

Letter for Variation and Hardship Request

Per Chapter 30, Section 30-902

Chipotle - 711 E. Palatine Rd, Arlington Heights, IL 60004

Chipotle Mexican Grill formally requests a variation request for a wall sign on the west elevation of 711 E. Palatine Rd, based on the following findings of fact and evidence.

Chipotle Mexican Grill has one (1) wall sign that was approved through sign permit #22-4325 on December 2nd, 2022, along with the rest of the signage package for the location. This sign is on the north elevation, facing Palatine Road. Chipotle is requesting that the village grants their request to install a second wall sign on the west elevation facing the drive that runs through the shopping center that it is apart of.

Chipotle is on a property that is within the B-3 zoning district. The sign regulations and code that govern this zoning district state that "each business shall be permitted no more than one wall sign for each street it fronts on." (Chapter 30-22 of the Arlington Heights Municipal Code). Since Chipotle has only one street frontage, facing Palatine Rd on the north side, a variation is required to request an additional wall sign.

Without having a wall sign on the west elevation, Chipotle will not have visible identification to the many people and cars that travel down the drive that runs through the shopping center, thus impacting their business, foot traffic, and visibility.

This difficulty is not self-created by the petitioner, as it pertains to the orientation of where the building was constructed and its relation to the other buildings in the shopping center and the roads that surround said shopping center.

If this variation is granted by the village, there will be no traffic hazard, as it will be a wall sign securely attached to the west elevation and will not be in the way of any traffic flow or car traffic. It will not cause depreciation of nearby property values or be detrimental to public health, safety, morals, or welfare, as Chipotle will bring more business and tax revenue to this shopping center and Arlington Heights as a whole, due to its popularity and location. The wall sign on the west elevation will be properly installed by certified sign installers with over 20 years of experience, thus making it safe for the public.

This variation relieves Chipotle from the difficulty of not being visible from a high-traffic drive through a popular shopping center due to its location on this lot. This will not provide Chipotle with a competitive advantage, but instead, give the building a similar look to surrounding restaurants. Chili's and Olive Garden, on the other side of the drive across from Chipotle, both have two (2) wall signs on their property.

Granting this variation for a second wall sign will not alter the essential character of the locality since many similar businesses and restaurants in the area have two (2) wall signs currently.

Chipotle cannot reasonably function under the standards of this chapter without this variation being approved due to the amount of visibility and business Chipotle could miss out on if people passing through and stopping in the shopping center are not aware that Chipotle is in the lot due to lack of signage.

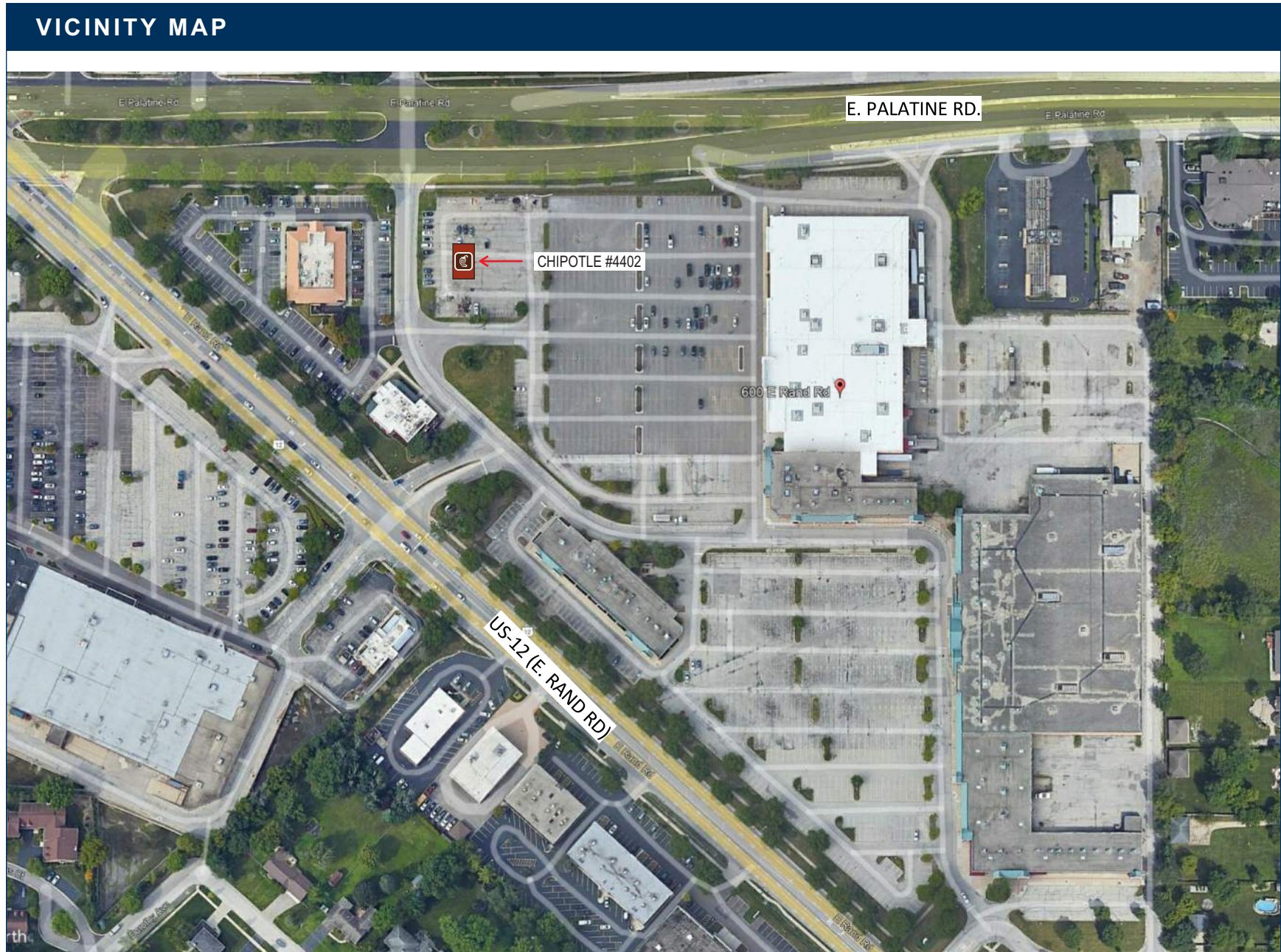
Due to all reasons outlined above, we formally request that you consider and grant this variation request for a second wall sign on the west elevation of the building.

Thank you for all your consideration.

Sincerely,

Angie Gilmore

Permit Coordinator
Design Group Signage Corp.



N.T.S.



