineering Associates, Ltd. consisting of one sheet, with a last revision date of February 3, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit G; and
 7. The Site Plan – Photometric Calculations, prepared by STR Partners, LLC consisting of 1 sheet, with a last revision date of February 2, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit H.
- C. Parking Demand. If enrollment at the elementary school on the Property exceeds or is projected to exceed 466 students within the expanded building, the Applicant must promptly provide written notice to the Village and demonstrate, to the satisfaction of the Village Manager, that adequate on-site parking can accommodate peak demand and that drop-off and pick-up operations will not create unsafe vehicular or pedestrian movements. Thereafter, the Applicant must either: (1) implement improvements on the Property as may be necessary, in the determination of the Village Manager, to accommodate the increased vehicular traffic and parking generated by the increased enrollment; or (2) obtain approval of the Board of Trustees of appropriate amendments to the special use permit granted pursuant to this Ordinance.
- D. Drop-Off and Pick-Up Coordination. The Applicant will coordinate and work with the Village and neighbors of the Property regarding traffic and safety issues related to student drop-off and pick-up activity within the vicinity of the Property.
- E. Stormwater Information. The Applicant must provide the Village with stormwater information necessary to verify compliance with all Metropolitan Water Reclamation District of Greater Chicago and Village regulations to the satisfaction of the Village.
- F. Design Commission. The Applicant must comply with all required conditions imposed by the Village Design Commission at its meeting on February 28, 2023.

SECTION 4. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded on title to the Property with the Cook County Clerk's Recording Division. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon the Applicant and each of its heirs, representatives, successors, and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approvals granted in Section 2 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approvals granted in Section 2 of this Ordinance unless they first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the R-3 District and the applicable provisions of the Village Code, as the same may, from time to time, be amended. Further, in the event of such revocation,

the Village Manager and Village Attorney are hereby authorized and directed to bring such enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the approvals granted in Section 2 of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code.

SECTION 7. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 8. EFFECTIVE DATE.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

1. Passage by the Village President and Board of Trustees in the manner required by law; and
2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of Exhibit I attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.

B. In the event the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 8.A.2 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

AYES:

NAYS:

PASSED AND APPROVED THIS ____ day of _____, 2023

Village President

ATTEST:

Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

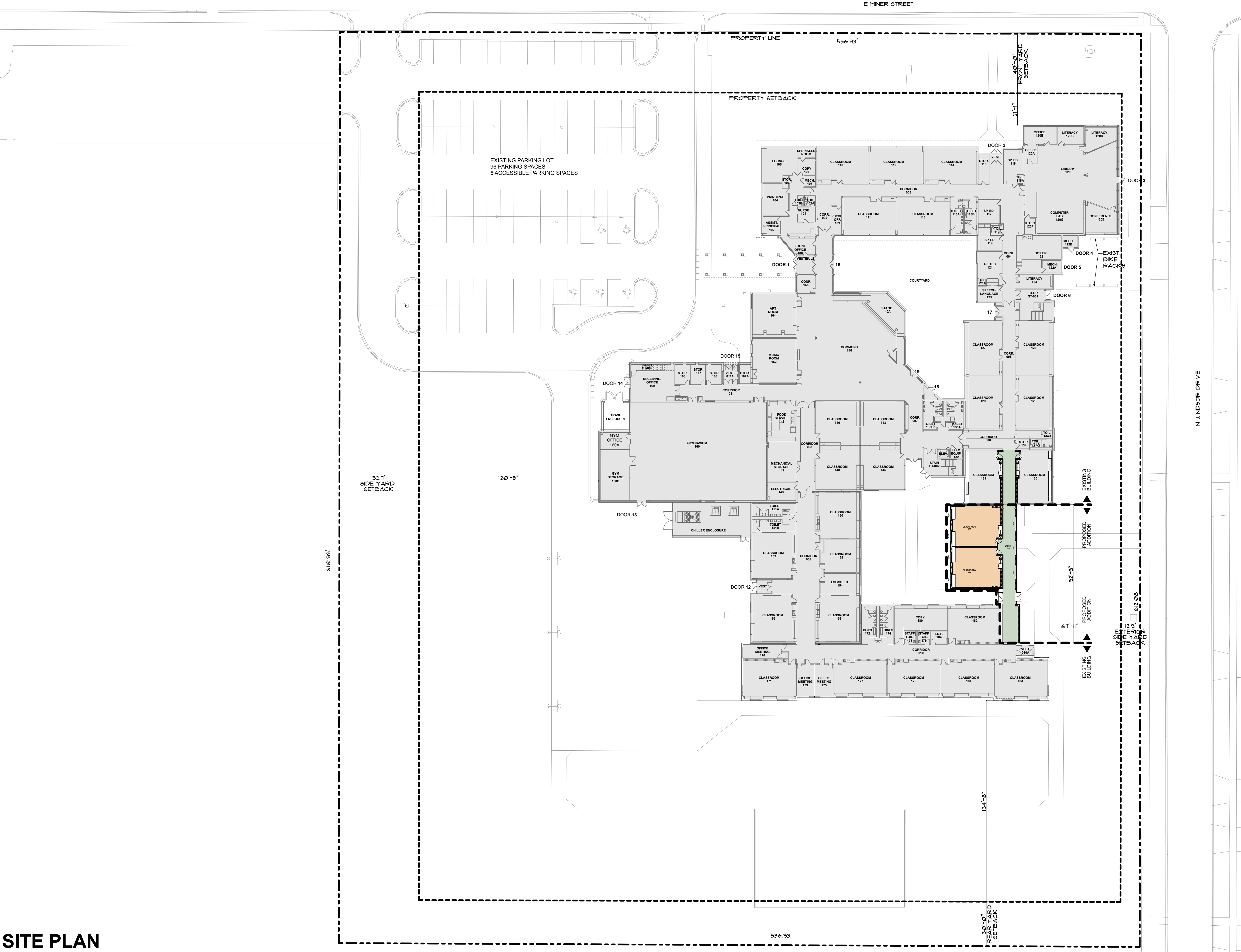
WINDSOR SCHOOL, ARLINGTON HEIGHTS, ILLINOIS. IN THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Commonly known as: 1315 E. Miner Street, Arlington Heights, Illinois.

PINs: 03-29-412-042, 03-29-412-016, and 03-29-412-015

EXHIBIT B

SITE PLAN

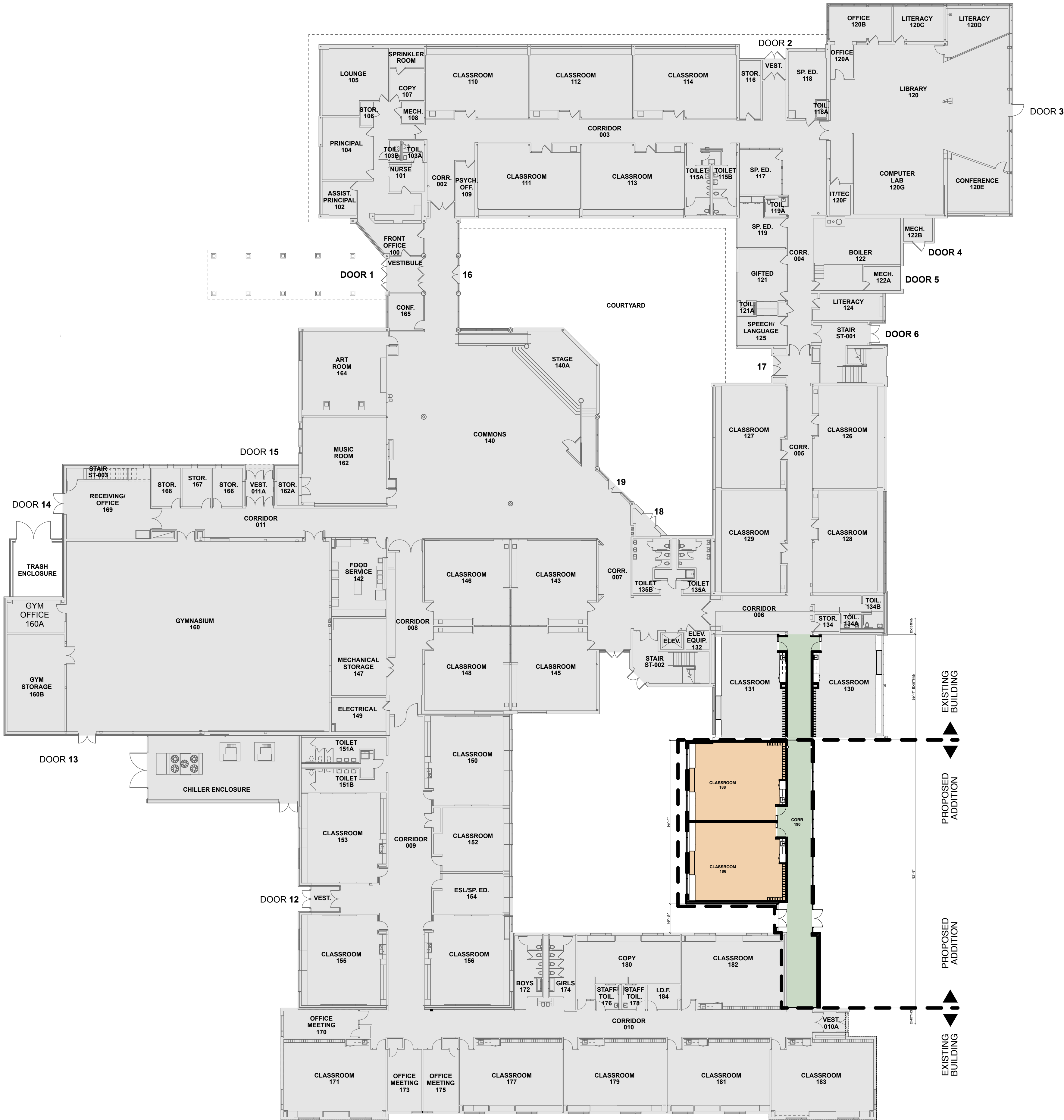
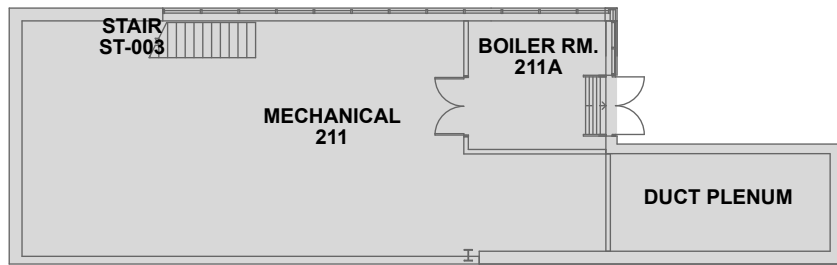


SITE PLAN

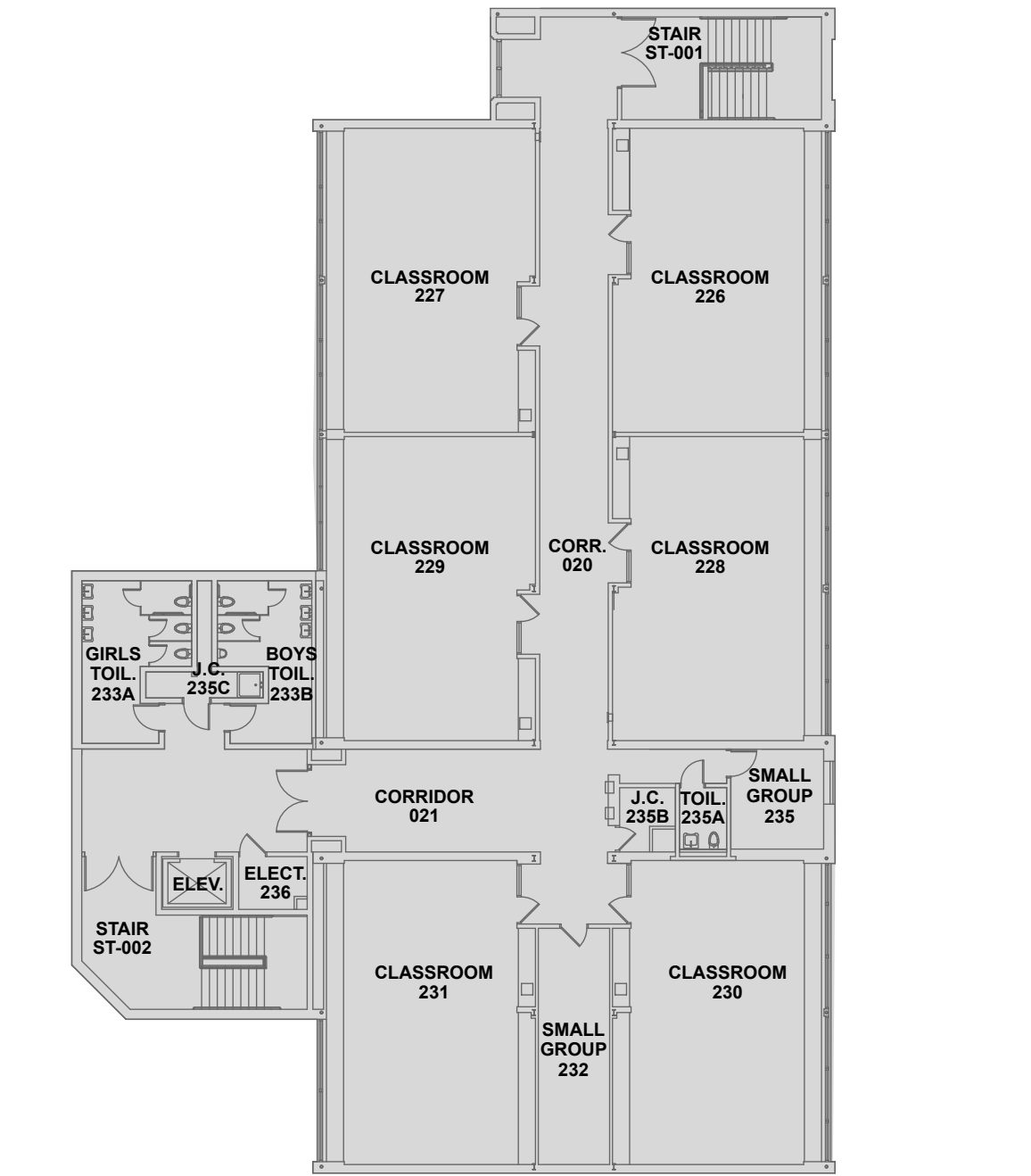
EXHIBIT C
FLOOR PLANS

FLOOR PLANS

3 MECHANICAL MEZZANINE PLAN
SCALE: 1" = 20'

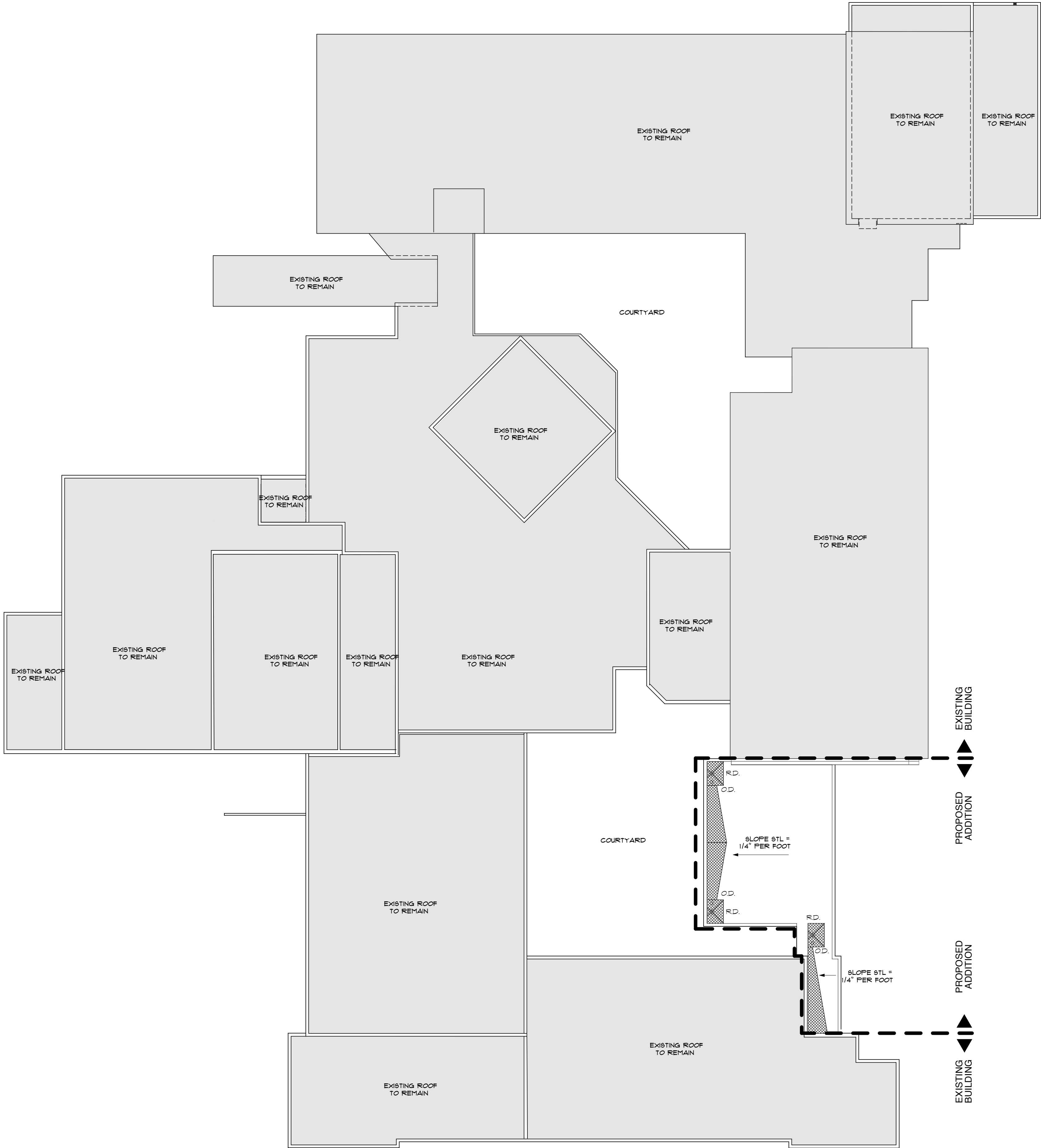


1 FIRST FLOOR PLAN
SCALE: 1" = 20'

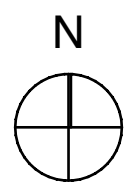
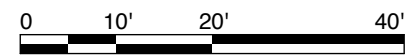


2 SECOND FLOOR PLAN
SCALE: 1" = 20'

EXHIBIT D
ROOF PLAN



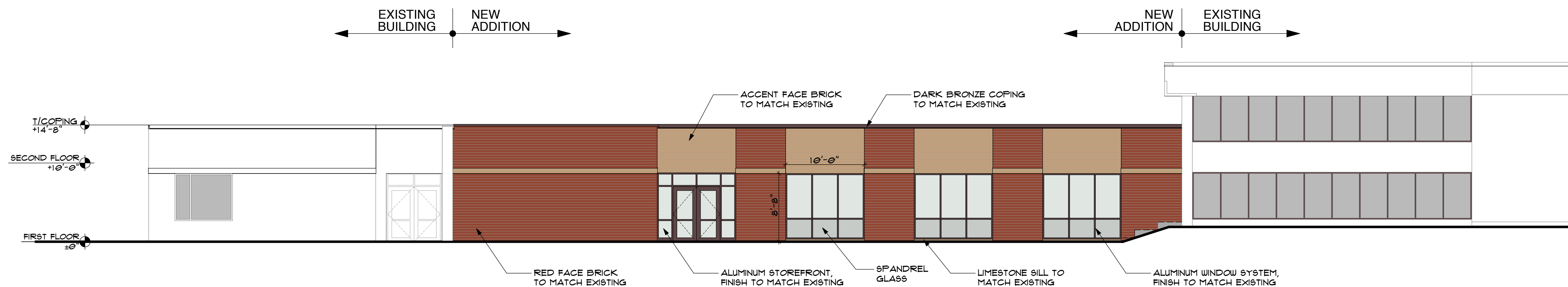
1 PROPOSED ROOF PLAN
SCALE: 1" = 20'



