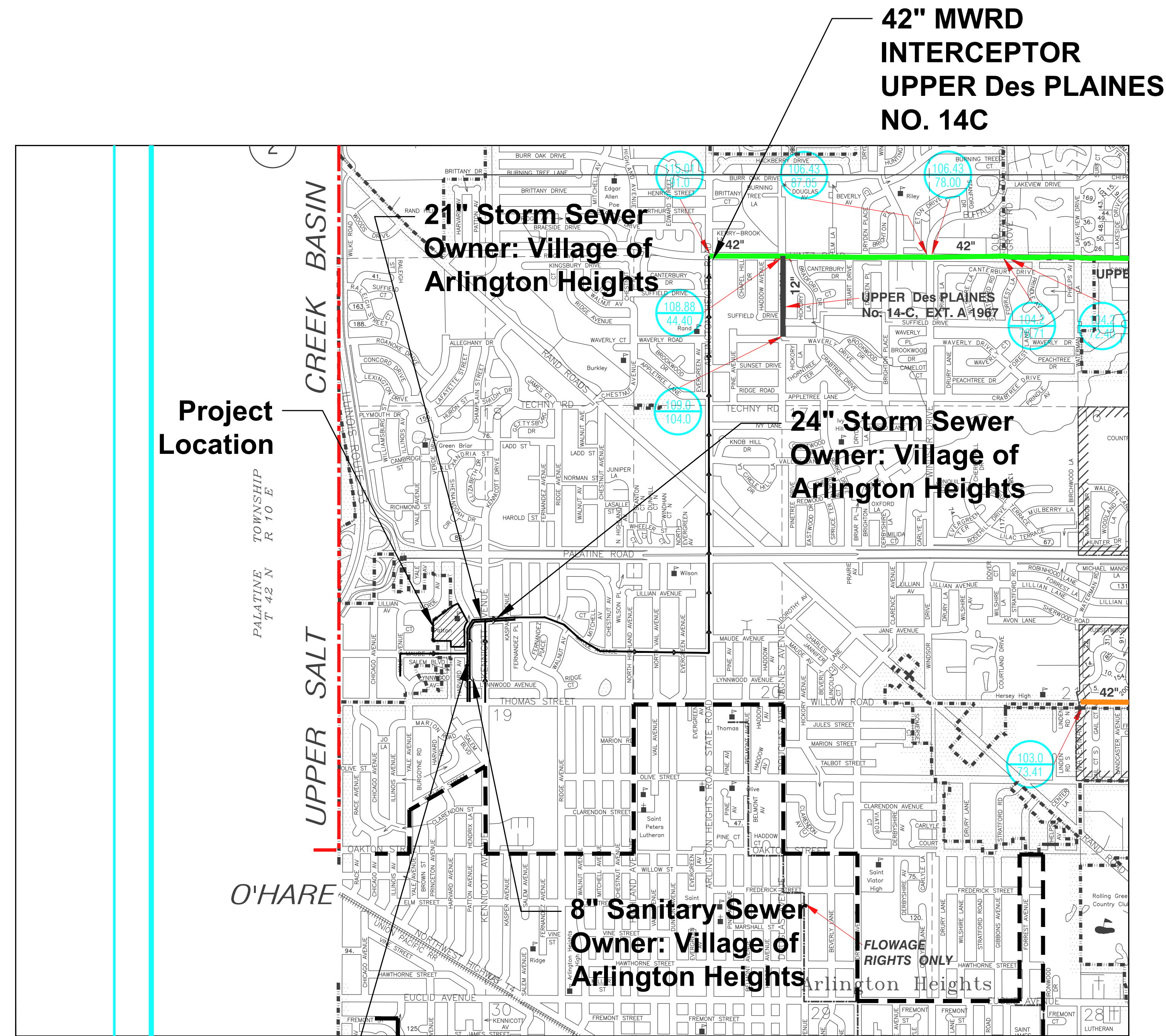
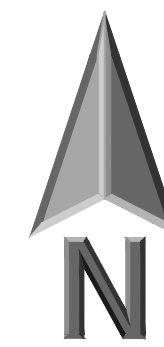


PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. Patton Ave.
Arlington Heights, IL 60004



PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



CIVIL SHEET INDEX

C000	CIVIL COVER SHEET
C001	TOPOGRAPHIC SURVEY
C002	TOPOGRAPHIC SURVEY
C003	TOPOGRAPHIC SURVEY
C004	SITE WORK NOTES AND LEGENDS
C005	MWRD GENERAL NOTES
C101	SITE DEMOLITION PLAN
C201	SITE GEOMETRY PLAN
C301	SITE UTILITY PLAN
C401	SITE GRADING AND PAVING PLAN
C501	SITE EROSION AND CONTROL PLAN
C601	SITE WORK DETAILS
C602	SITE WORK DETAILS

LANDSCAPE SHEET INDEX

L101	Landscape Plan
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EXHIBIT INDEX

CX101	EXISTING SITE COVERAGE
CX102	PROPOSED SITE COVERAGE
CX201	PROPOSED DEVELOPMENT AREA (VILLAGE SWM)
CX202	PROPOSED DEVELOPMENT AREA (MWRD SWM)
CX203	TRADE OFF AREA (VILLAGE SWM)
CX301	TRIBUTARY AREA EXHIBIT
CX401	FIRE TRUCK EXHIBIT

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
515 Palatine Road
Monument 32
3" Dia. Brass Disc In Concrete, 5" Above Ground, 44"±
South Of The Centerline Of Frontage Road (Palatine Road)
And 21'± East Of The Centerline Of Fernandez Avenue
(Stamped 1148)
NAVD88 Elevation = 713.78
SITE BENCHMARK:
Survey Control Point, Cut "X" in Concrete Island
Elevation: 721.51 NAVD88
Easting: 1075702.92
Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

18" Storm Sewer
Owner: Village of
Arlington Heights

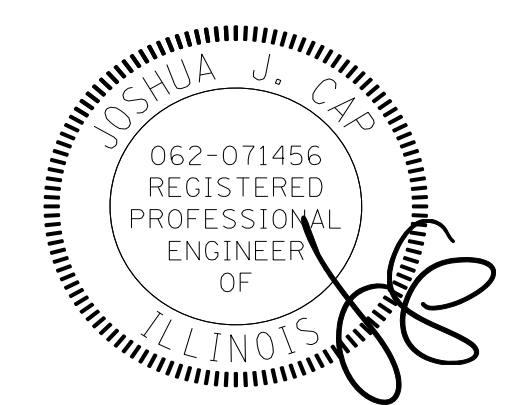
Contact the Metropolitan
Water Reclamation District
of Greater Chicago 2 days
before starting work.

P (708) 588-4055
E WMOJobStart@mwr.org

DRAINAGE STATEMENT

To the Best Of Our Knowledge And Belief, It is Our Professional Opinion That The Proposed Improvements On The Property Are Not Within One-Hundred (100) Feet Of A Known Flood Protection Area. The Drainage Of The Surface Waters Will Not Be Changed By The Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The Adjoining Property Because Of The Construction Of The Development.

Reserved for Seal



No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Design By:	Approved By:	Date:
LMR	JC	05/22/23

Sheet Title:
CIVIL COVER SHEET

Sheet No:
C000



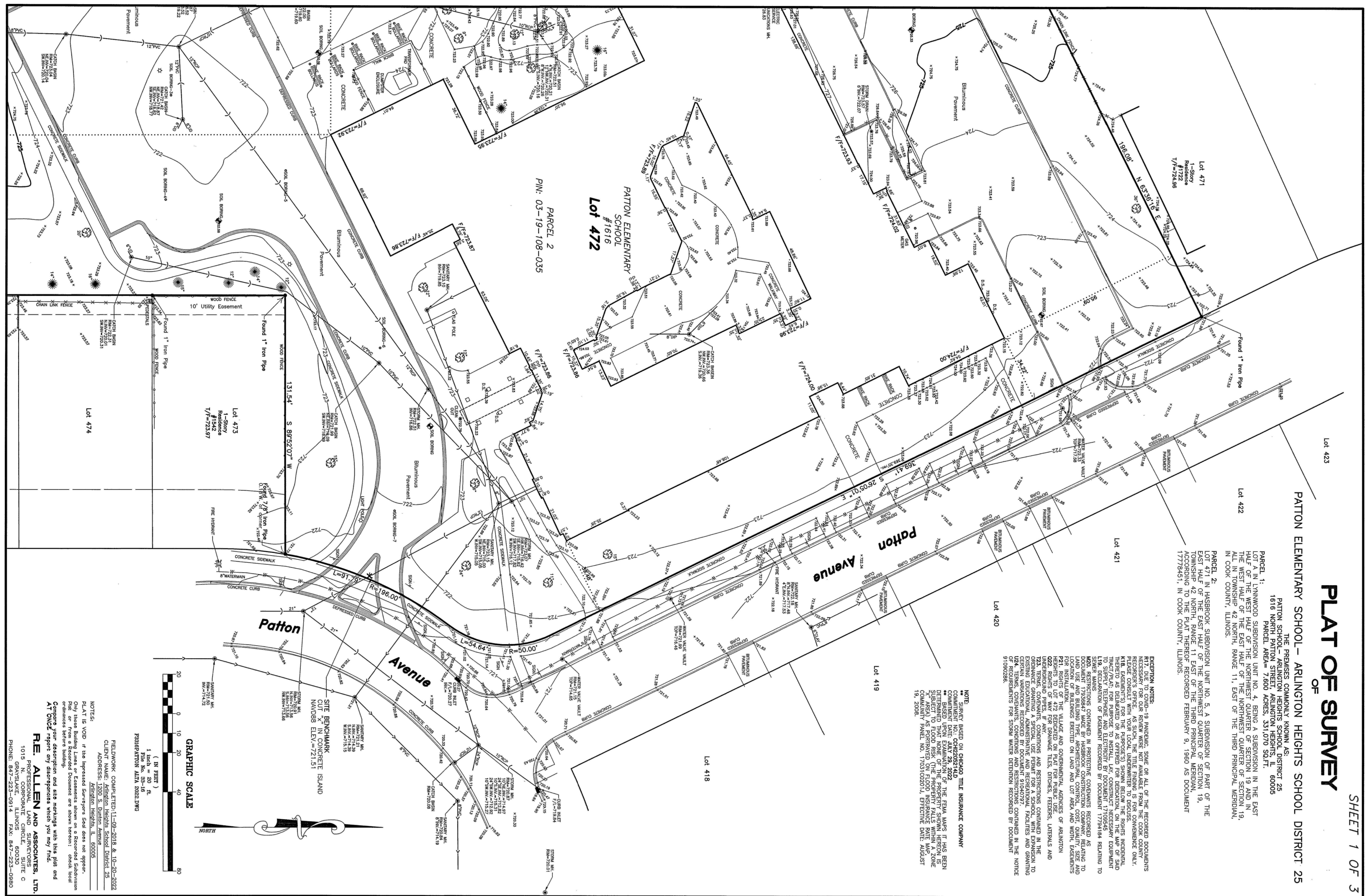
**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0032823
EXPIRES: 04/30/2023

**ARLINGTON HEIGHTS, ILLINOIS
PATTON AVENUE N. N. 19191
BUILDING ADDITION AND RENOVATIONS
PATTON ELEMENTARY SCHOOL**

PLAT OF SURVEY

SHEET 1 OF 3



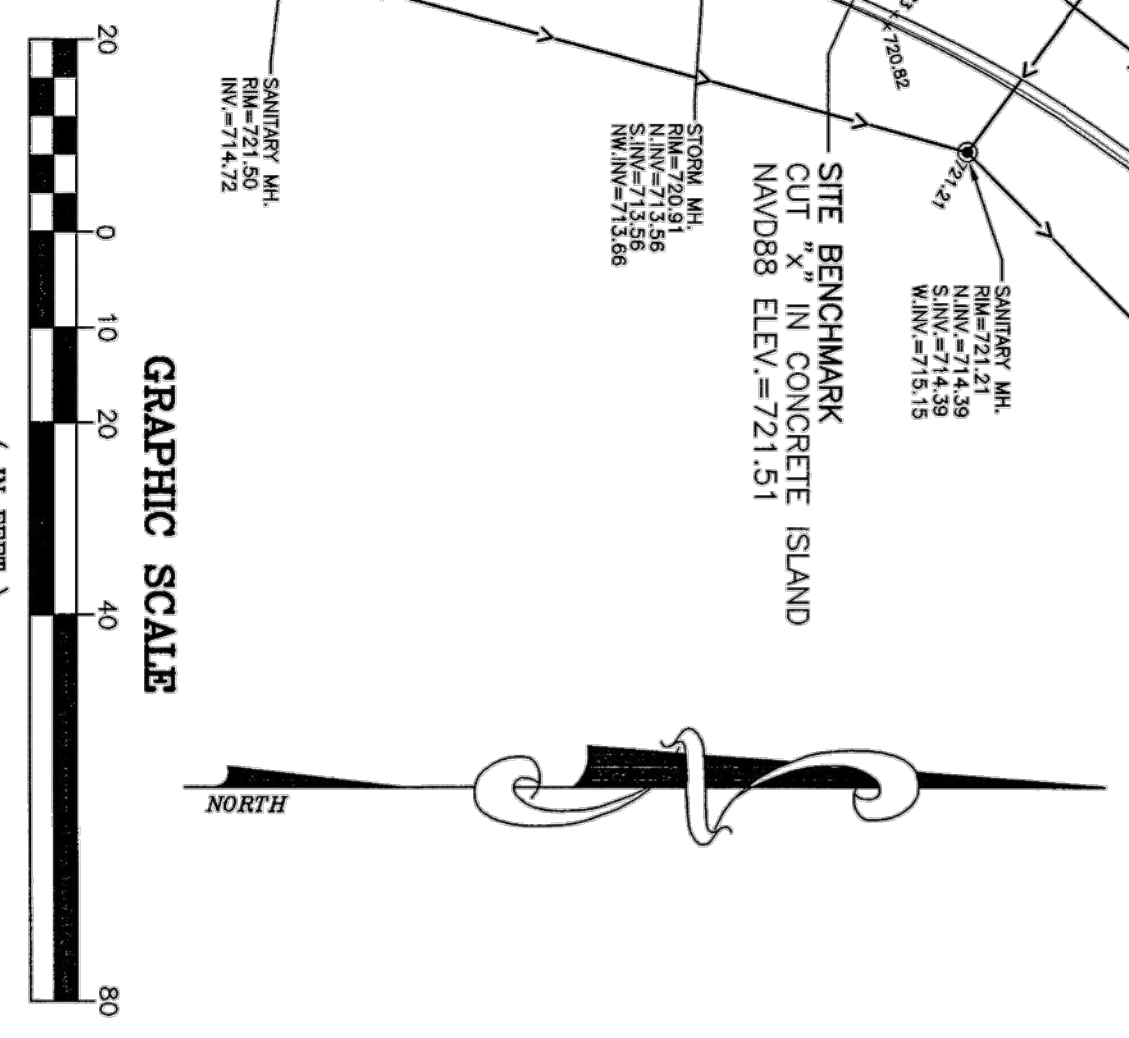
PATTON ELEMENTARY SCHOOL - ARLINGTON HEIGHTS SCHOOL DISTRICT 25
THE PREMISES COMMONLY KNOWN AS:
PATTON SCHOOL - ARLINGTON HEIGHTS SCHOOL DISTRICT 25
1616 NORTH PATTON STREET, ARLINGTON HEIGHTS, IL 60005
PARCEL AREA = 7,600 ACRES, 331,070 SQ.FT.

PARCEL 1:
LOT A IN LYNNWOOD SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19 AND IN 1/4 SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
LOT 471 IN HASBROCK SUBDIVISION UNIT NO. 5, A SUBDIVISION OF PART OF THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, 17798451, IN COOK COUNTY, ILLINOIS.

DEGREE OF NOTES:
R172, DUE TO COVID-19 PANDEMIC, SOME OR ALL OF THE RECORDED DOCUMENTS NECESSARY FOR OUR REVIEW WERE NOT AVAILABLE FROM THE COOK COUNTY CLERK'S OFFICE. WE HAVE REVIEWED THE RECORDS AVAILABLE TO US AND PLEASE CONSULT WITH YOUR LOCAL UNDERWRITER TO DISCUSS. K18, ESTATE(S) FOR THE PURPOSE(S) SHOWN BELOW THE RIGHTS INDICATED THEREIN ARE HEREBY GRANTED TO THE SURVEYOR AND HIS SUCCESSORS TO SURVEY TELEPHONE AND ELECTRICITY BY DOCUMENT 17798454 RELATIVE TO LOT 471, SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. ALL RESTRICTIONS CONTAINED IN PREVIOUS RECORDS RELATING TO LAND AND BUILDING THE ARCHITECTURAL CONTROL, COST, QUALITY, SIZE AND FOR INSTALLATION. P21, RIGHTS OF THE VILLAGE AND GOVERNING AGENCIES OF ARLINGTON HEIGHTS, ILLINOIS, ARE HEREBY GRANTED TO THE SURVEYOR AND HIS SUCCESSORS TO SURVEY TELEPHONE AND ELECTRICITY BY DOCUMENT 17798454 RELATIVE TO LOT 471, SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. U24, TERMS, CONDITIONS AND RESTRICTIONS CONTAINED IN THE NOTICE OF RECORDATION FOR DOCUMENT 91062286.

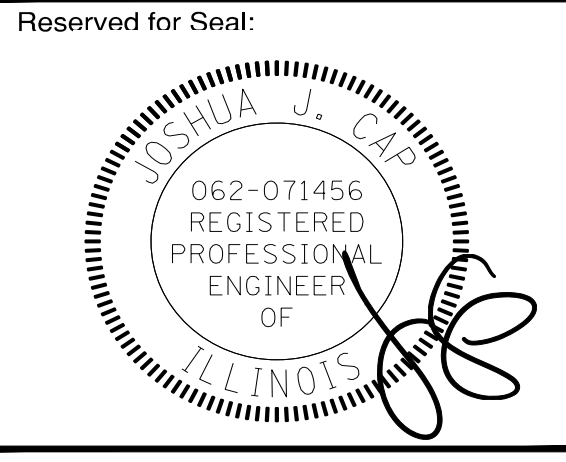
NOTE:
** SURVEY BASED ON CHICAGO TITLE INSURANCE COMPANY COMMENT NO. 102825740
** BASED UPON EXAMINATION OF THE FIRM MAPS IT HAS BEEN SUBJECT TO FLOOD RISK. THE PROPERTY FALLS WITHIN A FLOOD ZONE AREA AS SHOWN ON FLOOD INSURANCE RATE MAP 19, 20081. PANEL NO. 1792102911, EFFECTIVE DATE: AUGUST 19, 20081.