CODE ALLOWANCE

- WALL SIGNS:**
- One (1) wall sign per street frontage it faces NOTE: An additional wall sign shall be permitted on an additional wall which fronts on a privately-owned parking area for that building serving more than one (1) establishment.
 - Wall with opening for access into building and building has 0' to 150' of setback: No larger than 25% of the total signable area, or a maximum of 150 square feet, whichever is less. Wall without opening access into building and building has 0' to 150' of setback: No larger than 15% of the total area of the wall on which the sign is displayed or 150 square feet, whichever is less. NOTE: A second wall sign displayed adjacent to a parking lot serving that building shall be no larger than 25% of the total signable area, or 60 square feet, whichever is less.
 - Lighting: Internal illumination allowed Projection: No sign may project more than 12" from building face Location: If a wall sign is placed on a mansard facade shall be no larger than 25% of the total signable area or 150 square feet, whichever is less. In no instance shall the sign project above the mansard facade.
- WINDOW SIGNS:**
- No limit stipulated. May not exceed forty (40%) of the tenant's total window area.
- FREESTANDING SIGNS:**
- No more than one (1) ground sign shall be installed per frontage of a building NOTE: If a building has more than one (1) frontage, an additional ground sign may be permitted, provided that there is a minimum of 800 feet of separation between the ground signs as measured along the right-of-way line. The maximum allowable area of a ground sign is determined on the basis of the width and posted speed limit of the public right-of-way abutting the property on which the sign is located as set forth in TABLE A. Per Google Earth, speed limit is posted at 35 MPH.
 - Illumination: External and Internal illumination allowed Sign type: Monument or pylon style Landscaping: Area under a ground sign must be landscaped a minimum of two (2) feet out from the sign base. Sign Height: Maximum not to exceed 16'-6" from ground. Sign location: Not to be located in the vision clearance area. Requires a 3' setback from public right-of-way. If located within 12' of the intersection of the right-of-way lines on a corner lot, it must allow for proper visibility into the intersection.
- DIRECTIONAL / GROUND SIGNS:**
- One (1) sign per parking entry drive. Maximum 6 square feet, 3' feet maximum height. Logos of business are allowed. Directional signs shall be located within landscaped areas and shall be permanently installed.
- DRIVE-THRU / GROUND SIGNS:**
- One (1) per lane for purpose of advertising available products/services
 - Menu Board: Maximum of seven (7) in height. Not to exceed forty-nine (49) sq. ft.
 - Pre-sell Menu Board: Maximum of seven (7) in height. Not to exceed twenty-four (24) sq. ft.
 - Drive through menu boards, pre-sell menu boards and digital order screens, shall be located in the side or rear yards, away from the primary street frontage. Pre-sell menu boards should be located in close proximity to drive-through boards. Drive-through menu boards, pre-sell menu boards and digital order screens shall not be oriented towards the public right-of-way.
 - All free standing signs shall be located within a landscaped area, separated from and protected from vehicular circulation or parking areas.
- TEMPORARY SIGNS:**
- The allowable number shall be determined by aggregate total of banners
 - An aggregate total of sixty-four (64) square feet, with no individual sign exceeding 32 sq. ft
 - No time limit indicated. Permits are required.
- TEMPORARY WINDOW SIGNS:**
- No limit stipulated. May not exceed forty (40%) of the tenant's total window area
 - Window signs must be located on the interior side of the window.

	POSTED SPEED LIMIT	
WIDTH OF PUBLIC RIGHT-OF-WAY	35 MILES PER HOUR OR LESS	OVER 35 MILES PER HOUR
UP TO 66 FEET	40 SQ. FT. TOTAL SIGN AREA PER FACE	60 SQ. FT. TOTAL SIGN AREA PER FACE
OVER 66 FEET	66 SQ. FT. TOTAL SIGN AREA PER FACE	80 SQ. FT. TOTAL SIGN AREA PER FACE

<p>JONES SIGN Your Vision. Accomplished. A MORTENSEN COMPANY</p>	<p>JOB #: 269432-R4</p> <p>DATE: 07.22.2022</p> <p>DESIGNER: J. Dowden</p> <p>SALES REP: M. Brown</p> <p>PROJ MGR: C. Abercrombie</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>07.28.22</td><td>JD</td><td>RELOCATE DL.1 ON SITE PLAN</td></tr> <tr><td>2</td><td>08.15.22</td><td>JD</td><td>CHANGED BH.3 TO B.3</td></tr> <tr><td>3</td><td>10.12.22</td><td>JD</td><td>REMOVED B.3 ON SOUTH ELEVATION</td></tr> <tr><td>4</td><td>03.27.23</td><td>AS</td><td>ADD B.3 TO WEST ELEVATION</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	07.28.22	JD	RELOCATE DL.1 ON SITE PLAN	2	08.15.22	JD	CHANGED BH.3 TO B.3	3	10.12.22	JD	REMOVED B.3 ON SOUTH ELEVATION	4	03.27.23	AS	ADD B.3 TO WEST ELEVATION	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<p>CLIENT APPROVAL _____ DATE _____</p> <p>LANDLORD APPROVAL _____ DATE _____</p>		<p>ARLINGTON HEIGHTS, IL #4402</p> <p>711 E. PALATINE RD. ARLINGTON HEIGHTS, IL 60004</p>	<p>SHEET NUMBER</p> <p>1.0</p>
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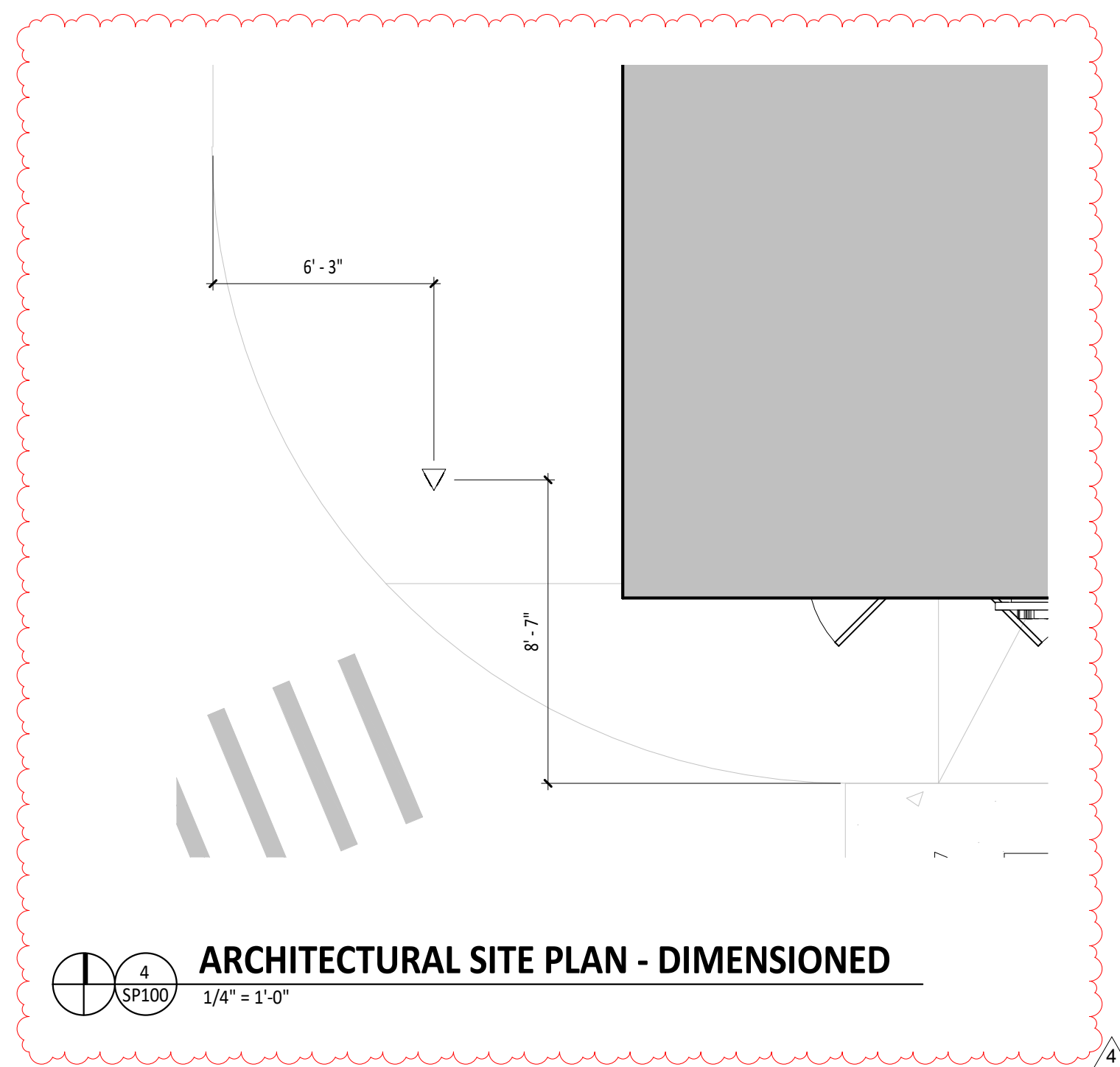
GENERAL NOTES