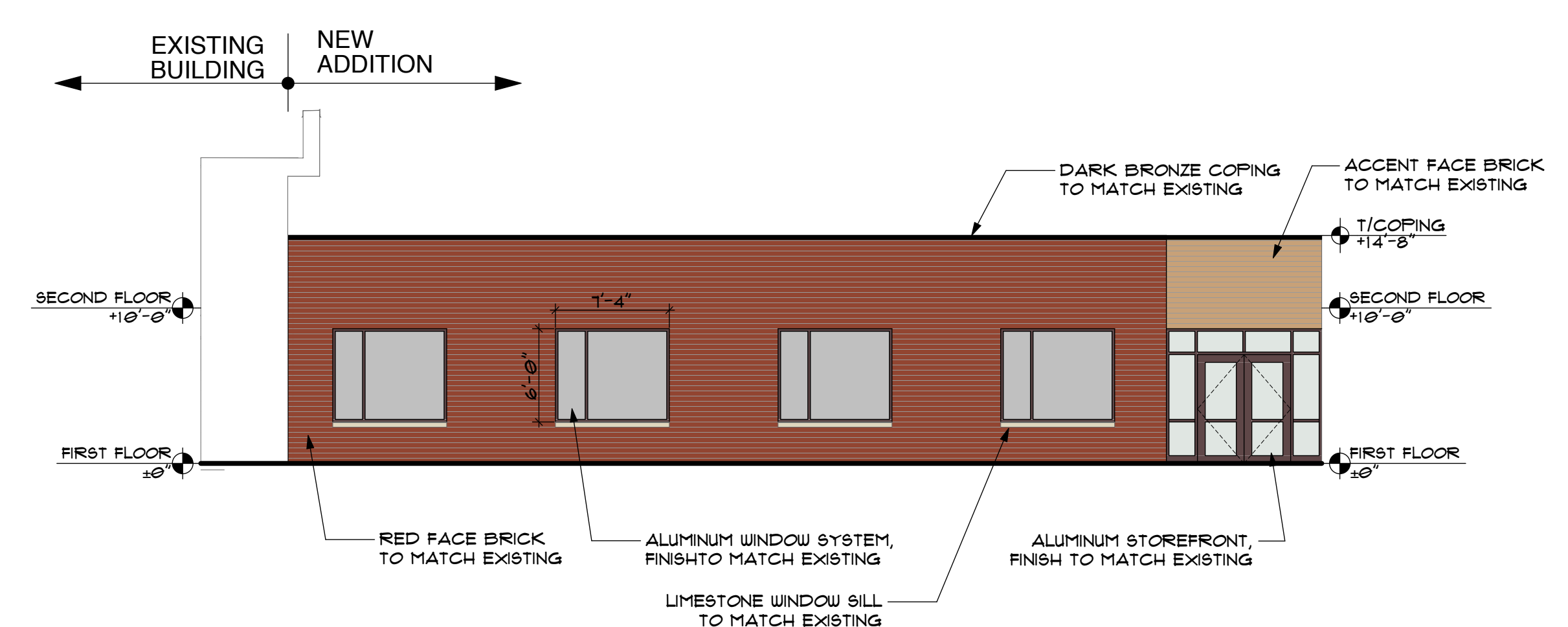
ROOF PLAN

EXHIBIT E

BUILDING ELEVATIONS / COLOR RENDERING



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

BUILDING ELEVATIONS/COLOR RENDERING

EXHIBIT F

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION
AND RENOVATIONS PLANS AND DRAWINGS

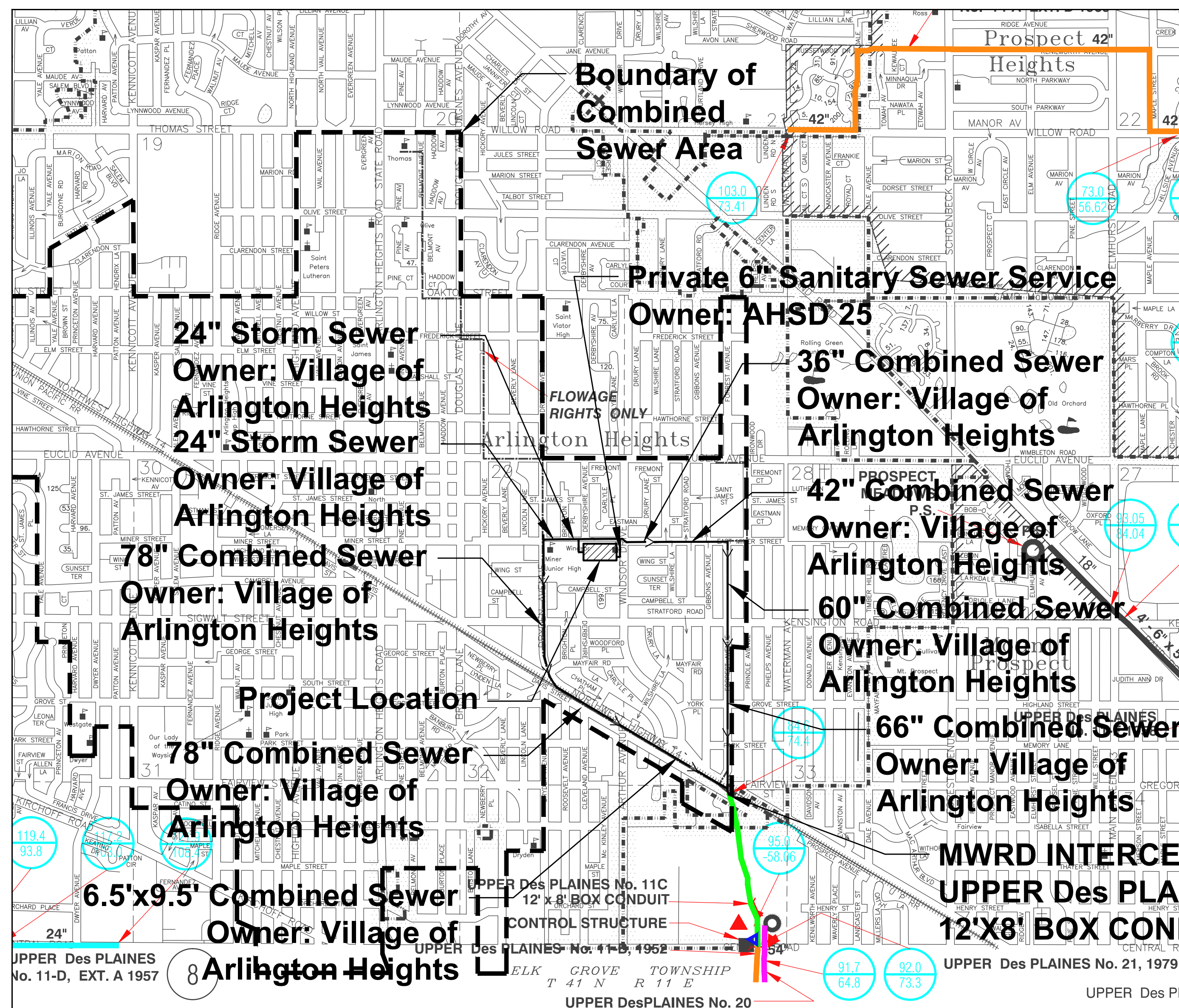
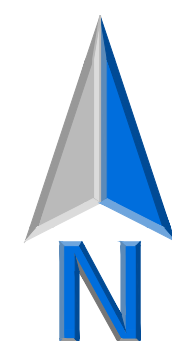
WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. Miner St. Arlington Heights, IL 60004



WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Contact the Metropolitan
Water Reclamation District
of Greater Chicago 2 days
before starting work.
P (708) 588-4055
E WMOJobStart@mwrdr.org



CIVIL SHEET INDEX

| | |
|-------|--------------------------------------|
| C000 | CIVIL COVER SHEET |
| C001 | TOPOGRAPHICAL SURVEY (RECORD) |
| C002 | SITE WORK NOTES AND LEGENDS |
| C003 | MMWD GENERAL NOTES |
| C101 | SITE DEMOLITION PLAN |
| C201 | SITE GEOMETRY PLAN |
| C301 | SITE UTILITY PLAN |
| C401 | SITE GRADING AND PAVING PLAN |
| C501 | SITE EROSION AND CONTROL PLAN |
| C601 | SITE WORK DETAILS |
| CX11 | AUTOTURN EXHIBIT - FIRE TRUCK |
| CX101 | EXISTING VS PROPOSED COVERAGE |
| CX201 | DEVELOPMENT AREA (VILLAGE SWM) |
| CX202 | PROPOSED DEVELOPMENT AREA (MMWD SWM) |

LANDSCAPE SHEET INDEX

| | |
|------|----------------|
| L101 | Landscape Plan |
|------|----------------|

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on October 5, 2016. Order Number F132-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
1397 E. Miner Street
Monument 55
1" Dia. Brass Disc In Southwesterly Corner of Water Meter Vault, 44.5' South Of The Centerline Of Miner Street And 67' West Of The Centerline Of Windsor Drive.
NAVD 88 Elevation = 671.61
Easting: 1083719.692
Northing: 1977016.846

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

DRAINAGE STATEMENT

To The Best Of Our Knowledge And Belief, It Is Our Professional Opinion That The Proposed Improvements On The Property Are Not Within One-Hundred (100) Feet Of A Known Flood Protection Area. The Drainage Of The Surface Waters Will Not Be Changed By The Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The Adjoining Property Because Of The Construction Of The Development.

Reserved for Seal:

| No. | Date | Description |
|----------|----------|-----------------------------|
| 12/06/22 | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| 02/03/23 | 02/03/23 | REVISED FOR PLAN COMMISSION |
| 02/28/23 | 02/28/23 | REVISED FOR PLAN COMMISSION |
| | | |
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|----|----|----------------|
| CS | JC | Date: 02/03/23 |
|----|----|----------------|

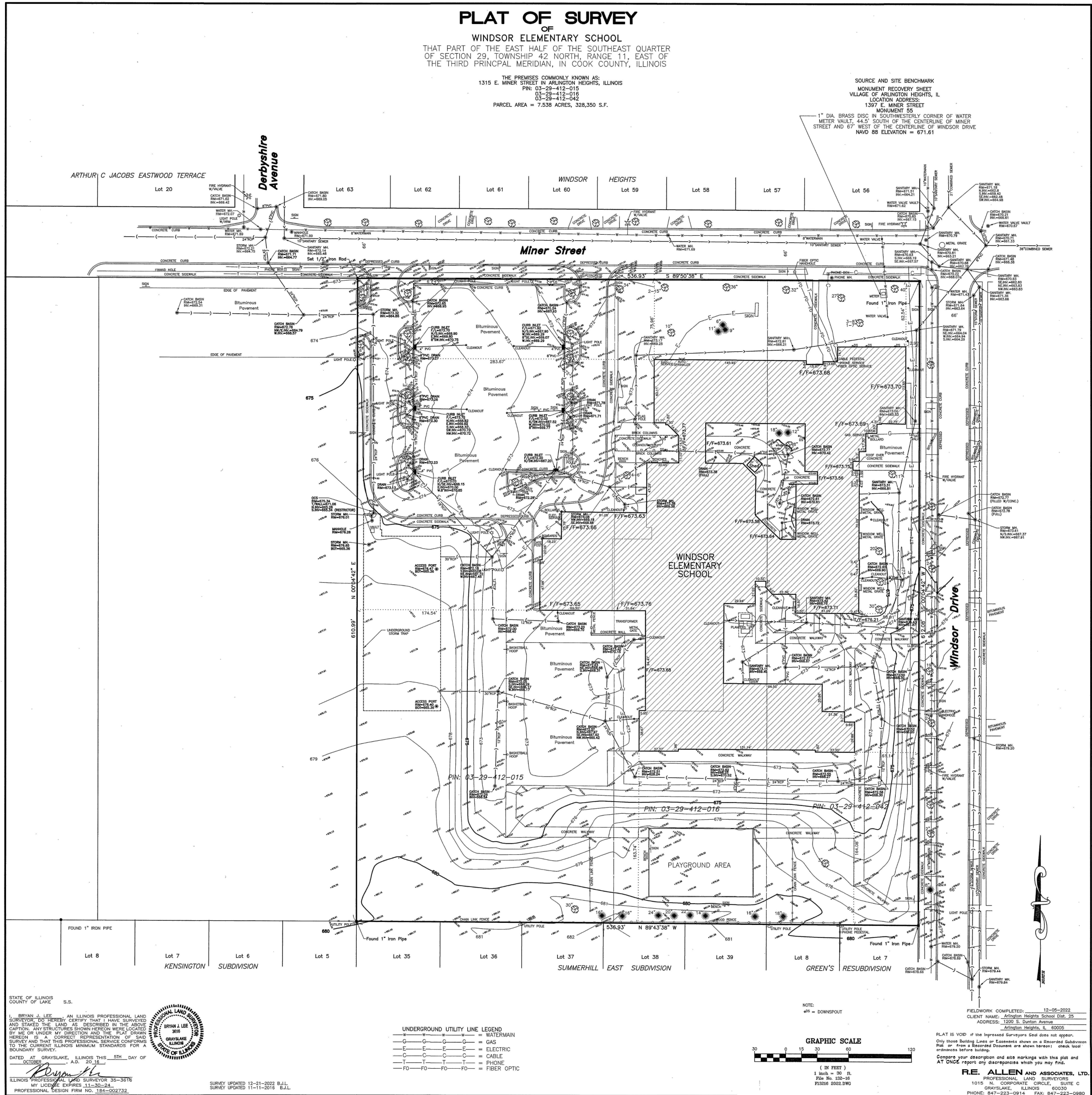
Sheet Title:

CIVIL COVER
SHEET

Sheet No:

C000

EEA - P:\Josh\Arlington Heights School Dist. 25\2022 Kindergarten Additions\Drawings\Windsor\Siteplan - Windsor.dwg
Plotted: 2/28/23 @ 1:10:30pm By: jcp



**WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|----------|----------|-----------------------------|
| 12/06/22 | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| 02/03/23 | 02/03/23 | REVISED FOR PLAN COMMISSION |
| 02/28/23 | 02/28/23 | REVISED FOR PLAN COMMISSION |

Design By: CS JC Date: 02/03/23

Sheet Title:
**TOPOGRAPHICAL
SURVEY
(RECORD)**

Sheet No:
C001

EEA - P:\Joshi\Arlington Heights School Dist. 25\2022 Kindergarten Additions\Drawings\Windsor\Siteplan - Windsor.dwg
Plotted: 2/28/23 @ 1:10:40m By: japp

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Of Arlington Heights Streets Free and Clear of Construction Related Dirt/Out/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- Coordinate Removal of Overhead Wires And Utility Poles With Authorities Having Jurisdiction And Respective Utility Providers.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Fined Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement And/or Utility Installation Encroach Within The Existing Drip Line Of Trees To Remain. All Trenching Within The Drip Line Of Existing Trees To Remain Shall Be Done Radially Away From Trunk. If Roots In Excess Of 1" Diameter Are Exposed, Roots Must Be Cut By Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval Of The Architect Prior to Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats for Latex Paints. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to installing any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation Of Any New Structures Or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation Of Any Utilities Encountered And Replacement Of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grate Rings For Topsoil Respread. For Flat Slab Slabs Install the Following Minimum Height of Grate Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It is Intended That the Frame of the Structure is to Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall Include a Chimney Seal.

GRADING NOTES

- <<If not included with erosion control notes>>Install And Maintain Silt Fence at the Perimeter of the Construction Zone.
- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Sodded Unless Noted Otherwise On The Landscape Drawings.
- Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Contractor Shall Be Responsible for Compliance With IEPA NPDES and ILR10 Permit Requirements for Project.
- Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization is Defined By The EPA General Permit As Mowing That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Watties Around The Grate in Landscaped Areas And "Catch-All" Inlet Protectors (or equal, such as Pork Chop Sedgum) in Paved Areas To Prevent Siltation and Discharge Into Waterways.
- All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II And Lake County DEC Requirements.
- Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittee Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.
- Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services in Accordance with NPDES and Governmental Requirements. Inspections Shall Occur at Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
- The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
- All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No. ILR10 and Local and County Permits.
- Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Socks, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to Open Water.
- Install Stabilized Construction Entrance
- Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb An Area Until It is Necessary For Construction To Proceed
- Cover and Stabilize Disturbed Areas As Soon As Possible.
- When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
- Construct Sedimentation Basins and Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Basins and Along Silt Fence.
- Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- Install Stabilized Construction Entrance
- Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb An Area Until It is Necessary For Construction To Proceed
- Cover and Stabilize Disturbed Areas As Soon As Possible.
- When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
- Construct Sedimentation Basins and Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Basins and Along Silt Fence.
- Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

LEGEND

| EXISTING | | PROPOSED |
|----------|---|----------|
| | Manhole | |
| | Catch Basin | |
| | Inlet | |
| | Area Drain | |
| | Clean Out | |
| | Flared End Section | |
| | Storm Sewer | |
| | Sanitary Sewer | |
| | Combined Sewer | |
| | Water Main | |
| | Gas Line | |
| | Overhead Wires | |
| | Electrical Cable (Buried) | |
| | Telephone Line | |
| | Fire Hydrant | |
| | Valve Vault | |
| | Buffalo Box | |
| | Downspout | |
| | Ballard | |
| | Gas Valve | |
| | Gas Meter | |
| | Electric Meter | |
| | ConEd Manhole | |
| | Hand Hole | |
| | Light Pole | |
| | Light Pole w/ Mast Arm | |
| | Utility Pole | |
| | Telephone Pedestal | |
| | Telephone Manhole | |
| | Sign | |
| | Fence | |
| | Accessible Parking Stall | |
| | Curb & Gutter | |
| | Depressed Curb | |
| | Curb Elevation | |
| | Gutter Elevation | |
| | Pavement Elevation | |
| | Sidewalk Elevation | |
| | Ground Elevation | |
| | Top of Retaining Wall Elevation | |
| | Swale | |
| | Contour Line | |
| | Deciduous Tree | |
| | Coniferous Tree | |
| | Brushline | |
| | Tree Protection Fencing at Drip Line | |

DEMOLITION LEGEND

| | |
|--|--|
| | Utility Line Removal |
| | Bituminous Pavement Removal (Full Depth) |
| | Concrete Pavement Removal (Full Depth) |
| | Gravel Removal (Full Depth) |
| | Pavement Sawcut |
| | Curb & Gutter Removal |
| | Structure Removal |
| | Tree Removal |

PAVING & SURFACE LEGEND

| | |
|--|---|
| | Asphalt Pavement Section 1 1/2" Hot Mix Asphalt/Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 4" Aggregate Base Course, Type B, Crushed, CA-6 4" Drainage Course, CA-7 Non-Woven Geotextile Fabric, 5 oz/sy ADD ALTERNATE: Tensor GeoGrid TX160 (Installed per Manufacturers Specifications) |
| | Concrete Driveway Section 5" Portland Cement Concrete 6"x6" W2.4xW2.9 Welded Wire Fabric 2" Aggregate Base Course, Type B, Crushed (Cont. Welded Wire Fabric in Public ROW) |
| | Concrete Sidewalk Section 2" Portland Cement Concrete 6"x6" W1.4xW1.4 Welded Wire Fabric 2" Aggregate Base Course, Type B, Crushed (Cont. Welded Wire Fabric in Public ROW) |
| | Heavy-Duty (Fire Lane) Asphalt Pavement Section 2" Hot Mix Asphalt Surface/Mix D, IL-9.5, N50 2 1/4" Hot Mix Asphalt Binder, IL-19.0, N50 5" Hot Mix Asphalt, IL-19.0, N30 4" Aggregate Base Course, Type B, Crushed (Installed per Manufacturers Specifications) |
| | Light-Duty Asphalt Pavement Section 3" Hot Mix Asphalt/Mix D, IL-9.5, N50 6" Aggregate Base Course, Type B, Crushed (Installed per Manufacturers Specifications) |
| | Asphalt Pavement Seal Coat and Crack Fill Asphalt Emulsions Seal Coat-2 Coats (NO COAL TAR SEALER OR PRODUCT) Crack Filling, Hot Applied Joint Sealant |
| | Pavement Restoration in Public Way See Detail |
| | BASE BID: Asphalt Pavement Section 1 1/2" Hot Mix Asphalt/Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 4" Aggregate Base Course, Type B, Crushed, CA-6 4" Drainage Course, CA-7 Non-Woven Geotextile Fabric, 5 oz/sy ADD ALTERNATE: Tensor GeoGrid TX160 (Installed per Manufacturers Specifications) Push Band Curb Omitted If Base Bid is Selected. |
| | ALTERNATE: Unilock Eco-Prima™ Permeable Paver Large or Small Square (TBD by Architect And/Or Owner) Color: Heritage Brown 3-1/8" Saw Depth 1-1/2" CA-16 Setting Bed 6" Min. CA-7 (Variable Based On Pavement Slope) 12" CA-1 Permeable Subbase Aggregate Subbase Stone Shall Be Wrapped in Non-Woven Geotextile Fabric As Required By The MWRD, Typ. ADD ALTERNATE: Tensor GeoGrid TX160 (Installed per Manufacturers Specifications) |
| | Stormwater Overland Flow Path |
| | Ridge Line/High Point |

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

| | |
|--|--|
| | Silt Fence |
| | Erosion Control Blanket North American Green D575 Or Approved Equal |
| | Permanent Turf Reinforcement Mat North American Green C350 Or Approved Equal |
| | Erosion Control Ditch Check |
| | Catch-All, Pork Chop Sedgum (or equal) Paved or Existing Stabilized Areas |
| | Filter Wattle Inlet Protection with Dandy Pop (or equal) Landscape Areas |
| | Erosion Eal (Temporary Silt Barrier) Paved Areas - Location by Contractor Dependent on Construction Sequencing/Phasing |



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EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| | 02/03/23 | REVISED FOR PLAN COMMISSION |
| | 02/28/23 | REVISED FOR PLAN COMMISSION |
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Design By: CS Approved By: JC Date: 02/03/23

Sheet Title:

SITE WORK NOTES
AND LEGENDS

Sheet No:

C002

EEA - _ P:\Joshi\Arlington Heights School Dist. 25\2022 Kindergarten Additions\Drawings\Windsor\Siteplan - Windsor.dwg
Plotted: 2/28/23 @ 1:10pm By: josp

- A. REFERENCED SPECIFICATIONS**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - * VILLAGE OF ARLINGTON HEIGHTS MUNICIPAL CODE;
 - * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 - * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

- B. NOTIFICATIONS**
1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO WMOJOBSTART@MWRD.ORG).
2. THE VILLAGE OF ARLINGTON HEIGHTS ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

- C. GENERAL NOTES**
1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS 0 FT.
2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

- D. SANITARY SEWER**
1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

| PIPE MATERIAL | PIPE SPECIFICATIONS | JOINT SPECIFICATIONS |
|-------------------------------------|---------------------|-----------------------------------|
| VITRIFIED CLAY PIPE | ASTM C-700 | ASTM C-425 |
| REINFORCED CONCRETE SEWER PIPE | ASTM C-76 | ASTM C-443 |
| CAST IRON SOIL PIPE | ASTM A-74 | ASTM C-564 |
| DUCTILE IRON PIPE | ANSI A21.51 | ANSI A21.11 |
| POLYVINYL CHLORIDE (PVC) PIPE | | |
| 6-INCH TO 15-INCH DIAMETER SDR 26 | ASTM D-3034 | ASTM D-3212 |
| 18-INCH TO 27-INCH DIAMETER F/DY=46 | ASTM F-679 | ASTM D-3212 |
| HIGH DENSITY POLYETHYLENE (HDPE) | ASTM D-3350 | ASTM D-3261, F-2620 (HEAT FUSION) |
| | ASTM D-3035 | ASTM D-3212, F-477 (GASKETED) |
| WATER MAIN QUALITY PVC | | |
| 4-INCH TO 36-INCH | ASTM D-2241 | ASTM D-3139 |
| 4-INCH TO 12-INCH | AWWA C900 | ASTM D-3139 |
| 14-INCH TO 48-INCH | AWWA C905 | ASTM D-3139 |

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

- | PIPE MATERIAL | PIPE SPECIFICATIONS | JOINT SPECIFICATIONS |
|--------------------------------|---------------------|----------------------|
| POLYPROPYLENE (PP) PIPE | | |
| 12-INCH TO 24-INCH DOUBLE WALL | ASTM F-2736 | D-3212, F-477 |
| 30-INCH TO 60-INCH TRIPLE WALL | ASTM F-2764 | D3212, F-477 |
8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
- a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 - b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 - c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

- E. EROSION AND SEDIMENT CONTROL**
1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
- a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 - b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
19. THE CONTRCTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A PUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

10/13/2022

STD. DWG. NO.18

PAGE NO. 19



145 COMMERCE DRIVE, SUITE A
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PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0038260
EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| ▲ | 02/03/23 | REVISED FOR PLAN COMMISSION |
| ▲ | 02/28/23 | REVISED FOR PLAN COMMISSION |

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Design By: CS Approved By: JC Date: 02/03/23

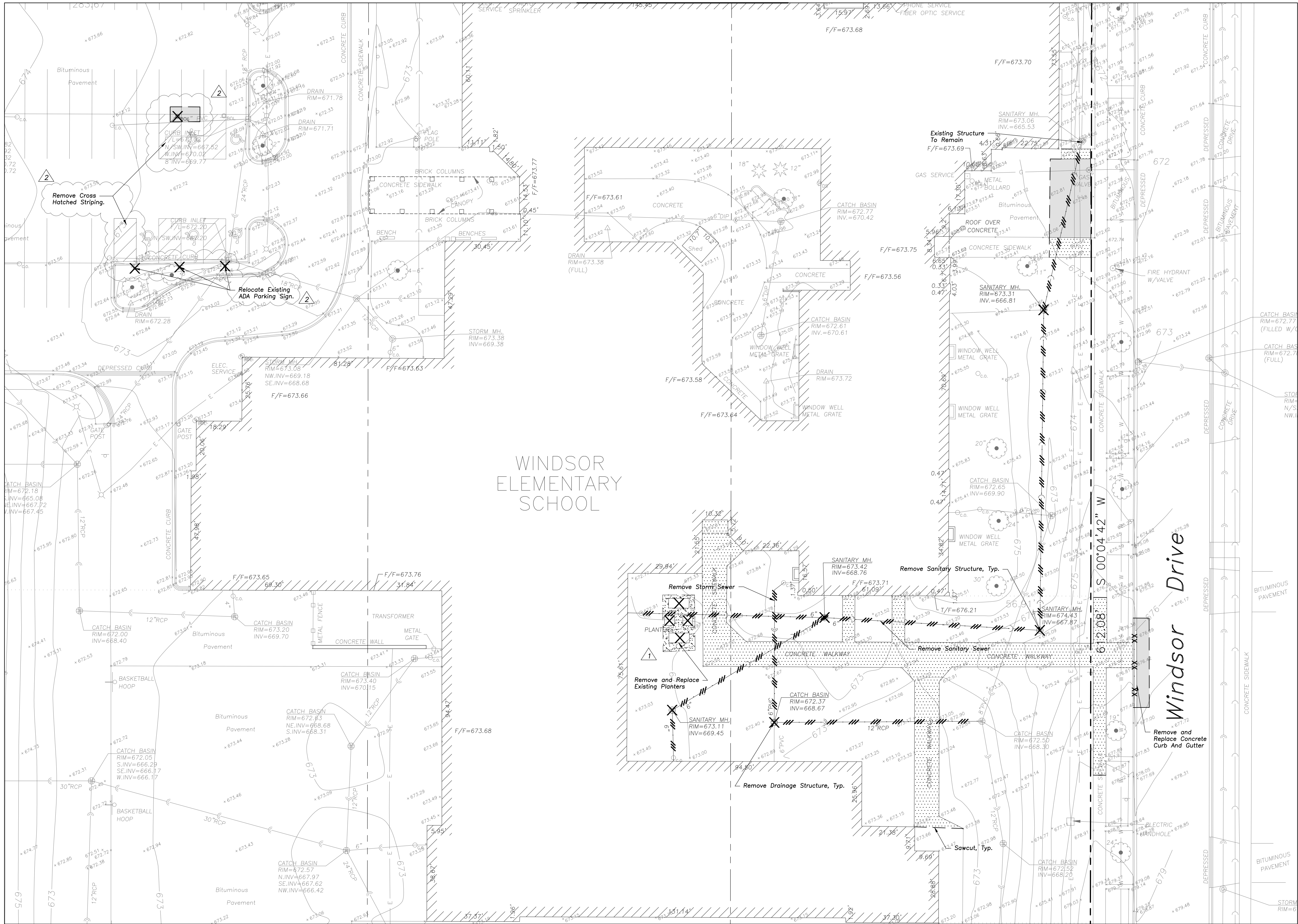
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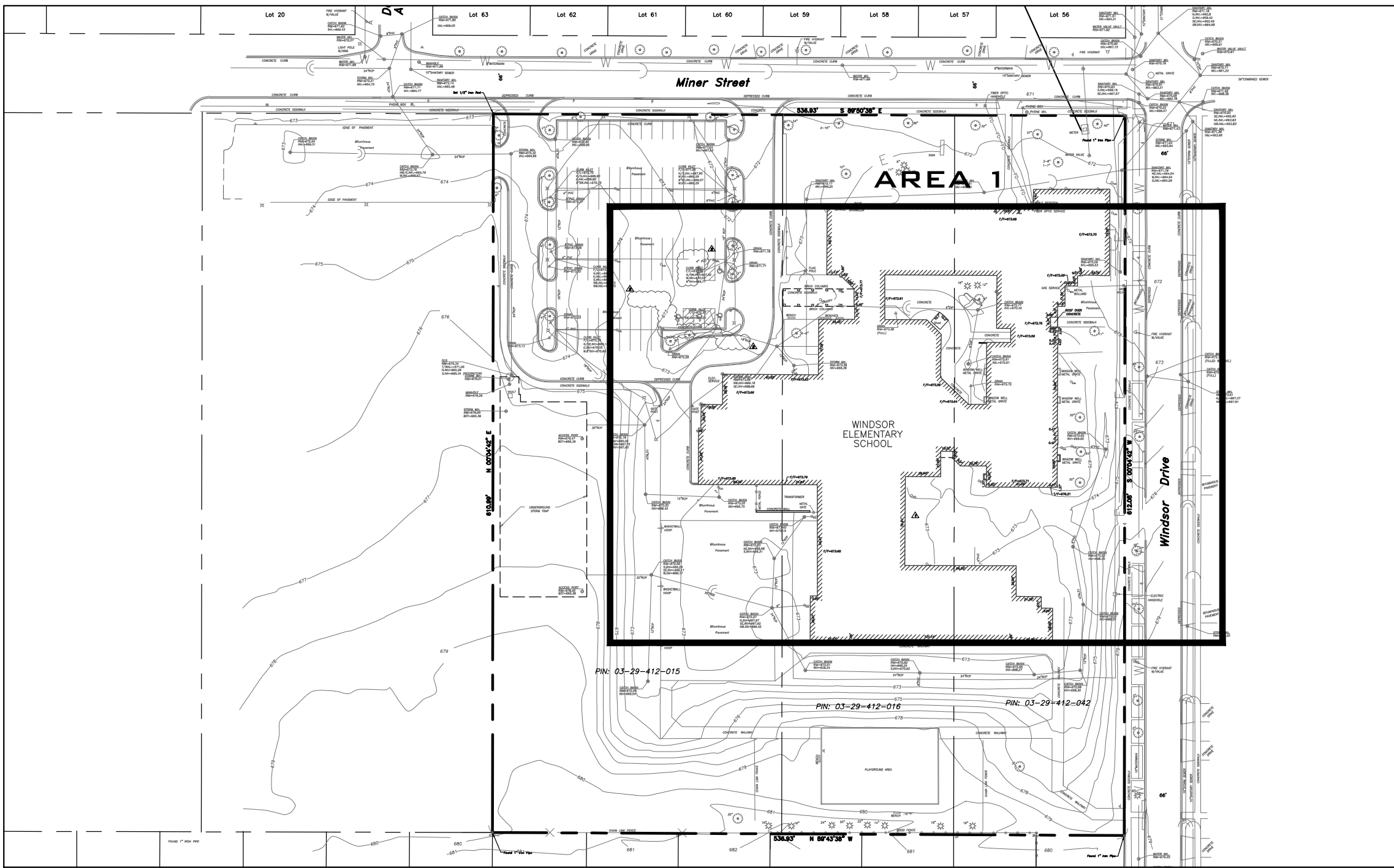
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EA - P:\Josh\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windsor\Stiepleon - Windsor.dwg
Plotted: 2/28/23 @ 11:05am By: jcap



AREA 1



KEY MAP
(NOT TO SCALE)

DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Of Arlington Heights Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- Coordinate Removal of Overhead Wires And Utility Poles With Authorities Having Jurisdiction And Respective Utility Providers.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall Be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevation at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement And/Or Utility Installation Encroach Within The Existing Drip Line Of Trees To Remain. All Trenching Within The Drip Line Of Existing Trees To Remain Shall Be Done Radially Away From Trunk If Roots In Excess Of 1" Diameter Are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees To Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND

- Utility Line Removal
- Bituminous Pavement Removal (2" Mill)
- Bituminous Pavement Removal (Full Removal)
- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut
- Curb & Gutter Removal
- Structure Removal



Scale: 1"=20'

LEGEND

- | EXISTING | PROPOSED |
|--------------------------------------|--------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection Fencing at Drip Line | Tree Protection Fencing at Drip Line |

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SURVEY PROVIDED BY:

Plot of Survey and Topography, Provided By R.E. Allen and Associates, Ltd. For Erikson Engineering Associates on October 5, 2016, Order Number F132-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
1397 E. Miner Street
Monument: 55
1" Dia. Brass Disc in Southwesterly Corner of Water Meter Vault, 44.5" South of The Centerline of Miner Street And 67' West of The Centerline of Windsor Drive.
NAVD 88 Elevation = 671.61
Easting: 1083719.692
Northing: 1977018.646

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



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PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-033820
EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| | 02/03/23 | REVISED FOR PLAN COMMISSION |
| | 02/28/23 | REVISED FOR PLAN COMMISSION |

| | | | | | |
|------------|----|--------------|----|-------|----------|
| Design By: | CS | Approved By: | JC | Date: | 02/03/23 |
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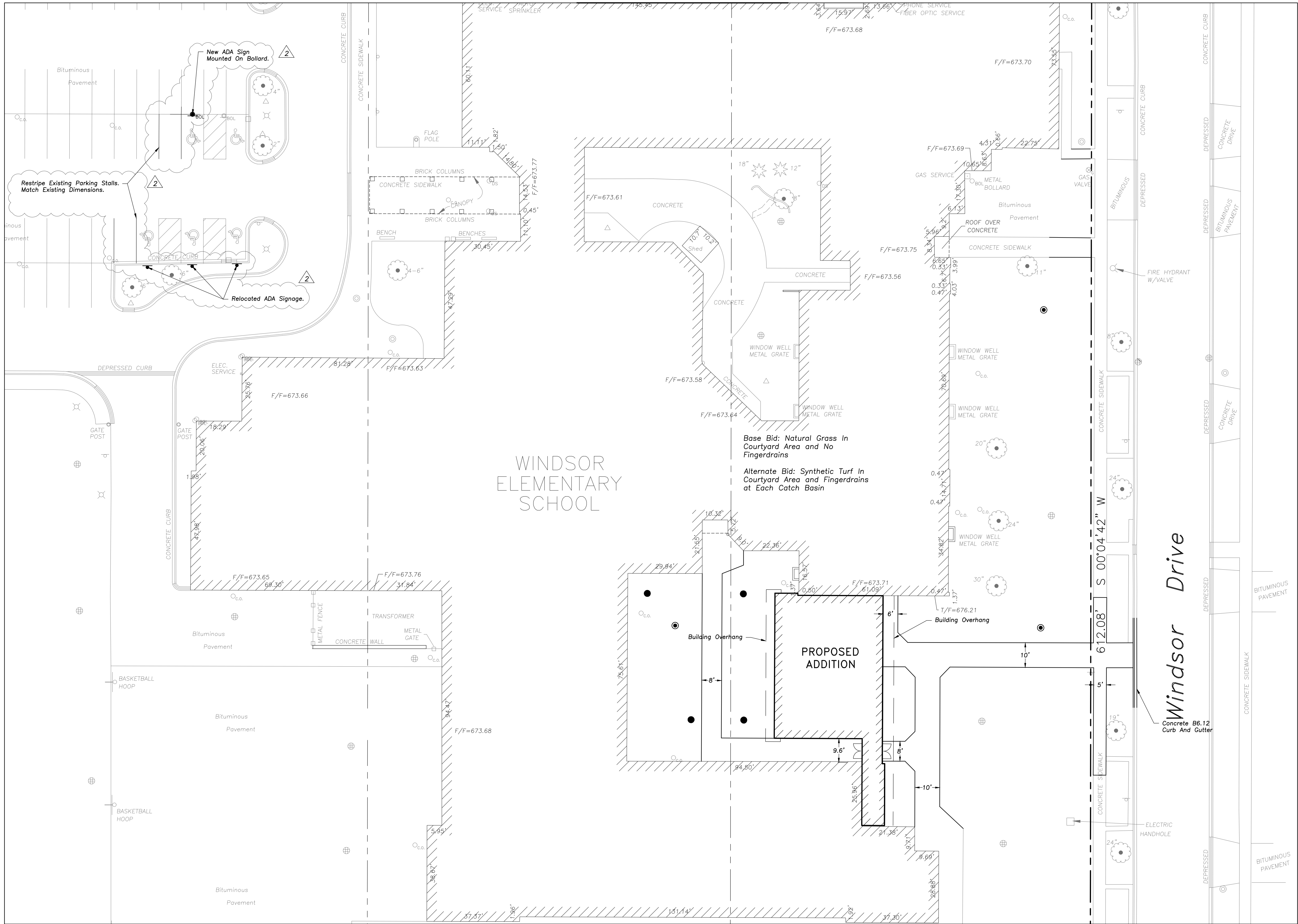
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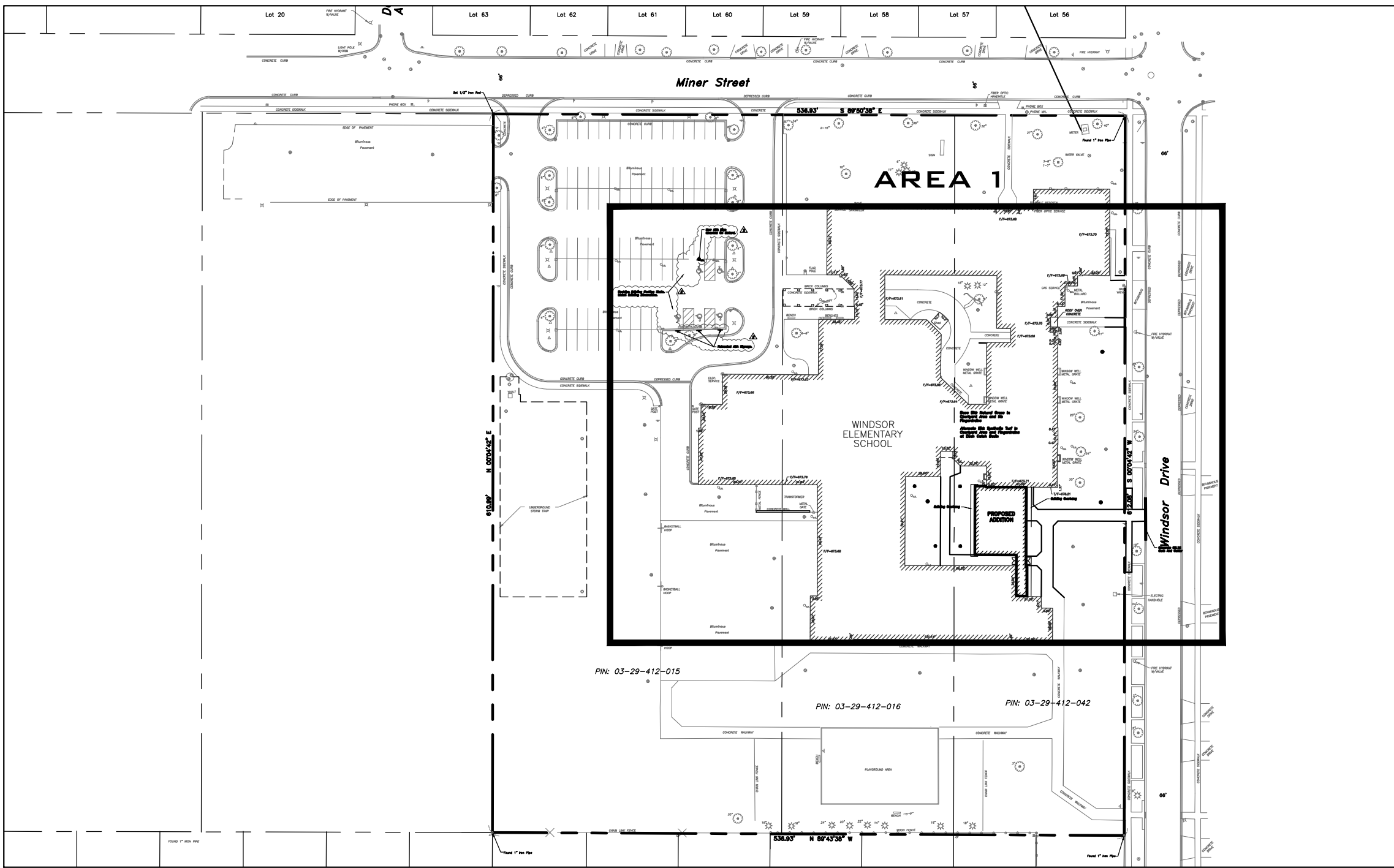
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Plotted: 2/28/23 @ 1:10pm By: jcp



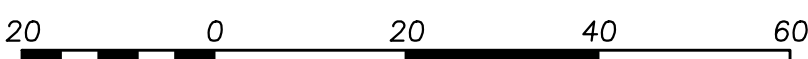
AREA 1



KEY MAP
(NOT TO SCALE)

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats For Latex Paints. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- All Accessible Parking Signs (87-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2" x 11 Gauge Steel, Embedded 42" Minimum Into Ground.



Scale: 1"=20'

LEGEND

| EXISTING | PROPOSED |
|-------------------------------------|-------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Bollard | Bollard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection Fencing at Dig Line | Tree Protection Fencing at Dig Line |

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SURVEY PROVIDED BY:

Plot of Survey and Topography, Provided By R.E. Allen and Associates, Ltd. For Erikson Engineering Associates on October 5, 2016. Order Number F132-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
1397 E. Miner Street
Monument: 55
1" Dia. Brass Disc In Southwesterly Corner of Water Meter Vault, 44.5" South Of The Centerline Of Miner Street And 67' West Of The Centerline Of Windsor Drive.
NAVD 88 Elevation = 671.61
Easting: 1083719.692
Northing: 1977018.846

J.U.L.I.E.