NOTES:
PLAT IS VOID IF THE IMPRESSED SURVEYOR'S SEAL DOES NOT APPEAR.
Only those Building Lines or Easements shown on a Recorded Subdivision Ordinance or Easement Record are shown hereon. Other such Ordinance or Easement Records are shown hereon.
Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
ARLINGTON HEIGHTS, ILLINOIS 60005
PHONE: 847-223-0914 FAX: 847-223-0980

FIELDWORK COMPLETED: 11-09-2018 & 10-20-2022
CLIENT: ARLINGTON HEIGHTS SCHOOL DISTRICT 25
ADDRESS: 2001 S. DUNBAR AVENUE
ARLINGTON HEIGHTS, IL 60005
RESUBMITTAL ALTA 2022.DWG



No.	Date	Description
05/22/23	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
TOPOGRAPHICAL SURVEY

Sheet No:
C001



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

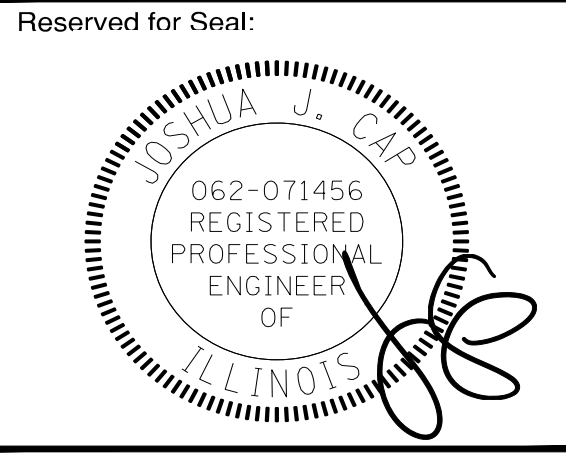
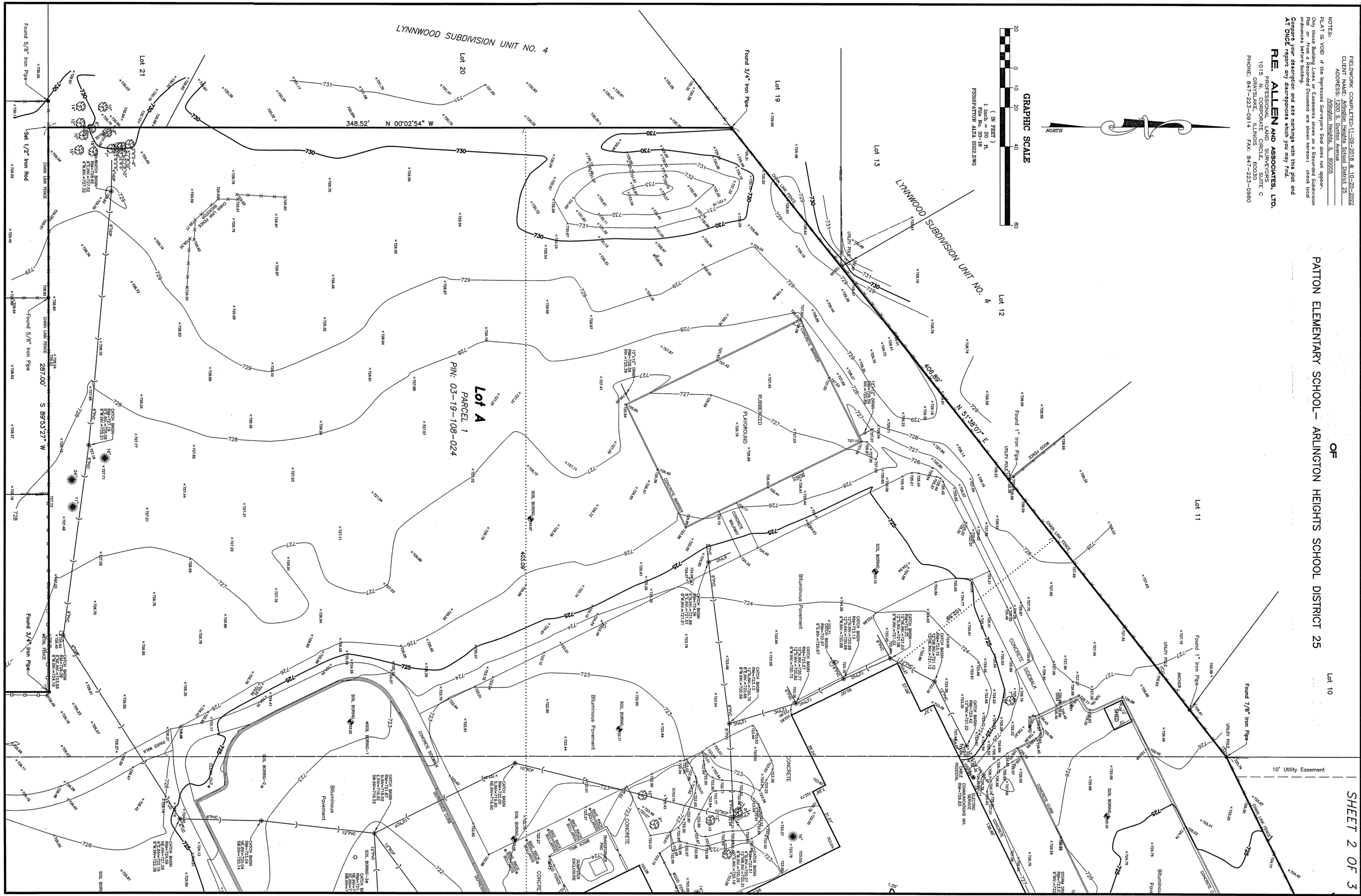
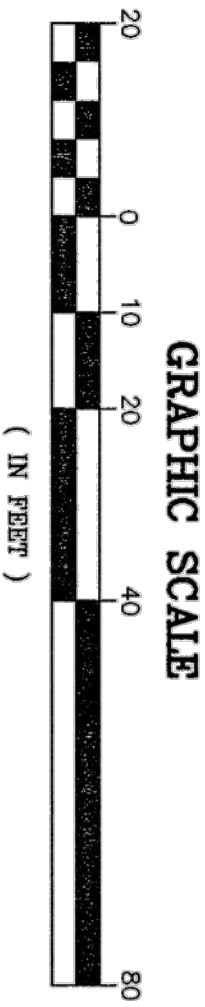
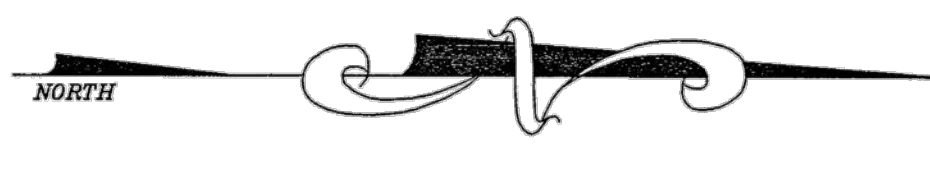
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003323
EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

FIELDWORK COMPLETED: 11-09-2018 & 10-20-2022
CLIENT NAME: ARINGTON HEIGHTS SCHOOL DISTRICT 25
ADDRESS: 1616 N. PATTON AVENUE, ARINGTON HEIGHTS, ILLINOIS 60005
PROJECT: PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS
DATE: 05/22/23
DRAWN BY: LMR
CHECKED BY: JC
DATE: 05/22/23

NOTES:
1. PLAT IS VOID if the Impressed Surveyors Seal does not appear.
2. Only those Building Lines or Easements shown on a Recorded Subdivision Plat or From a Recorded Plat are shown hereon; check local ordinances before building.
3. All work proposed on this plat and all easements shown hereon are subject to the approval of the appropriate authority.
R.E. ALLEN AND ASSOCIATES, LTD.
1015 N. N. AVENUE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0980



No.	Date	Description
05/22/23	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**TOPOGRAPHICAL
SURVEY**

Sheet No:
C002

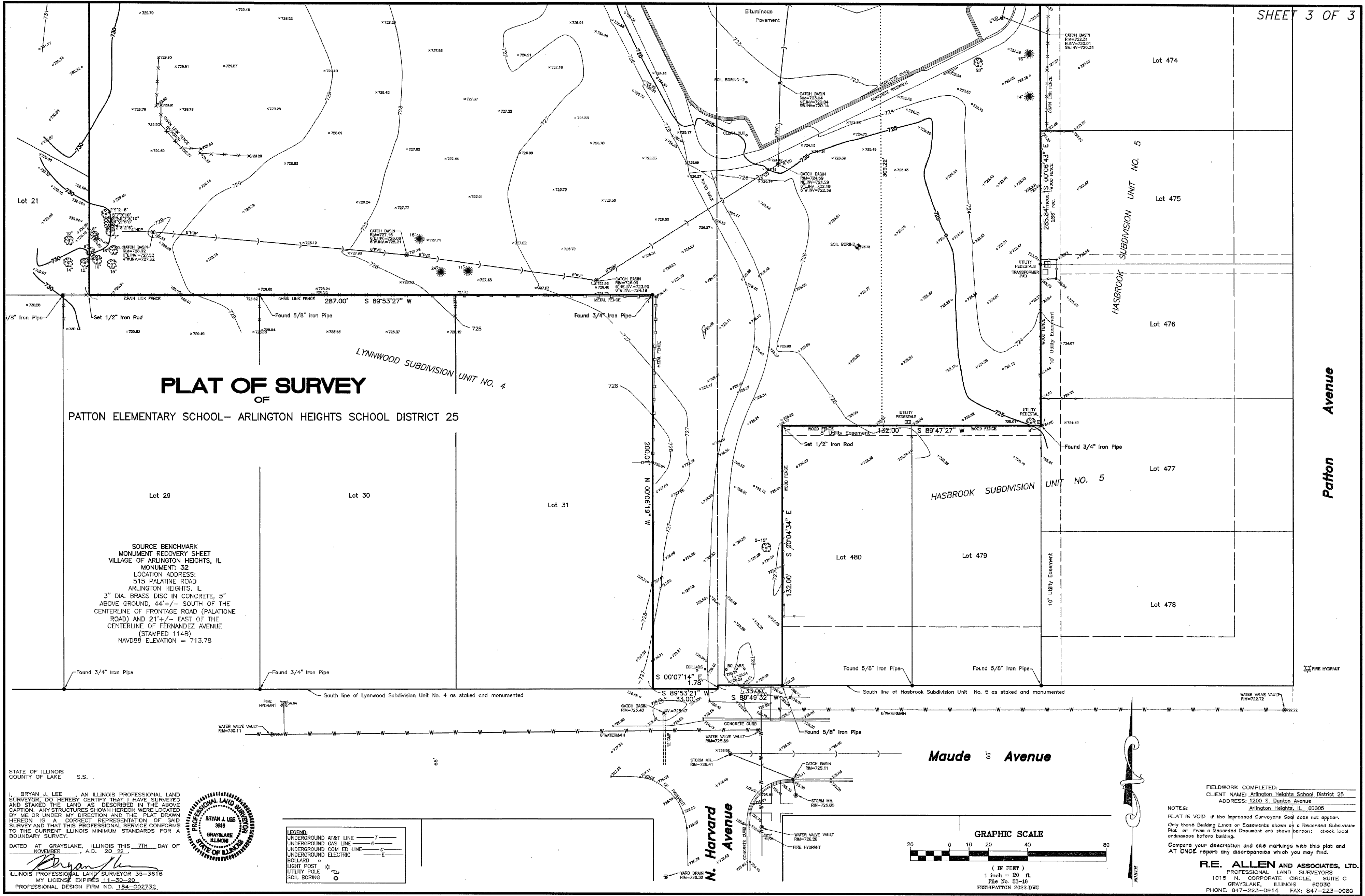


**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

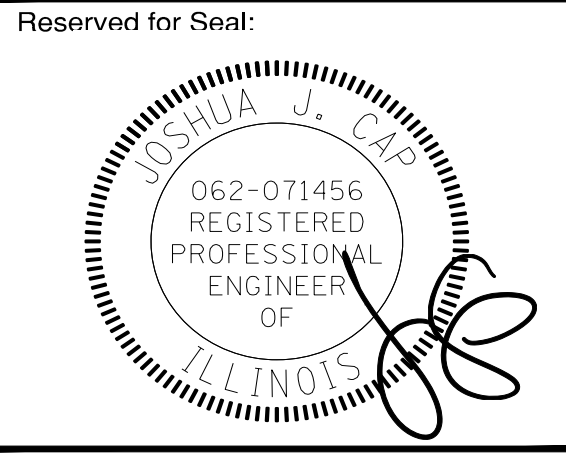
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-002732
EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET 3 OF 3



EEA - P:\Joshua\Arlington Heights School, Dist. 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:52am By: jrosenbauer



No.	Date	Description
05/22/23	05/22/23	ISSUE FOR PLAN COMMISSION

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 Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
TOPOGRAPHICAL SURVEY

Sheet No.:
C003

FIELDWORK COMPLETED:
 CLIENT NAME: Arlington Heights School District 25
 ADDRESS: 1200 S. Dunton Avenue
 Arlington Heights, IL 60005

NOTES:
 PLAT IS VOID if the Impressed Surveyors Seal does not appear.
 Only those Building Lines or Easements shown on a Recorded Subdivision Plot or from a Recorded Document are shown herein; check local ordinances before building.
 Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
 PROFESSIONAL LAND SURVEYORS
 1015 N. CORPORATE CIRCLE, SUITE C
 GRAYSLAKE, ILLINOIS 60030
 PHONE: 847-223-0914 FAX: 847-223-0980

STATE OF ILLINOIS
 COUNTY OF LAKE S.S.

I, **BRYAN J. LEE**, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND STAKED THE LAND AS DESCRIBED IN THE ABOVE CAPTION. ANY STRUCTURES SHOWN HEREON WERE LOCATED BY ME OR UNDER MY DIRECTION AND THE PLAT DRAWN HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT GRAYSLAKE, ILLINOIS THIS 7TH DAY OF NOVEMBER, A.D. 2022.

Bryan J. Lee
 ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616
 MY LICENSE EXPIRES 11-30-20
 PROFESSIONAL DESIGN FIRM NO. 184-002732



LEGEND:

UNDERGROUND AT&T LINE	— T —
UNDERGROUND GAS LINE	— G —
UNDERGROUND COM ED LINE	— C —
UNDERGROUND ELECTRIC	— E —
BOLLARD	○
LIGHT POST	⊙
UTILITY POLE	⊕
SOIL BORING	⊙

GENERAL NOTES

- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc. As Shown On The Plans, Has Been Determined From The Best Available Information...

UTILITY NOTES

- 1. Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- 1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control and Related Work.

STRUCTURE NOTES

- 1. All Catch Basins to Be Installed In Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.

GRADING NOTES

- 1. <<If not included with erosion control notes>>Install and Maintain Silt Fence at the Perimeter of the Construction Zone.

DEMOLITION NOTES

- 1. All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.

GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.

LEGEND

Table with columns for EXISTING and PROPOSED symbols and their corresponding descriptions like Manhole, Catch Basin, Area Drain, etc.

DEMOLITION LEGEND

Table with symbols and descriptions for demolition items: Utility Line Removal, Bituminous Pavement Removal, Concrete Pavement Removal, etc.

PAVING & SURFACE LEGEND

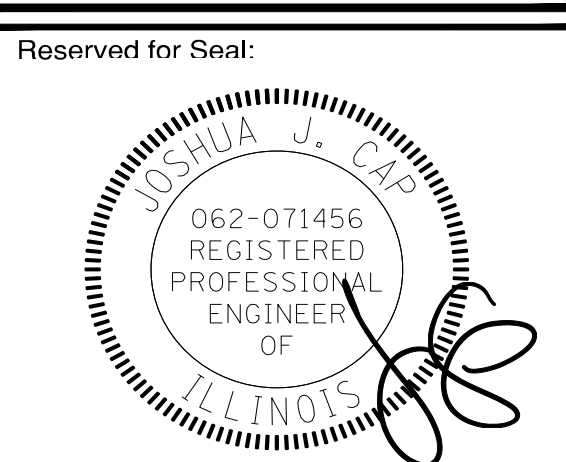
Table with symbols and descriptions for paving and surface treatments: Asphalt Pavement Section, Concrete Driveway Section, Concrete Sidewalk Section, etc.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

Table with symbols and descriptions for erosion and sedimentation control measures: Silt Fence, Erosion Control Blanket, Depressed Curb, etc.

ERIKSSON ENGINEERING ASSOCIATES, LTD. 145 COMMERCIAL DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS 1616 N. PATTON AVENUE ARLINGTON HEIGHTS, ILLINOIS



Revision table with columns: No., Date, Description. Row 1: 05/22/23, ISSUE FOR PLAN COMMISSION.

Design By: LMR Approved By: JC Date: 05/22/23

SHEET TITLE: SITE WORK NOTES AND LEGENDS

SHEET NO.: C004

Vertical text on the left edge: E:\A - F\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions Drawings\Patton\Siteplan - Patton.dwg



145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4864
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0128220
EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
 1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

A. REFERENCED SPECIFICATIONS
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF _____ MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS
 1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO WMOJOBSTART@MWRD.ORG).
 2. THE VILLAGE OF _____ ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
 3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES
 1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS _____ FT.
 2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
 3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
 4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
 5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
 6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
 8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
 9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
 10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER
 1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
 2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
 3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
 4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
 5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
 6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
 7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
WATER MAIN QUALITY PVC	ASTM D-3350	ASTM D-3261, F-2620 (HEAT FUSION)
4-INCH TO 36-INCH	ASTM D-3035	ASTM D-3212, F-477 (GASKETED)
4-INCH TO 12-INCH	ASTM D-2241	ASTM D-3139
14-INCH TO 48-INCH	AWWA C900	ASTM D-3139
	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

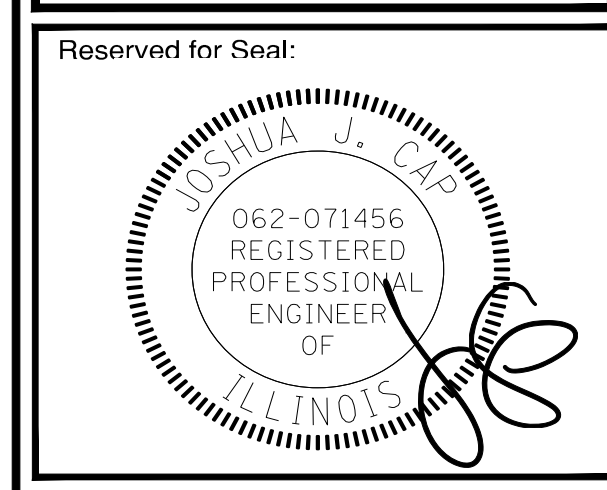
8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
 9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
 10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
 11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
 12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
 13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
 14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
 15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
 16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
 17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
 18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
 6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
 9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
 10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
 11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
 12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
 13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
 15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
 16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
 17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
 18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
 20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
 21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
 22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
 23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL
 MWRD GENERAL NOTES

10/13/2022
 STD. DWG. NO.18
 PAGE NO. 19

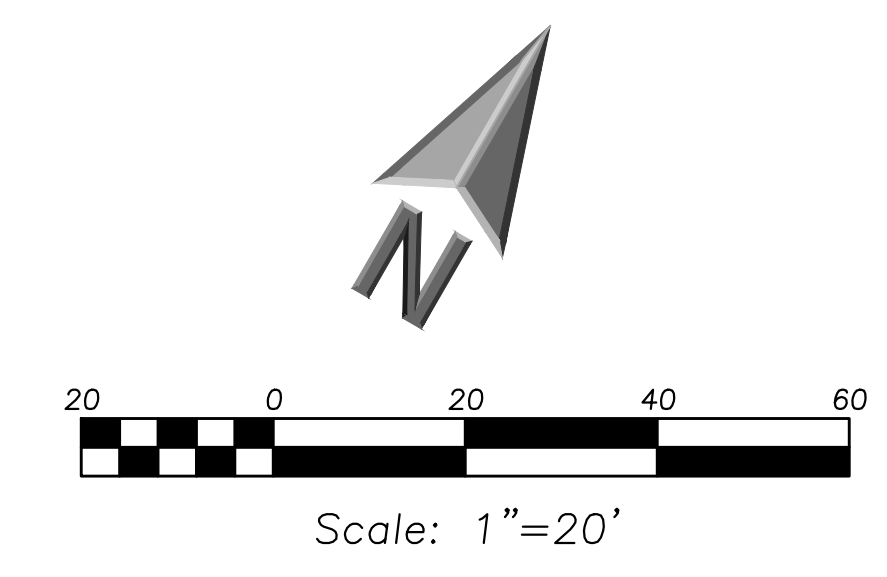
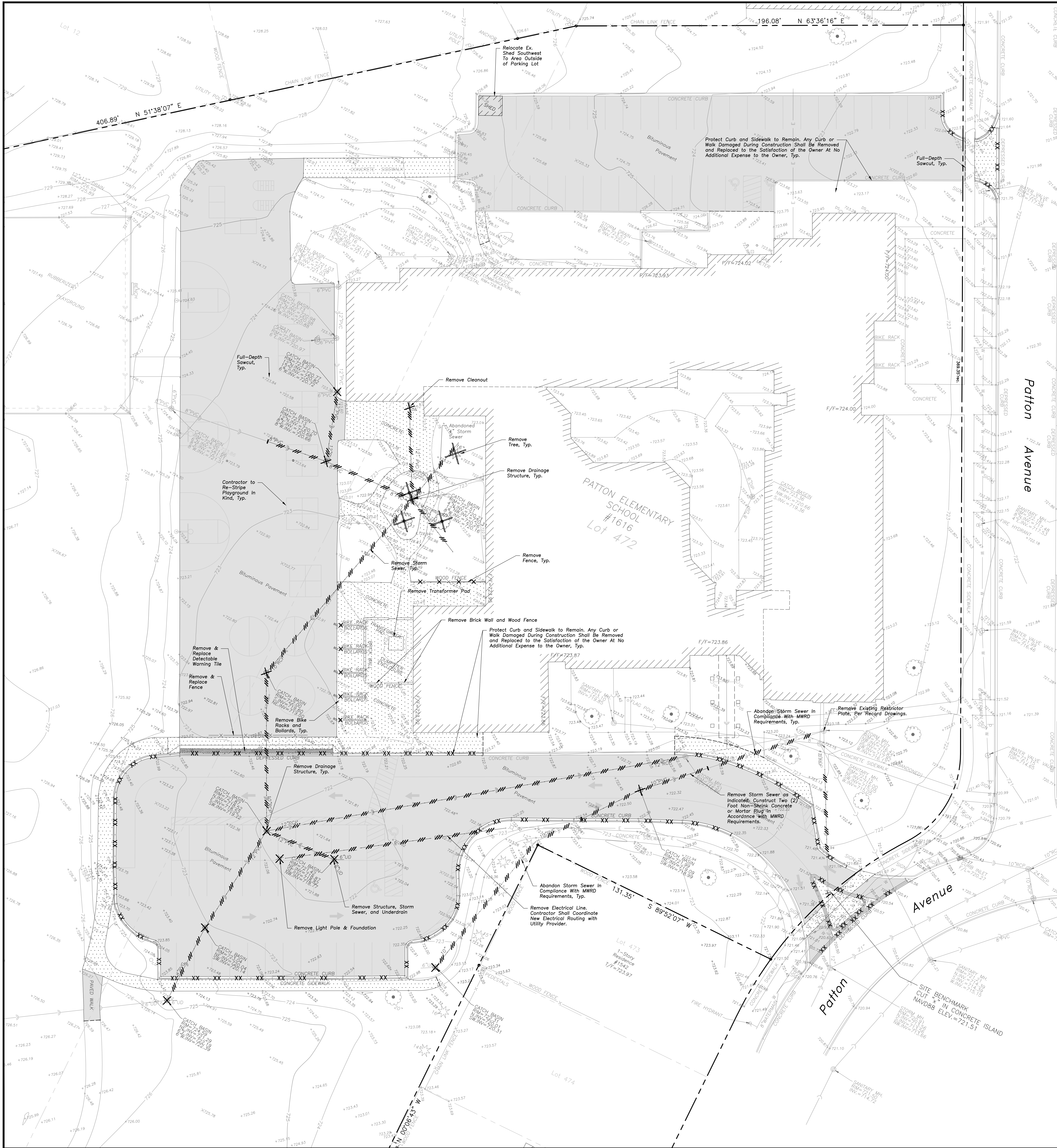