STENCILS FOR PARKING MARKINGS AVAILABLE FROM PAVEMENT STENCIL COMPANY, PHONE: (800) 250-5547, EMAIL: STENCILS@PAVEMENTSTENCIL.COM

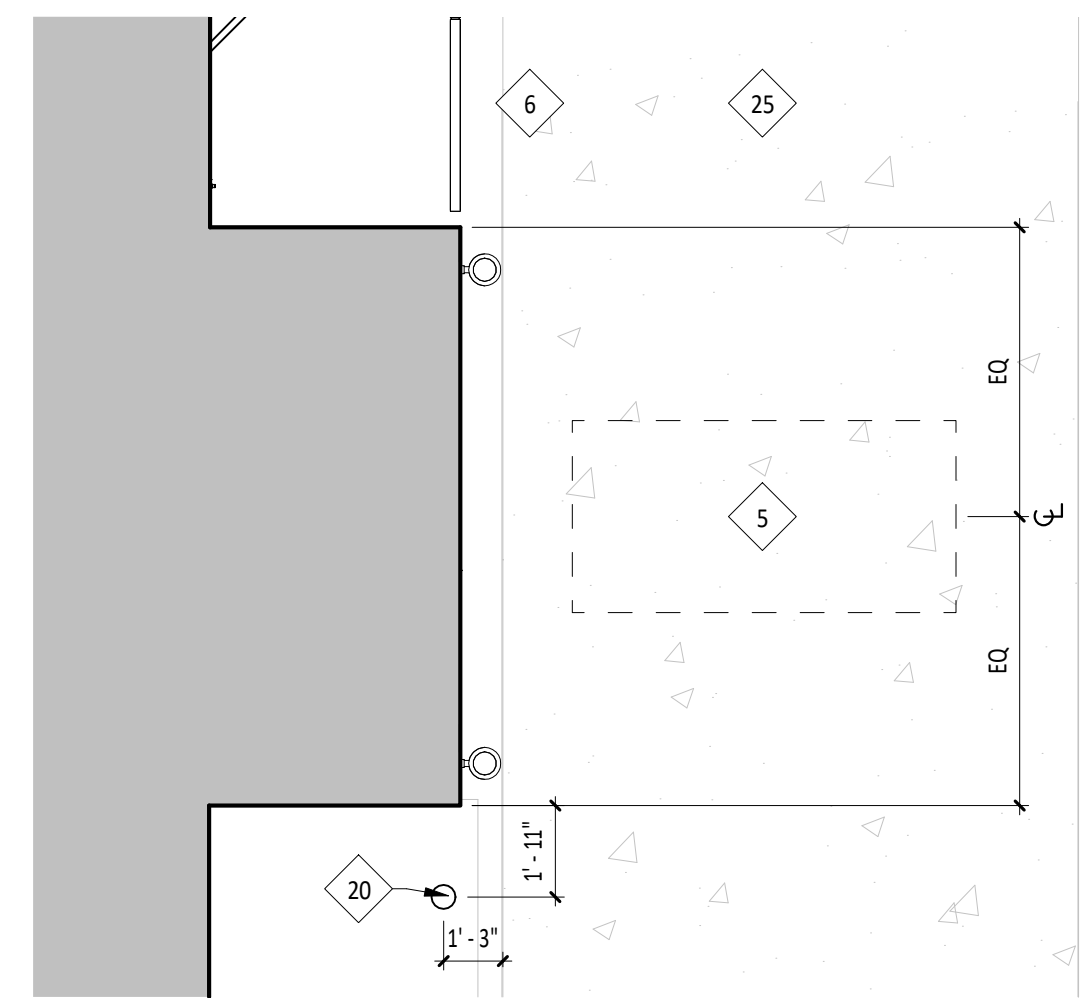
ALL SITE WORK INCLUDING PAVING, CURBING, PARKING, PARKING LOT LIGHTING, SIDEWALKS, LANDSCAPING AND DUMPSTER ENCLOSURE ARE EXISTING U.N.O.