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WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
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Reserved for Seal:

| No. | Date | Description |
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| 1 | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| 2 | 02/03/23 | REVISED FOR PLAN COMMISSION |
| 3 | 02/28/23 | REVISED FOR PLAN COMMISSION |

| | | |
|------------|--------------|----------|
| Design By: | Approved By: | Date: |
| CS | JC | 02/03/23 |

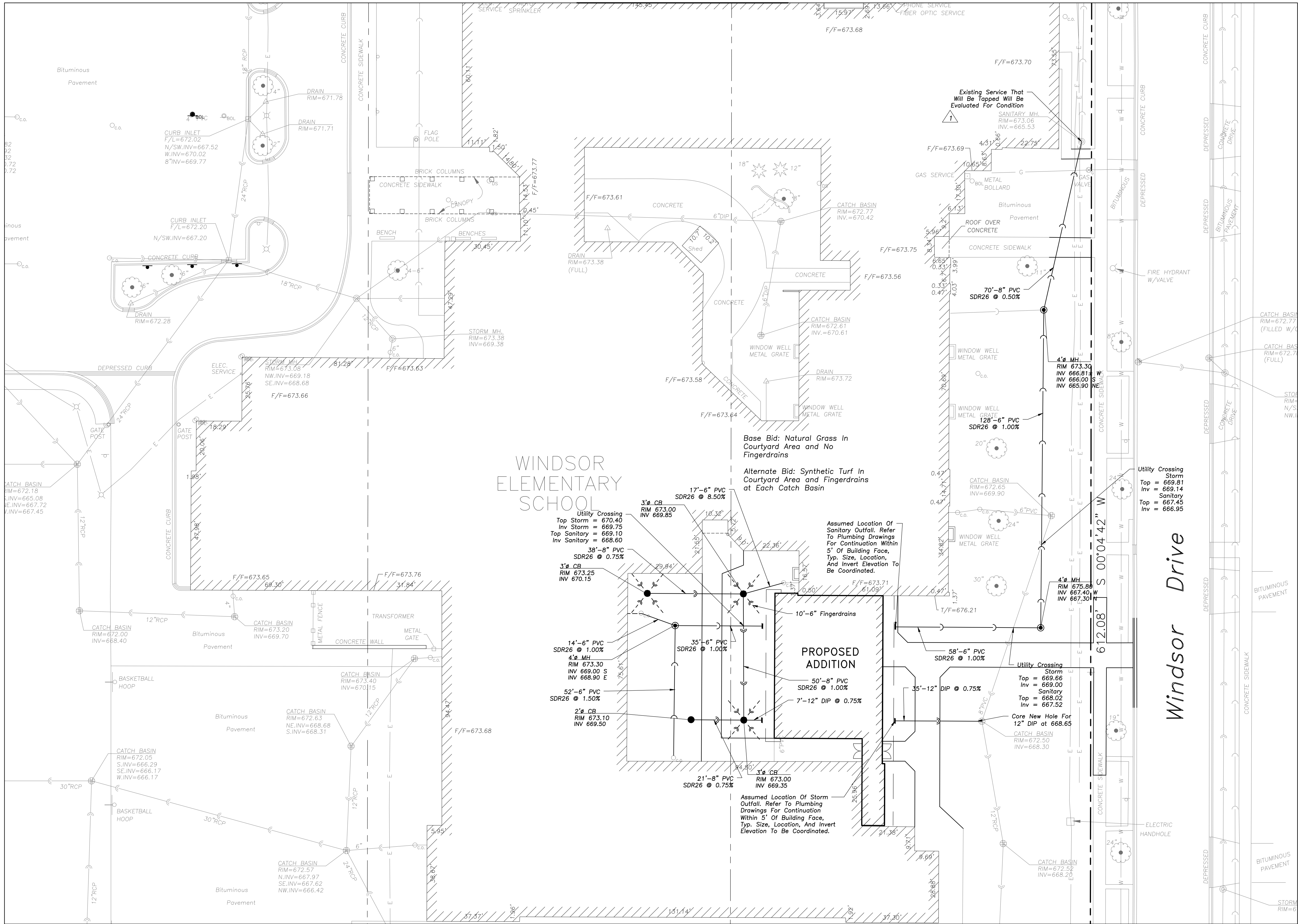
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SITE GEOMETRY
PLAN

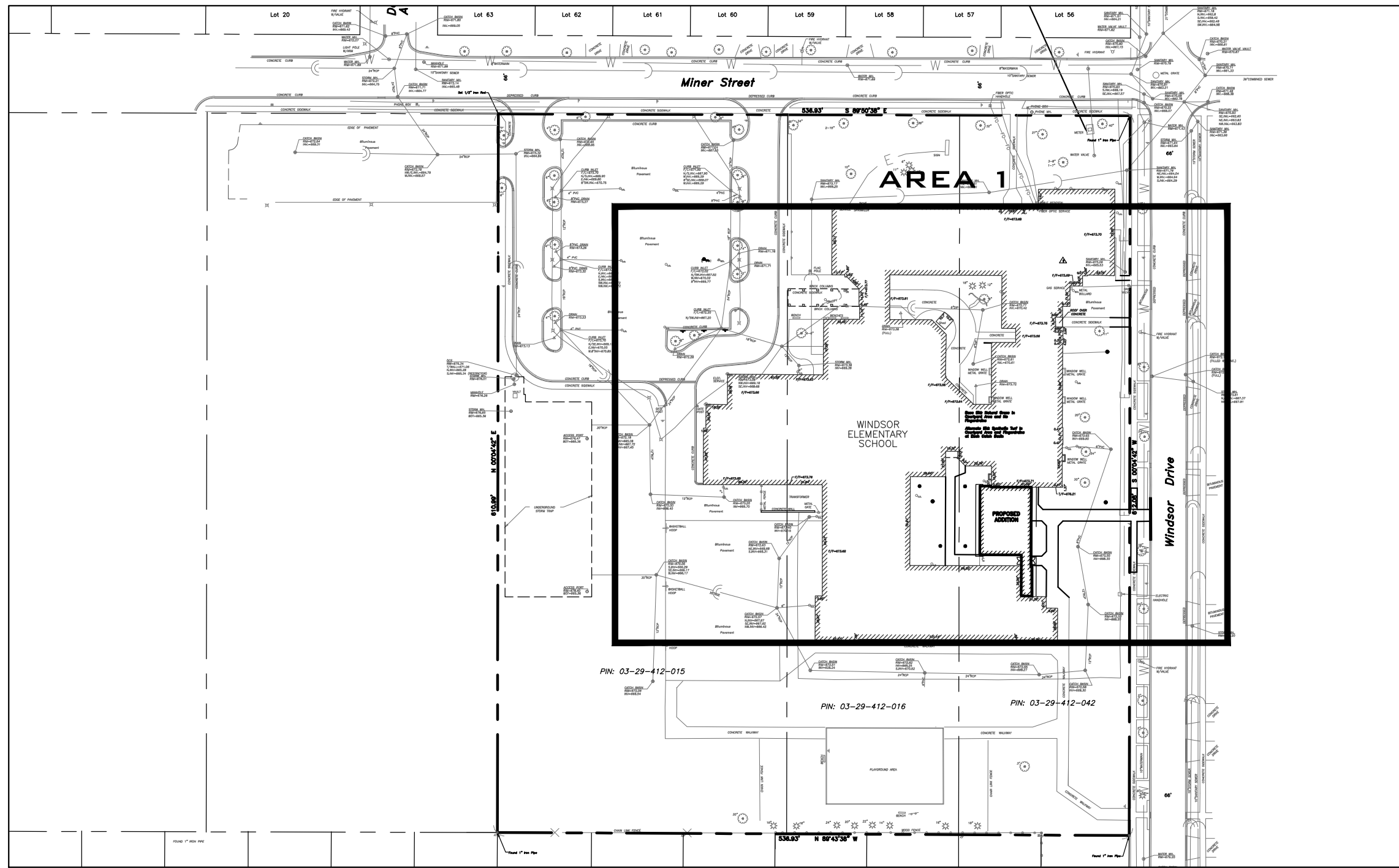
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Plotted: 2/28/23 @ 11:05am By: jcp



AREA 1



KEY MAP
(NOT TO SCALE)

UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Taps Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbline, Unless Specifically Stated Otherwise, It is Intended That the Frame of the Structure is to Fall Within the Flowing of The Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Tap as Necessary.
- All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall Include a Chimney Seal.

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LEGEND

| EXISTING | PROPOSED |
|---------------------------------|---------------------------------|
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| Catch Basin | Catch Basin |
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| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
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| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Ballard | Ballard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection | Tree Protection |
| Fencing at Dig Line | Fencing at Dig Line |

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| 1 | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| 2 | 02/03/23 | REVISED FOR PLAN COMMISSION |
| 3 | 02/28/23 | REVISED FOR PLAN COMMISSION |

Design By: CS Approved By: JC Date: 02/03/23

Sheet Title:

SITE
UTILITY
PLAN

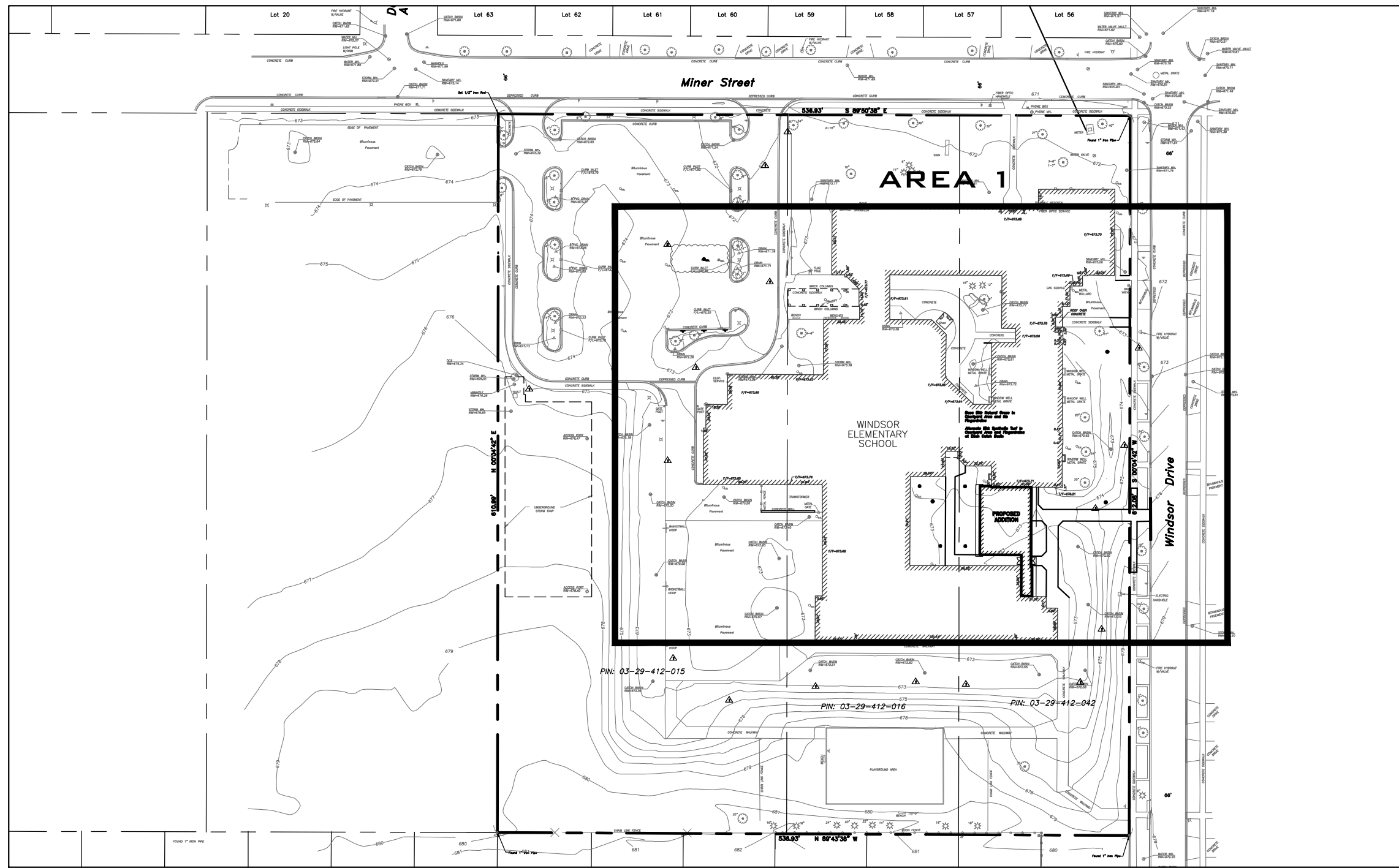
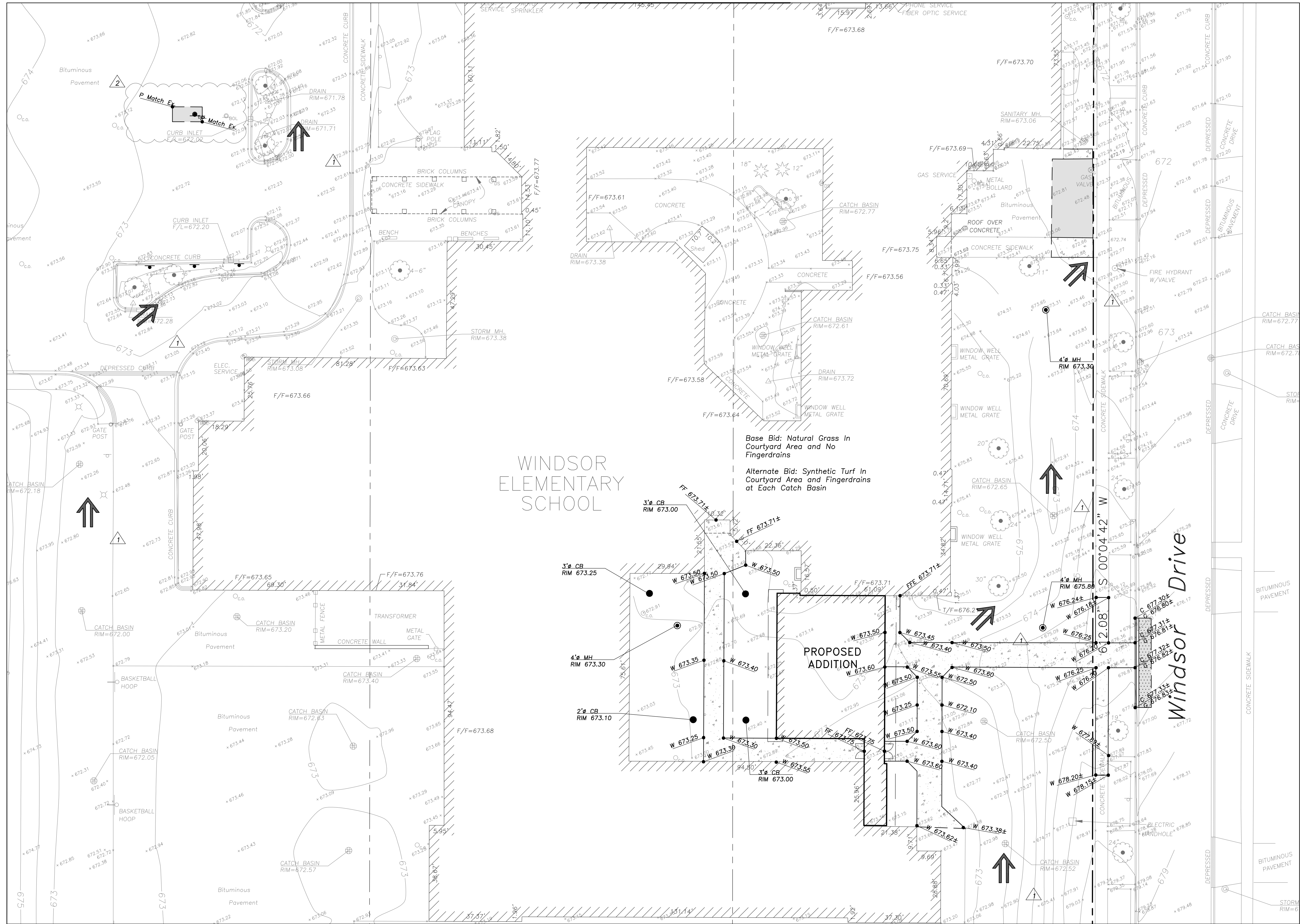
Sheet No:

C301



ERIKSSON
ENGINEERING
ASSOCIATES, LTD.
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
LICENSE NO. 184-0033820
EXPIRES: 04/30/2023

EEA - P:\Josh\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windsor\Stephan - Windsor.dwg
Plotted: 2/28/23 @ 1:10pm By: japp



KEY MAP
(NOT TO SCALE)

GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Sodded Unless Noted Otherwise On The Landscape Drawings.
- Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

PAVING & SURFACE LEGEND

Asphalt Pavement Section
1 1/2" Hot Mix Asphalt, IL-9.5, N50
2 1/2" Hot Mix Asphalt, IL-19.0, N50
Prime Coat (0.25 gal/sq yd)
4" Aggregate Base Course, Type B, Crushed, CA-6
4" Drainage Course, CA-7
Non-Woven Geotextile Fabric, 5 oz/sy
ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturers Specifications)

Concrete Driveway Section
8" Portland Cement Concrete
6"x6" W2.9xW2.9 Welded Wire Fabric
6" Aggregate Base Course, Type B, Crushed

Concrete Sidewalk Section
5" Portland Cement Concrete
6"x6" W1.4xW1.4 Welded Wire Fabric
2" Aggregate Base Course, Type B, Crushed (Omit Welded Wire Fabric in Public ROW)

Heavy-Duty (Fire Lane) Asphalt Pavement Section
2" Hot Mix Asphalt Surface, Mix D, IL-9.5, N50
2 1/4" Hot Mix Asphalt Binder, IL-19.0, N50
5" Hot Mix Asphalt Binder, IL-19.0, N50
Prime Coat (0.25 gal/sq yd)
4" Aggregate Base Course, Type B, Crushed
ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturers Specifications)

Light-Duty Asphalt Pavement Section
3" Hot Mix Asphalt, Mix D, IL-9.5, N50
6" Aggregate Base Course, Type B, Crushed

Asphalt Pavement Seal Coat and Crack Fill
Asphalt Emulsions Seal Coat-2 Coats
(NO COAL TAR SEALER OR PRODUCT)
Crack Filling, Hot Applied Joint Sealant

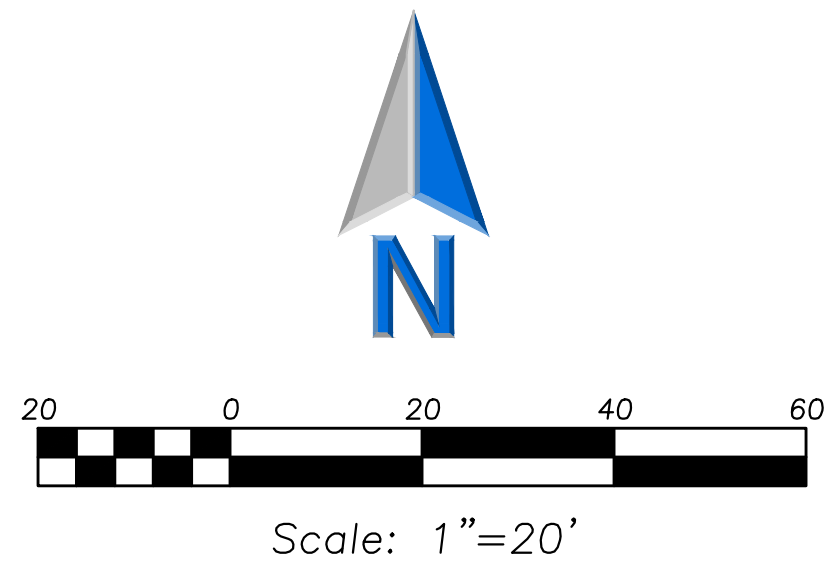
Pavement Restoration in Public Way
See Detail

BASE BID: Asphalt Pavement Section
1 1/2" Hot Mix Asphalt, IL-9.5, N50
2 1/2" Hot Mix Asphalt, IL-19.0, N50
Prime Coat (0.25 gal/sq yd)
4" Aggregate Base Course, Type B, Crushed, CA-6
4" Drainage Course, CA-7
Non-Woven Geotextile Fabric, 5 oz/sy
ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturers Specifications)
Flush Band Curb Omitted If Base Bid is Selected.