No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
MWRD GENERAL NOTES

Sheet No:
C005



DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Of Arlington Heights Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Drip Line of Trees to Remain. All Trenching Within the Drip Line of Existing Trees to Remain Shall be Done Radially Away From Trunk If Roots in Excess of 1" Diameter are Exposed. Roots Must be Cut by Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval of The Architect Prior to Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall be Removed in Their Entirety and Stumps Shall be Ground to Proposed Substrate. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND

- Utility Line Removal
- Bituminous Pavement Removal (Full Depth)
- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut
- Curb & Gutter Removal
- Structure Removal
- Tree Removal

LEGEND

- | EXISTING | PROPOSED |
|--------------------------------------|--------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffer Box | Buffer Box |
| Downspout | Downspout |
| Ballard | Ballard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Seale | Seale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Bushline | Bushline |
| Tree Protection Fencing of Drip Line | Tree Protection Fencing of Drip Line |

GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., as Shown on the Plans, Has Been Determined From the Best Available Information and is given for the Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May be Encountered, and That the Actual Location of those Which are Shown May be Different From the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown on the Drawings.
- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify the Owner, Engineer and the Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed by Construction Operations.
- These Drawings Assume that the Contractor Will Utilize an Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings for Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Media Shall Verify All Dimensions and Locations of Buildings With the Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist the User of This Information Shall Contact the Engineer Immediately.
- Provide an As-Built Survey Prepared by a Licensed Professional Land Surveyor in Accordance With the Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For the Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications for Road and Construction Latest Edition, and All Addenda Thereto, Shall Govern the Earthwork and Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark: Monument Recovery Sheet Village of Arlington Heights, IL Location Address: 515 Palatine Road Monument 32 3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of the Centerline of Frontage Road (Palatine Road) And 21'± East of the Centerline of Fernandez Avenue (Stamped 114B) NAVD88 Elevation = 713.78 SITE BENCHMARK: Survey Control Point, Cut "X" in Concrete Island Elevation: 721.51, NAVD88 Easting: 1079702.92 Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

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 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
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 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-0038220
 EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal

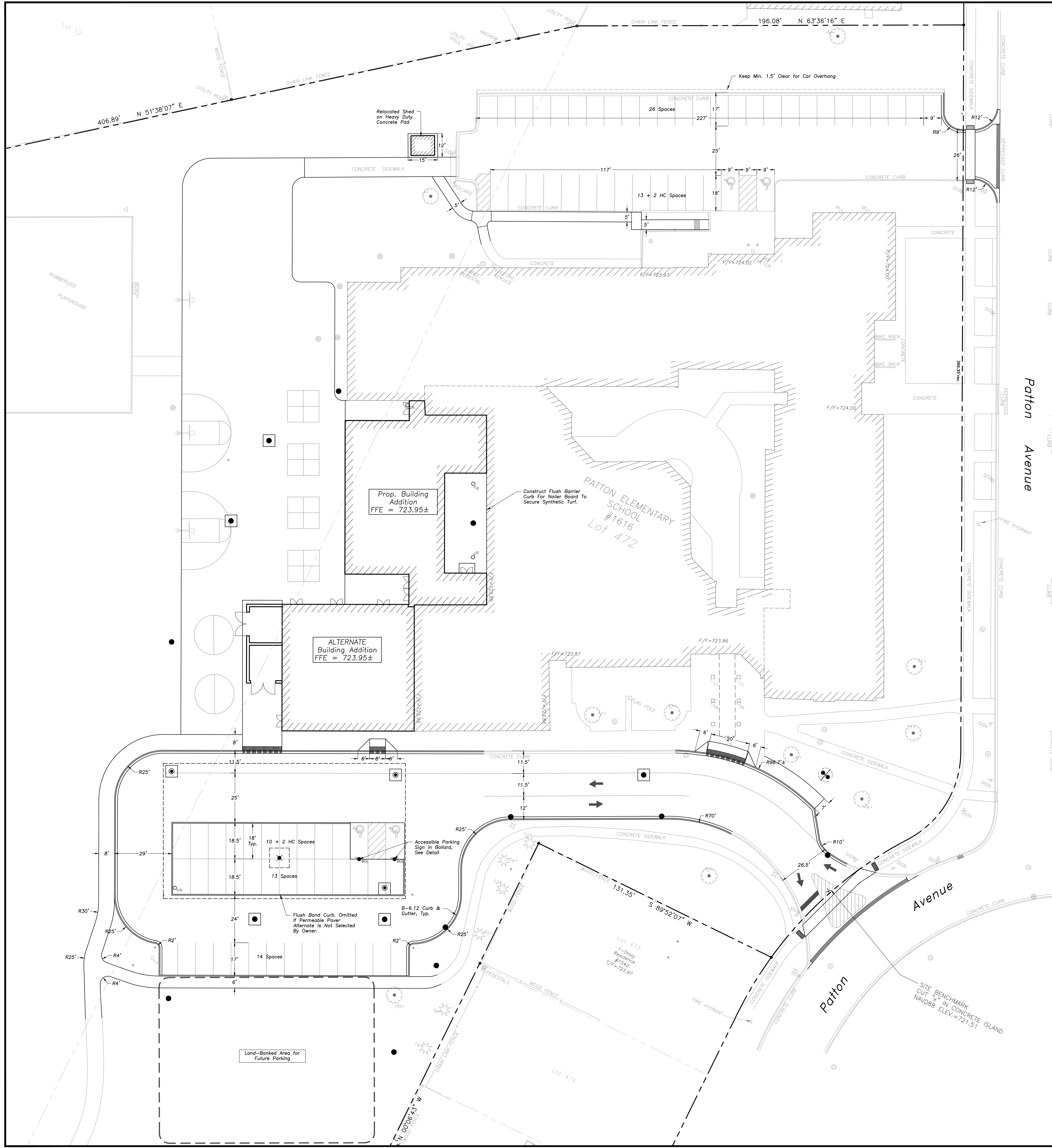
No.	Date	Description
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DESIGN BY: LMR JC DATE: 05/22/23

SITE DEMOLITION PLAN

Sheet No: **C101**

EA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:33am By: irasibauer



GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats For Latex Paints.
- Refer to Architectural Drawings For Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Bushline	Bushline
Tree Protection Fencing at Drip Line	Tree Protection Fencing at Drip Line

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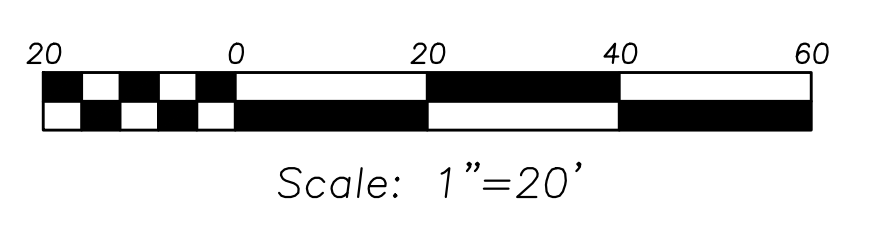
Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

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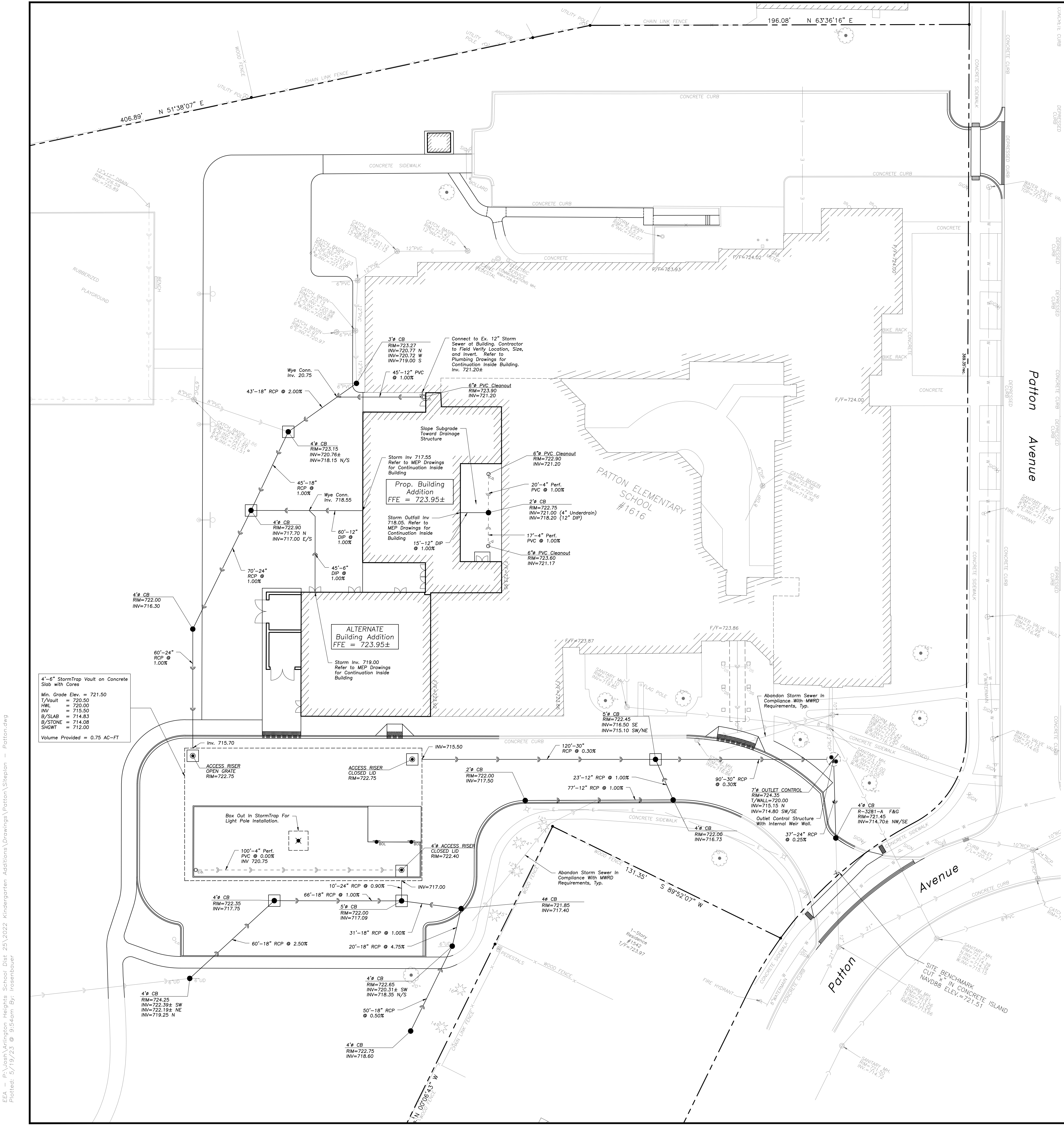
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No.	Date	Description
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Design By: LMR JC Date: 05/22/23
 Approved By: JC

SITE GEOMETRY PLAN

Sheet No:
C201

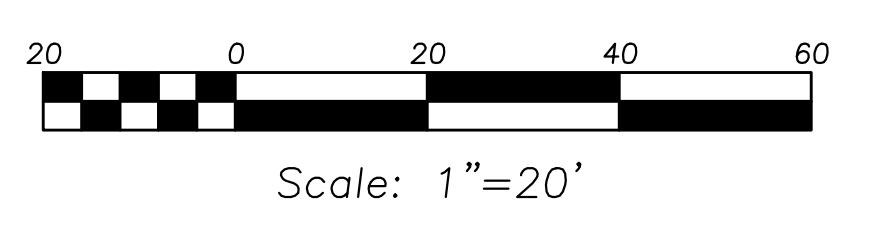


UTILITY NOTES

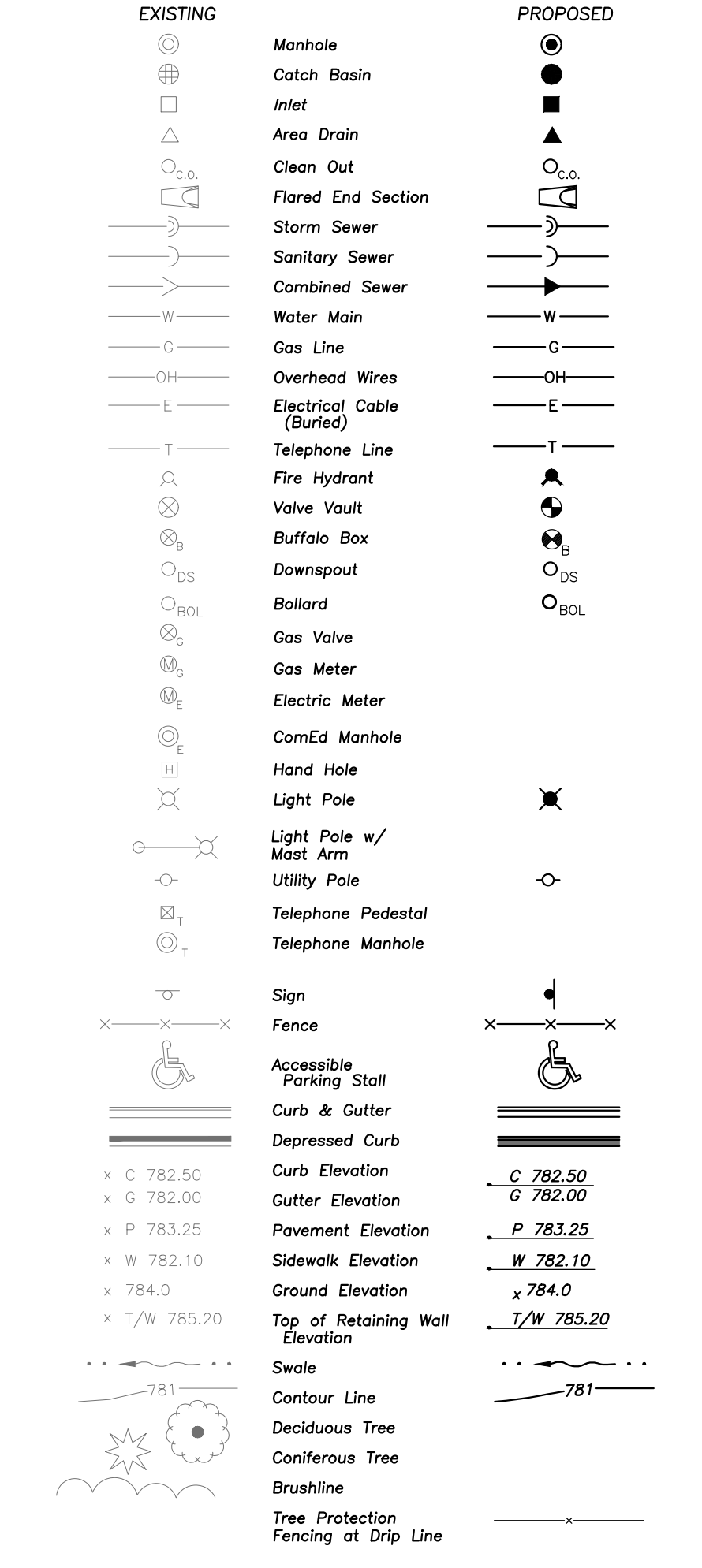
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2004-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R430-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections or Flat Slab Top as Necessary.
- All Sanitary Manholes Shall Include a Chimney Seal.



LEGEND



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- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
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- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For the Basin(s), Watermain and Valve and Appurtenance Locations.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark: Monument Recovery Sheet Village of Arlington Heights, IL Location Address: 515 Palatine Road Monument 32
3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of the Centerline of Frontage Road (Palatine Road) And 21'± East of the Centerline of Fernandez Avenue (Stamped 114B)
NAVD88 Elevation = 713.78
SITE BENCHMARK: Survey Control Point, Cut "X" in Concrete Island Elevation: 721.51, NAVD88 Easting: 1079702.82 Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

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**PATTON ELEMENTARY SCHOOL
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1616 N. PATTON AVENUE
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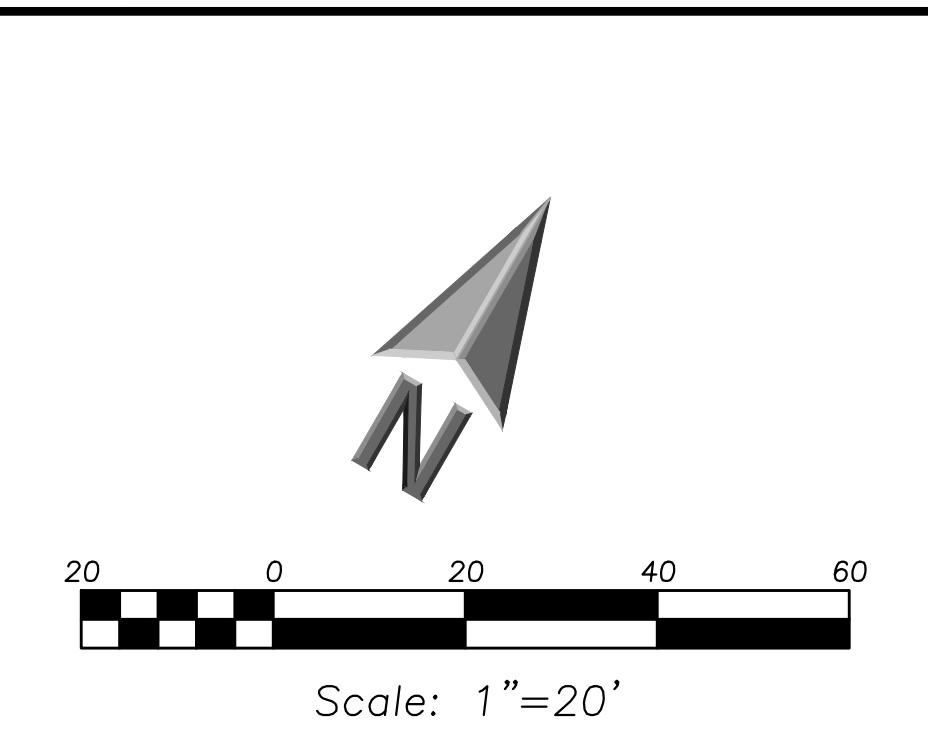
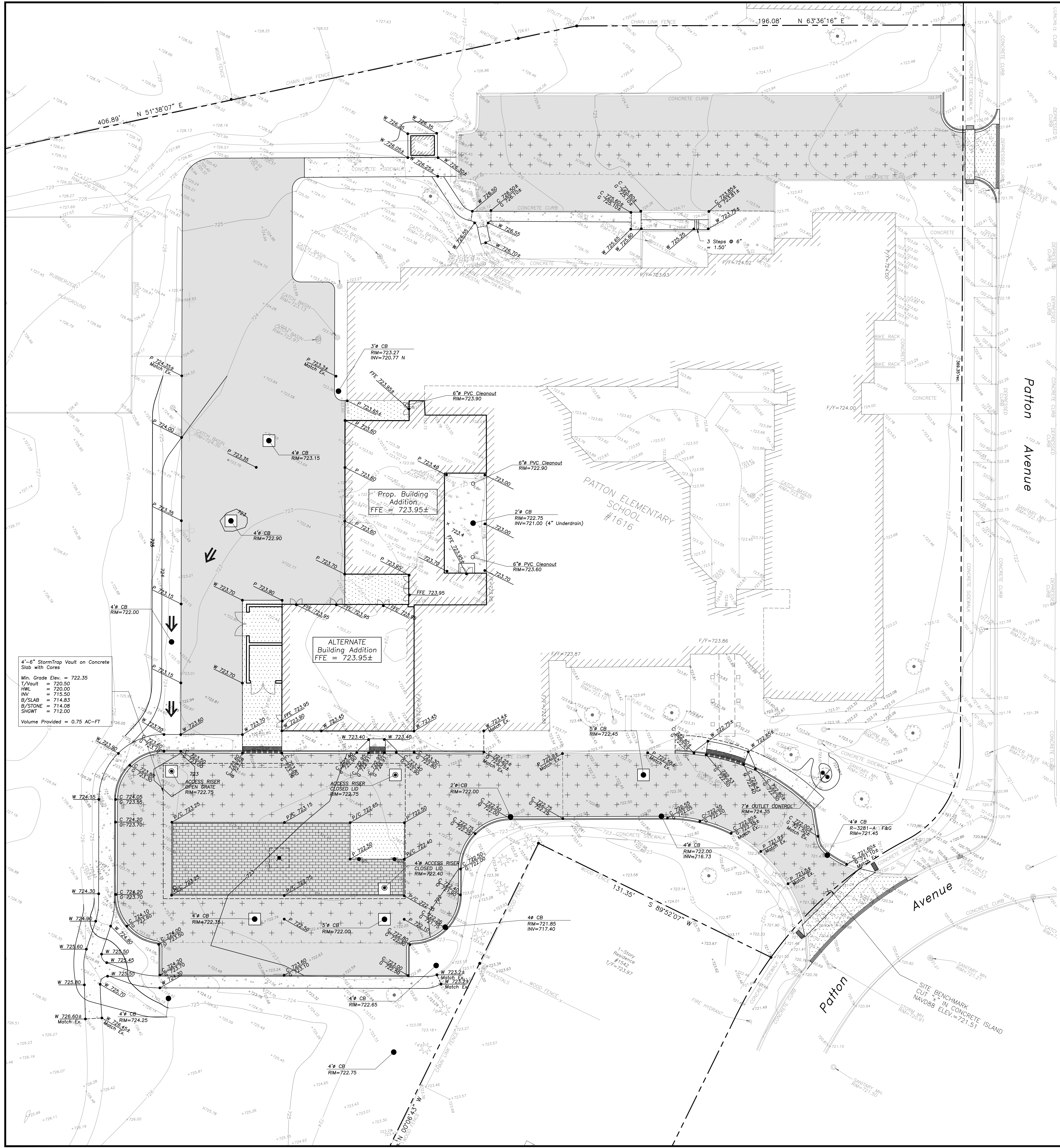
Reserved for Seal