SITE PLAN KEYNOTES

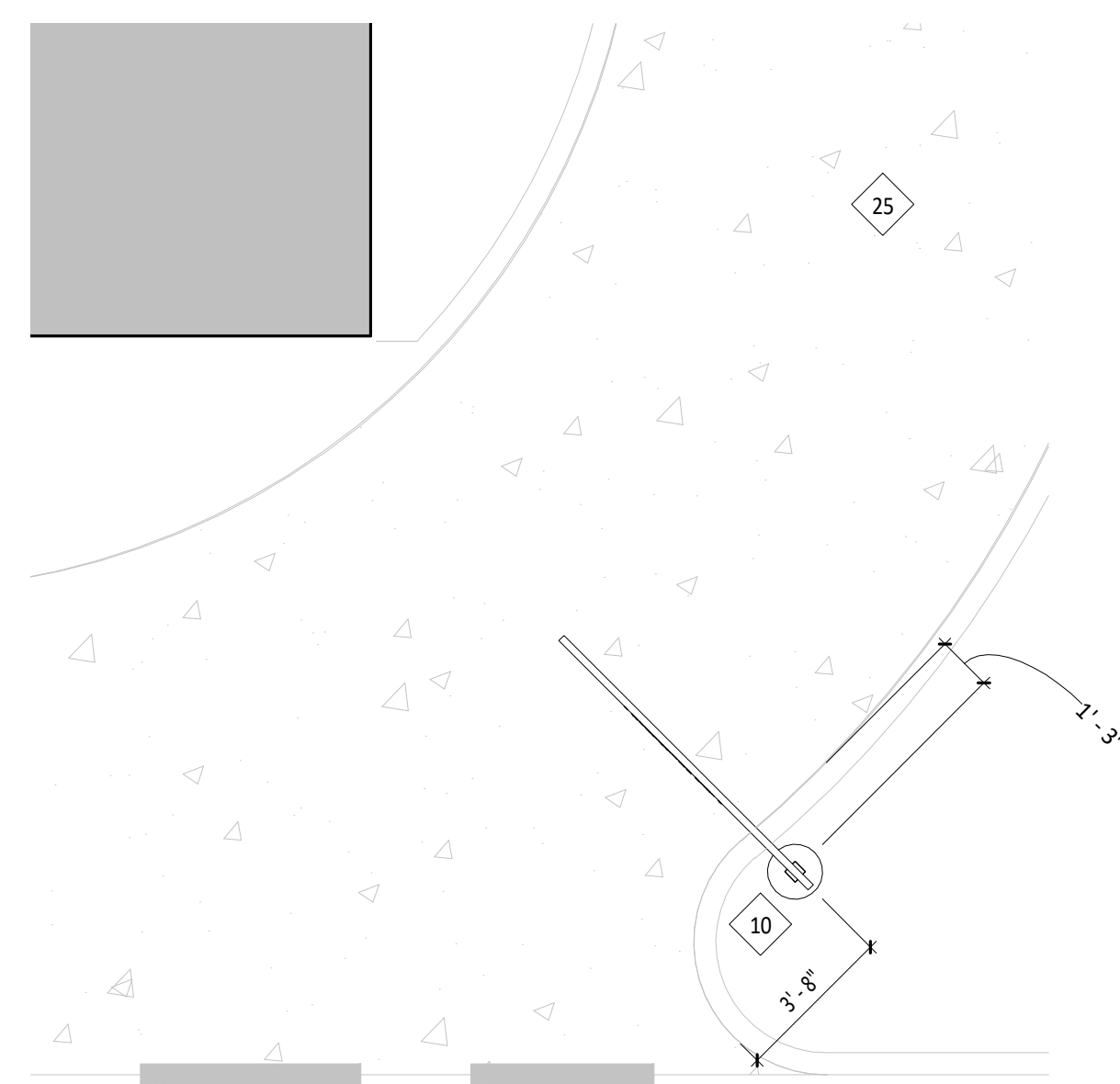
- 1 PROPERTY LINE
- 2 25'-0" FRONT YARD SETBACK
- 3 20'-0" SIDE YARD SETBACK
- 4 20'-0" REAR YARD SETBACK
- 5 LOOP DETECTOR INSTALLED BY CHIPOTLE'S GC, REFER TO ELECTRICAL DRAWINGS. GC TO TAKE SPECIAL CARE OF LOCATION OF CUT OUT AND FILL AND COORDINATE WITH PAVEMENT MARKINGS; CONDUIT STUB-UP (EXISTING BY LANDLORD)
- 6 PATIO RAILING SUPPLIED BY TENANT'S RAILING SUPPLIER, INSTALLED BY CHIPOTLE'S GC. REFER TO 5/SP101 AND 6/SP101 FOR DETAILS
- 7 TWO (2) PATIO LIGHTS PROVIDED BY LIGHTING VENDOR, INSTALLED BY CHIPOTLE'S GC, FOUNDATION BY CHIPOTLE'S GC. REFER TO 3/SP101 FOR DETAILS; CONDUIT STUB-UP (EXISTING BY LANDLORD)
- 8 EXISTING SITE LIGHTING BY LANDLORD, TYPICAL THROUGHOUT SITE.
- 9 DUMPSTER ENCLOSURE, PAD APRON, AND BOLLARDS (EXISTING BY LANDLORD). CHIPOTLE WILL GET EXCLUSIVE USE OF THE WESTERN CORRAL. FINAL TRASH ENCLOSURE SIZING TBD.
- 10 CLEARANCE BAR AND FOUNDATION SUPPLIED AND INSTALLED BY TSV, REFER TO 2/SP101 FOR DETAILS. SIGN UNDER SEPERATE PERMIT BY OTHERS
- 11 NOT USED
- 12 NOT USED
- 13 MINIMUM 1,500 GALLON SHARED GREASE INTERCEPTOR BY LANDLORD; CHIPOTLE'S GC TO MAKE FINAL CONNECTIONS. REFER TO PLUMBING DRAWINGS
- 14 DIRECTIONAL PAVEMENT MARKINGS BY LANDLORD; TYPICAL THROUGHOUT SITE.
- 15 TWO (2) SPACES MARKED FOR 'BURRITO LOADING ZONE' PARKING; FOUNDATION AND INDIVIDUAL POLE SIGNS BY GC. SIGN SUPPLIED BY TSV, INSTALLED BY GC.
- 16 300 SF CONCRETE PATIO SLAB (EXISTING BY LANDLORD)
- 17 TWO (2) PULL-AHEAD PARKING SPACES MARKED WITH 36" TALL X 24" WIDE WHITE NUMBERS PARALLEL TO STRIPING, SET 12" FROM TOP OF SPACE AND CENTERED IN SPACE
- 18 TWO (2) POLE SIGNS FOR DEDICATED PARKING SPACES; FOUNDATION AND SIGN POST BY CHIPOTLE'S GC, REFER TO 7/SP101 FOR SIGN POST DETAIL; SIGN SUPPLIED BY TSV, INSTALLED BY CHIPOTLE'S GC.
- 19 NOT USED
- 20 BOLLARD BY LANDLORD
- 21 TENANT DIGITAL PICKUP SIGN AND FOUNDATION SUPPLIED AND INSTALLED BY TSV. SIGN UNDER SEPERATE PERMIT BY OTHERS
- 22 2-BIKE, BIKE RACK EXISTING BY LANDLORD
- 23 WHEEL STOPS BY LANDLORD AT LOCATIONS SHOWN
- 24 10'-0" x 35'-0" LOADING ZONE
- 25 HIGH DENSITY CONCRETE EXISTING BY LANDLORD; CONCRETE TO EXTEND 12'-0" PAST CENTERLINE OF WINDOW AND 12 FT BEFORE CENTERLINE OF CLEARANCE BAR
- 26 CROSSHATCHED AREAS INDICATE LANDSCAPING BY LANDLORD -PROVIDE MINIMUM MAINTENANCE LANDSCAPE DESIGN -MAXIMIZE ROCK MULCH HARDSCAPING WHERE ALLOWED, EVERGREEN VEGETATION, AND ACCENT BOULDERS AS ALLOWED BY LOCAL CODES (INSTALLED BY LANDLORD; MAINTAINED BY CHIPOTLE)



ARCHITECTURAL SITE PLAN - DIMENSIONED
1/4" = 1'-0"