ALTERNATE: UniLack Eco-Priora™ Permeable Paver
Aggregate Subbase Stone Shall Be Wrapped in Non-Woven Geotextile Fabric As Required By The MWID Typ
ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturers Specifications)

Stormwater Overland Flow Path

Ridge Line/High Point



LEGEND

| EXISTING | PROPOSED |
|---------------------------------|---------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Wet | Wet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Valve Box | Valve Box |
| Downspout | Downspout |
| Bollard | Bollard |
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| Gas Meter | Gas Meter |
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| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
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| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
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| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection | Tree Protection |
| Fencing of Dig Line | Fencing of Dig Line |

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact The Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed by Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basins(s), Watermain and Valve and Appearance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography, Provided By R.E. Allen and Associates, Ltd. For Erikson Engineering Associates on October 5, 2016, Order Number F132-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
1397 E. Miner Street
Monument: 55
1" Dia. Brass Disc in Southwesterly Corner of Water Meter Vault, 44.5" South of The Centerline of Miner Street And 67' West of The Centerline of Windsor Drive.
NAVD 88 Elevation = 671.61
Easting: 1083719.692
Northing: 1977018.646

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
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| | 02/03/23 | REVISED FOR PLAN COMMISSION |
| | 02/28/23 | REVISED FOR PLAN COMMISSION |
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Design By: CS JC Date: 02/03/23

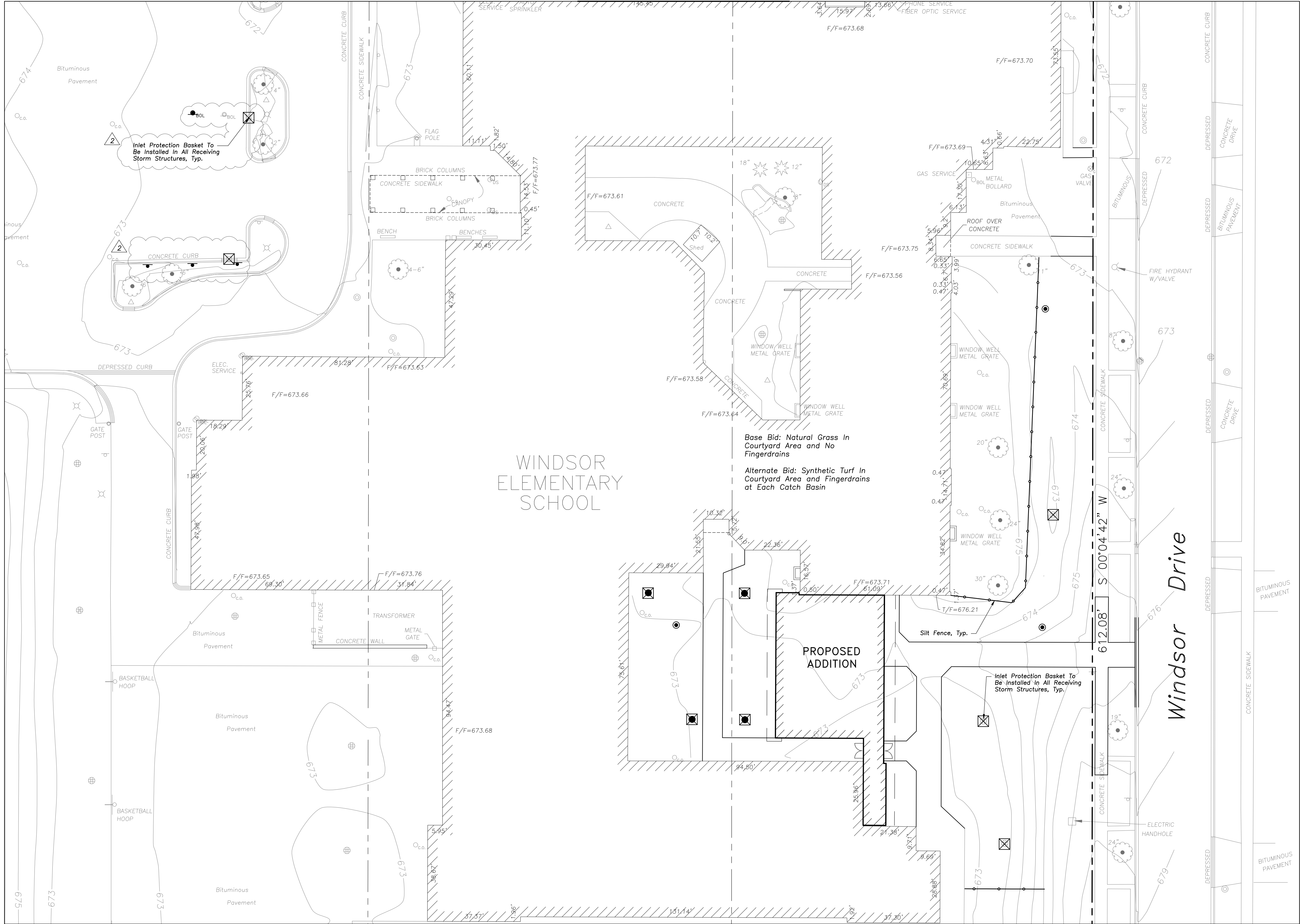
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GRADING AND
PAVING PLAN

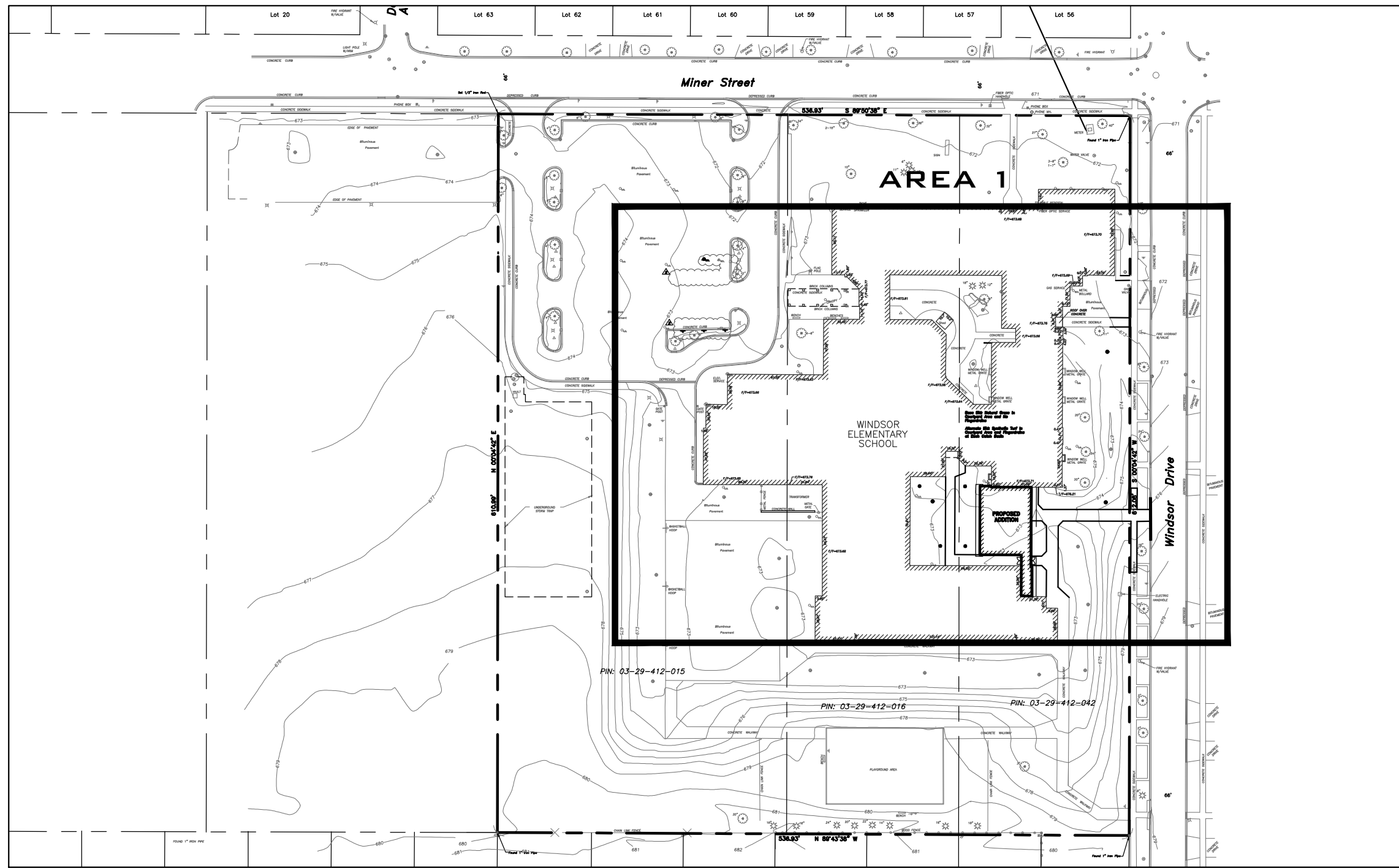
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C401

EEA - P:\Joshi\Arlington Heights School Dist 25\2022 Kindergarten Additions Drawings\Windsor\Siteplan - Windsor.dwg
Plotted: 2/28/23 @ 1:10pm By: japp



AREA 1



KEY MAP
(NOT TO SCALE)

SOIL EROSION & SEDIMENTATION CONTROL NOTES

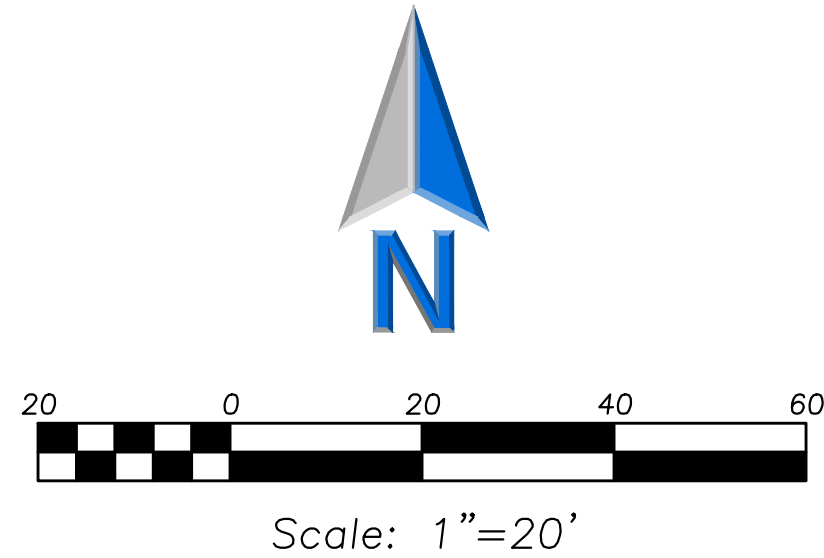
1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
2. Contractor Shall Be Responsible for Compliance With IEPA NPDES and ILRI10 Permit Requirements for Project.
3. Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
4. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
5. Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
6. All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
7. Final Site Stabilization is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Ungraded Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
8. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Watties Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation.
9. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Watties Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal, such as Park Chop Sediguard) In Paved Areas To Prevent Siltation and Discharge into Waterways.
10. All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II And Lake County DECI Requirements.
11. Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Construction Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.
12. Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
13. Contractor Shall Provide Qualified Soil Erosion and Sediment Control Inspector Services In Accordance with NPDES and Governmental Requirements. Inspections Shall Occur At Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
14. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil And Erosion Sediment and Control Inspector Or Governing Agency.
15. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Slopes with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
16. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with IEPA NPDES Requirements.
17. All Concrete Washout Facility Standards Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
18. If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILRI10 and Local and County Permits.
19. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

1. Install Stabilized Construction Entrance
2. Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
3. Do Not Disturb An Area Until It is Necessary For Construction To Proceed.
4. Cover and Stabilize Disturbed Areas As Soon As Possible.
5. When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
6. Construct Sedimentation Basins and Structures.
7. Perform Grading Operations and Installation of Site Infrastructure and Pavement.
8. Install Permanent Seeding and Plantings.
9. Remove Accumulated Sediment From Basins and Along Silt Fence.
10. Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
11. Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Erosion Control Blanket
North American Green D575
Or Approved Equal
- Catch-All, Park Chop Sediguard (or equal) Paved or Existing Stabilized Areas



LEGEND

- | EXISTING | PROPOSED |
|---------------------------------|---------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
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| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
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| Brushline | Brushline |
| Tree Protection | Tree Protection |
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GENERAL NOTES

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2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours in Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
8. The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Including All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basins(s), Watermain and Valve and Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography, Provided By R.E. Allen and Associates, Ltd. For Erikson Engineering Associates on October 5, 2016. Order Number F132-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
1397 E. Miner Street
Monument: 55
1" Dia. Brass Disc In Southwesterly Corner of Water Meter Vault, 44.5" South Of The Centerline Of Miner Street And 67' West Of The Centerline Of Windsor Drive.
NAVD 88 Elevation = 671.61
Easting: 1083719.692
Northing: 1977018.646

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| 1 | 02/03/23 | REVISED FOR PLAN COMMISSION |
| 2 | 02/28/23 | REVISED FOR PLAN COMMISSION |