No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title: **SITE UTILITY PLAN**

Sheet No: **C301**



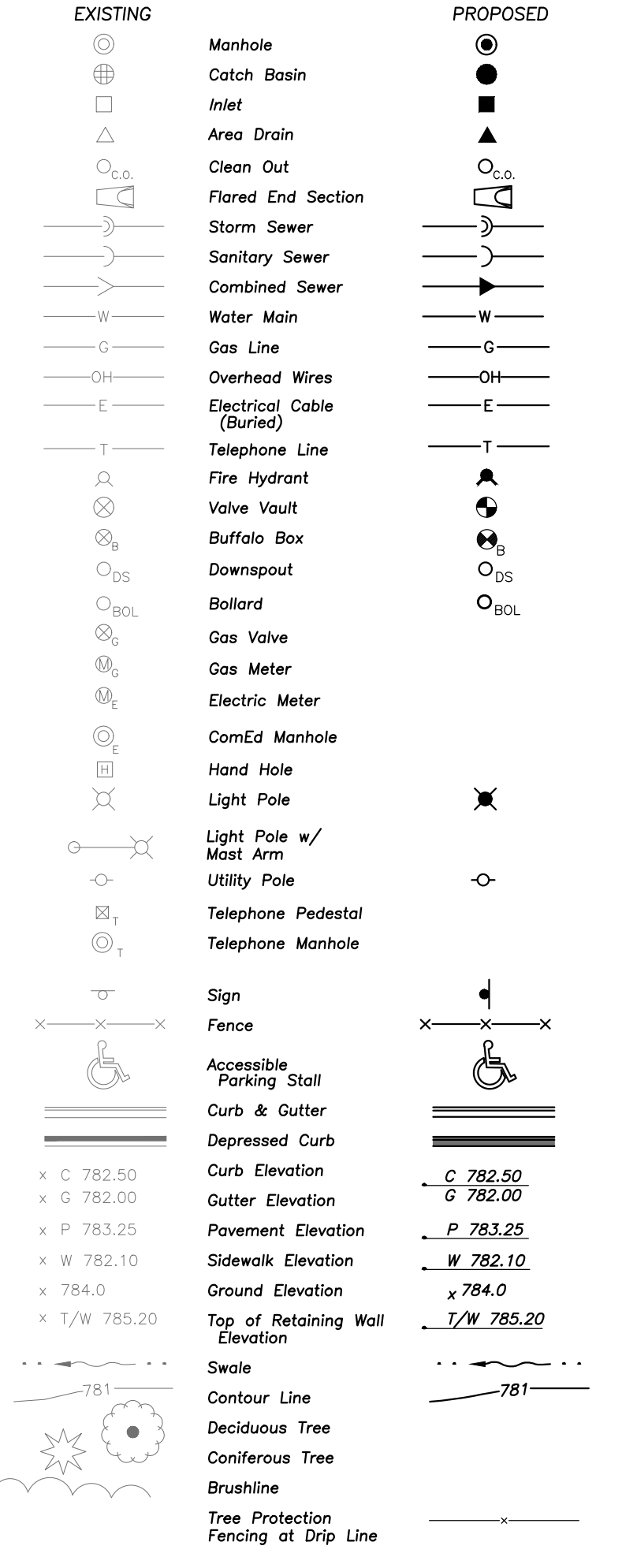
GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Sodded Unless Noted Otherwise On The Landscape Drawings.
- Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

PAVING & SURFACE LEGEND

- Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Concrete Driveway Section**
 - 8" Portland Cement Concrete
 - 6"x6" W2.9W2.9 Welded Wire Fabric
 - 6" Aggregate Base Course, Type B, Crushed (Omit Welded Wire Fabric in Public ROW)
 - Concrete Sidewalk Section**
 - 5" Portland Cement Concrete
 - 6"x6" W1.4W1.4 Welded Wire Fabric
 - 4" Aggregate Base Course, Type B, Crushed (Omit Welded Wire Fabric in Public ROW)
 - Heavy-Duty Asphalt Pavement Section**
 - 2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/4" Hot Mix Asphalt, IL-19.0, NS0
 - 5" Hot Mix Asphalt Binder, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Flush Band Curb Omitted if Base Bid is Selected.
 - ALTERNATE: UniLock Eco-Priora Permeable Paver Large or Small Square (TBD by Architect And/Or Owner)
 - BASE BID: Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Flush Band Curb Omitted if Base Bid is Selected.
 - ALTERNATE: UniLock Eco-Priora Permeable Paver Large or Small Square (TBD by Architect And/Or Owner)
- Color: Heritage Brown
 3-1/8" Flaver Depth
 1-1/2" CA-16 Setting Bed
 6" Min. CA-7 (Variable Based On Pavement Slope)
 12" CA-1 Permeable Subbase Shall Be Wrapped In Non-Woven Geotextile Fabric As Required By The MWD, Typ.
- Stormwater Overland Flow Path
 Ridge Line/High Point

LEGEND



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- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
 Monument Recovery Sheet
 Village of Arlington Heights, IL
 Location Address:
 515 Palatine Road
 Monument 32
 3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of The Centerline of Frontage Road (Palatine Road) And 21'± East of The Centerline of Fernandez Avenue (Stamped 114B)
 NAVD88 Elevation = 713.78
 SITE BENCHMARK:
 Survey Control Point, Cut "X" in Concrete Island
 Elevation: 721.51, NAVD88
 Easting: 1079702.92
 Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

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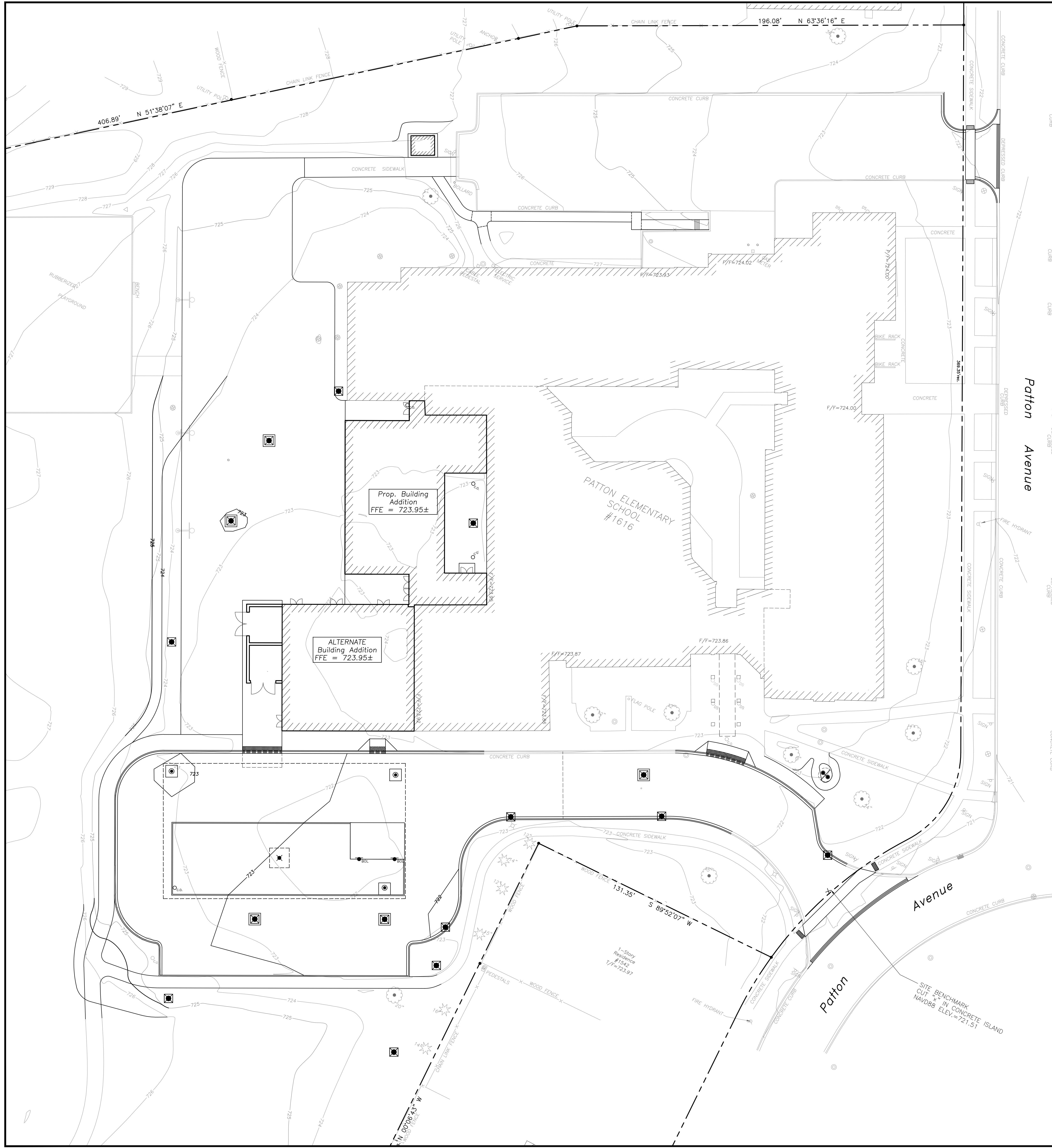
No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

DESIGN BY: LMR APPROVED BY: JC DATE: 05/22/23

SHEET TITLE: GRADING AND PAVING PLAN

SHEET NO: C401

EA - F:\Joshi\Arlington Heights School - Dist. 25\2022 Kindergarten Additions Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:30am By: irasenbauer

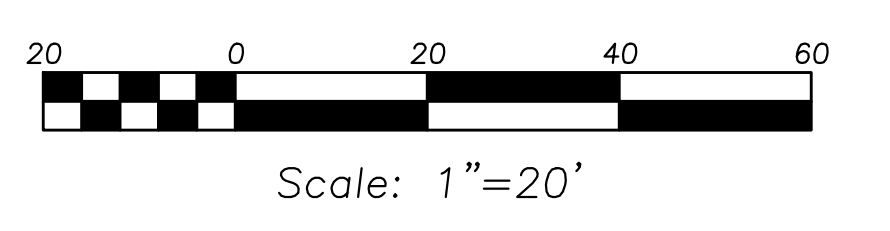


SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
2. Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
3. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
4. All Storm Sewer Structures That Are, or Will Be, Functioning During Construction Shall Be Protected, Filtered, or Otherwise Treated to Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around the Grate in Landscaped Areas and "Catch-All" Inlet Protectors (or equal) in Paved Areas to Prevent Siltation.
5. Install and Maintain Silt Fence at the Perimeter of the Construction Zone and Wetland Areas As Shown on the Plans. Maintain Silt Fence Throughout Construction and Until Vegetation Has Been Fully Established.
6. The Erosion Control Measures Indicated on the Drawings Are the Minimum Requirements. Additional Measures May Be Required As Directed By the Qualified Soil and Erosion Sediment and Control Inspector or Governing Agency.
7. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
8. Report Releases of Reportable Quantities of Oil or Hazardous Materials if They Occur in Accordance with IEPA NPDES Requirements.
9. All Concrete Washout Shall Conform to the "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
10. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Rayons. Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Erosion Control Blanket
North American Green DS75
Or Approved Equal
- ALL DISTURBED LANDSCAPED AREAS
Unless Noted Otherwise On Landscape Plans
- Catch-All, Park Chop Sediguard (or equal) Paved or Existing Stabilized Areas



LEGEND

- | EXISTING | PROPOSED |
|--------------------------------------|--------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Ballard | Ballard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Baseline | Baseline |
| Tree Protection Fencing at Drip Line | Tree Protection Fencing at Drip Line |

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J.U.L.I.E.

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PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal

062-071456
 REGISTERED PROFESSIONAL ENGINEER
 OF ILLINOIS

No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Sheet Title:
SITE EROSION AND SEDIMENT CONTROL PLAN

Sheet No:
C501

GENERAL NOTES

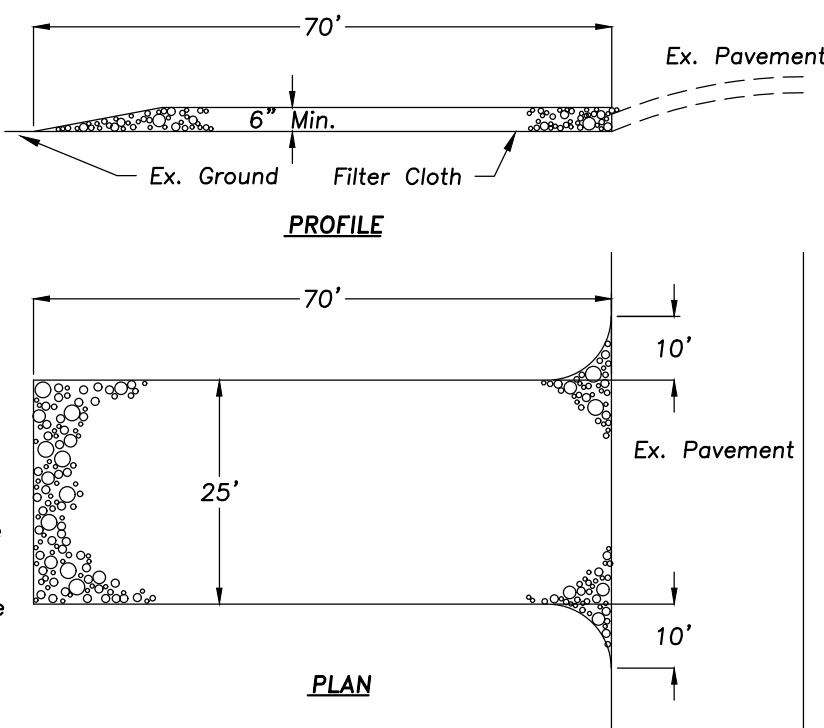
STONE SIZE - Use 100T gradation CA-1 aggregate stone.

MAINTENANCE - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean-out of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.

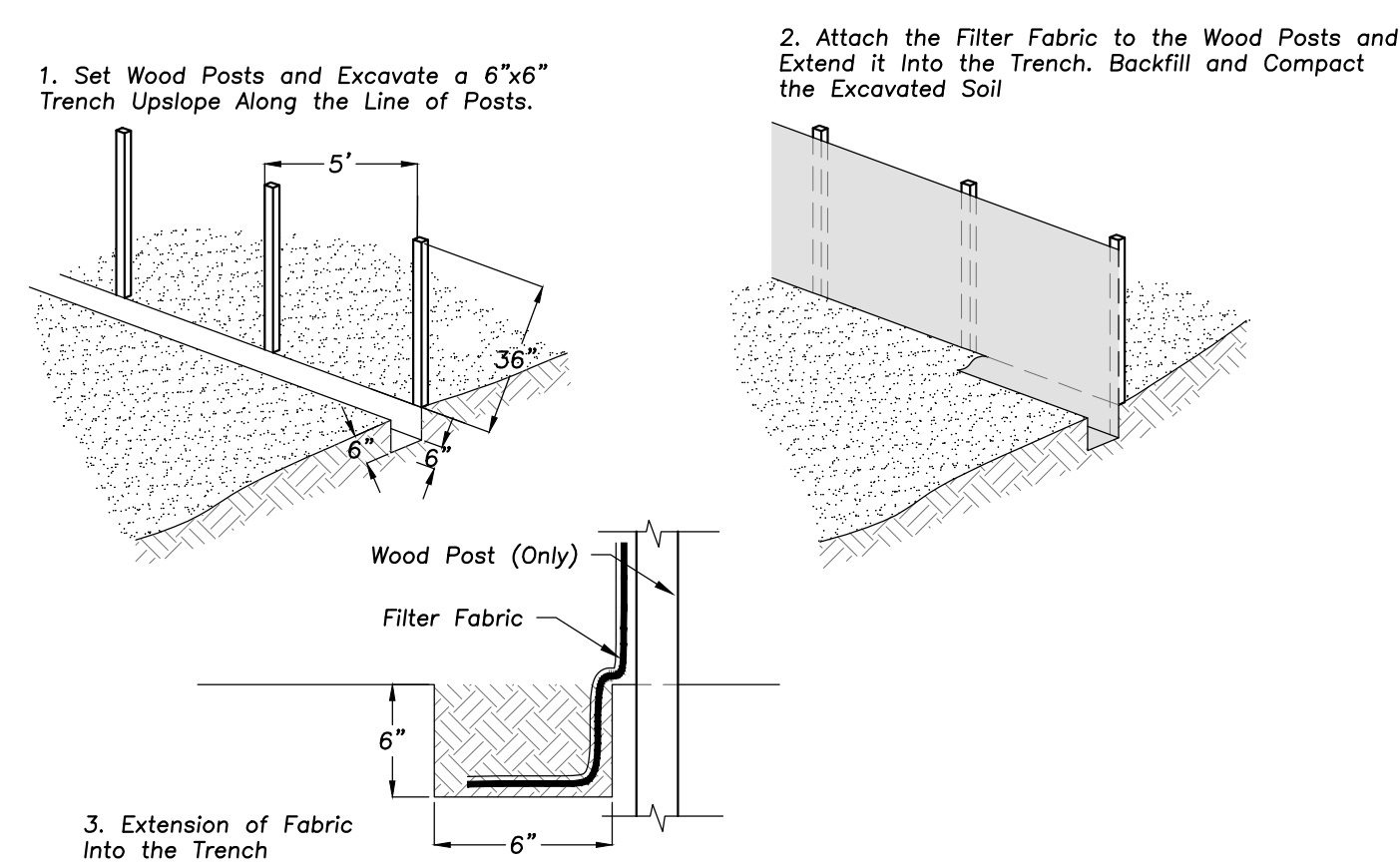
FILTER CLOTH - Will be placed over the entire area prior to placing stone. Conform to Illinois Urban Manual Section 952, Type II, or IV.

WASHING - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.

Periodic inspection and needed maintenance shall be provided after each rain.