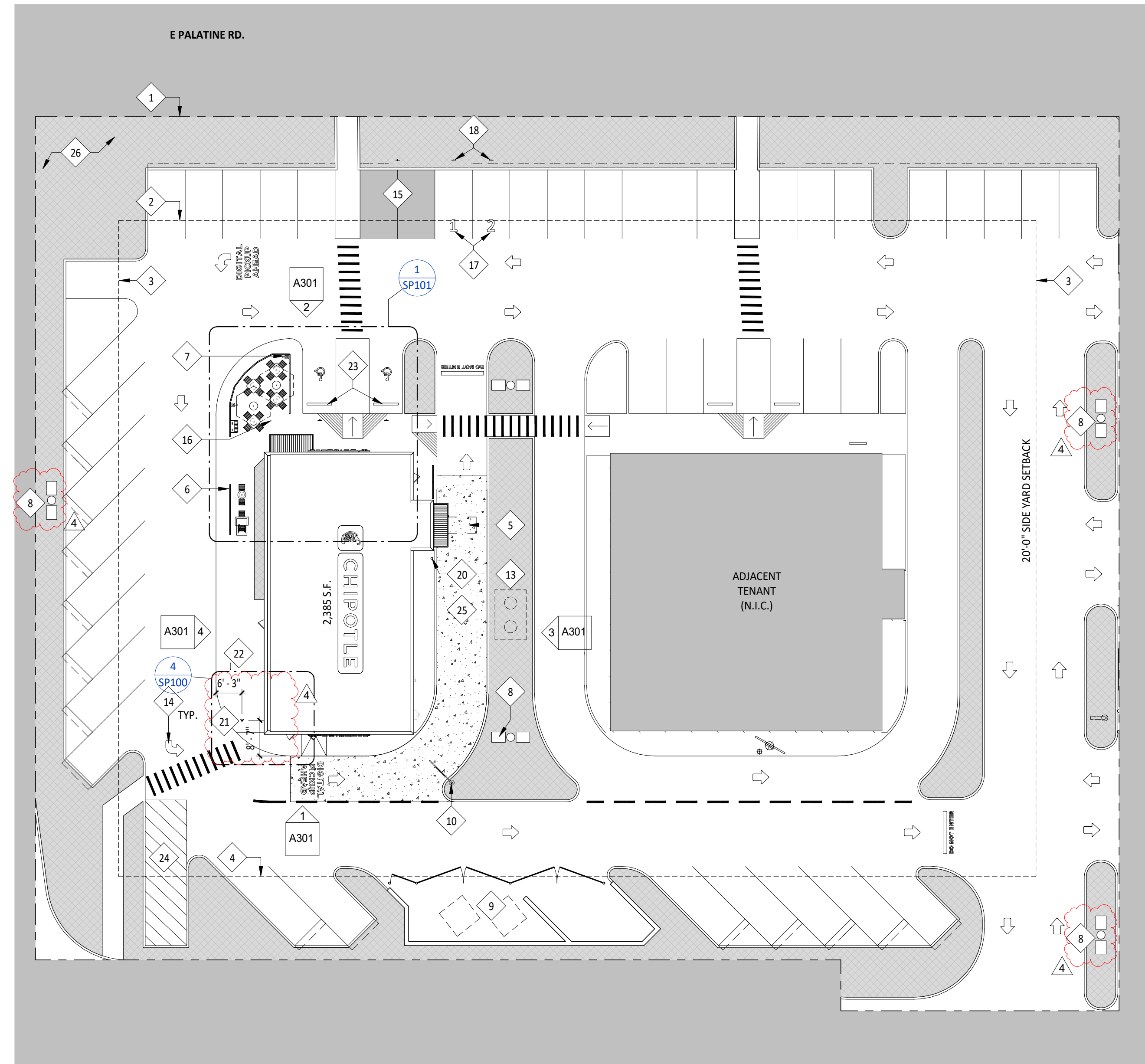


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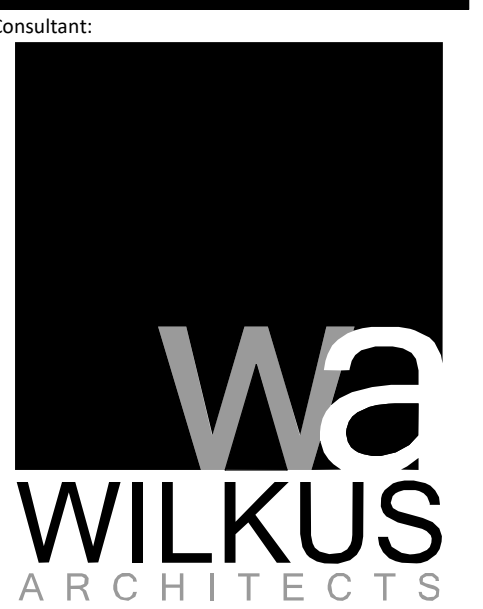


ARCHITECTURAL SITE PLAN - DIMENSIONED
1/4" = 1'-0"

SITE PLAN - FOR REFERENCE ONLY



ARCHITECTURAL SITE PLAN
1" = 20'-0"



15 Ninth Avenue North, Hopkins, MN 55343
Phone: 952.941.8660 | www.wilkusarch.com

FOR CONSTRUCTION

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CHIPOTLE MEXICAN GRILL, INC.
PO BOX 182566
COLUMBUS, OH 43218-2566
TELEPHONE: (614) 318-2482
INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 4402

"ARLINGTON HEIGHTS R-2"
711 E. PALATINE ROAD
ARLINGTON HEIGHTS, IL 60004

Issue Record:	
4.11.2022	PERMIT SET
7.12.2022	BID SET
12.1.2022	CONSTRUCTION SET

Revisions:	
1	05/27/2022 PRCN01
3	07/07/2022 DB02/03 UPDATES
4	11/11/2022 CONSTRUCTION SET

Drawn: A. HARRINGTON
Checked: K. MOAN

Project No.
2021-0680

Contents:
ARCHITECTURAL SITE PLAN

SP100

GENERAL NOTES

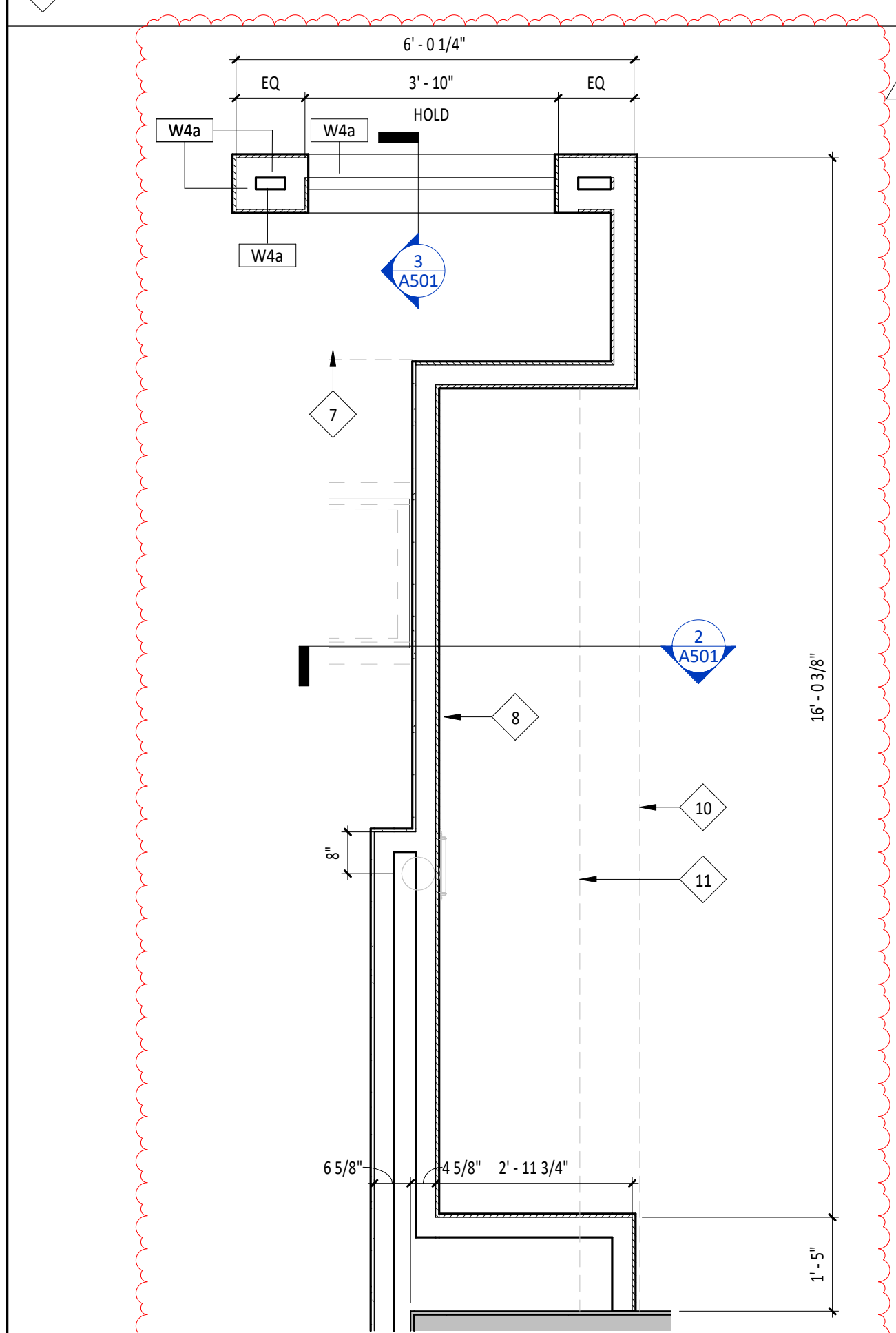
- ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXTERIOR OR EXISTING WALLS ARE TO THE FINISH FACE OF THE EXISTING GYP. BD.
- DASHED CIRCLE IN RESTROOM INDICATES 5'-0" TURNING DIAMETER REQUIRED BY ADA.
- REFER TO WALL FINISH SCHEDULE ON A120.
- STUDS ARE 3 5/8" METAL STUDS UNLESS OTHERWISE NOTED ON PLAN.
- INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL U.N.O.
- IN SITUATIONS WHERE TENANT'S G.C. IS TO PROVIDE TYPE 'X' GYP. BD. FOR A RATED ASSEMBLY, THE TYPE 'X' GYP. BD. IS REQUIRED TO GO BENEATH THE SHEATHING AND FINISHES.
- SEE SHEET A801 FOR ADDITIONAL SHEATHING BEHIND CERTAIN WALL FINISHES.
- SEE A601 FOR DOOR TYPES.
- TENANT'S G.C. TO PERFORM LAYOUT OF ENTIRE SPACE PRIOR TO STARTING FRAMING AND REPORT ANY DISCREPANCIES IN NOTED DIMENSIONS TO ARCHITECT AND CHIPOTLE MEXICAN GRILL'S CM PRIOR TO PROCEEDING. FAILURE TO ADHERE TO THESE REQUIREMENTS RESULTING IN ANY REMEDIATION REQUIRED TO MEET DESIGN INTENT WILL BE AT CONTRACTOR'S COST.
- PROVIDE FULL HEIGHT BLOCKING IN WALL FOR ALL SHELVING, TYP.
- DENSSHIELD TILE BACKER BOARD SHALL NOT BE INSTALLED OVER VAPOR BARRIERS AT EXTERIOR WALLS.
- MOISTURE RESISTANT GYP. BD. SHALL BE USED IN RESTROOMS.