| | | | | | |
|------------|----|--------------|----|-------|----------|
| Design By: | CS | Approved By: | JC | Date: | 02/03/23 |
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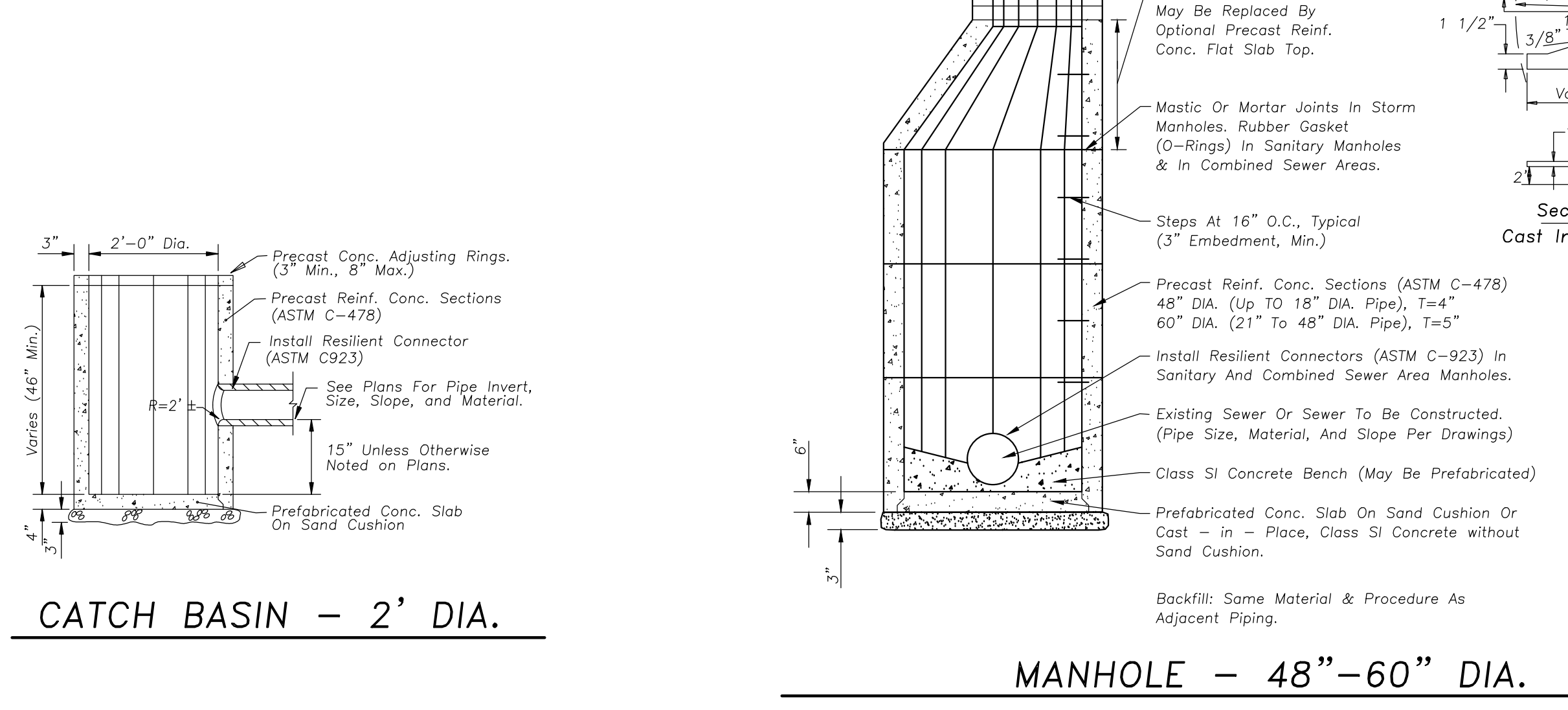
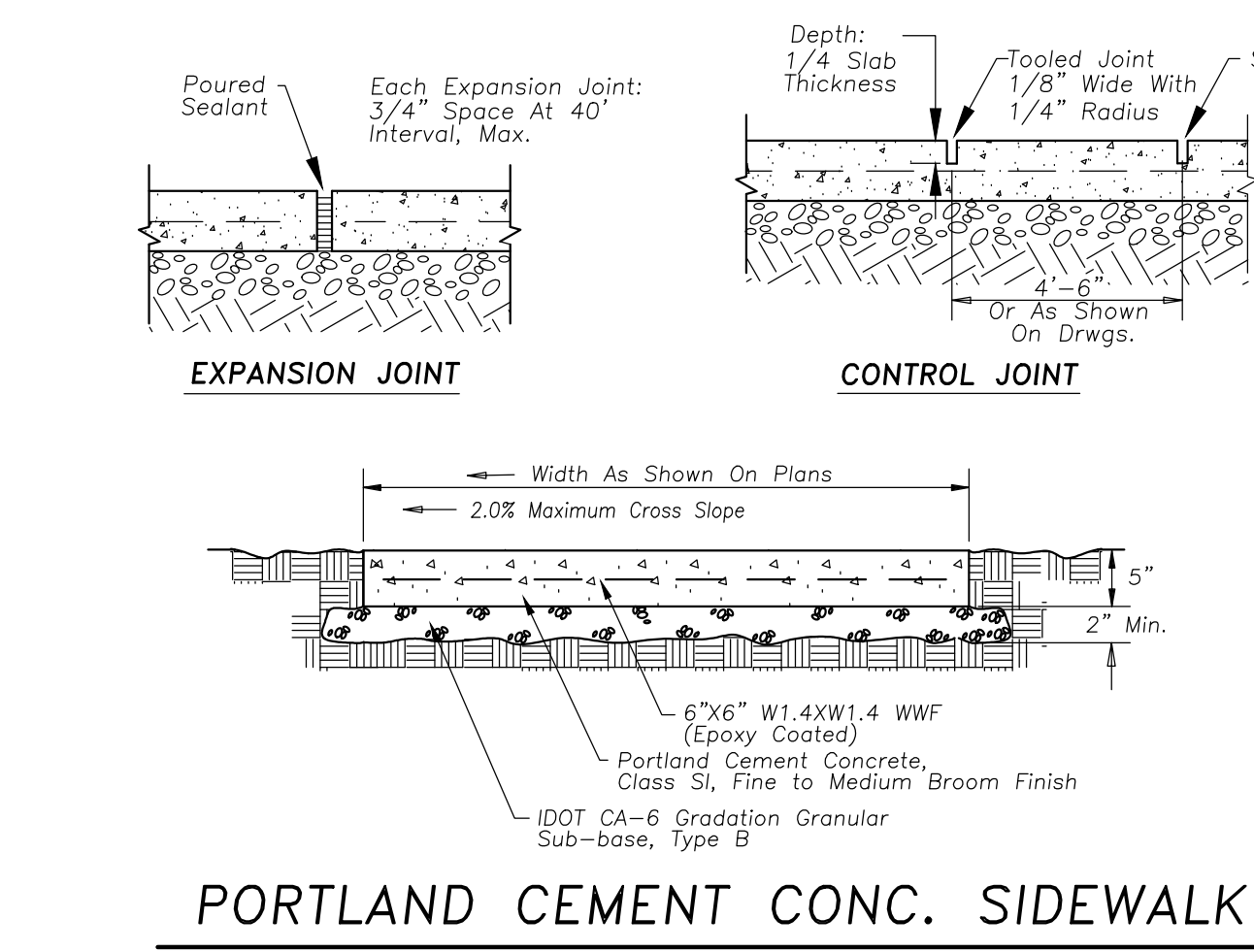
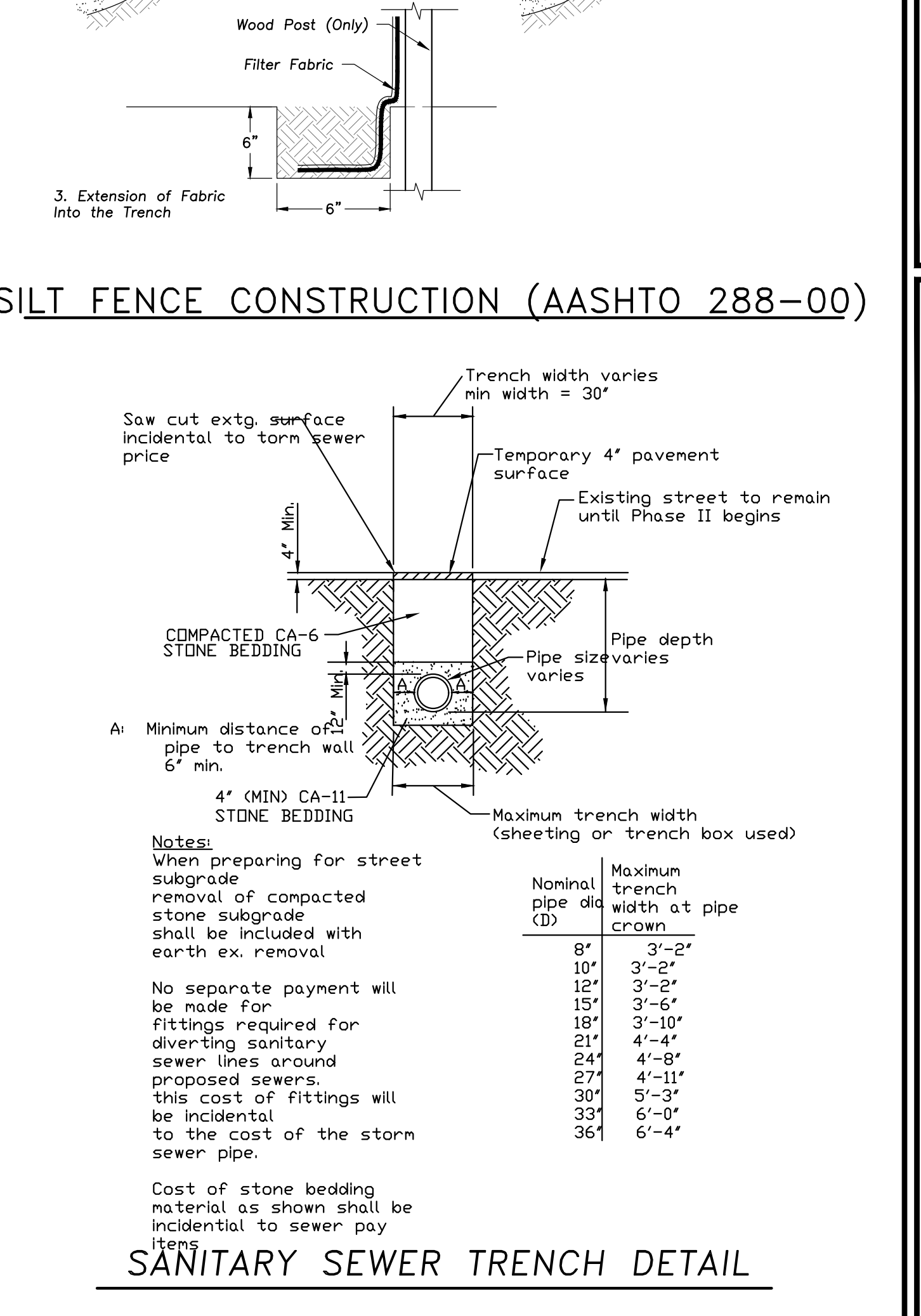
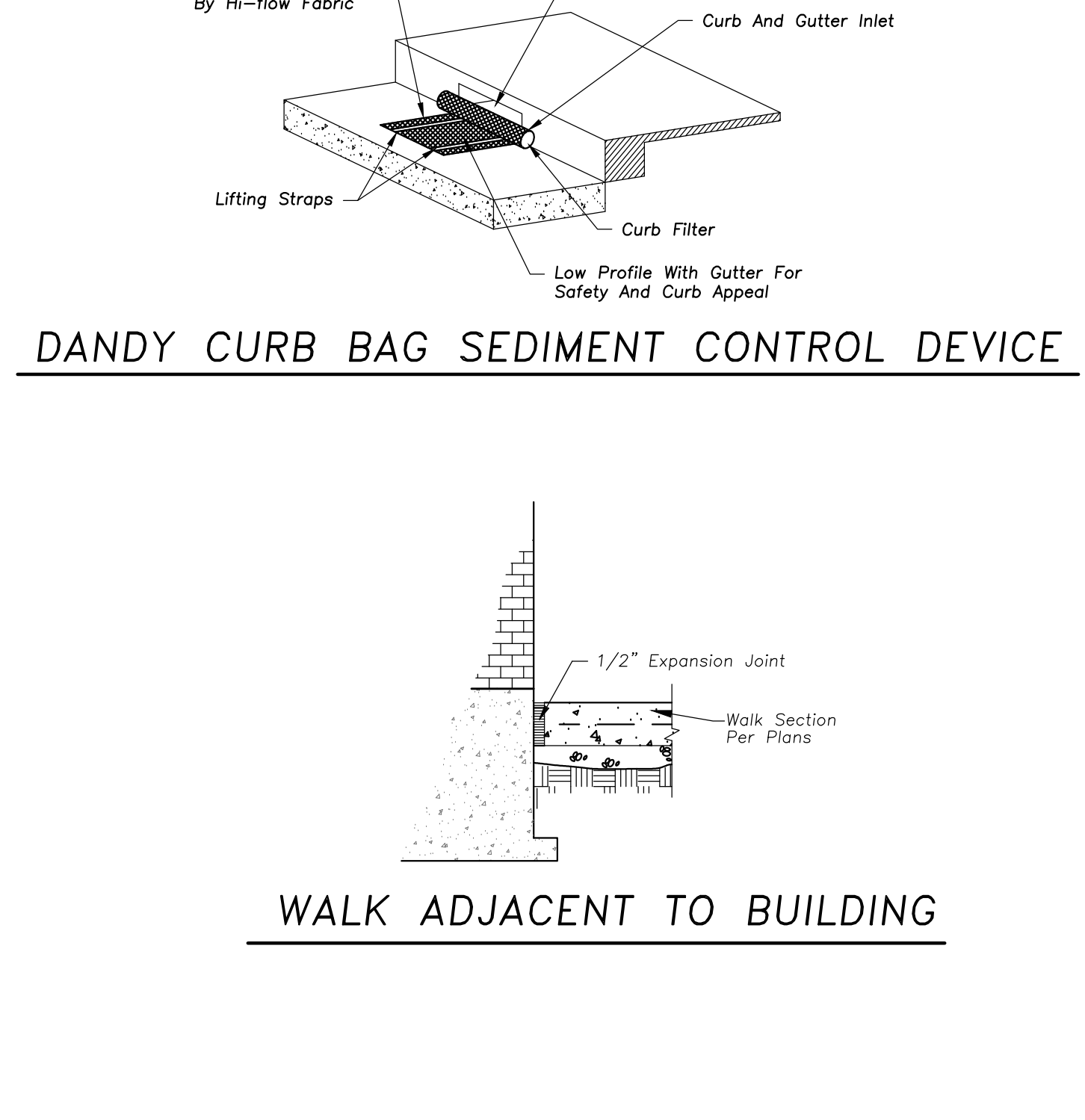
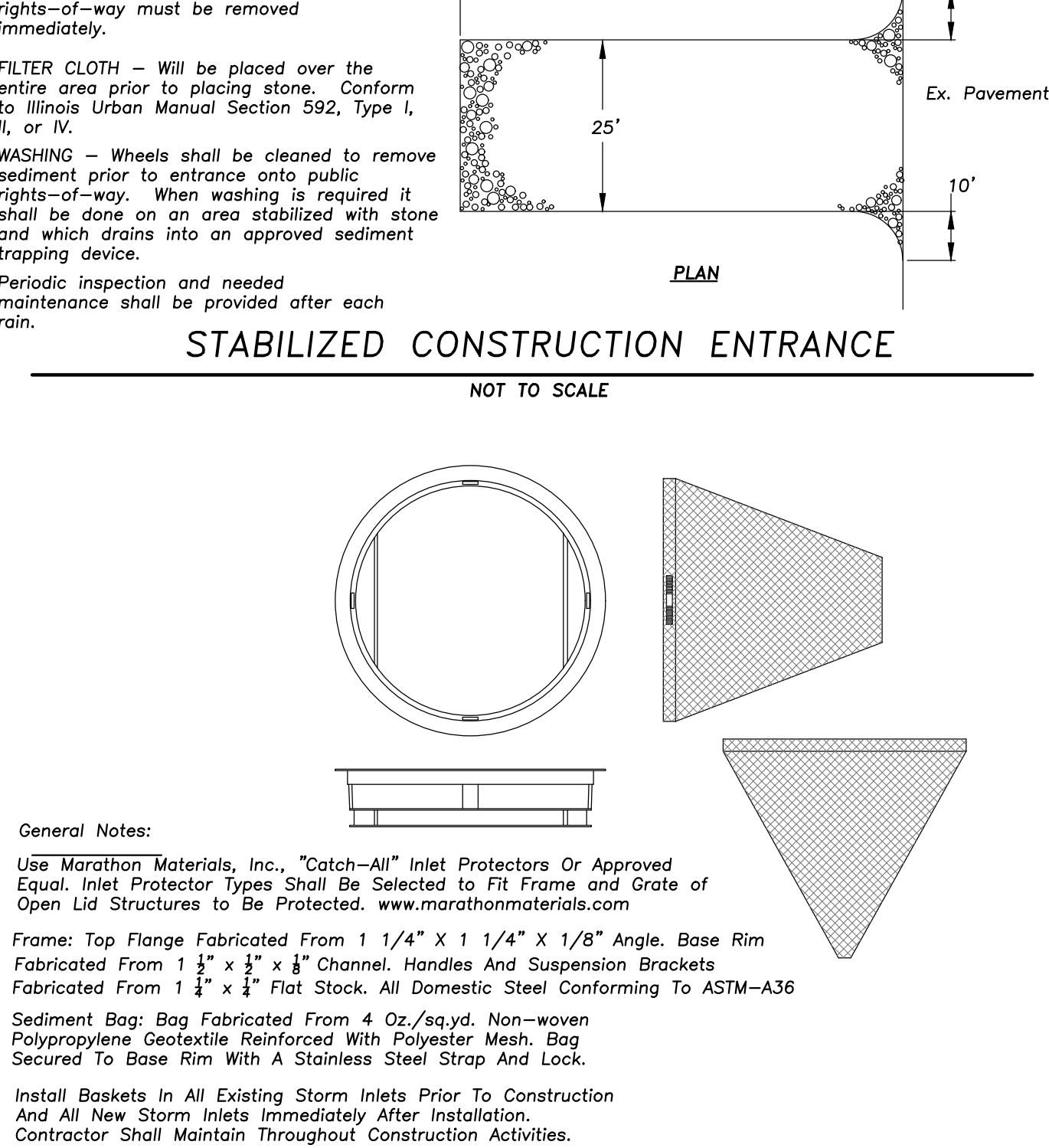
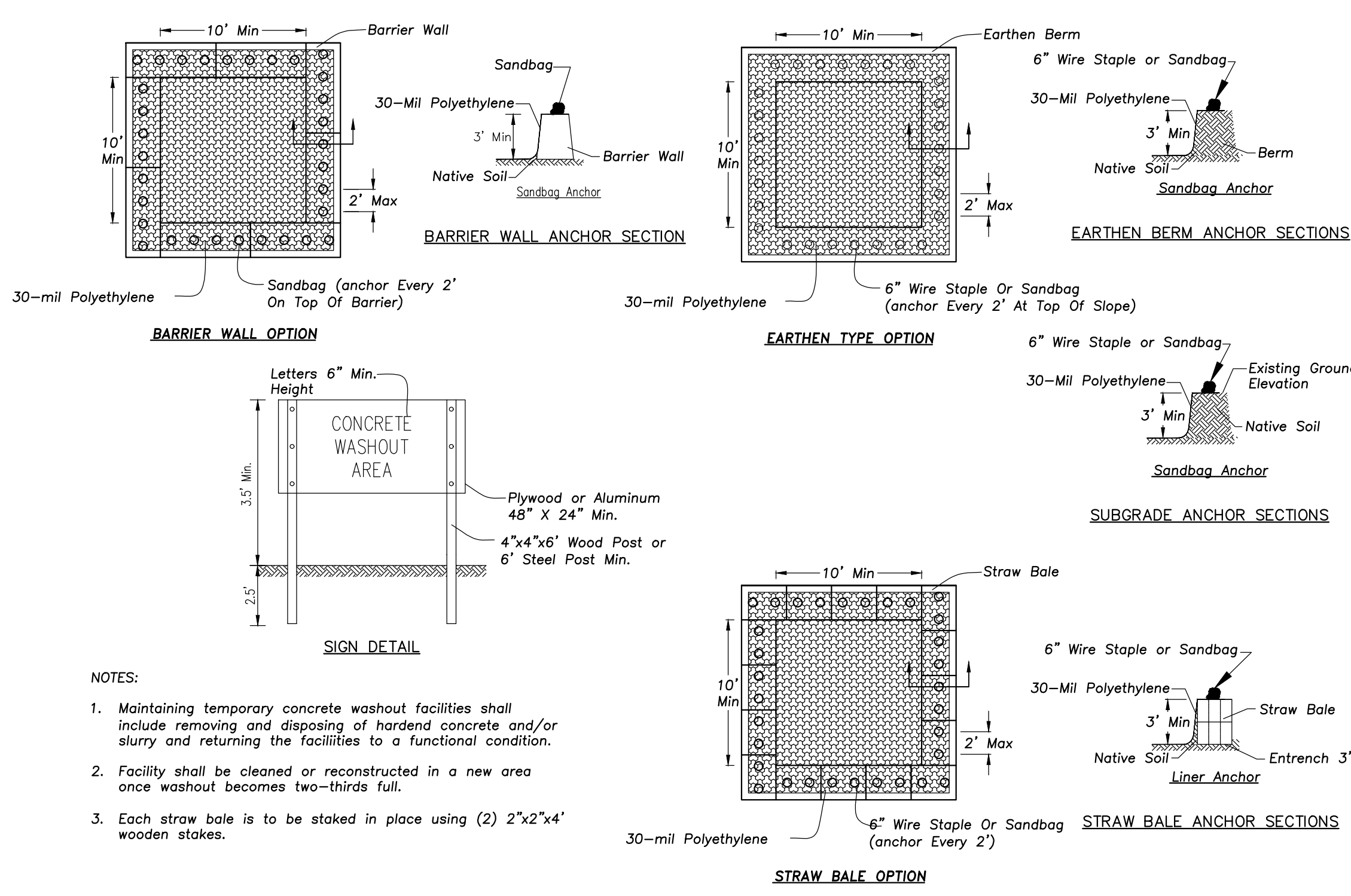
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SITE EROSION AND SEDIMENT CONTROL PLAN

Sheet No:

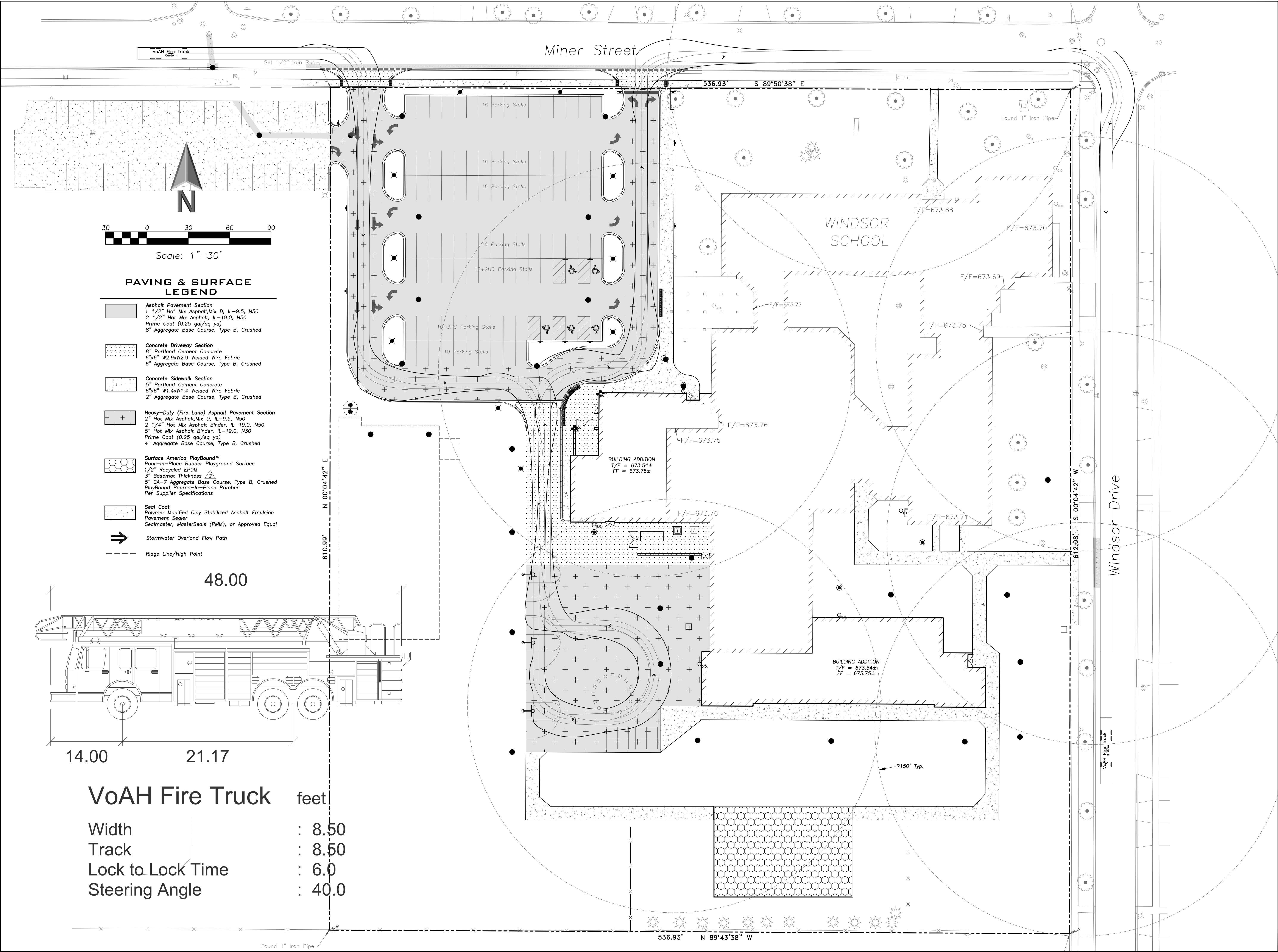
C501

EEA - P:\Joshi\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windor\Siteplan - Windor - NEW.dwg
Plotted: 2/03/23 @ 9:00am By: cstanke



Note: The Dandy Bag Will Be Manufactured In The Use From A Woven Monofilament Fabric That Meets Or Exceeds The Following Specifications:

| Hi-Flow Dandy Bag (Safety Orange) | | | |
|--|-------------|----------|------|
| Mechanical Properties | Test Method | Units | Min. |
| High Tensile Strength | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Elongation | ASTM D 2256 | % | 10 |
| High Tensile Modulus | ASTM D 2256 | KN/mm | 100 |
| High Tensile Tear Strength | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Puncture Strength | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Abrasion Resistance | ASTM D 2256 | KN/100mm | 100 |
| High Tensile UV Resistance | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Cold Resistance | ASTM D 2256 | KN/100mm | 100 |
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| High Tensile Compression Resistance | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Tensile Strength | ASTM D 2256 | KN/100mm | 100 |
| High Tensile Elongation at Break | ASTM D 2256 | % | 10 |
| High Tensile Modulus at Break | ASTM D 2256 | KN/mm | 100 |
| High Tensile Tear Strength at Break | ASTM D 2256 | KN/100mm | 100 |
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| High Tensile Elongation at Break | ASTM D 2256 | %</ | |



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
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EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2017

WINDSOR ELEMENTARY SCHOOL ADDITION AND RENOVATIONS

1315 E. Miner Street
Arlington Heights, Illinois

Reserved for Seal:

Expiration Date: _____

| No. | Date | Description |
|-----|----------|----------------------------|
| 1 | 12/14/16 | ISSUE FOR BID & PERMIT |
| 2 | 01/05/17 | ADDENDUM 2 |
| 3 | 01/24/17 | REVISED PARKING LOT LAYOUT |
| 4 | 01/27/17 | ISSUED FOR CONSTRUCTION |
| | | |
| | | |
| | | |

| | | | |
|-----------------|--|----------------|--|
| DESIGN BY: JC | | DATE: 12/14/16 | |
| APPROVED BY: KC | | PROJECT NO.: | |

Sheet Title:
**AUTOTURN
EXHIBIT - FIRE
TRUCK**

Sheet No:
CX1.1

EXISTING SITE CONDITIONS

IMPERVIOUS AREA
161,510 SF = 3.71 ACRES
PERMEABLE PLAYGROUND AREA
6,500 SF = 0.15 ACRES
PERVIOUS AREA
160,339 SF = 3.68 ACRES
RUNOFF COEFFICIENT
C = 0.73

PROPOSED SITE CONDITIONS

IMPERVIOUS AREA
164,460 SF = 3.79 ACRES
PERMEABLE PLAYGROUND AREA
6,500 SF = 0.15 ACRES
PERVIOUS AREA
157,389 SF = 3.60 ACRES
RUNOFF COEFFICIENT
C = 0.73