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

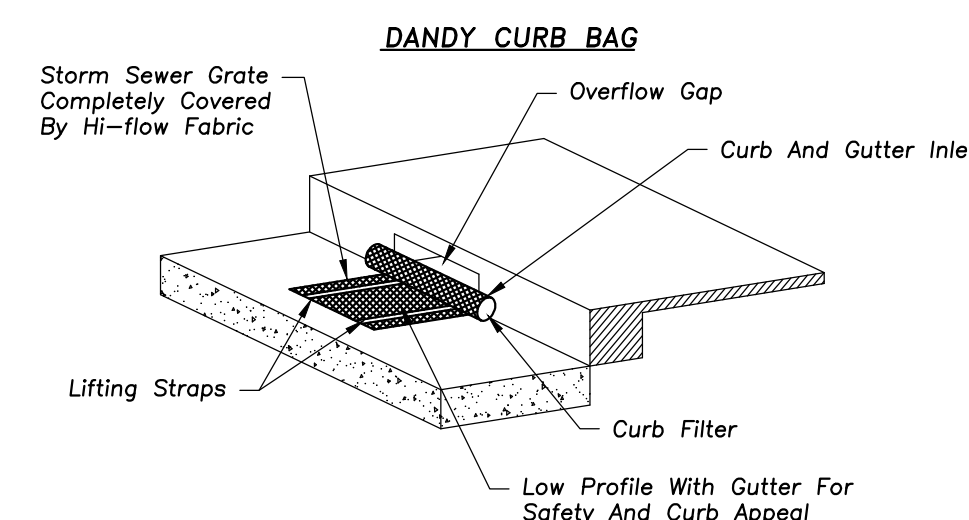


SILT FENCE CONSTRUCTION (AASHTO 288-00)

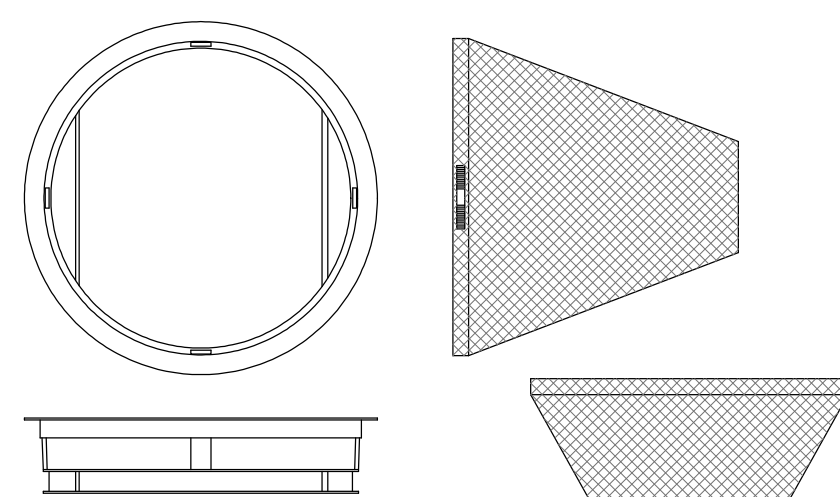
Note: The Dandy Bag Will Be Manufactured in The US From A Woven Monofilament Fabric That Meets Or Exceeds The Following Specifications:

Mechanical Properties	Test Method	Units	Min
Crack Tensile Strength	ASTM D 4833	lb/inch	1500
Crack Elongation	ASTM D 4833	%	200
Machine Break Strength	ASTM D 4833	lb/inch	200
Machine Break Elongation	ASTM D 4833	%	100
Apparent Density	ASTM D 4833	lb/ft ³	10
Permeability	ASTM D 4833	cm/s	1.0E-05

Note: All Dandy Bags Can Be Ordered With Our Optional Oil Absorbent Flap



DANDY CURB BAG SEDIMENT CONTROL DEVICE



General Notes:

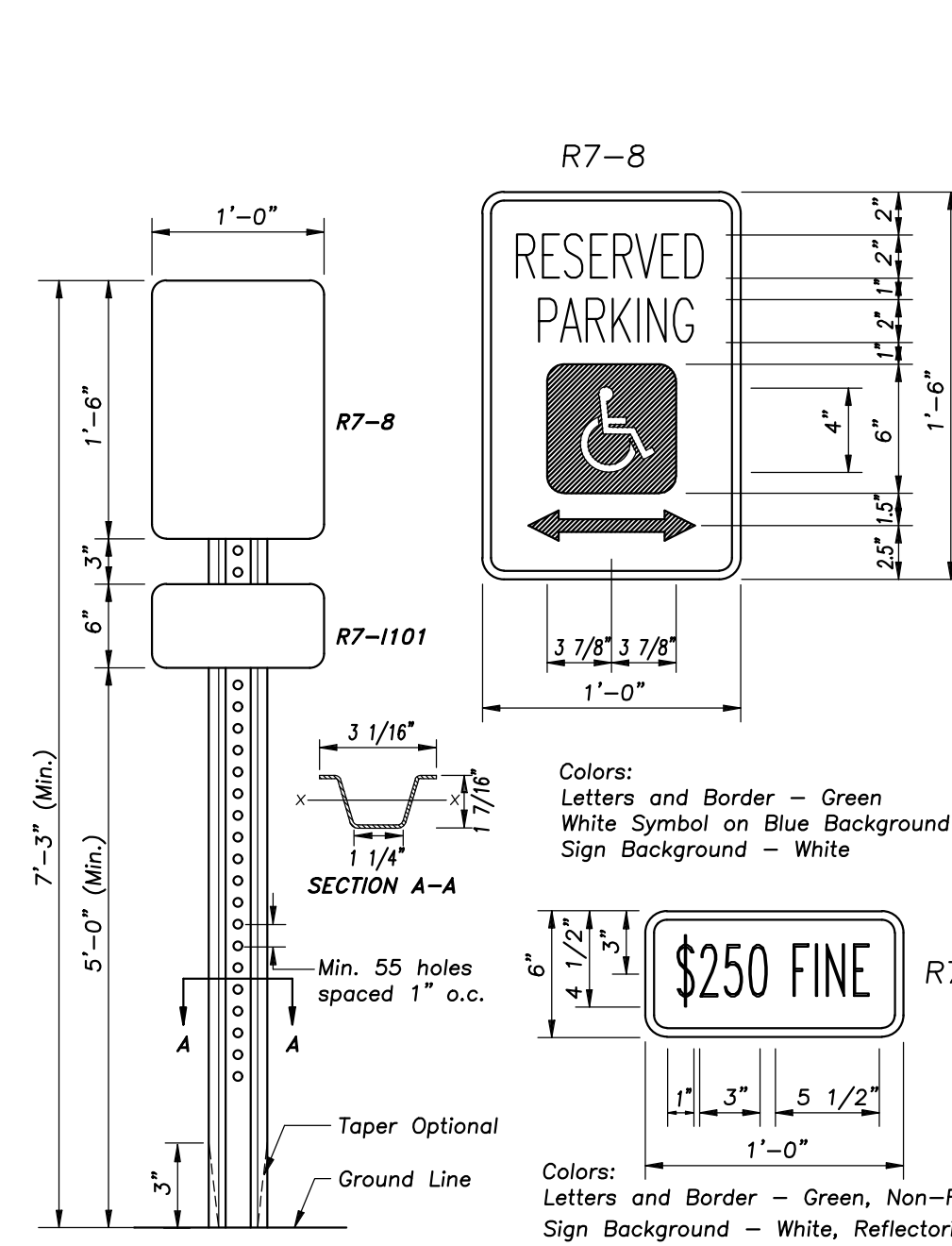
Use Marathon Materials, Inc., "Catch-All" Inlet Protectors Or Approved Equal Inlet Protector Types Shall Be Selected To Fit Frame and Grate of Open Lid Structures To Be Protected. www.marathonmaterials.com

Frame: Top Flange Fabricated From 1 1/4" X 1 1/4" X 1/8" Angle. Base Rim Fabricated From 1 3/4" X 3/4" X 1/8" Channel. Handles And Suspension Brackets Fabricated From 1 1/2" X 1/2" Flat Stock. All Domestic Steel Conforming To ASTM-A36

Sediment Bag: Bag Fabricated From A Geotextile Non-woven Polypropylene Geotextile Reinforced With Polyester Mesh. Bag Secured To Base Rim With A Stainless Steel Strap And Lock.

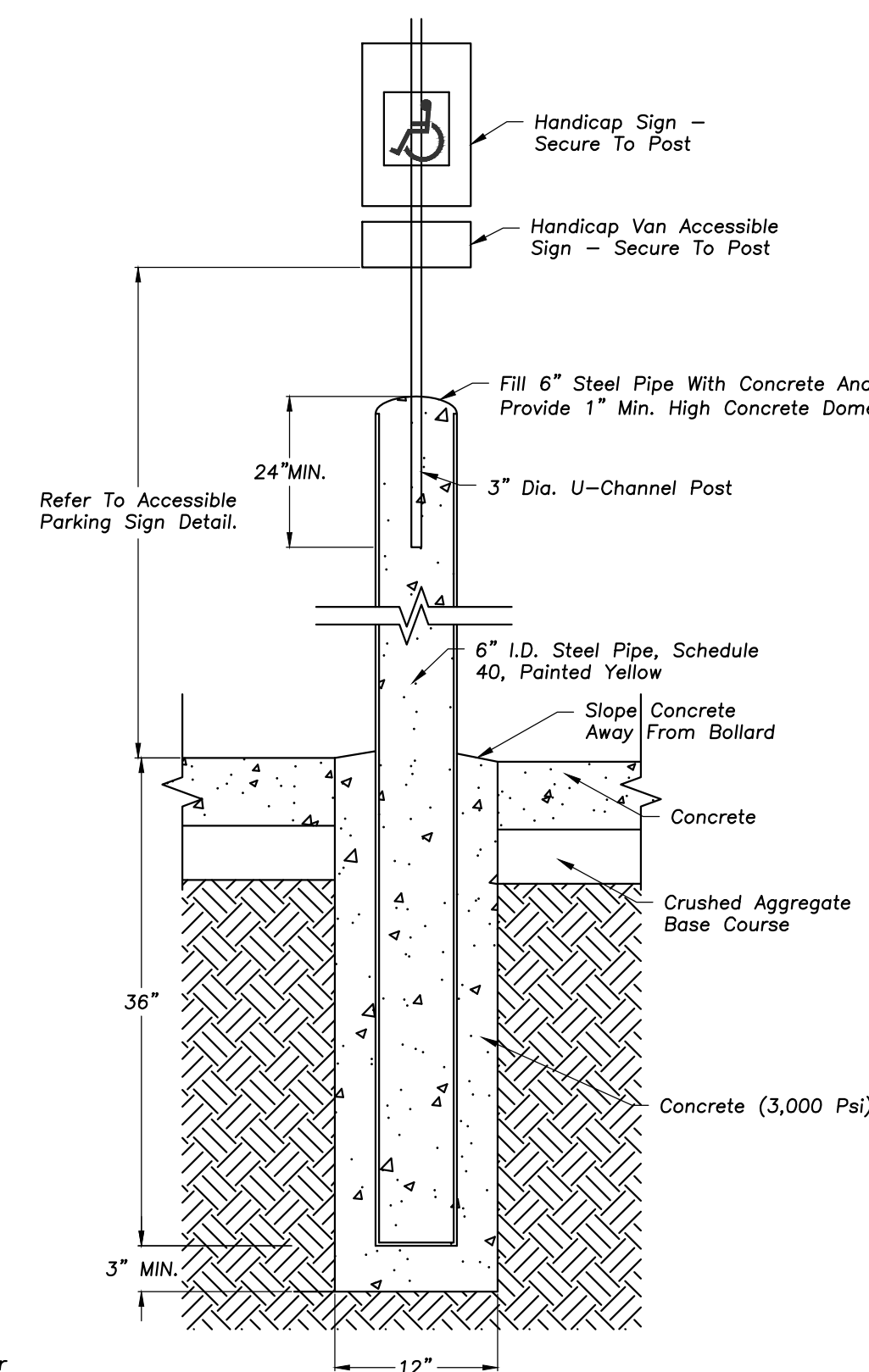
Install Baskets In All Existing Storm Inlets Prior To Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

INLET PROTECTORS - SEDIMENT BAG



Notes: Dimensions Shown For Cross Sections Are Minimum.
All Holes Are 3/8" ø. Minimum Section Modulus About The X-X Axis Of The Post Shall Be 0.233 In.
For Posts In Which Holes Are Punched Or Drilled For More Than Half Their Length, The Section Modulus Shall Be Computed For The Net Section.
3"-6" Post Bury Depth.
Post Shall Weigh 2.00 Lb/T Length.
One In Six Accessible Parking Spaces Must Be Van Accessible, Minimum Of One Van Accessible Spaces Have The Same Requirement Except They Must Also Have 96" Of Clear Vertical Space.

ACCESSIBLE PARKING SIGN IN BOLLARD



ERIKSSON ENGINEERING ASSOCIATES, LTD.
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1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

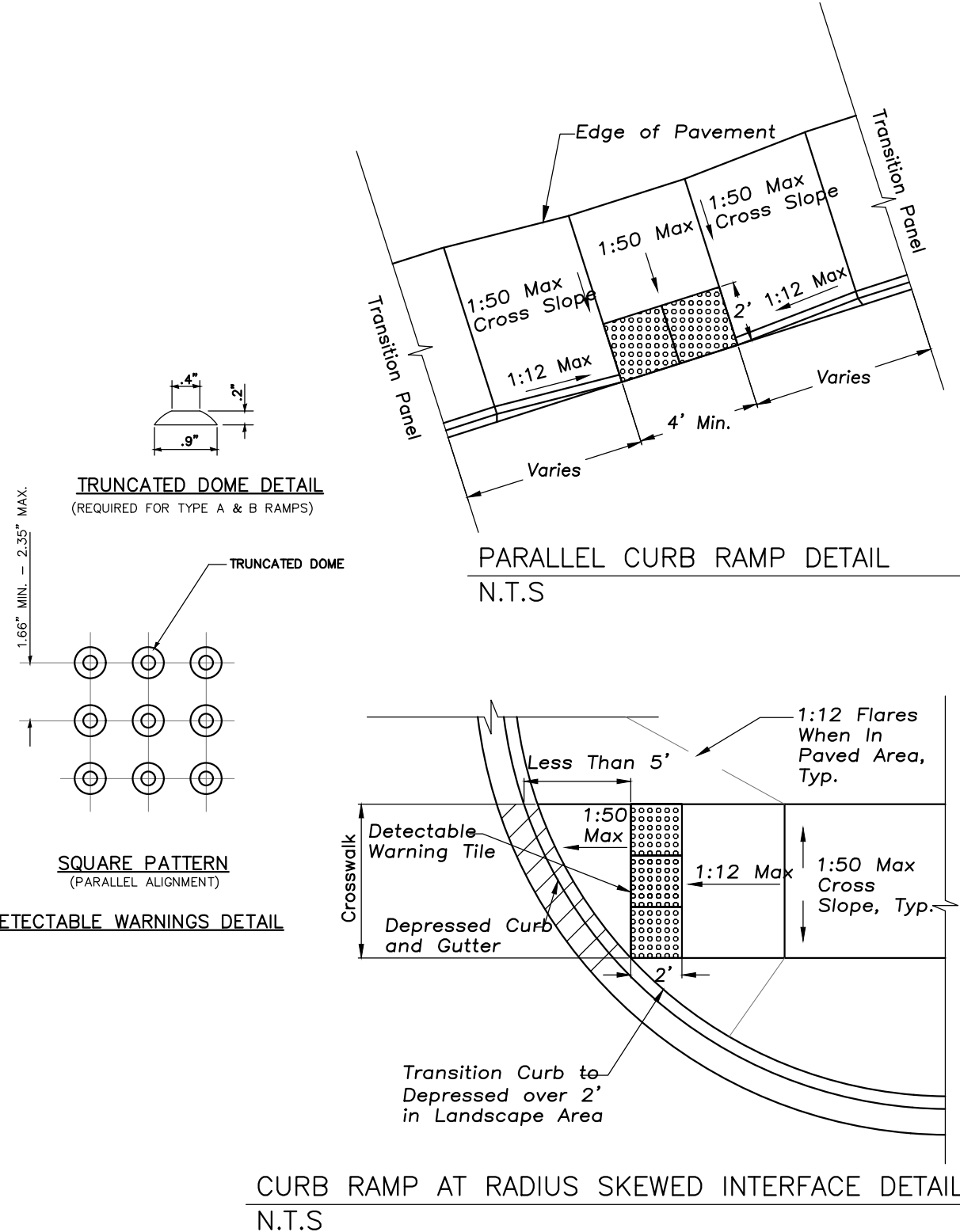
Reserved for Seal
Professional Engineer Seal for Joshua J. Cap...

No.	Date	Description
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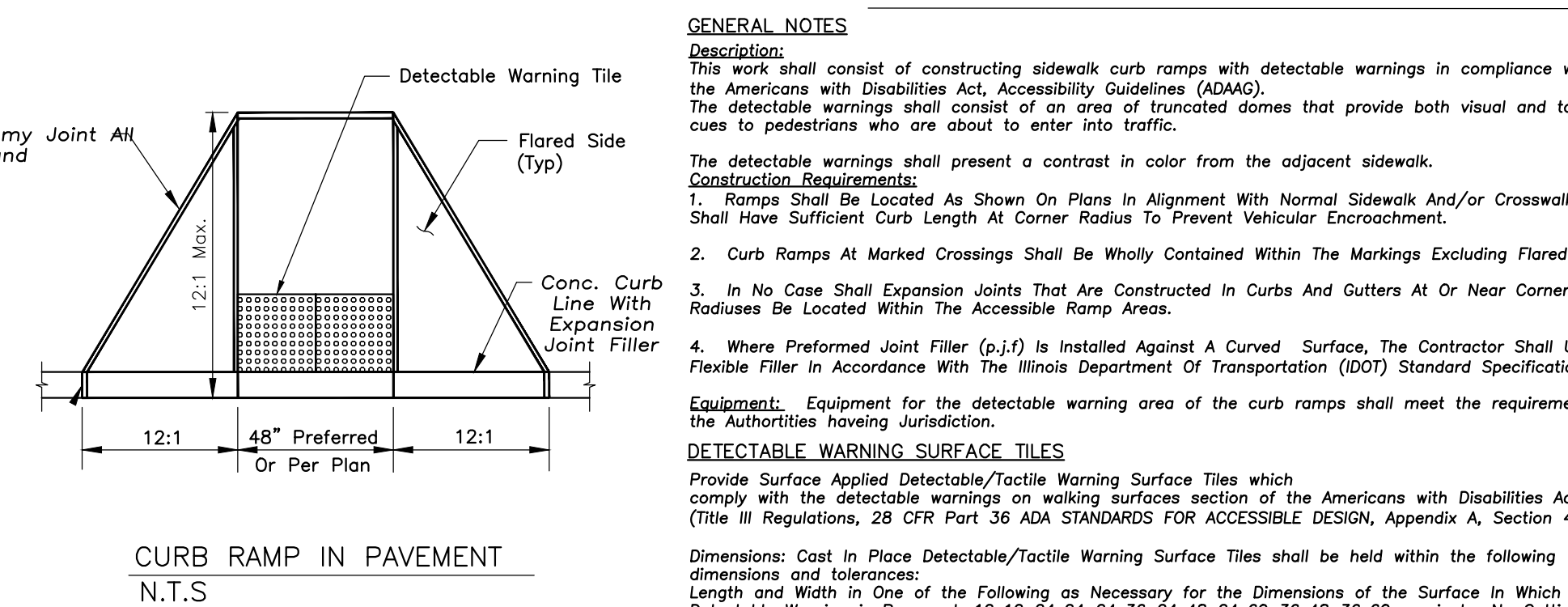
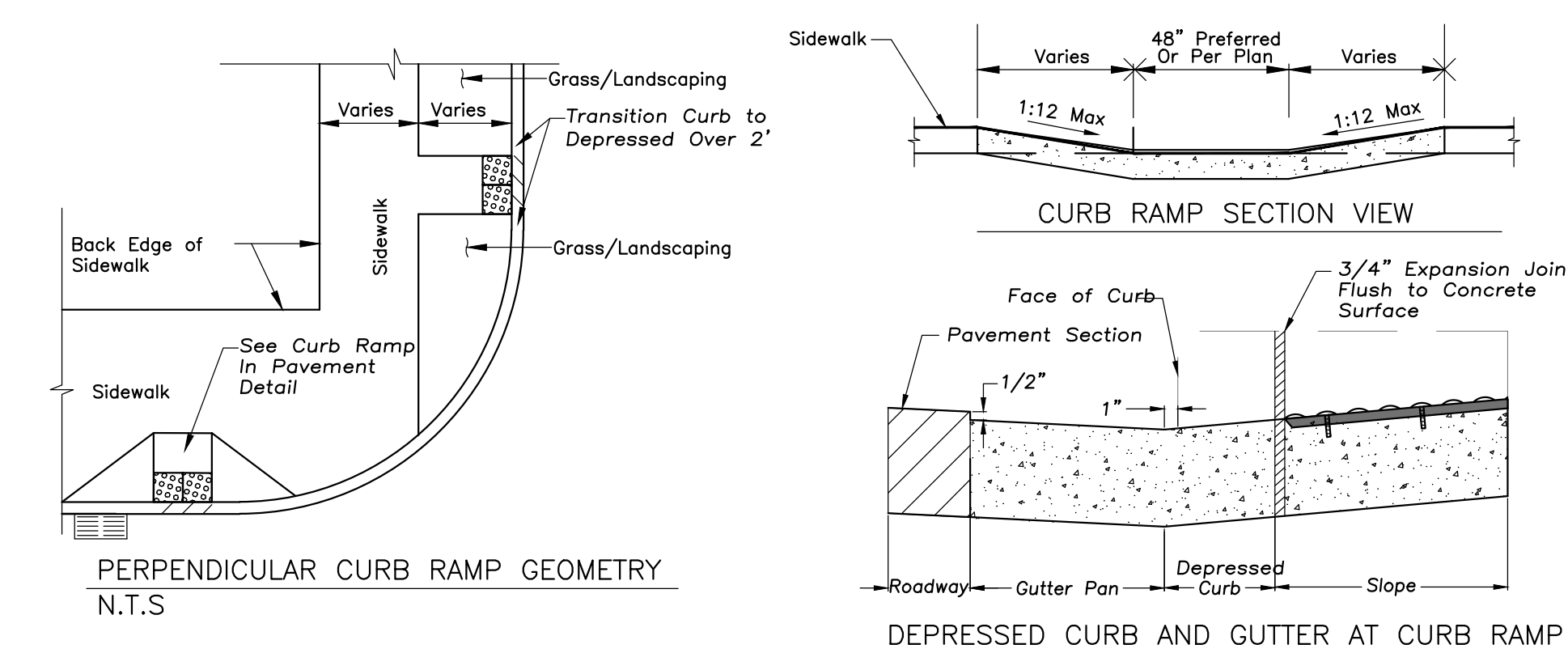
Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title: **SITE WORK DETAILS**

Sheet No: **C601**



ACCESSIBLE RAMPS FOR SIDEWALKS



GENERAL NOTES

Specification:
This work shall consist of constructing sidewalk curb ramps with detectable warnings in compliance with the Americans with Disabilities Act, Accessibility Guidelines (AGMG).
The detectable warnings shall consist of an area of truncated domes that provide both visual and tactile cues to pedestrians who are about to enter into traffic.