WALL TYPE LEGEND

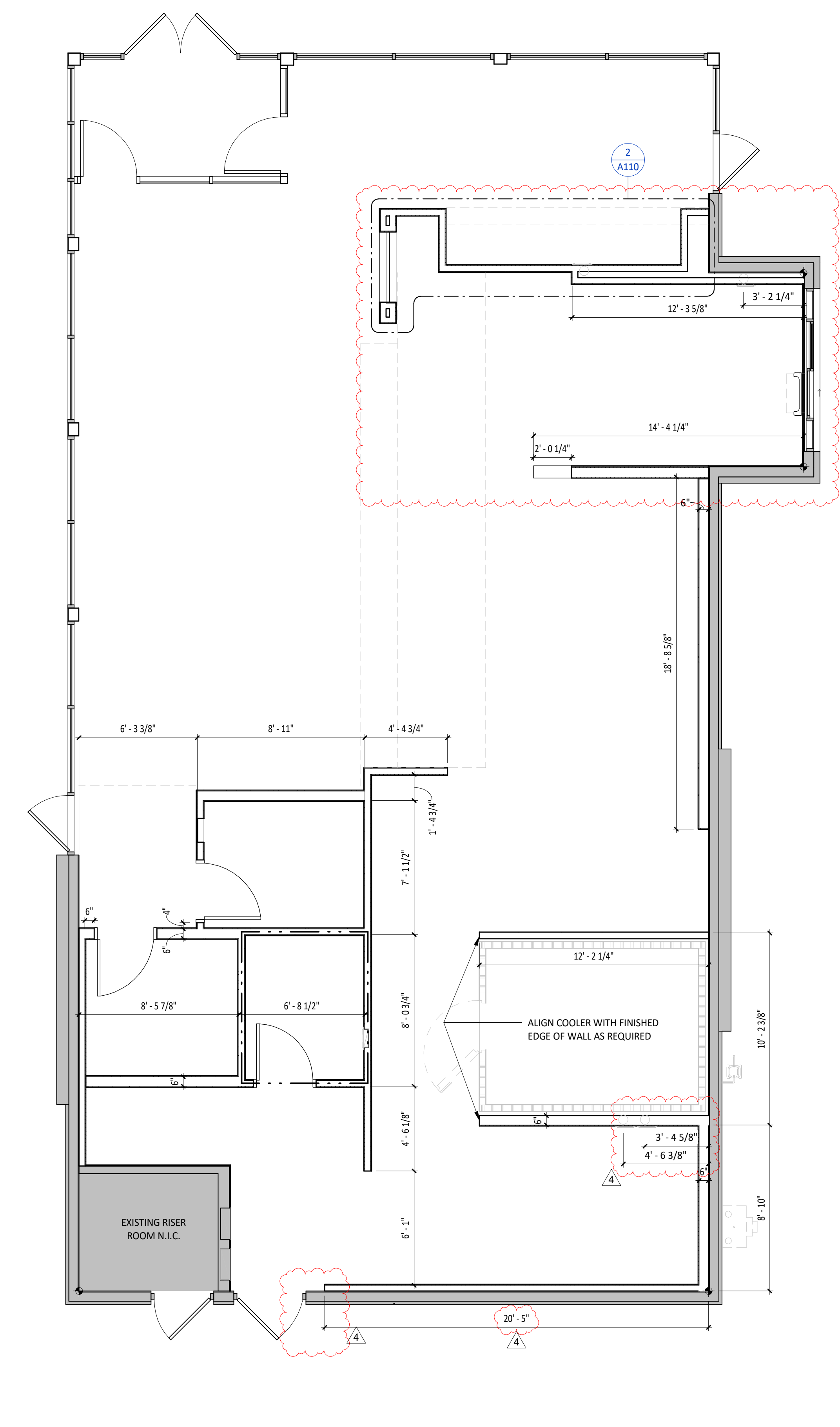
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION WITH SOUND BATT INSULATION
- WALK-IN COOLER
- DESIGNATES WALLS & SHEATHING TO EXTEND TO DECK

FLOOR PLAN KEYNOTES

- WHERE GREASE EXHAUST HOOD INTERSECTIONS WALLS PROVIDE 18 GA GALV. MTL. FROM TOP OF WALL TO 18" PAST HOOD IN ALL DIRECTIONS
- FOR REQUIRED RESTROOM BLOCKING REFER TO ELEVATIONS ON A710
- PROVIDE MOUNTING BOARDS FOR SECURITY SYS. AND TELECOM - REFER TO ELEC. DWGS.
- PROVIDE 24 GAUGE GALVANIZED METAL TO 50 1/2" AFF
- PROVIDE BLOCKING IN WALL FOR LICENSE FRAME. FOR ARTWORK BLOCKING, SEE DETAIL 1/A501
- WALL PASS-THRU OPENING - REFER TO A702
- LOW WALL - REFER TO A502
- 6" PVC IN WALL ROUTED ABOVE FOR SODA LINES
- SUBSTRATE FACE TO ALIGN
- SOFFIT ABOVE, REFER TO A201, TYP.
- WALL TO DECK ABOVE, REFER TO A201
- CONCRETE CURB, REFER TO A101