SUMMARY

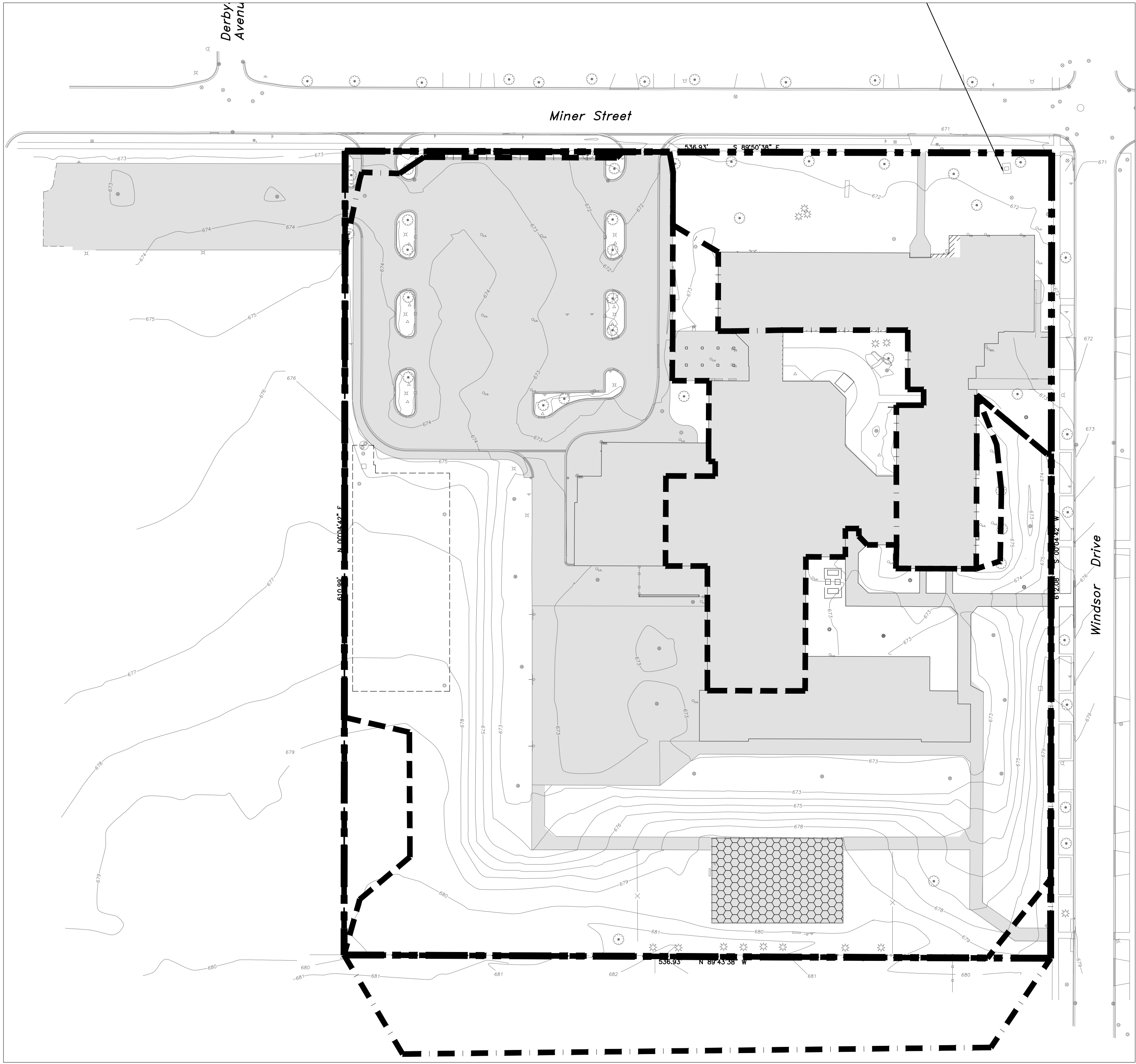
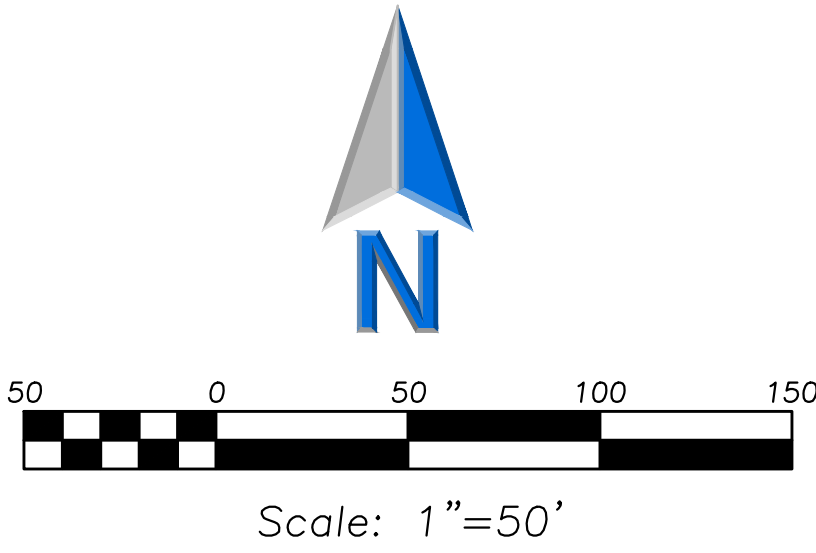
IMPERVIOUS AREA = +0.08 ACRES
PERMEABLE PLAYGROUND AREA = ±0.00 ACRES
PERVIOUS AREA = -0.08 ACRES

SWM REQUIREMENTS

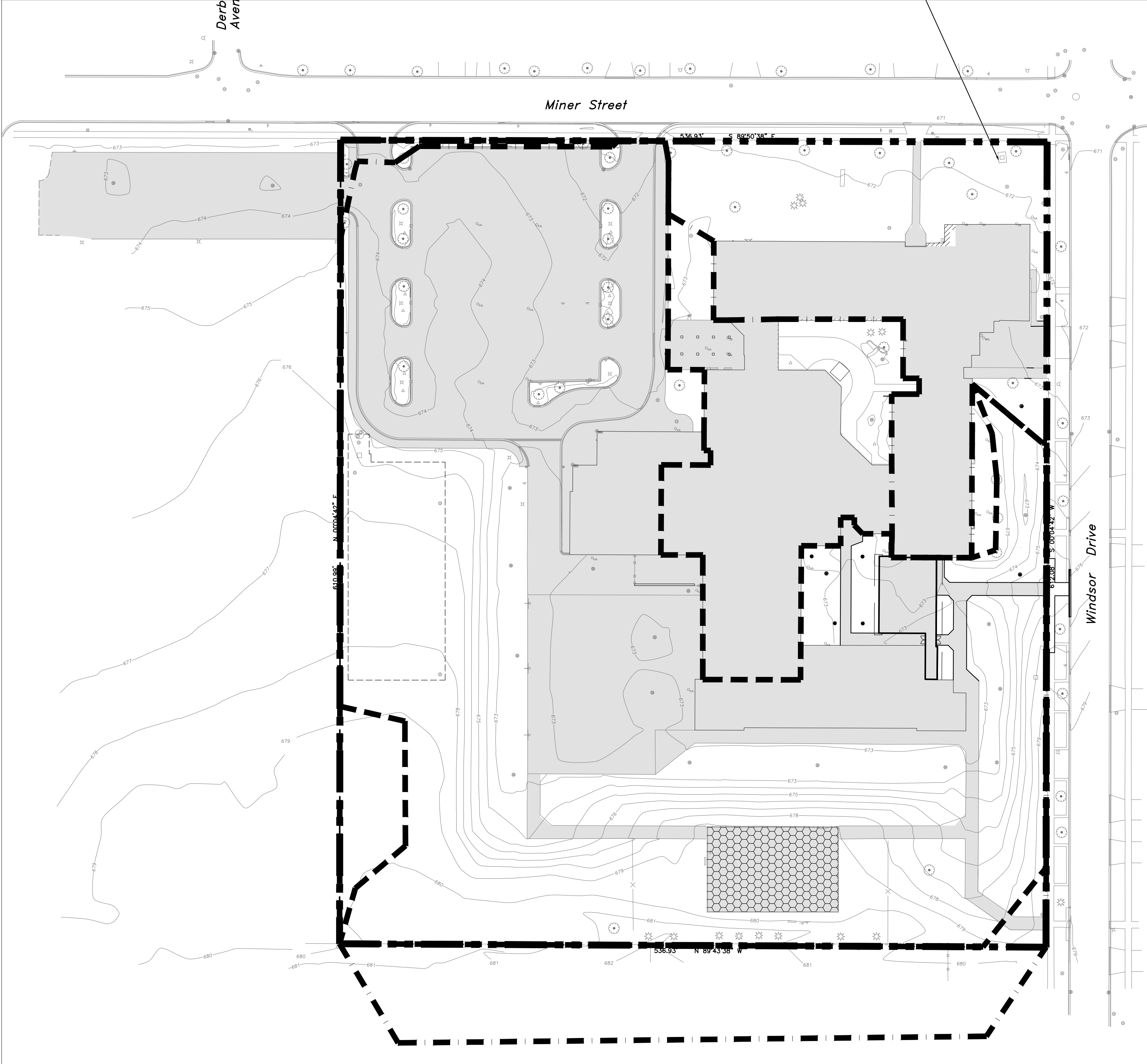
EXISTING CONDITIONS (Site, MMB B-70, Village Allowable Release)
= 1.963 AC-FT
EXISTING CONDITIONS (Site, MMB B-75, Village Allowable Release)
= 2.281 AC-FT
PROPOSED CONDITIONS (Site, MMB B-75, Village Allowable Release)
= 2.281 AC-FT (Required For Entire Site)
EXISTING SWM PROVIDED UNDER MWRD 17-034 (DEVELOPMENT INV.)
VILLAGE:
Required = 1.28 AC-FT
Provided = 1.28 AC-FT
MWRD:
Required = 1.38 AC-FT
Provided = 1.48 AC-FT
(1.15 AC-FT Storm Trap)
(0.07 AC-FT Pipe Storage)
(0.06 AC-FT Provided in VC Above Inv.)

EXHIBIT LEGEND

IMPERVIOUS AREA
PERMEABLE PLAYGROUND AREA
PROPERTY LINE
328,349 SF
7.54 ACRES
RECORD DEVELOPMENT AREA
(Previously Detained 2016-17)
229,760 SF
5.27 ACRES
TRIBUTARY AREA
310,590 SF
7.13 ACRES
IMPROVEMENT AREAS



EXISTING CONDITIONS



PROPOSED CONDITIONS



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EXPIRES: 04/30/2023

WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

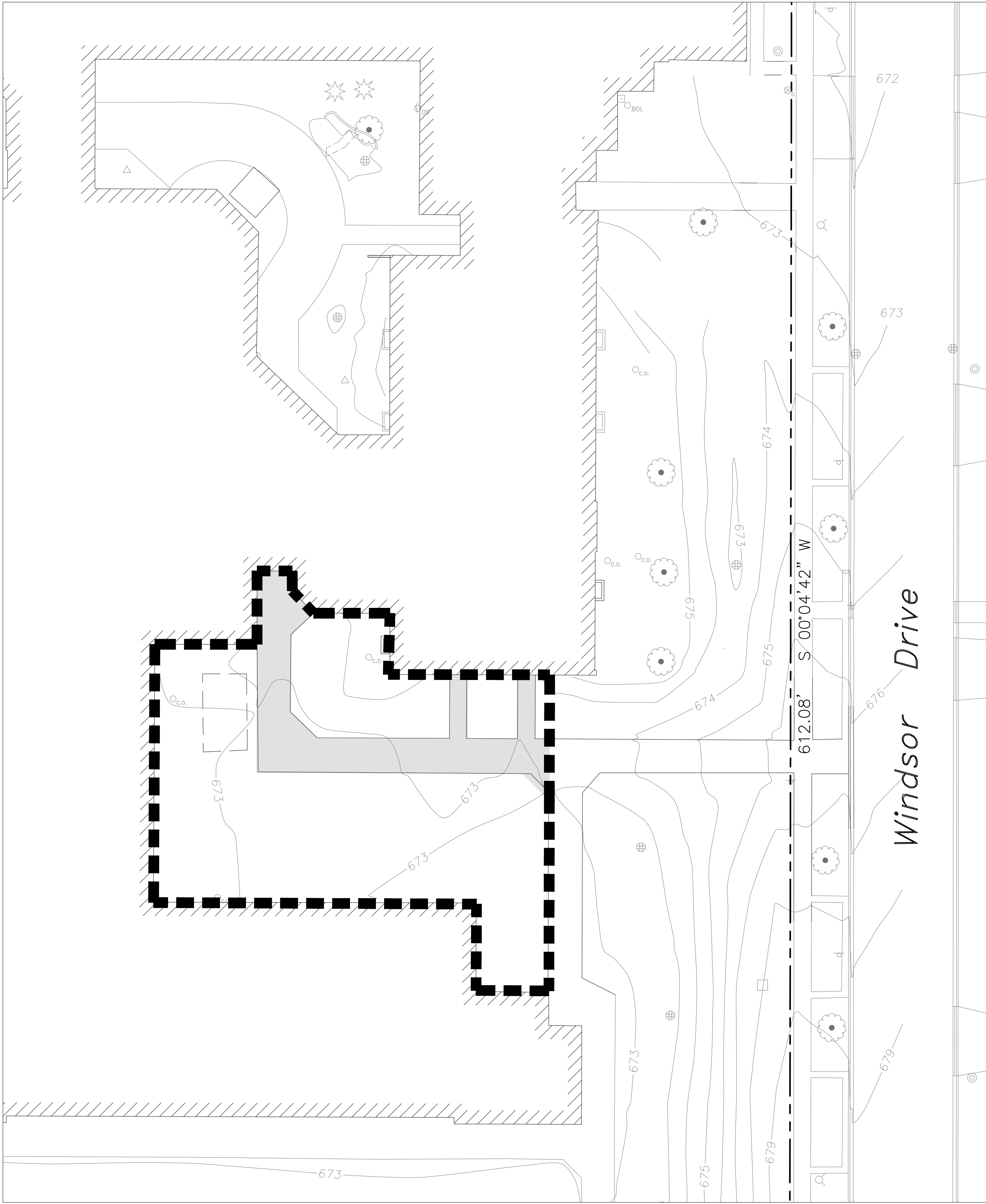
| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| Δ | 02/03/23 | REVISED FOR PLAN COMMISSION |
| | | |
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DESIGN BY: CS APPROVED BY: JC DATE: 02/03/23

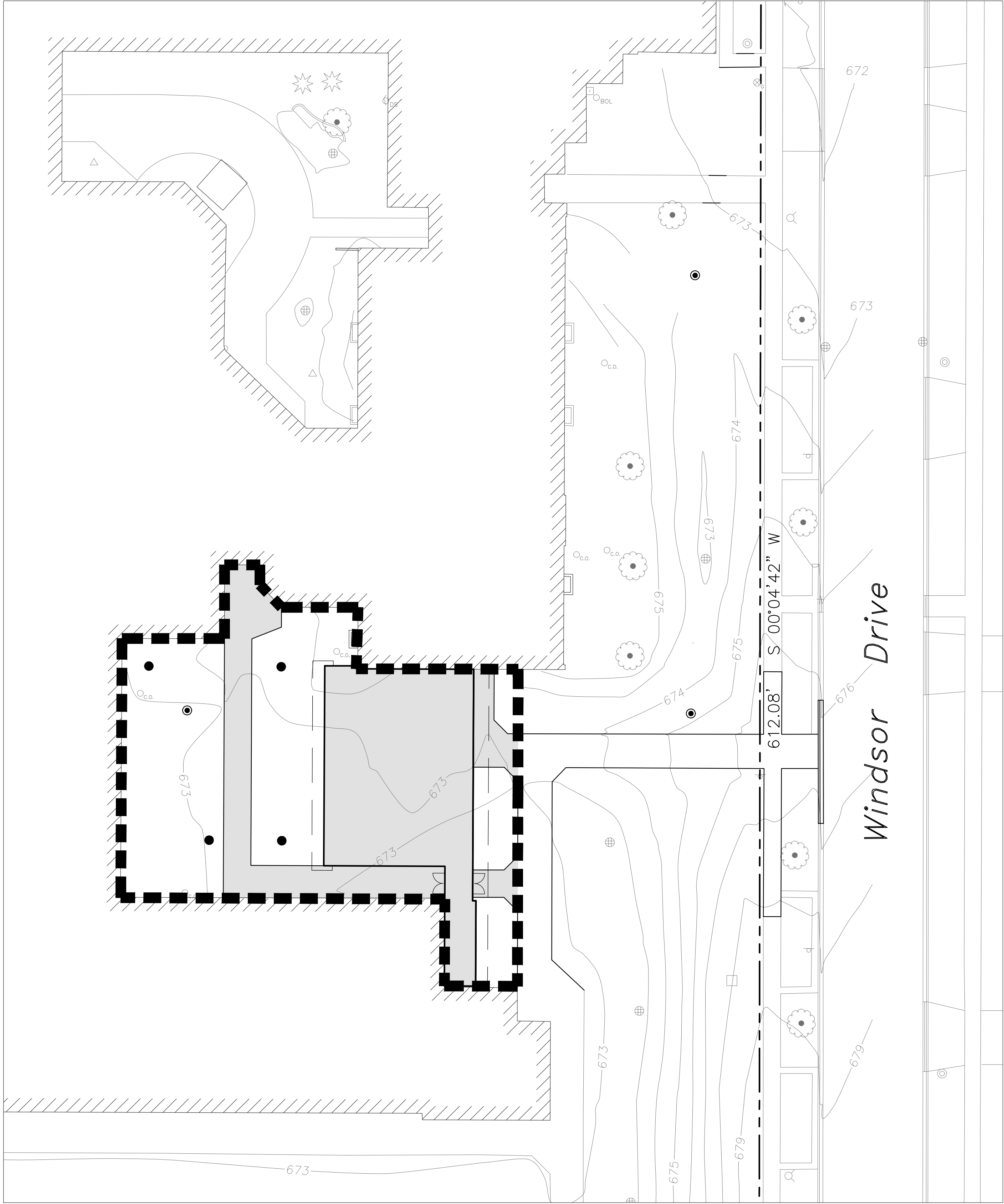
Sheet Title:
EXISTING VS.
PROPOSED SITE
COVERAGE

Sheet No:
CX101

EEA - P:\Joshi\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windsor\Siteplan - NEW.dwg
Plotted: 2/03/23 @ 9:19am By: cstanke



EXISTING



PROPOSED

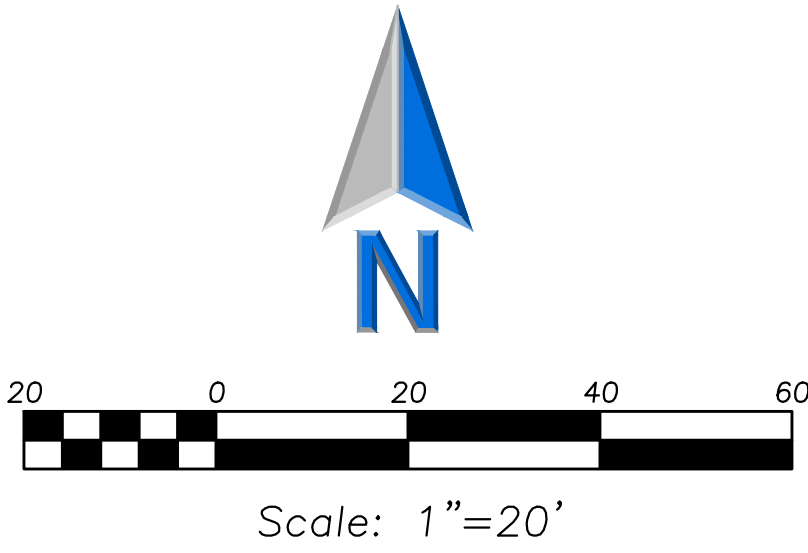


EXHIBIT LEGEND

- IMPERVIOUS AREA
- DEVELOPMENT AREA 1 (VILLAGE)
19,425 SF
0.22 ACRES
- DEVELOPMENT AREA 2 (VILLAGE)
223,860 SF
0.55 ACRES

EXISTING SITE CONDITIONS

- IMPERVIOUS AREA
1,665 SF = 0.03 ACRES
- PERVIOUS AREA
7,760 SF = 0.19 ACRES
- RUNOFF COEFFICIENT
C = 0.68

PROPOSED SITE CONDITIONS

- IMPERVIOUS AREA
4,640 SF = 0.11 ACRES
- PERVIOUS AREA
4,785 SF = 0.11 ACRES
- RUNOFF COEFFICIENT
C = 0.73

SWM REQUIREMENTS

- VILLAGE:
EXISTING CONDITIONS (Site, MRM B-70, Village Allowable Release)
= 0.042 AC-FT PROVIDED (2016-17)
- PROPOSED CONDITIONS (Site, MRM B-75, Village Allowable Release)
= 0.066 AC-FT REQUIRED
- ADDITIONAL DETENTION REQUIRED
= 0.066-0.042 = 0.024 AC-FT
- ADDITIONAL SWM REQUIRED FOR REDEVELOPMENT
- Required = 0.02 AC-FT
- TOTAL:
Required = 0.02 AC-FT
- EXISTING SWM PROVIDED UNDER MWRD 17-034
(RECORD DEVELOPMENT AREA)
- VILLAGE:
Required = 1.28 AC-FT
Provided = 1.28 AC-FT
- MWRD:
Required = 1.38 AC-FT
Provided = 1.48 AC-FT
(1.35 AC-FT Storm Trap)
(0.07 AC-FT Pipe Storage)
(0.06 AC-FT Provided in VC Above Inv.)



WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal:

| No. | Date | Description |
|-----|----------|-----------------------------|
| | 12/06/22 | ISSUE FOR PLAN COMMISSION |
| Δ | 02/03/23 | REVISED FOR PLAN COMMISSION |
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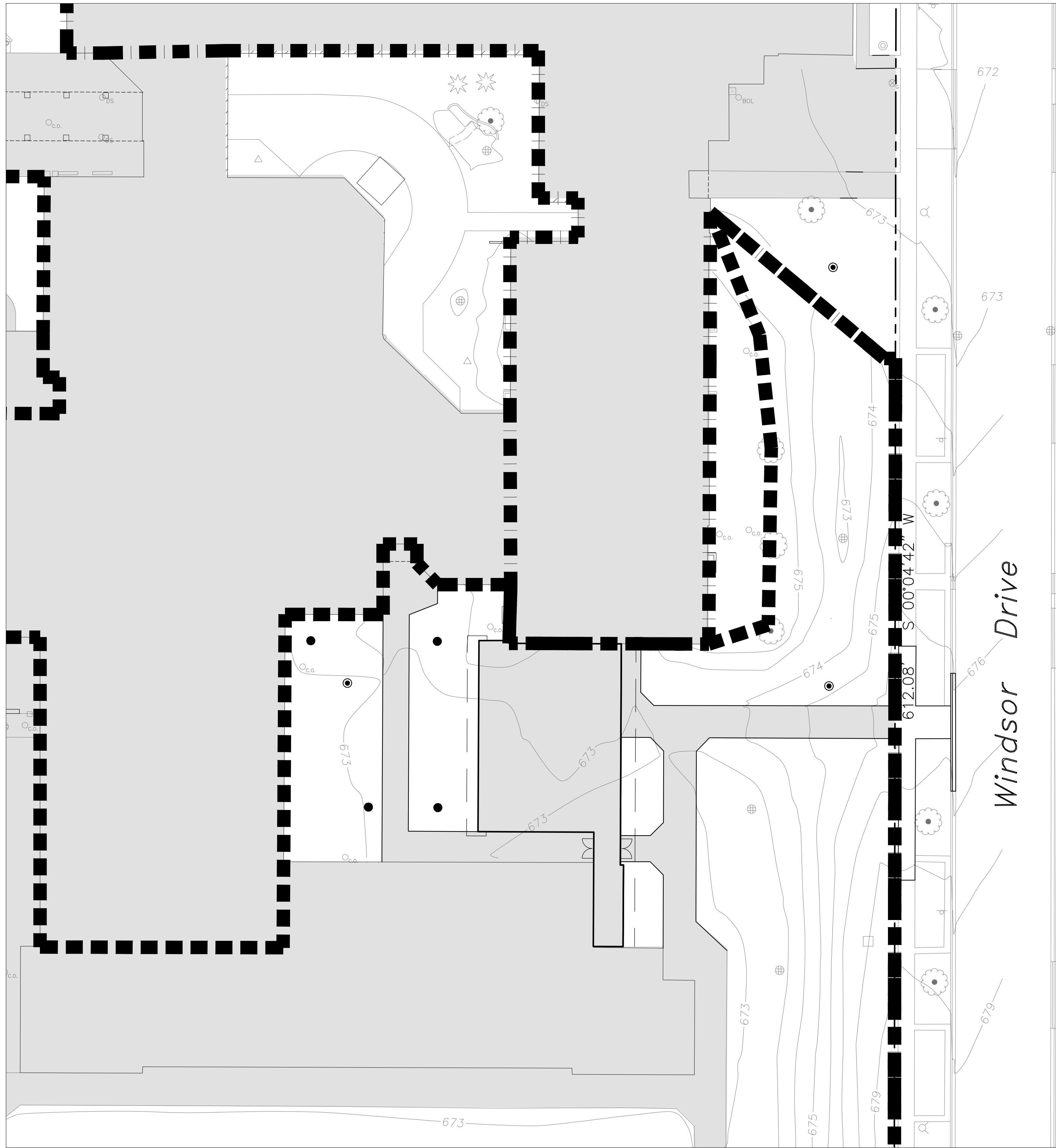
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Design By: CS Approved By: JC Date: 02/03/23

Sheet Title:
DEVELOPMENT AREA
(VILLAGE SWM)

Sheet No:
CX201

EEA - P:\Joshi\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windsor\Siteplan - Windsor - NEW.dwg
Plotted: 2/03/23 @ 9:20am By: cstanke



PROPOSED CONDITIONS



EXHIBIT LEGEND

- IMPERVIOUS AREA
- MAINTENANCE AREA
- PROPERTY LINE
326,340 SF
7.54 ACRES
- DEVELOPMENT AREA 1 (VILLAGE)
48,839 SF
0.20 ACRES

PROPOSED SITE CONDITIONS

IMPERVIOUS AREA
4,640 SF = 0.11 ACRES
PERVIOUS AREA
4,785 SF = 0.11 ACRES
RUNOFF COEFFICIENT
C = 0.73

SWM REQUIREMENTS

MWRD:
PROPOSED DEVELOPMENT AREA (B-75 NOMOGRAPH)
CN = 93.02
Release Rate = 0.11 CFS (0.20 CFS/AC, MWRD ALLOWABLE)
VOLUME CONTROL
Req'd = 0.018 AC-FT
Provided =
CNreduced = 85.51
REQ'D DETENTION VOLUME
Req'd Volume = 0.198 AC-FT



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYS LAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM

PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

**WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**

1315 E. MINER STREET
ARLINGTON HEIGHTS, ILLINOIS

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Design By: CS Approved By: JC Date: 02/03/23

Sheet Title:

**PROPOSED
DEVELOPMENT AREA
(MWRD SWM)**

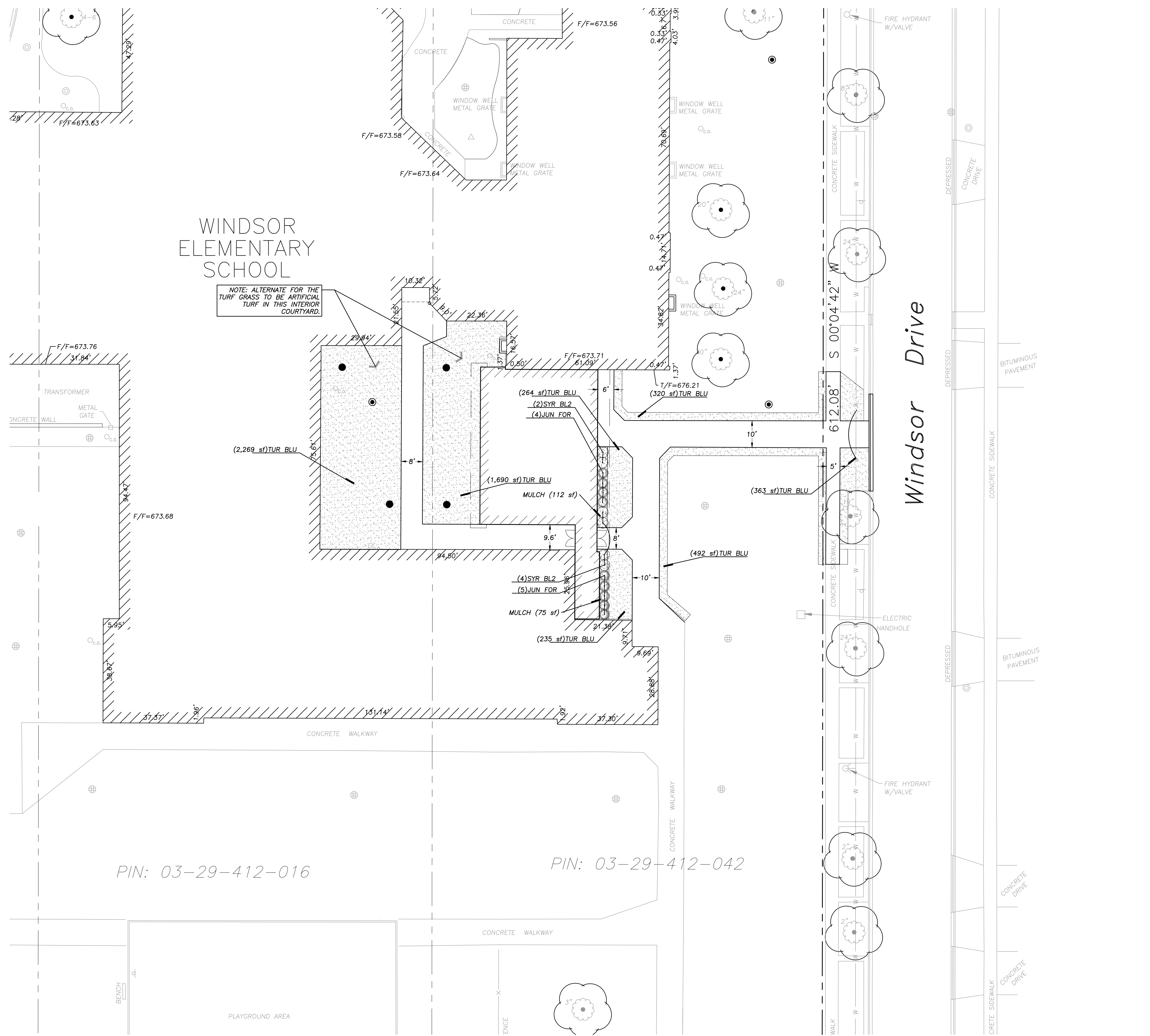
Sheet No:

CX202

EXHIBIT G

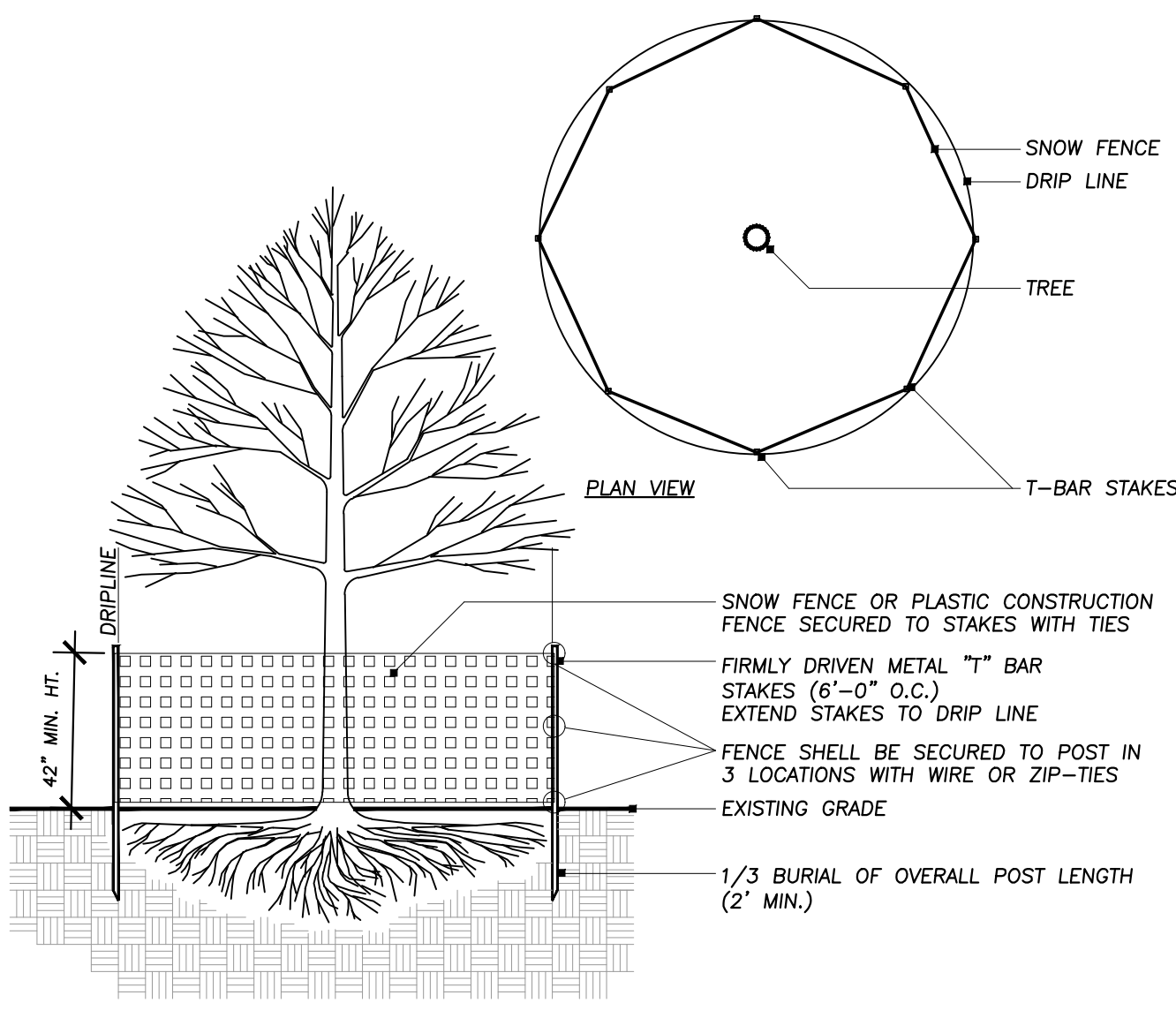
LANDSCAPE PLAN

EEA - P:\Josh\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Windsor\Landscape Plan - Windsor.dwg
Plotted: 2/03/23 @ 11:35am By: sgregory



PIN: 03-29-412-016

PIN: 03-29-412-042



1 TREE PROTECTION DETAIL
Not To Scale

329383-01

2 SHRUB PLANTING DETAIL
Not To Scale

329333-01

PLANT SCHEDULE

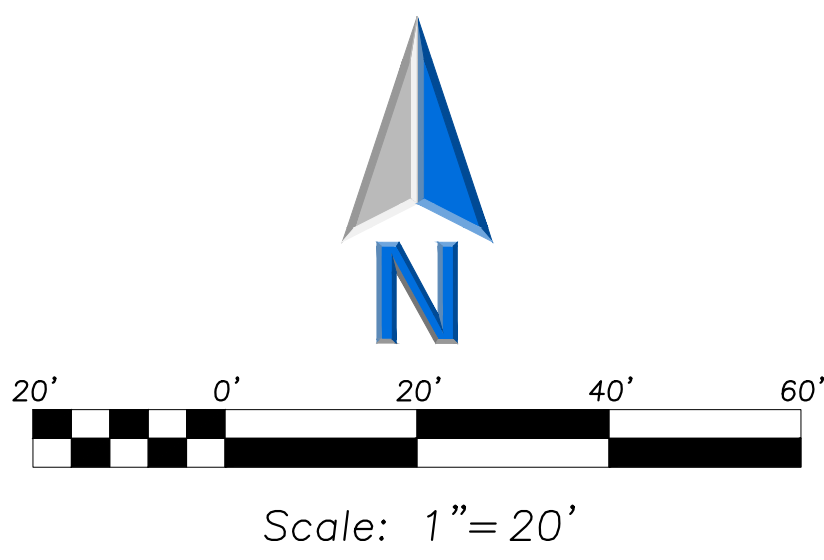
| DECIDUOUS SHRUBS | BOTANICAL / COMMON NAME | COND. | SIZE | QTY |
|------------------|---|-------|------|----------|
| SYR BL2 | SYRINGA X 'BLOOMERANG' / BLOOMERANG LILAC | B & B | 30\" | 6 |
| EVERGREEN SHRUBS | BOTANICAL / COMMON NAME | COND. | SIZE | QTY |
| JUN FOR | JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER | B & B | 24\" | 9 |
| TURF GRASS | BOTANICAL / COMMON NAME | COND | SIZE | QTY |
| TUR BLU | TURF SOD BLUEGRASS / KENTUCKY BLUEGRASS | SOD | S.F. | 5,633 SF |

SITE MATERIALS SCHEDULE

| | | |
|--|-------------------------|--------|
| | EXISTING DECIDUOUS TREE | 38 |
| | EXISTING EVERGREEN TREE | 11 |
| | MULCH | 187 SF |

LANDSCAPE NOTES:

- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC.. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC.. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3\"
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6\"
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.



**WINDSOR ELEMENTARY SCHOOL
BUILDING ADDITIONS**
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|------------|-----|--------------|----|-------|------------|
| Design By: | SSG | Approved By: | JC | Date: | 12/05/2022 |
|------------|-----|--------------|----|-------|------------|

Sheet Title:

**LANDSCAPE
PLAN**

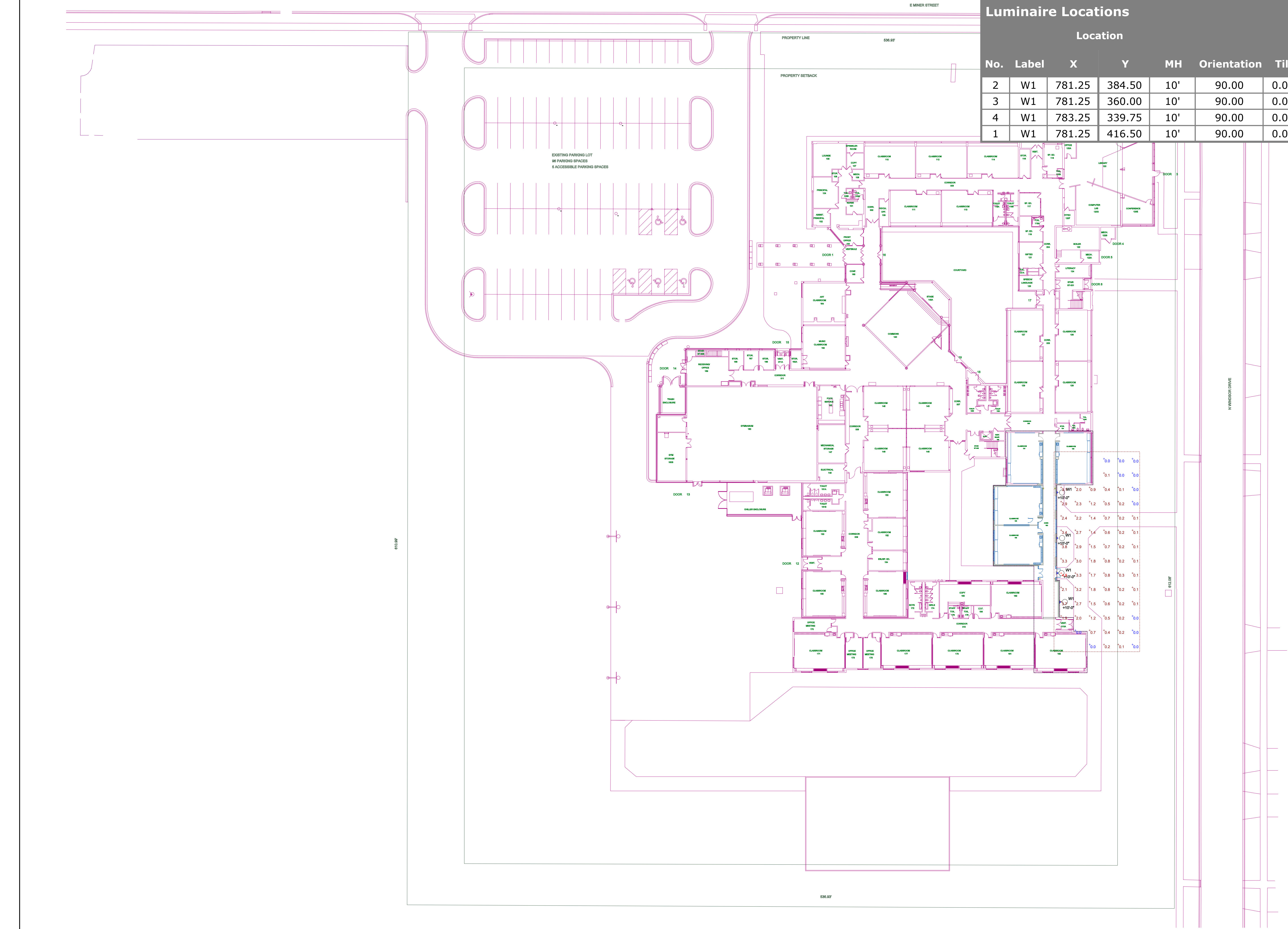
Sheet No:

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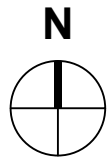
EXHIBIT H

SITE PLAN – PHOTOMETRIC CALCULATIONS

Actual size to meet all code
0 IN 1 IN 2 IN



1 SITE PLAN - ELECTRICAL
SCALE: 1" = 30'



N WINDSOR DRIVE

E MINER STREET

DOOR 1

DOOR 2

DOOR 3

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EXHIBIT I

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Arlington Heights, Illinois (“**Village**”):

WHEREAS, Arlington Heights School District 25 (“**Applicant**”) is the owner of record of that certain property located in the R-3 One Family Dwelling District, and commonly known as 1315 E. Miner Street (“**Property**”); and

WHEREAS, Ordinance No. 2023-_____, adopted by the Village President and Board of Trustees on _____, 2023 (“**Ordinance**”), approves an amendment to an existing special use permit to the Applicant for the expansion and continued operation of an elementary school on the Property; and

WHEREAS, Section 8 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to, accepts, consents to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village’s granting of the amended special use permit for the Property or its adoption of the Ordinance, and that the Village’s approvals do not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
4. The Applicant hereby agrees to hold harmless and indemnify the Village, the Village’s corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village’s adoption of the Ordinance granting the amended special use permit for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2023

ATTEST:

ARLINGTON HEIGHTS SCHOOL DISTRICT 25

By: _____

By: _____

Its: _____

Its: _____