The detectable warnings shall present a contrast in color from the adjacent sidewalk.

Construction Requirements:

- Ramps Shall Be Located As Shown On Plans In Alignment With Normal Sidewalk And/or Crosswalk And Shall Have Sufficient Curb Length At Corner Radius To Prevent Vehicular Encroachment.
- Curb Ramps At Marked Crossings Shall Be Wholly Contained Within The Markings Excluding Flared Sides.
- In No Case Shall Expansion Joints That Are Constructed In Curbs And Gutters At Or Near Corner Radiuses Be Located Within The Accessible Ramp Areas.
- Where Preformed Joint Filler (p.j.f.) Is Installed Against A Curved Surface, The Contractor Shall Use A Flexible Filler In Accordance With The Illinois Department Of Transportation (IDOT) Standard Specifications.

Equipment: Equipment for the detectable warning area of the curb ramps shall meet the requirements of the Authority Having Jurisdiction.

DETECTABLE WARNING SURFACE TILES

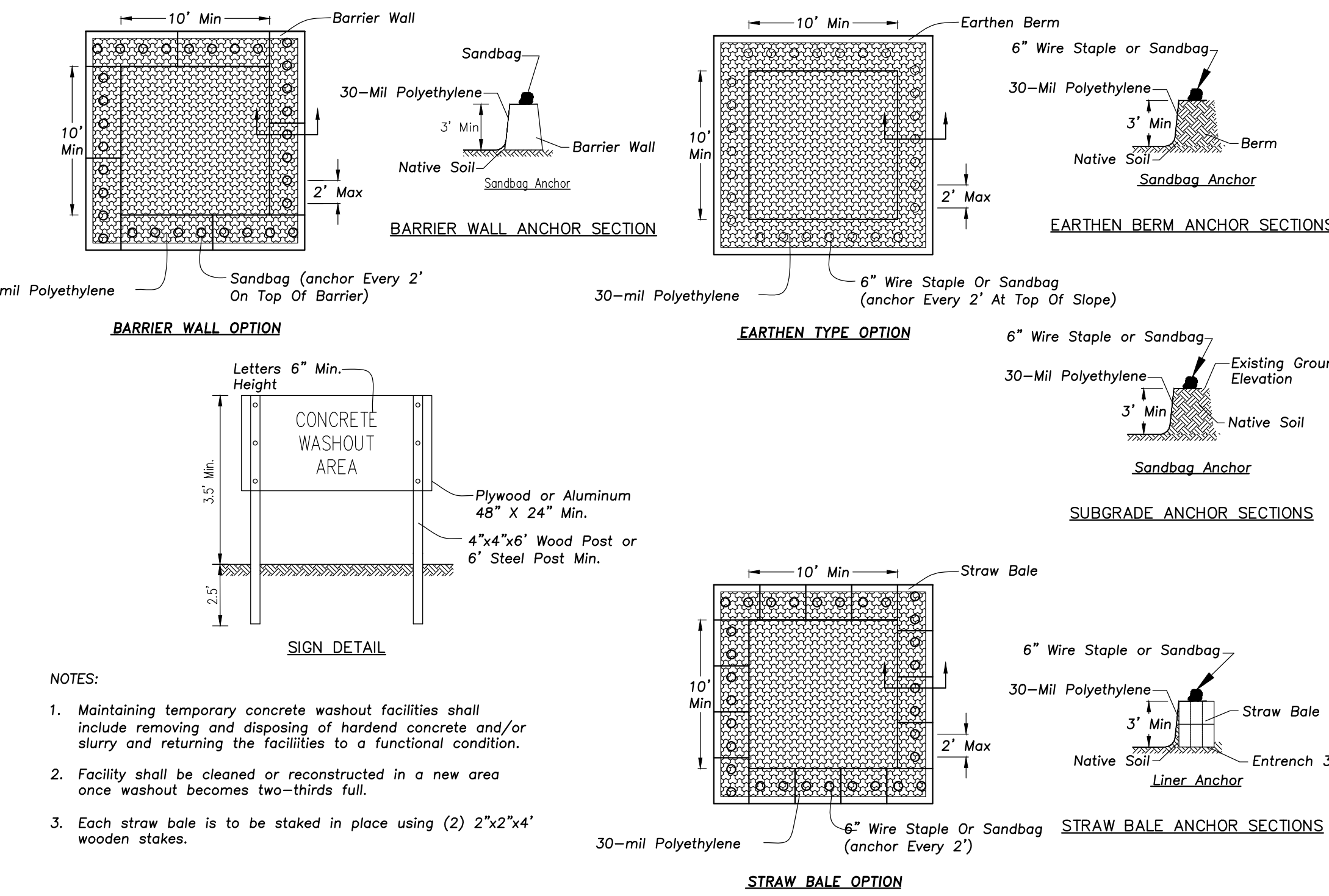
Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2)

Dimensions: Cast In Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances:
Length and Width in One of the Following as Necessary for the Dimensions of the Surface in Which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of Tiles is Allowed.

Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions.

Verify With The Local Authorities Having Jurisdiction That Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface.

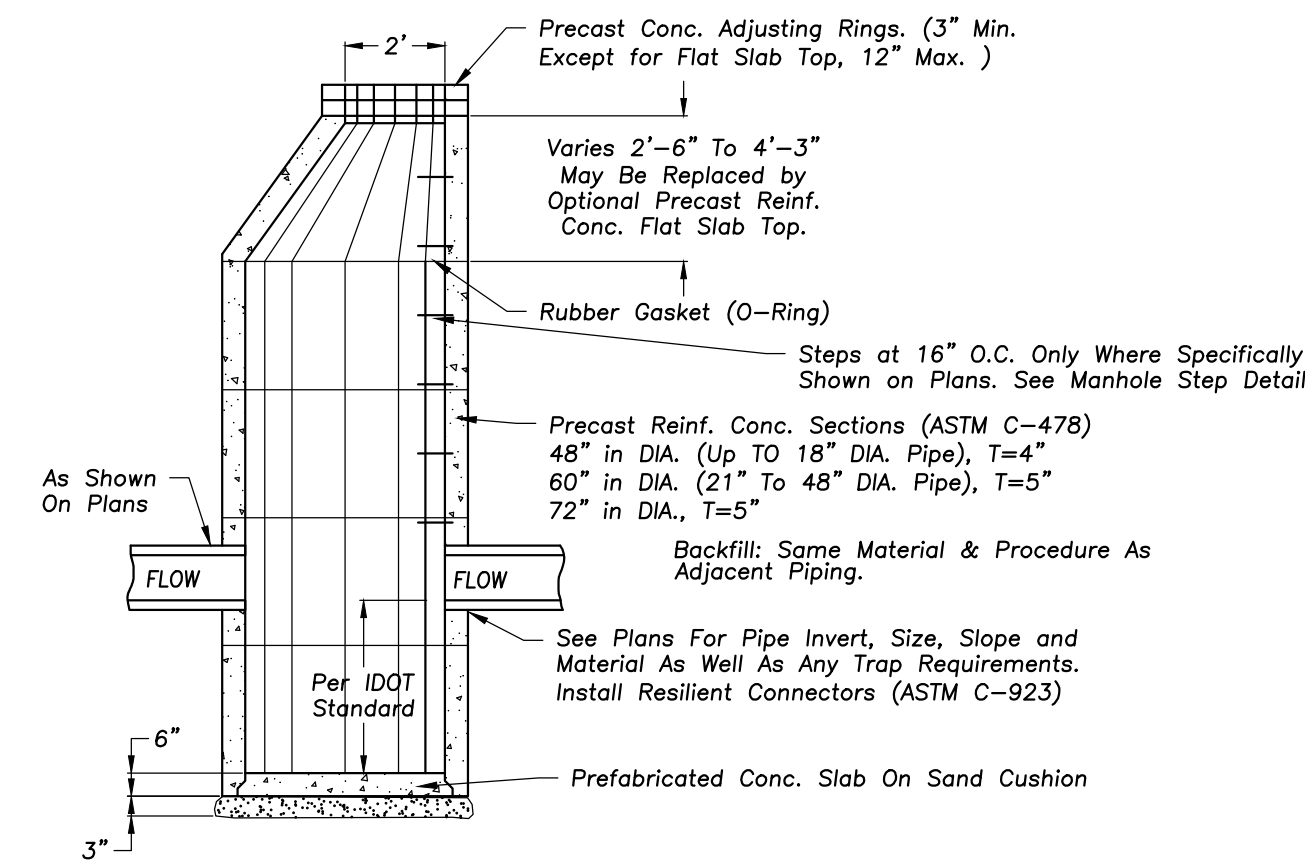
Verify With The Local Authorities Having Jurisdiction That the Manufacturer's Products are Acceptable for the Detectable Warning Surface.



CONCRETE WASHOUT FACILITY

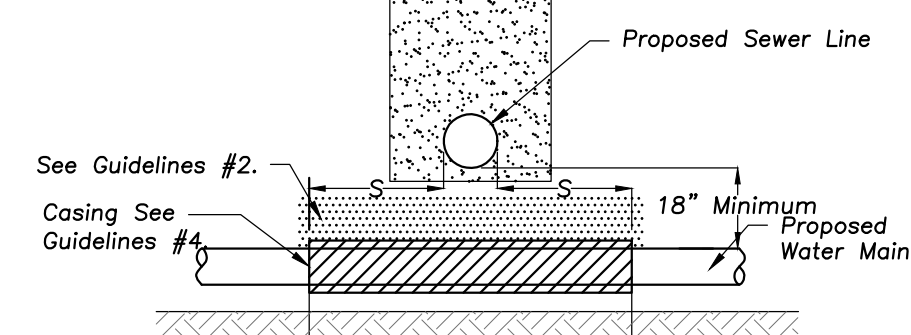
NOTES:

- Maintaining temporary concrete washout facilities shall include removing and disposing of harden concrete and/or slurry and returning the facilities to a functional condition.
- Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
- Each straw bale is to be staked in place using (2) 2"x2"x4" wooden stakes.

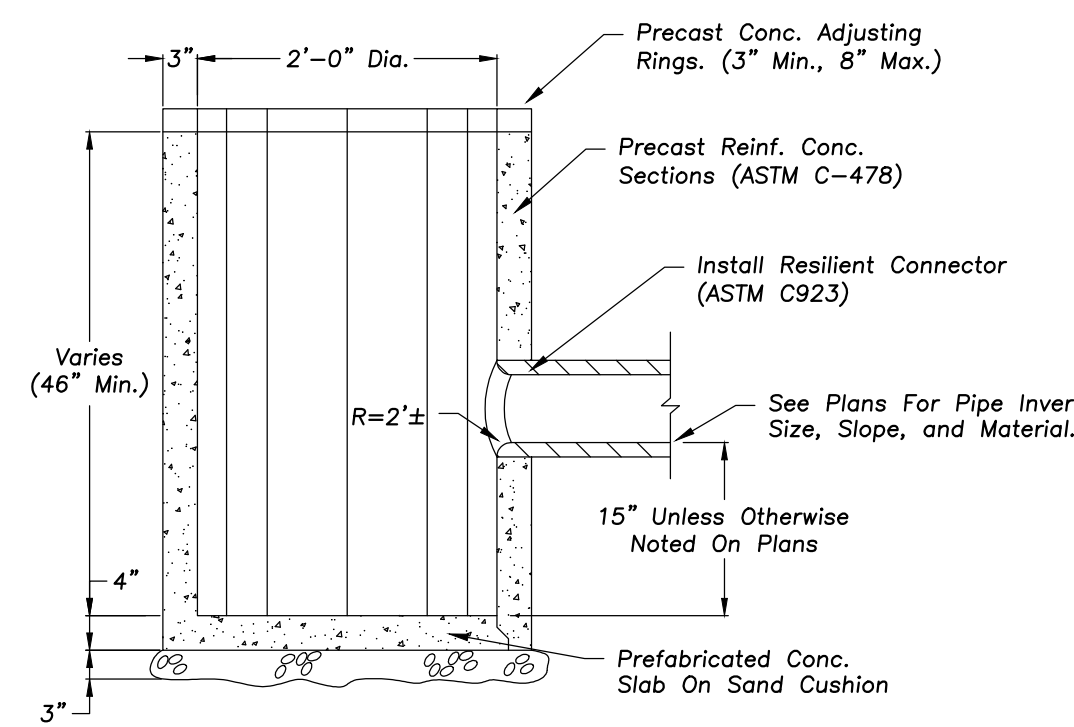


CATCH BASIN

(Taken From Standard Specifications for Water and Sewer Main Construction in Illinois, May 1996)
 Note: Compactions Refer to 20-2.20B

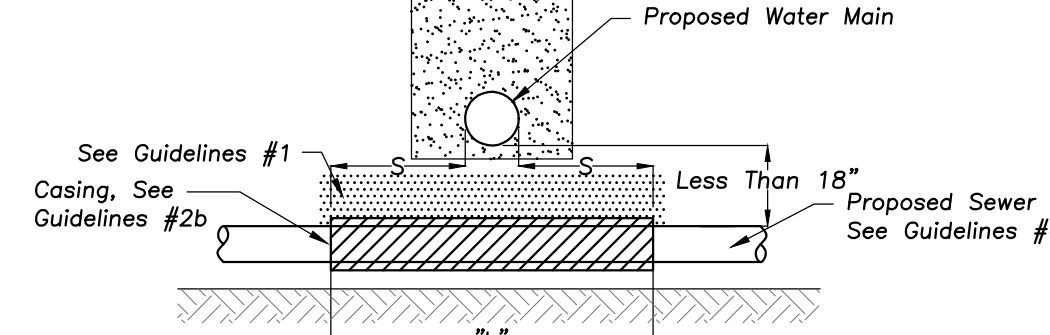


Proposed Water Main Below Existing Sewer Line With 18" Minimum Vertical Separation.
 Note: "S" is the length necessary to provide 10 feet of separation and measured perpendicular to existing sewer line.
 Guidelines:
 1. Omit select granular embankment and granular backfill to one (1) foot over top of watermain and use select excavated material (Class IV) and compact the length of "L".
 2. If select granular backfill exists, remove within width of existing sewer line trench and replace with select excavated material (Class IV) and compact.
 3. Provide adequate support for existing sewer line to prevent damage due to settlement.
 4. Use "L" feet of water main material for casing of proposed water main and seal ends of casing.



CATCH BASIN - 2' DIA.

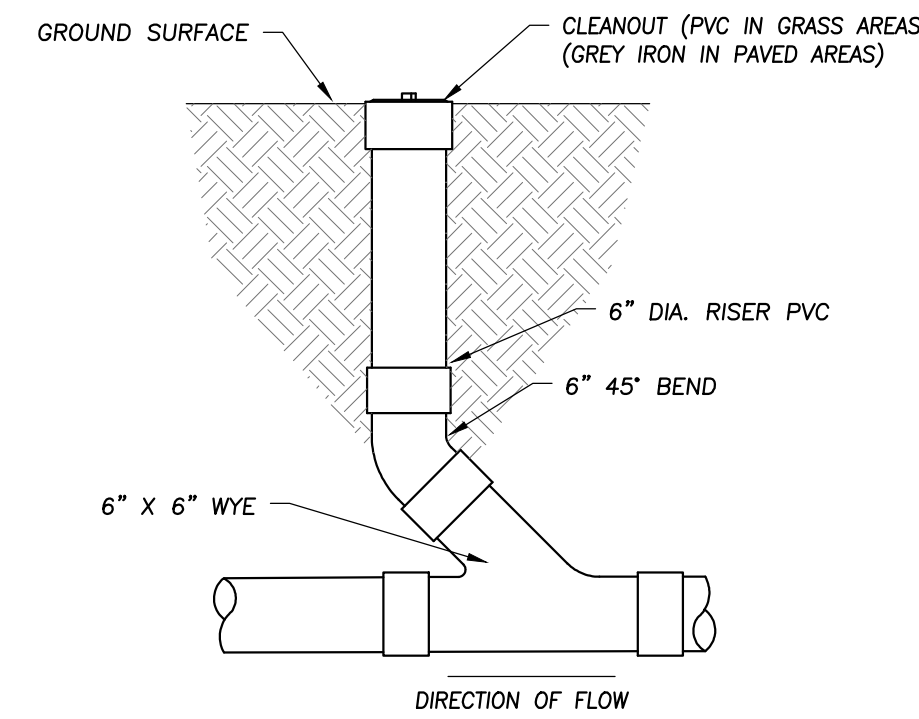
(Taken From Standard Specifications for Water and Sewer Main Construction in Illinois, May 1996)
 Note: Compactions Refer to 20-2.20B



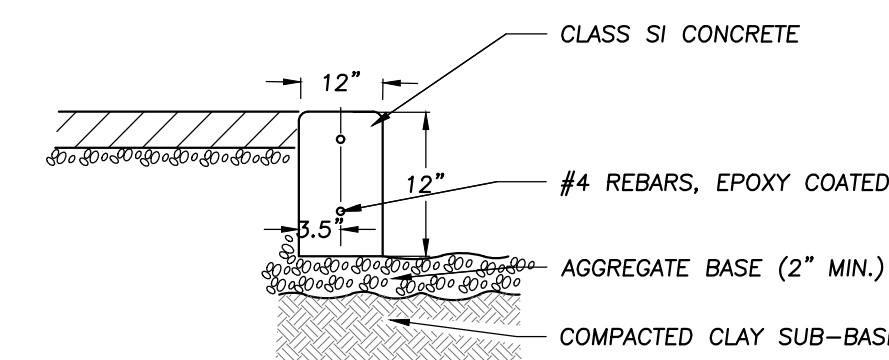
Proposed Sewer Line Below Existing Water Main With Less Than 18" Vertical Separation
 Note: "S" is the length necessary to provide 10 feet of separation and measured perpendicular to existing water main.
 Guidelines:
 1. Omit select granular embankment and granular backfill to one (1) foot over top of watermain and use select excavated material (Class IV) and compact for "S" feet on each side of water main.
 2a. Construct "L" feet of proposed sewer or water main material and pressure test, or:
 2b. Use "L" feet of water main material for casing of proposed sewer and seal ends of casing.
 3. Provide adequate support for existing water main to prevent damage due to settlement of sewer trench.

WATER AND SEWER SEPARATION REQUIREMENTS

WATER AND SEWER SEPARATION REQUIREMENTS

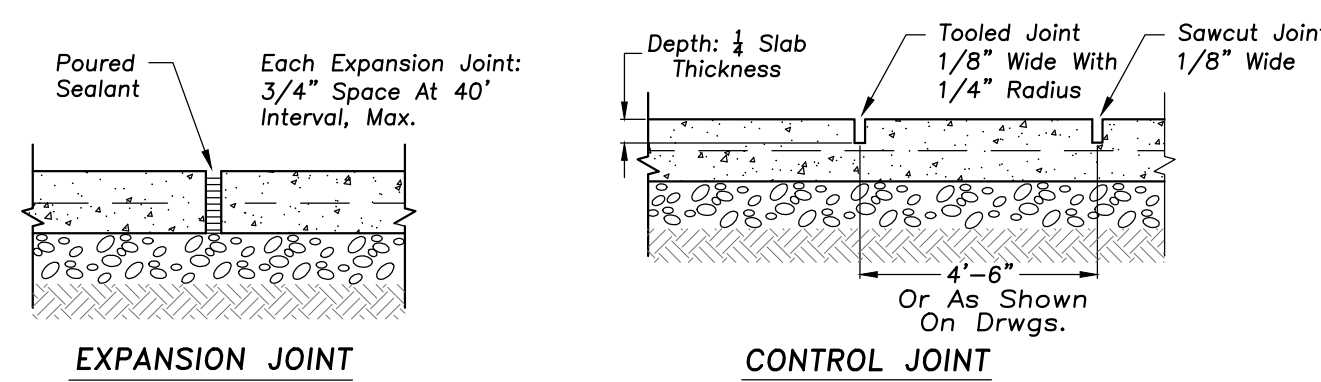


CLEANOUT



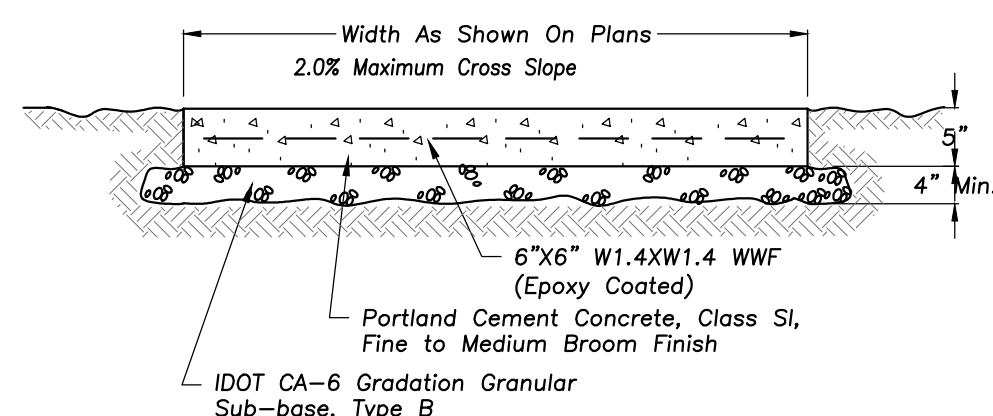
FLUSH CURB

NOTES:
 1. A 1" EXPANSION JOINT SHALL BE INSTALLED AT ALL POINTS OF CURVATURE FOR SHORT RADIUS (UNDER 25 FT.) CURVES. MAXIMUM EXPANSION JOINT SPACING IS 50'. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1" THICK PREFORMED EXPANSION JOINT FILLER CONFORMING TO THE CURB AND GUTTER CROSS SECTION AND SHALL BE PROVIDED WITH ONE 1-1/4" DIAMETER, 18" LONG, COATED SMOOTH DOWEL BAR. THE DOWEL BAR SHALL BE FITTED WITH A CAP WITH A PINCHED STOP WHICH PROVIDES A MINIMUM OF 1" OF EXPANSION.
 2. MAXIMUM CONTRACTION/CONTROL JOINT SPACING SHALL BE (20') TWENTY FEET.