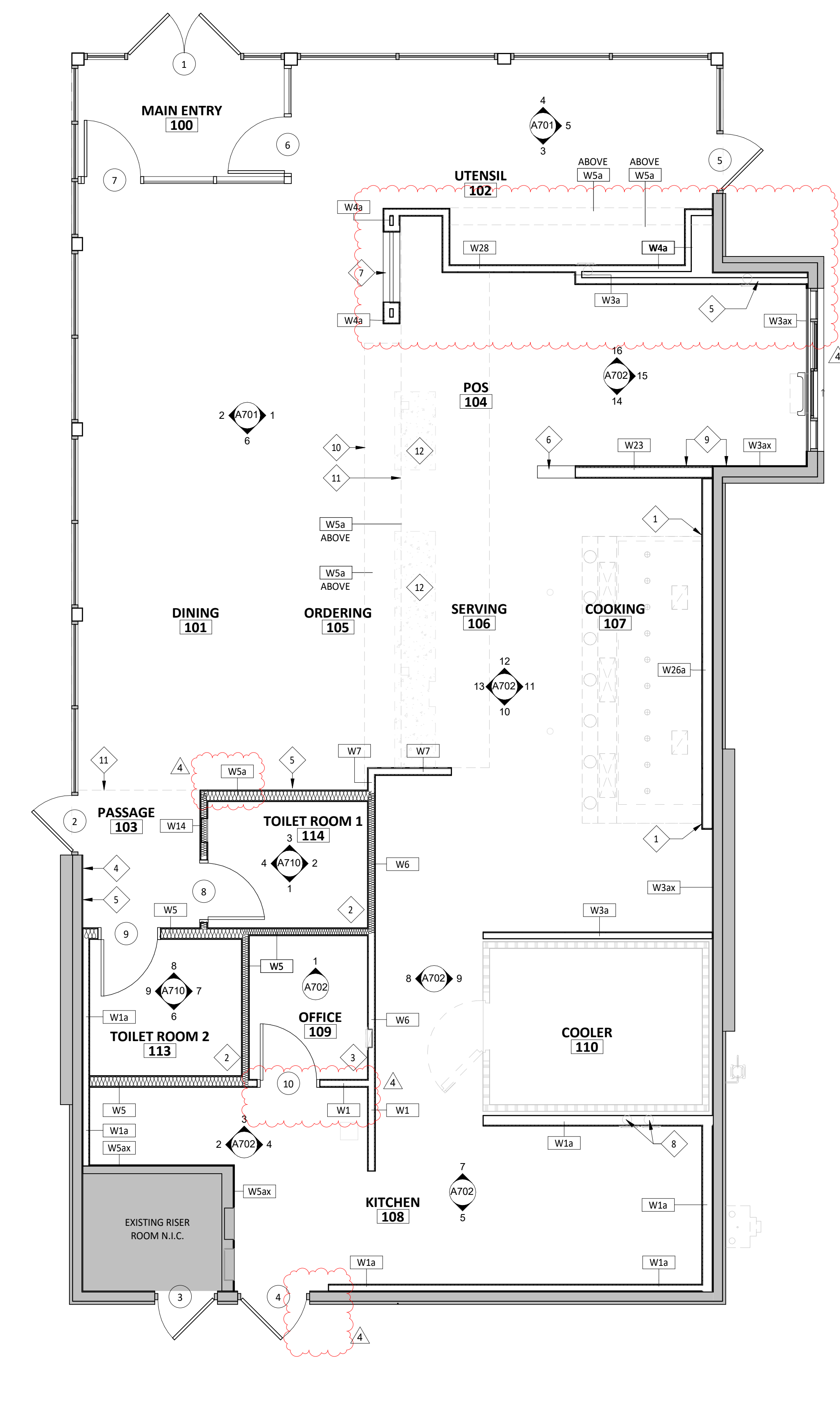


ENLARGED UTENSIL/MOPUS FRAMING PLAN
1/2" = 1'-0"



DIMENSIONED FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN - FOR REFERENCE ONLY



ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"

Consultant:

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Checked: K. MOAN

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Contents:
ARCHITECTURAL FLOOR PLAN
A110

ELEVATIONS



JONES SIGN
Your Vision. Accomplished.
A MORTENSEN COMPANY

JOB #: 269432-R4
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DESIGNER: J. Dowden
SALES REP: M. Brown
PROJ MGR: C. Abercrombie

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7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL _____ DATE _____

LANDLORD APPROVAL _____ DATE _____



ARLINGTON HEIGHTS, IL
#4402
711 E. PALATINE RD.
ARLINGTON HEIGHTS, IL 60004

SHEET NUMBER
3.0

B-3 FACE LIT CHANNEL LETTERS ON BACKER WALL MOUNT (Qty 2)

SQUARE FOOTAGE: 38

SEAMS MAY BE REQUIRED

PART NUMBERS

B-3 : CMG1CL31-179-6L-NLBK

CHANNEL LETTER "CHIPOTLE" AND PEPPER LOGO SPECIFICATIONS

- .040" X 3" PRE-FINISHED ALUMINUM COIL (WHITE INSIDE) (SEAMS IN CORNERS OR TOP) P-2
- .040 ALUMINUM BACKS
- SLOAN PRISM MINI WHITE LED'S
- 3/16" ACRYLIC #2447 WHITE
- .040" PRE-FINISHED ALUMINUM FCE OVERLAY PEPPER GRAPHIC P-2
- 1" PRE-FINISHED JEWELITE CHEMICALLY BONDED TO FACES (SEAMS AT THE TOP) BROWN
- MOUNTING HARDWARE
- #8 - 1/2" PAN HEAD SCREWS (NO MORE THAN 24" APART) P-2
- 1/4" DIA. WEEP HOLES W/ .063" DRAIN HOLE COVER (EXTERIOR APPLICATIONS ONLY)
- 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX (IN MIDDLE OF LETTER UNLESS NOTED OTHERWISE)

BROWN & RED BACKER CABINETS SPECIFICATIONS

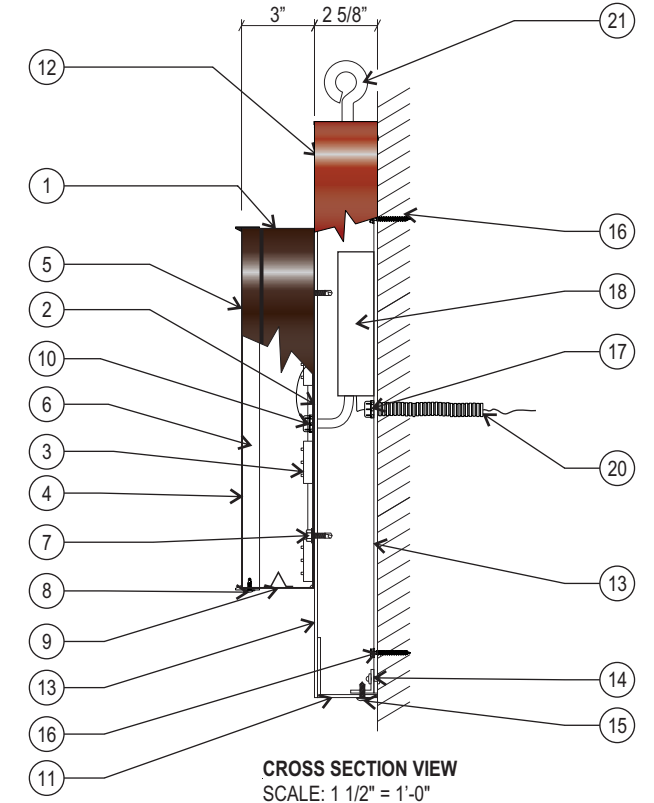
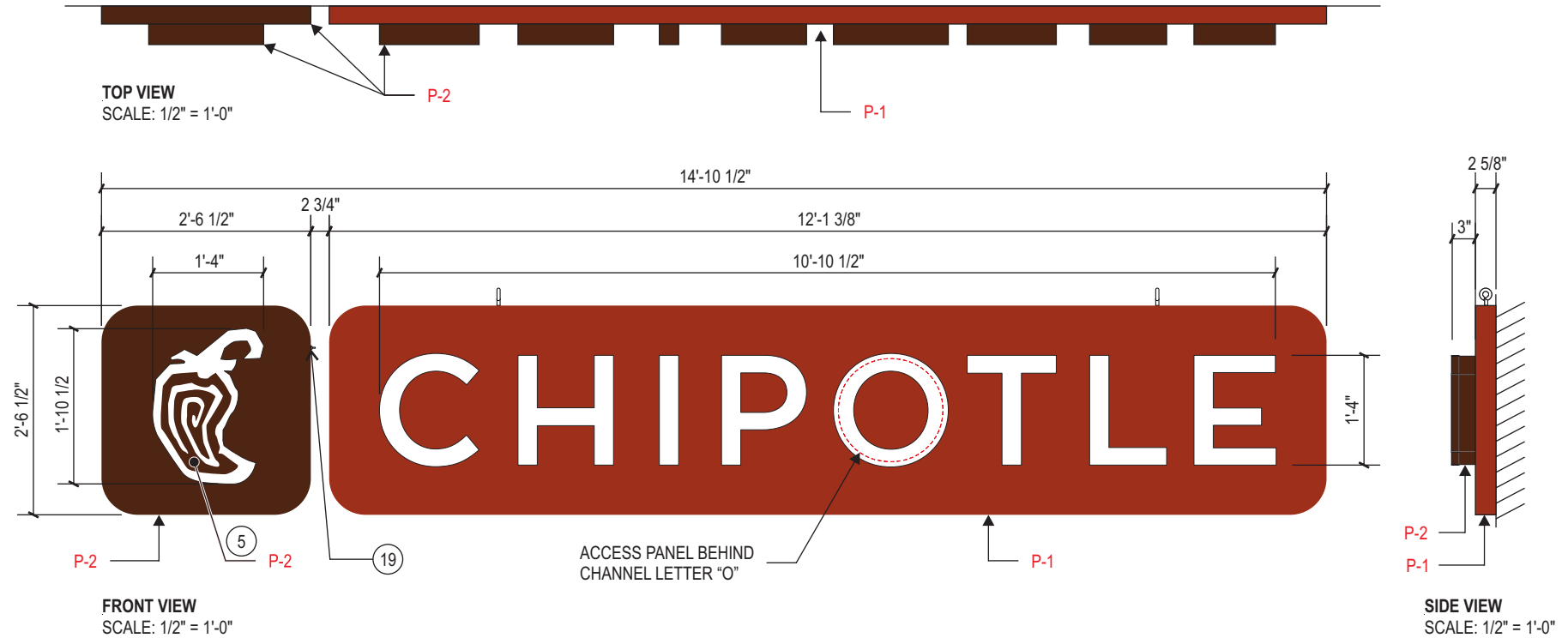
- TOP AND BOTTOM RETURNS: 2 1/2" X 2 1/2" ALUMINUM ANGLE
INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2
- ENDS AND CORNER RETURNS: (ONE PIECE) 1/8" ALUMINUM HOT GLUE AND VERSILOK TO FACE
INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2
- .080" ALUMINUM FACES INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2
- ACM BACK, CAULKED & POP-RIVETED TO FRAME
- #8 - 1/2" PAN HEAD SCREWS (NO MORE THAN 24" APART) CHIPOTLE CABINET P-1; PEPPER CABINET P-2
- MOUNTING HARDWARE TO SUIT FIELD CONDITIONS
- 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX
- LED POWER SUPPLY
- TOGGLE DISCONNECT SWITCH MOUNTED TO CABINET RETURN
- 15 FT. MIN. WHIP LENGTH
- LIFTING EYEBOLT, MIN. (2) NO MORE THAN 8 FT. APART, REMOVE AT INSTALL

