

# STAFF DESIGN COMMISSION REPORT

**PROJECT INFORMATION:**

**Project Name:** Chipotle – Sign Variation  
**Project Address:** 711 E. Palatine  
**Prepared By:** Steve Hautzinger

**Date Prepared:** June 2, 2023

**PETITION INFORMATION:**

**DC Number:** 23-021  
**Petitioner Name:** Angie Gilmore  
**Petitioner Address:** DeSign Group Signage Corp.  
2135 S. Frontage Road  
Des Plaines, IL 60018  
**Meeting Date:** June 13, 2023

**Requested Action(s):**

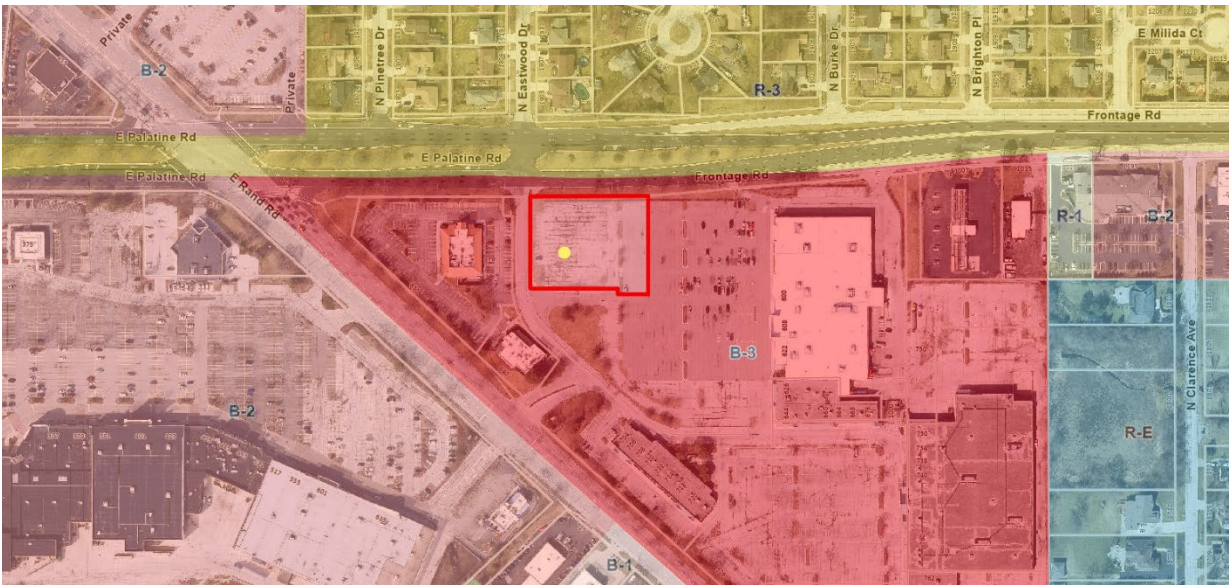
- 1. A variation from Chapter 30, section 30-402.a, to allow a 38 sf wall sign on the west wall of the building facing the parking area where none is permitted.

**ANALYSIS:**

**Summary**

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

Chipotle is currently in the process of constructing a new restaurant building at 711 E. Palatine Road, located within the Southpoint Shopping Center. The building faces Palatine Road. Per code, only one wall sign is allowed per street frontage, and a code compliant wall sign is currently installed on the north wall of the building facing Palatine Road. The petitioner is requesting a variation to allow a second wall sign on the west side of the building facing Chipotle's parking area.



Zoning Map of Property

**Surrounding Land Uses:**

Direction	Existing Zoning	Existing Use
<b>Subject Property</b>	B-3, General Service, Wholesale and Motor Vehicle District	Chipotle
<b>North</b>	R-3, One Family Dwelling District	Single-Family neighborhood
<b>South</b>	B-3, General Service, Wholesale and Motor Vehicle District	Chili’s Restaurant and a Multi-tenant Retail Building
<b>East</b>	B-3, General Service, Wholesale and Motor Vehicle District	Floor & Décor
<b>West</b>	B-3, General Service, Wholesale and Motor Vehicle District	Olive Garden

**Table 1: Wall Sign Summary**

SIGN	ELEVATION / FRONTAGE	SIGNABLE AREA	25% OF SIGNABLE AREA	SIGN SIZE	REMARKS
“CHIPOTLE” with logo	North / Palatine	286 sf	72 sf	38 sf	Complies with code.
“CHIPOTLE” with logo	West / Parking Area <b>(No Frontage)</b>	559sf	140 sf	38 sf	Variation required due to no street frontage.
<b>TOTAL</b>				76 sf	

**Sign Variation Criteria:**

The Village Sign Code, Chapter 30, Section 30-901 sets out the criteria for granting a sign variation.

- a. *That the particular difficulty or peculiar hardship is not self-created by the Petitioner.*
- b. *That the granting of said variation will not create a traffic hazard, a depreciation of nearby property values or otherwise be detrimental to the public health, safety, morals and welfare;*
- c. *That the variation will serve to relieve the Petitioner from a difficulty attributable to the location, topography, circumstances on nearby properties or other peculiar hardship, and will not merely serve to provide the Petitioner with a competitive advantage over similar businesses;*
- d. *That the variation will not alter the essential character of the locality;*
- e. *That the Petitioner’s business cannot reasonably function under the standards of this chapter.*

The petitioner has submitted a letter stating that the proposed west facing wall sign is necessary to improve the visibility of the restaurant primarily to people and cars traveling through the Southpoint Shopping Center along the main internal access drive.

Staff does not object to the proposed additional wall sign due to the unique location of this building with customers approaching the restaurant from different directions. Additionally, the proposed wall sign is modest in size based on the size of the building, and the requested variation is similar to other recently approved variations for similar restaurant businesses such as Taco Bell at 1530 W. Algonquin Road, McDonald’s restaurant at 45 E. Golf Road, McDonald’s restaurant at 15 E. Dundee Road, and Popeyes restaurant at 7 W. Dundee Road. The only comment is that the sign looks off balance and crowded into the corner of the west elevation. It is recommended that the sign be centered above the west storefront windows for a more balanced appearance.

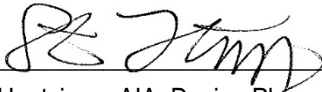
**RECOMMENDATION**

It is recommended that the Design Commission recommend **approval** to the Village Board for the following sign variations for *Chipotle* at 711 E. Palatine Road:

1. A variation from Chapter 30, section 30-402.a, to allow a 38 sf wall sign on the west wall of the building facing the parking area where none is permitted.

This recommendation is subject to compliance with the plans received 4/24/23, Federal, State, and Village Codes, regulations, and policies, and the issuance of all required permits, and the following conditions:

1. A recommendation to center the sign above the west storefront windows for a more balanced appearance.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.



June 2, 2023

Steve Hautzinger AIA, Design Planner  
Department of Planning & Community Development

c: Charles Witherington-Perkins, Director of Planning and Community Development, Petitioner, DC File 23-021