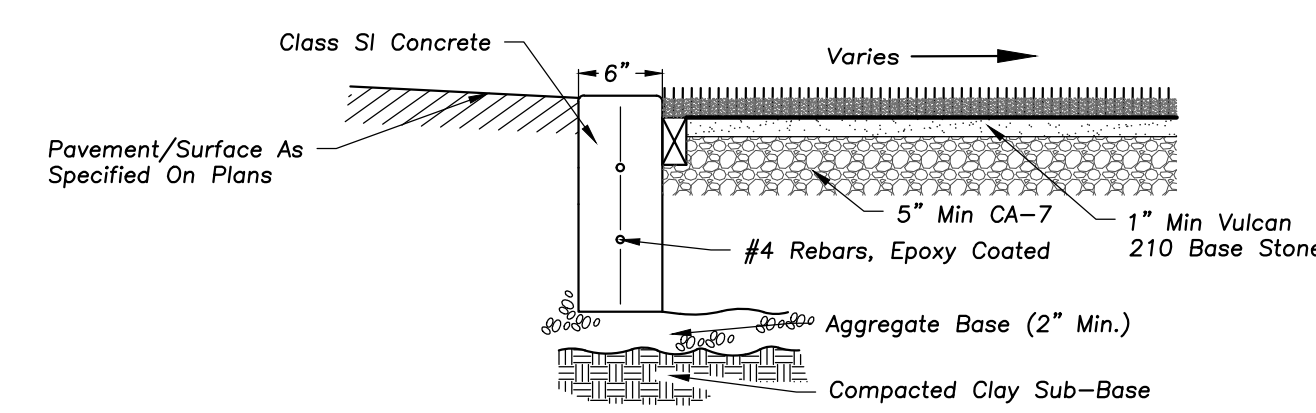


EXPANSION JOINT

CONTROL JOINT

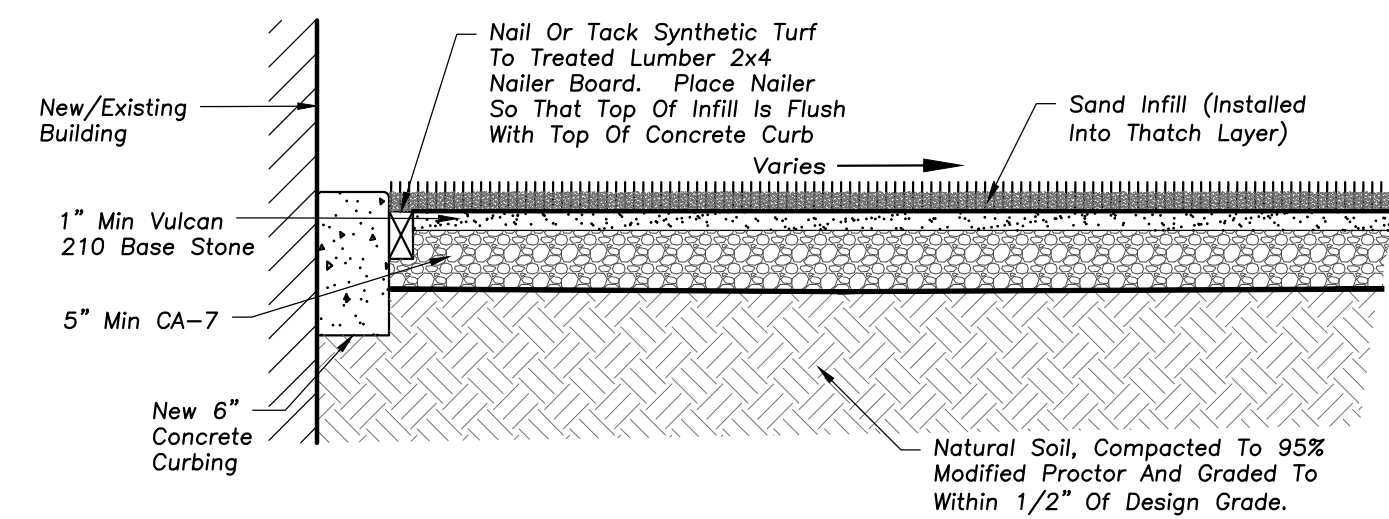


PORTLAND CEMENT CONC. SIDEWALK

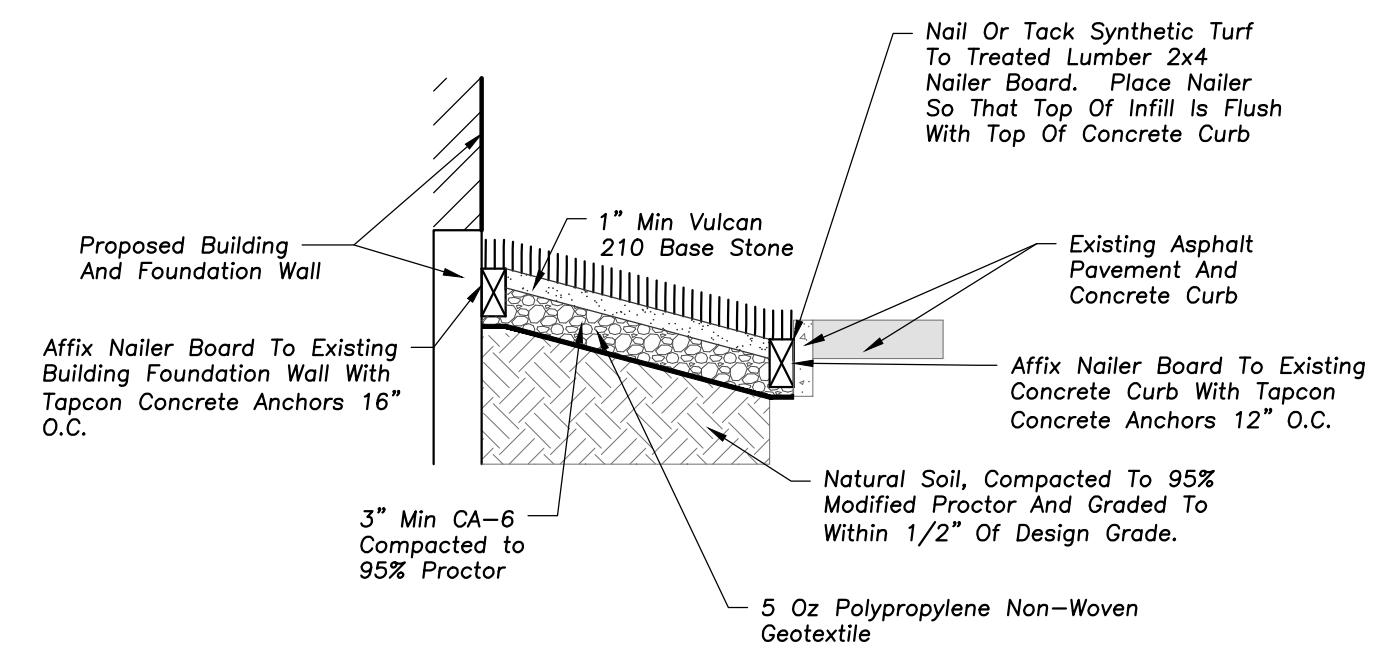


NOTES:
 1. A 1" Expansion Joint Shall Be Installed At All Points Of Curvature For Short Radius (Under 25 Ft.) Curves. Maximum Expansion Joint Spacing Is 50'. Expansion Joints Shall Be Constructed With 1" Thick Preformed Expansion Joint Filler Conforming To The Curb And Gutter Cross Section And Shall Be Provided With One 1-1/4" Diameter, 18" Long, Coated Smooth Dowel Bar. The Dowel Bar Shall Be Fitted With A Cap With A Pinched Stop Which Provides A Minimum Of 1" Of Expansion.
 2. Maximum Contraction/Control joint spacing shall be (20') twenty feet.

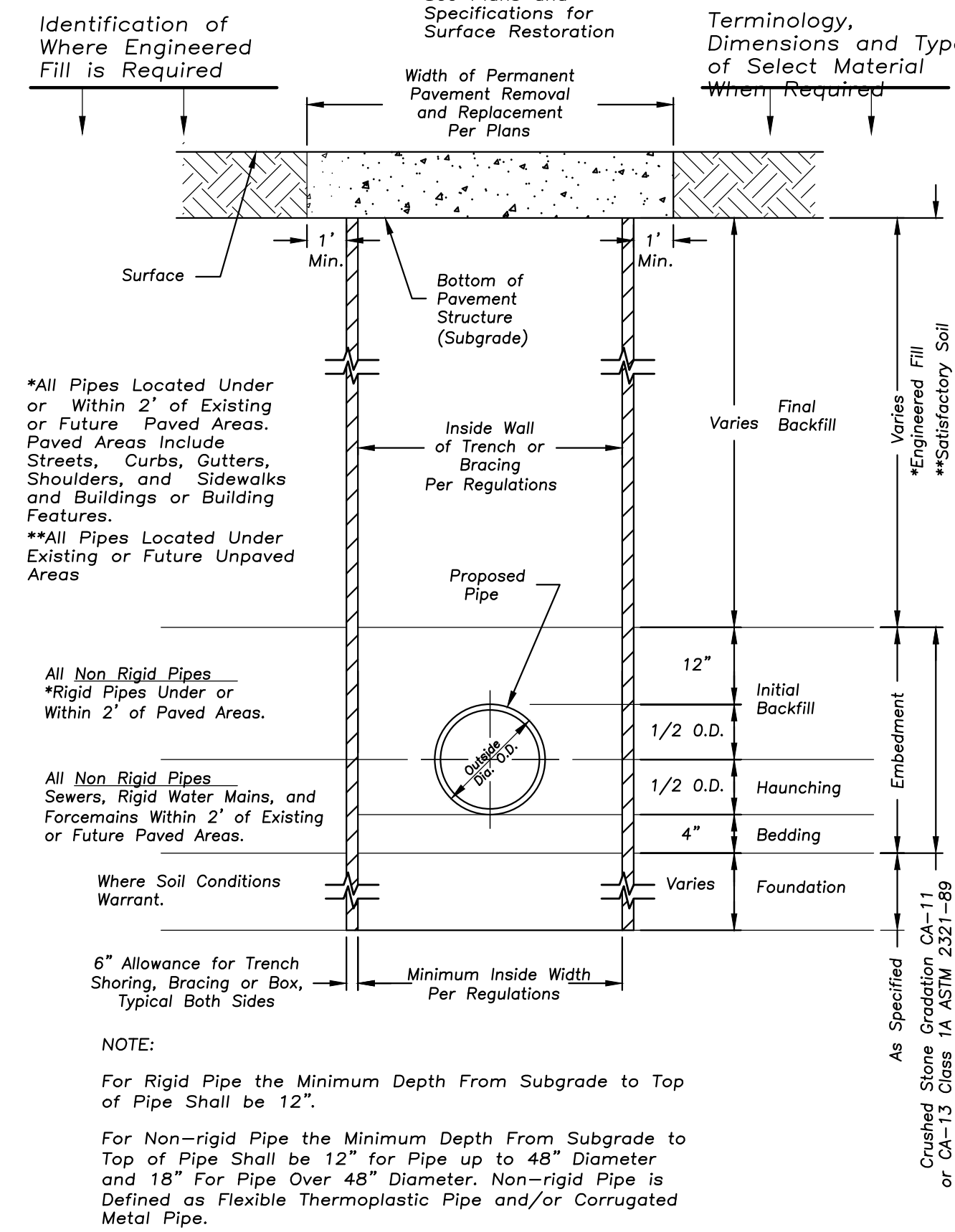
MODIFIED TYPE B PERIMETER CURB WITH NAILER BOARD