NOTES

- 3/4" FIRE TREATED PLYWOOD BLOCKING PROVIDED BY OTHERS
- ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED APPROVED UL LABELS ATTACHED IF REQUIRED.
- ELECTRICAL WIRING FROM SIGN WILL BE WIRED INTO THE EXISTING ELECTRICAL SOURCE
- PRIMARY ELECTRICAL: 120V BY OTHERS WITHIN 3' OF SIGN PRIOR TO INSTALL
- SECONDARY ELECTRICAL: 12V LED WIRED AND POWER SUPPLIES INSIDE OF CABINETS WITH ACCESS PANEL FOR FUTURE SERVICES
- ELECTRICAL HOOK-UP: FINAL ELECTRICAL CONNECTION TO EXISTING 120V AC J-BOX

COLORS/FINISHES

- P-1 ROASTED RED (JW CHIPOTLE ROASTED RED)
- P-2 ADOBO BROWN (JW CHIPOTLE BROWN)



<p>JONES SIGN Your Vision. Accomplished. A MORTENSEN COMPANY</p>	<p>JOB #: 269432-R4</p> <p>DATE: 07.22.2022</p> <p>DESIGNER: J. Dowden</p> <p>SALES REP: M. Brown</p> <p>PROJ MGR: C. Abercrombie</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>07.28.22</td><td>JD</td><td>RELOCATE DL.1 ON SITE PLAN</td></tr> <tr><td>2</td><td>08.15.22</td><td>JD</td><td>CHANGED BH.3 TO B.3</td></tr> <tr><td>3</td><td>10.12.22</td><td>JD</td><td>REMOVED B.3 ON SOUTH ELEVATION</td></tr> <tr><td>4</td><td>03.27.23</td><td>AS</td><td>ADD B.3 TO WEST ELEVATION</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	07.28.22	JD	RELOCATE DL.1 ON SITE PLAN	2	08.15.22	JD	CHANGED BH.3 TO B.3	3	10.12.22	JD	REMOVED B.3 ON SOUTH ELEVATION	4	03.27.23	AS	ADD B.3 TO WEST ELEVATION	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<p>CLIENT APPROVAL _____ DATE _____</p> <p>LANDLORD APPROVAL _____ DATE _____</p>		<p>ARLINGTON HEIGHTS, IL #4402</p> <p>711 E. PALATINE RD. ARLINGTON HEIGHTS, IL 60004</p>	<p>SHEET NUMBER</p> <p>4.0</p>
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CHIPOTLE



DIGITAL PICKUP



MATERIAL LIST

1. Petitioner Name: Design Group Signage Corp.
2. Date: 4/24/23
3. Project: Chipotle – Signage Variance
4. Location: 600 E. Rand Rd, Arlington Heights, IL 60004

B-3 Face Lit Channel Letters on Backer Wall Mount

Channel Letter “CHIPOTLE” and Pepper Logo

1. .040” X 3” PRE-FINISHED ALUMINUM COIL (WHITE INSIDE) (SEAMS IN CORNERS OR TOP) P-2
2. .040 ALUMINUM BACKS
3. SLOAN PRISM MINI WHITE LED’S
4. 3/16” ACRYLIC #2447 WHITE
5. .040” PRE-FINISHED ALUMINUM FCE OVERLAY PEPPER GRAPHIC P-2
6. 1” PRE-FINISHED JEWELITE CHEMICALLY BONDED TO FACES (SEAMS AT THE TOP) BROWN
7. MOUNTING HARDWARE
8. #8 - 1/2” PAN HEAD SCREWS (NO MORE THAN 24” APART) P-2
9. 1/4” DIA. WEEP HOLES W/ .063” DRAIN HOLE COVER (EXTERIOR APPLICATIONS ONLY)
10. 7/8” ELECTRICAL HOLE / 3/4” COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX
(IN MIDDLE OF LETTER UNLESS NOTED OTHERWISE)

Brown & Red Backer Cabinets

11. TOP AND BOTTOM RETURNS: 2 1/2” X 2 1/2” ALUMINUM ANGLE
INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2
12. ENDS AND CORNER RETURNS: (ONE PIECE) 1/8” ALUMINUM HOT GLUE AND VERSILOK TO FACE

INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2

13. .080" ALUMINUM FACES INTERIOR PAINTED WHITE, CHIPOTLE CABINET P-1; PEPPER CABINET P-2

14. ACM BACK, CAULKED & POP-RIVETED TO FRAME

15 #8 - 1/2" PAN HEAD SCREWS (NO MORE THAN 24" APART) CHIPOTLE CABINET P-1; PEPPER CABINET P-2

16. MOUNTING HARDWARE TO SUIT FIELD CONDITIONS

17. 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX

18. LED POWER SUPPLY

19. TOGGLE DISCONNECT SWITCH MOUNTED TO CABINET RETURN

20. 15 FT. MIN. WHIP LENGTH

21. LIFTING EYEBOLT, MIN. (2) NO MORE THAN 8 FT. APART, REMOVE AT INSTALL



.080 Aluminum - PMS 484C



.040 Aluminum - PMS 484C



.080 Aluminum - PMS 4025C



3/16" White Acrylic



.040 Aluminum - PMS 4025C