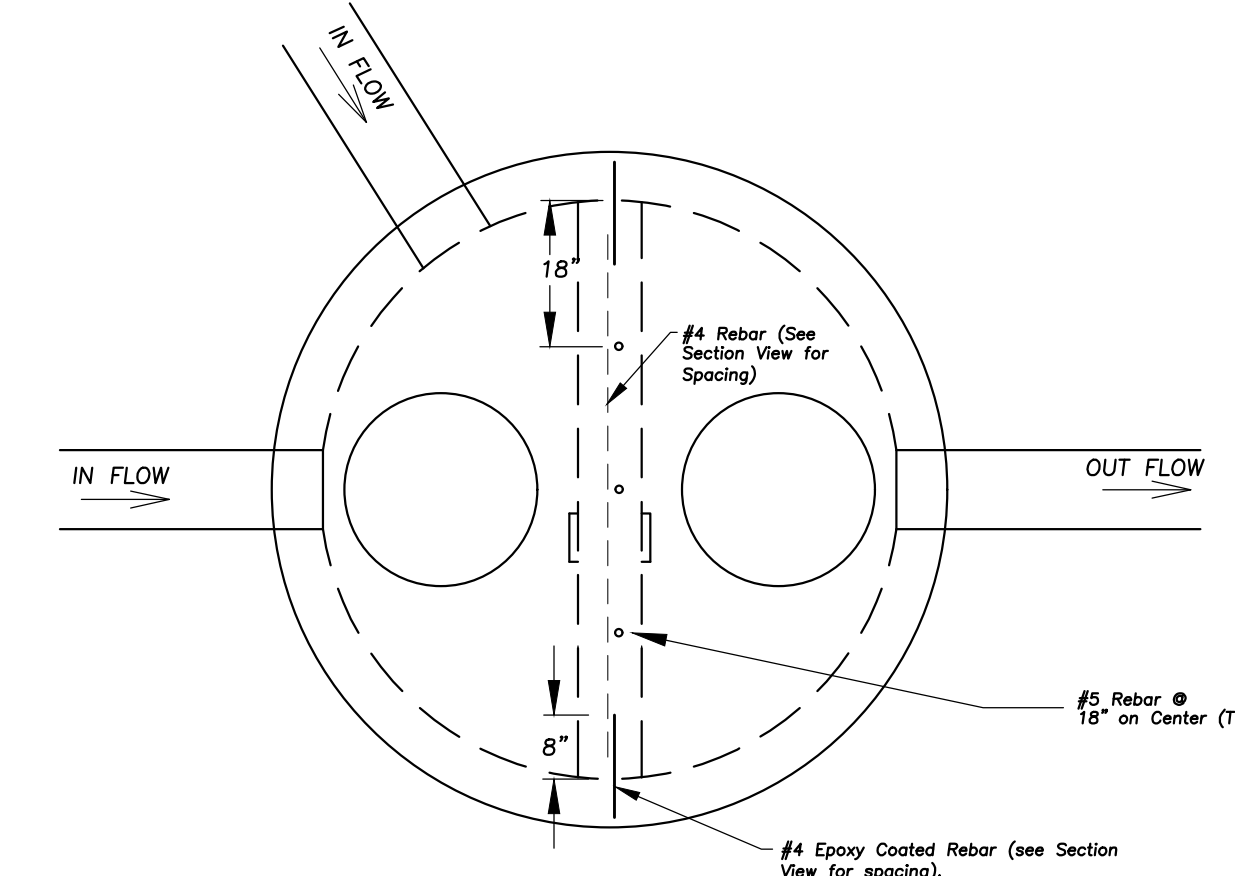
SYNTHETIC TURF DETAIL



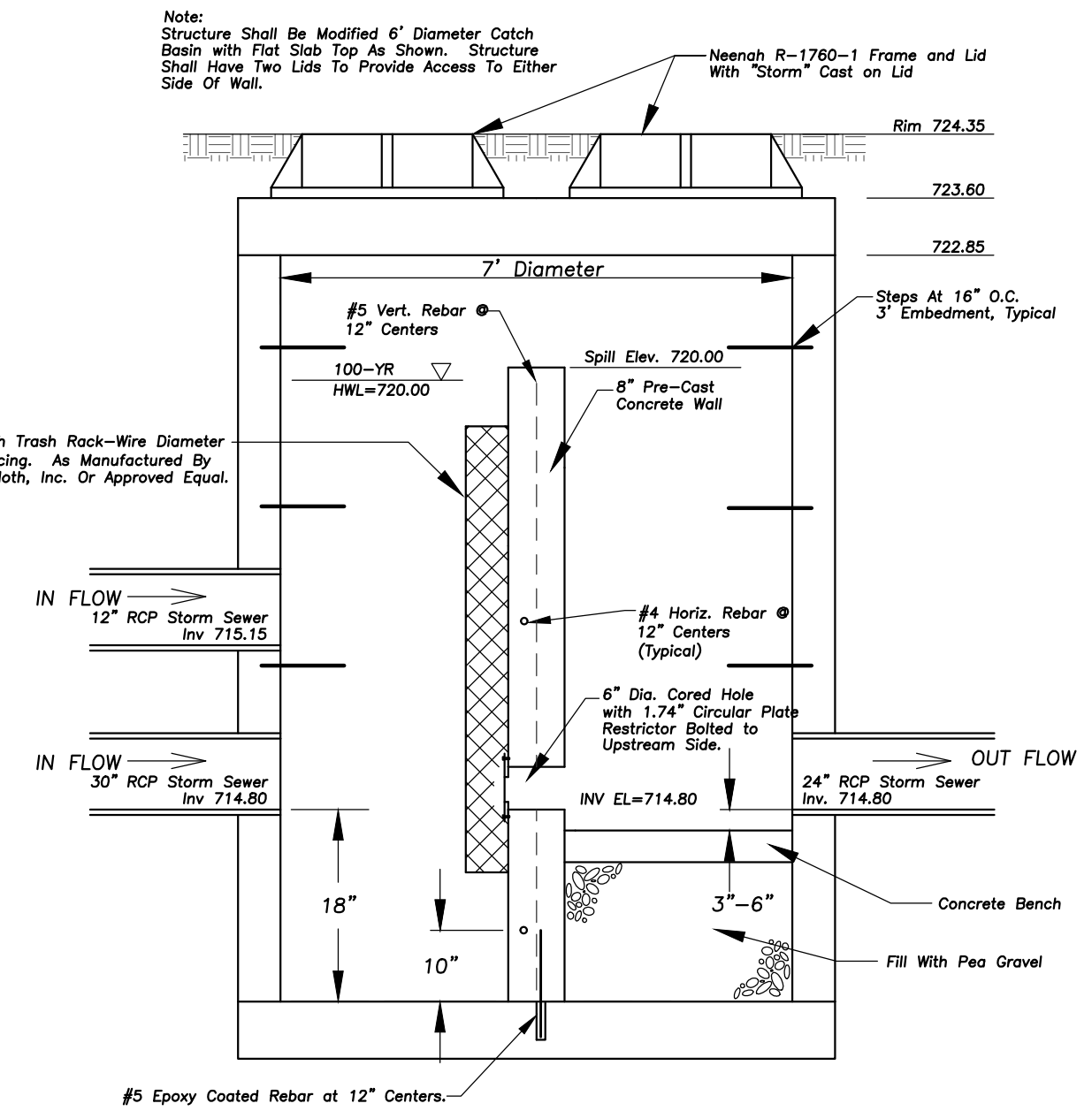
SYNTHETIC TURF AT FOUNDATION DETAIL



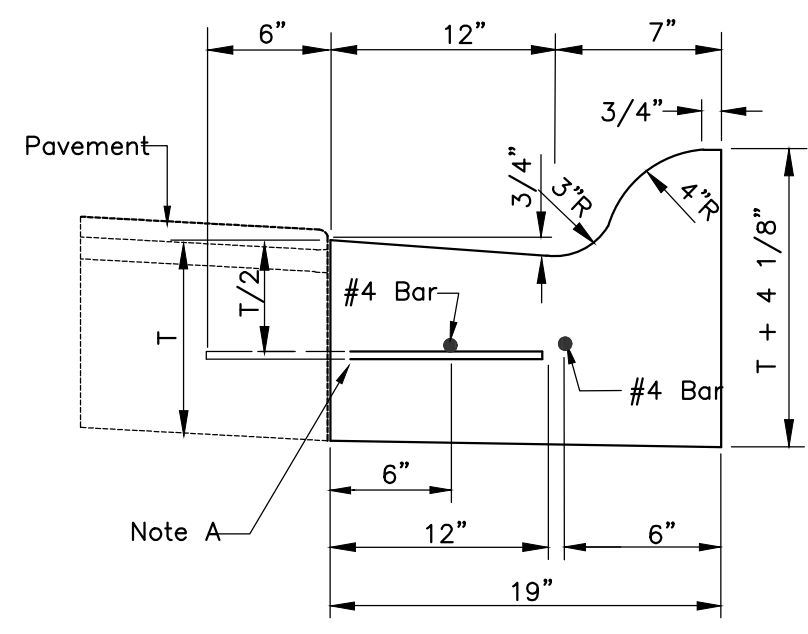
STANDARD SEWER AND WATER TRENCH SECTION



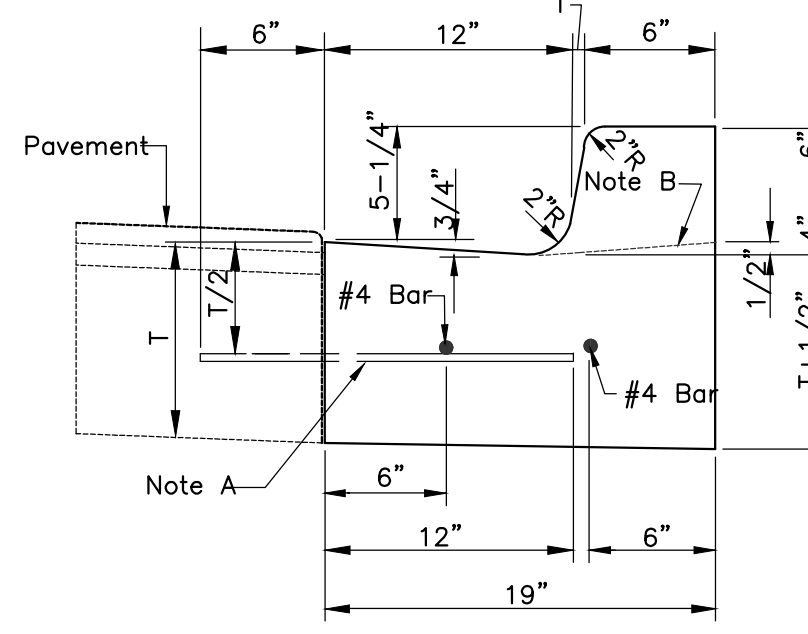
RESTRICTOR STRUCTURE



RESTRICTOR STRUCTURE



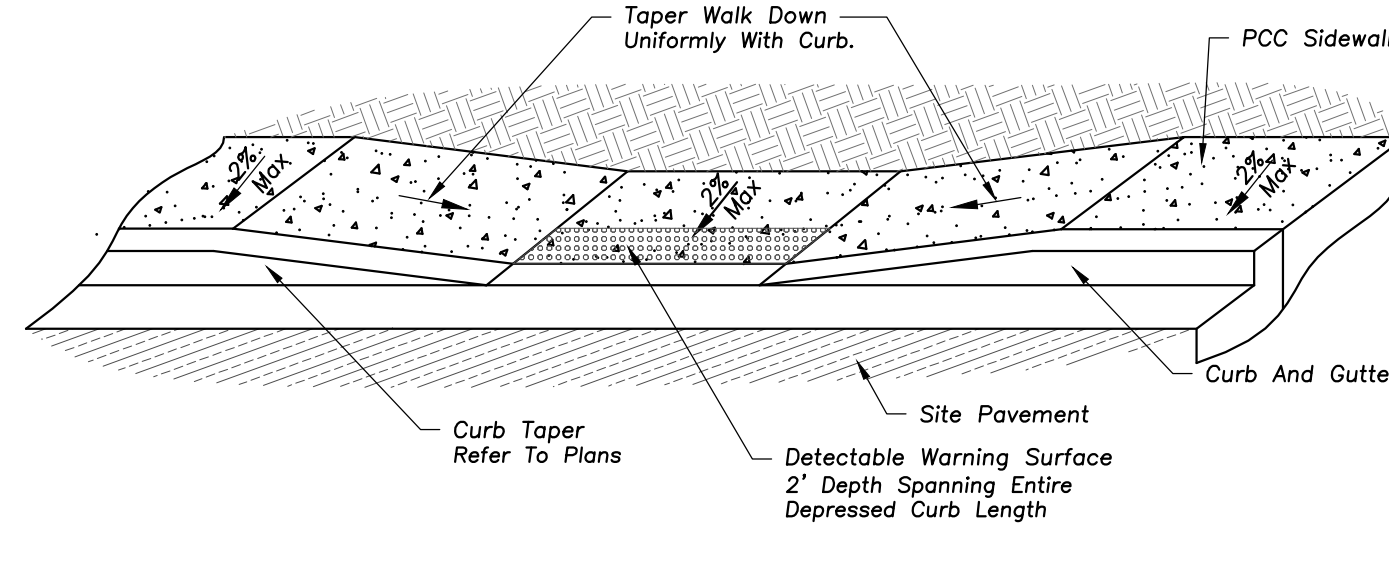
ROLL TYPE CURB



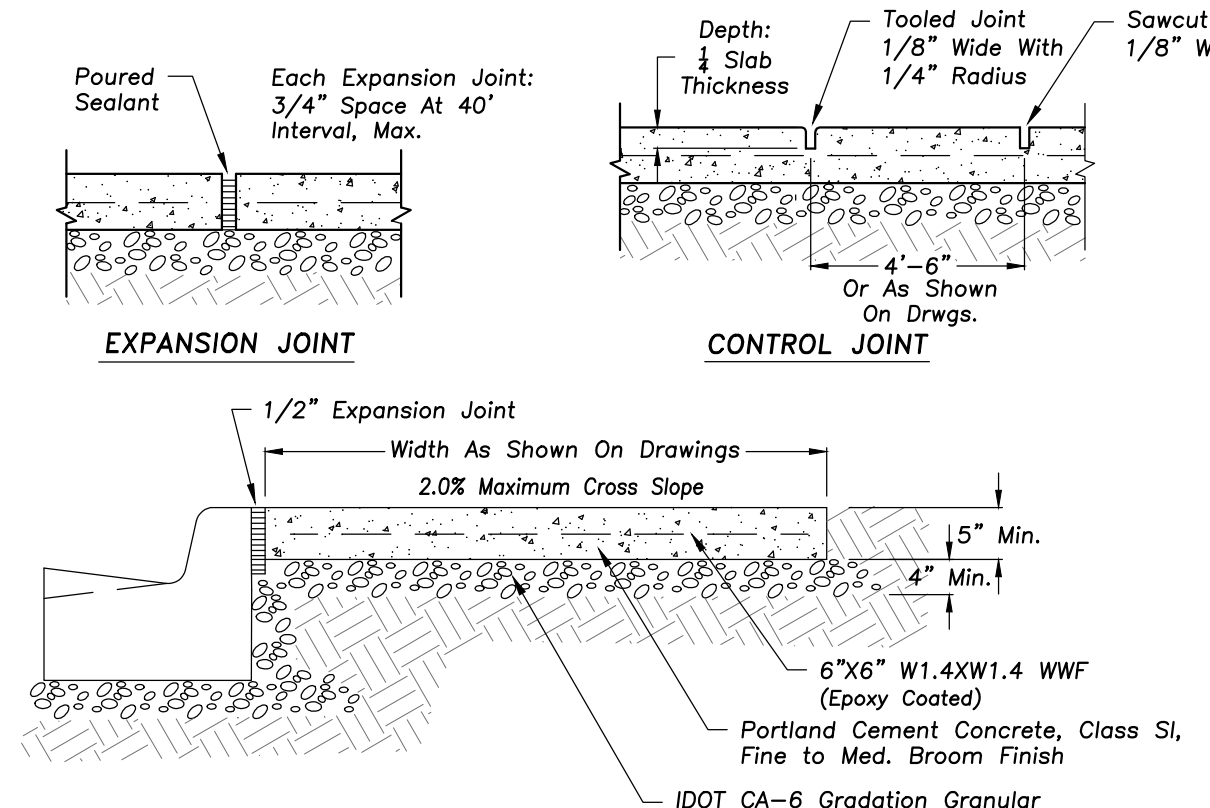
B-6.12 CURB & GUTTER

NOTES:
 1. 2-#4 Longitudinal Bars 20 Feet In Length With 12" Overlaps, At 60' Intervals, Except At Expansion Joints.
 2. Expansion Joints Shall Be A Minimum Of 3/4" Preformed Expansion Material And Shall Be Provided With A 1" Dia. X 18" Coated Smooth Dowel Bar Fitted With A Cap That Will Allow A Minimum Of 1" Of Expansion.
 3. Construction Joints Shall Be Template Formed Or Saw-cut (Within 24 Hours Of Placement Of The Curb) To 1/5th The Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints In An Adjacent Concrete Pavement.

Note "a"
 1/2" Dia. Steel Tie Bars @ 2'-6" Centers Grouted In Place Of 5/8" Dia. J-bolts Anchored In Place. (omit For Bituminous Base Course)
 Note "b"
 Profile For Depressed Curb @ Driveways And Ramps



DEPRESSED ACCESSIBLE LANDING DETAIL



PORTLAND CEMENT CONC. SIDEWALK

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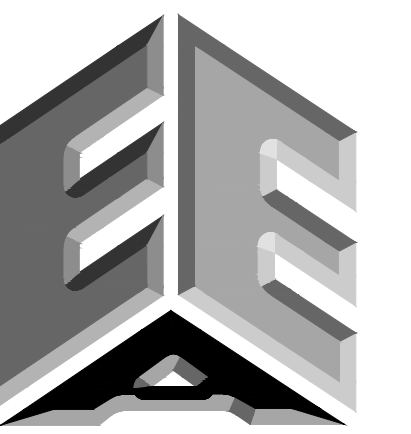
PATTON ELEMENTARY SCHOOL
 BUILDING ADDITION AND RENOVATIONS
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

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 JOSHUA J. COO
 062-071456
 REGISTERED PROFESSIONAL ENGINEER
 OF ILLINOIS

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DESIGN BY: LMR APPROVED BY: JC DATE: 05/22/23
 SHEET TITLE: SITE WORK DETAILS
 SHEET NO.: C602

EEA - P:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 5/19/23 @ 9:50am By: irasibubur

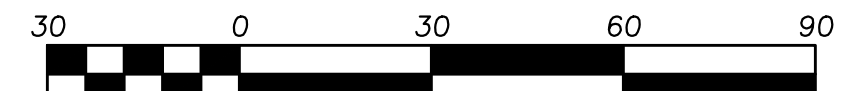
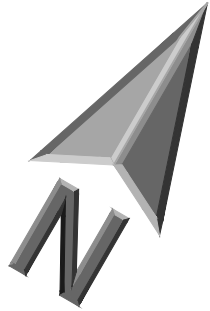


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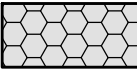

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



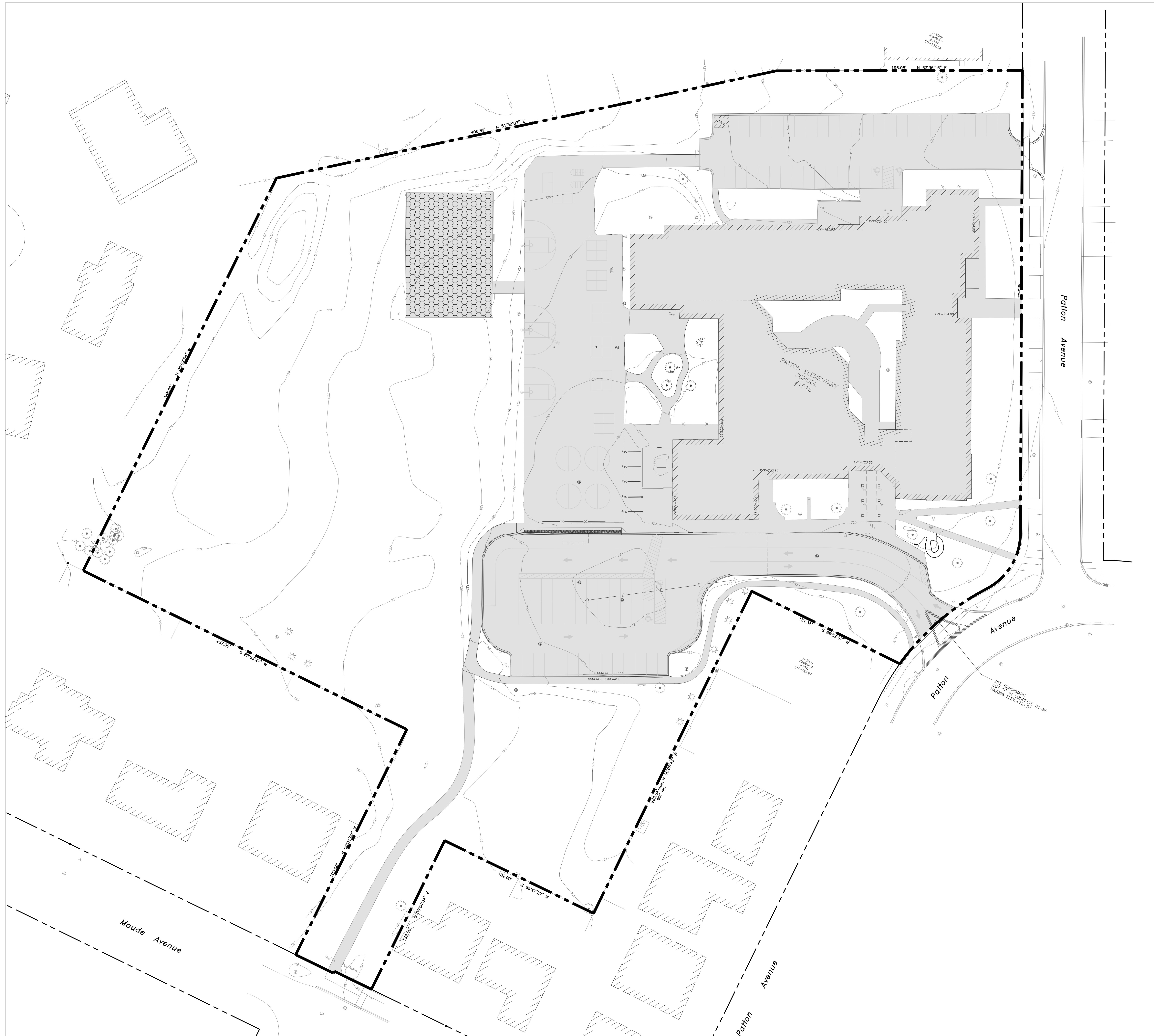
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EXHIBIT LEGEND

-  IMPERVIOUS AREA
-  PERMEABLE PLAYGROUND AREA
-  PROPERTY LINE
330,927 SF
7.60 ACRES

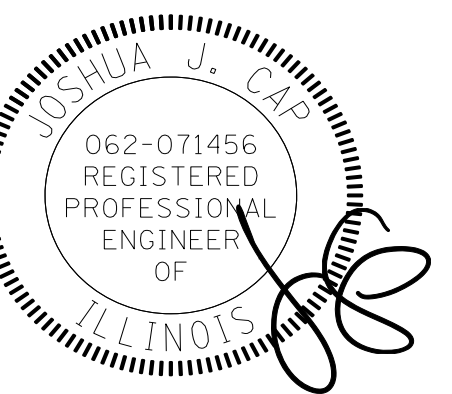
EXISTING SITE CONDITIONS

- IMPERVIOUS AREA
130,085 SF = 3.00 ACRES
- PERMEABLE PLAYGROUND AREA
6,800 SF = 0.16 ACRES
- PERVIOUS AREA
193,442 SF = 4.44 ACRES
- RUNOFF COEFFICIENT
C = 0.68



EXISTING CONDITIONS

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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:

**EXISTING SITE
COVERAGE**

Sheet No:

CX101



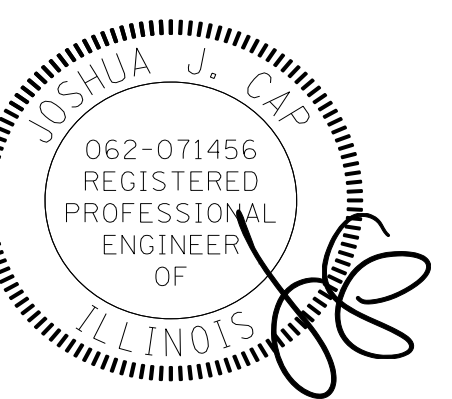
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PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

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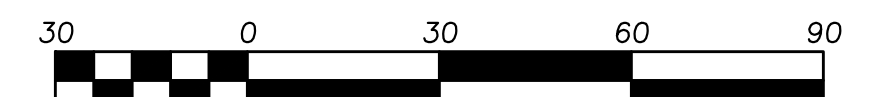
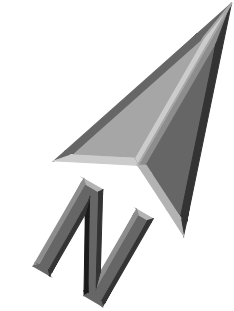
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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**PROPOSED SITE
COVERAGE**

Sheet No.:
CX102



Scale: 1"=30'

EXHIBIT LEGEND

- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- PROPERTY LINE
330,927 SF
7.60 ACRES

PROPOSED SITE CONDITIONS

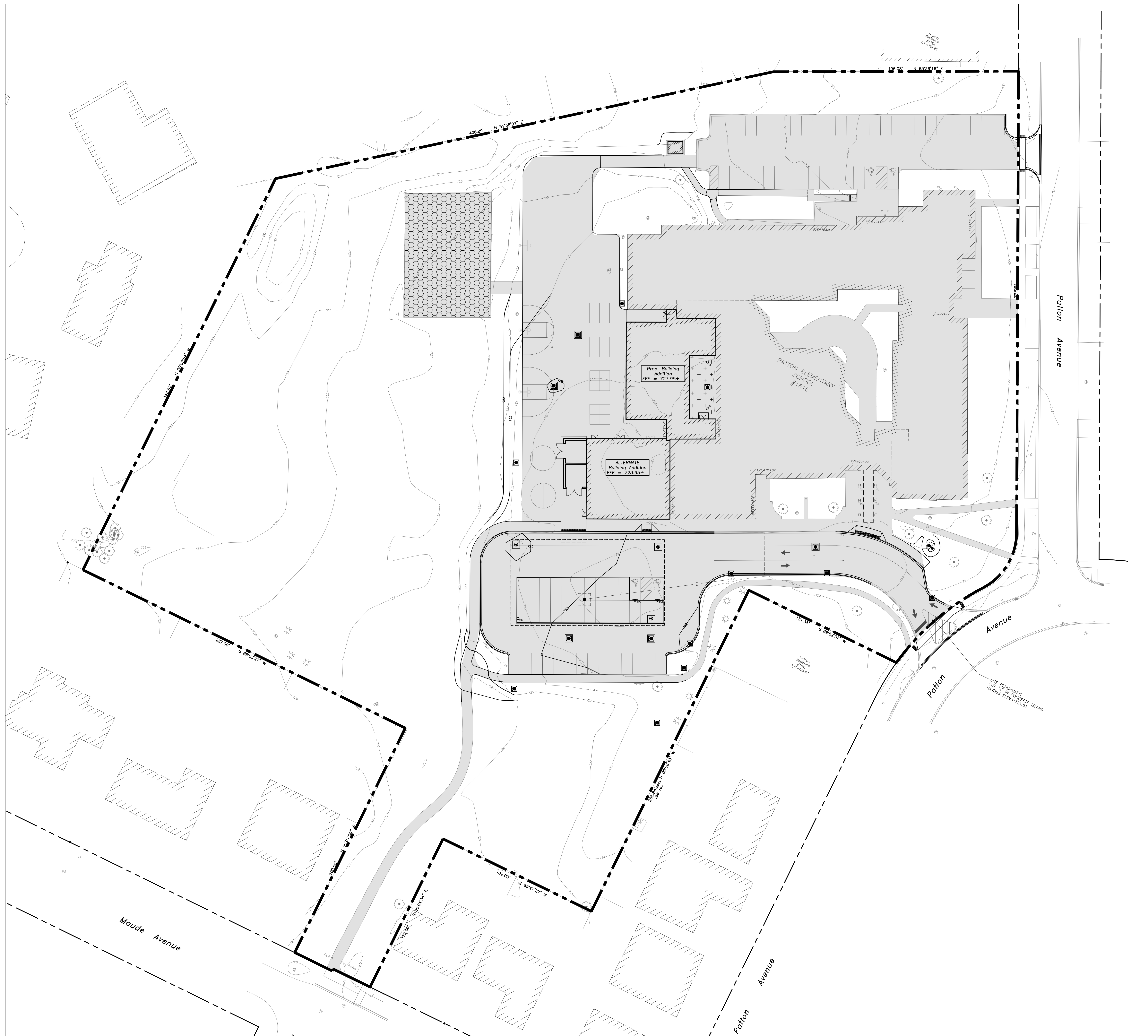
- IMPERVIOUS AREA
135,203 SF = 3.10 ACRES
- PERMEABLE PLAYGROUND AREA
6,800 SF = 0.16 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- PERVIOUS AREA
187,882 SF = 4.31 ACRES
- RUNOFF COEFFICIENT
C = 0.69

SUMMARY

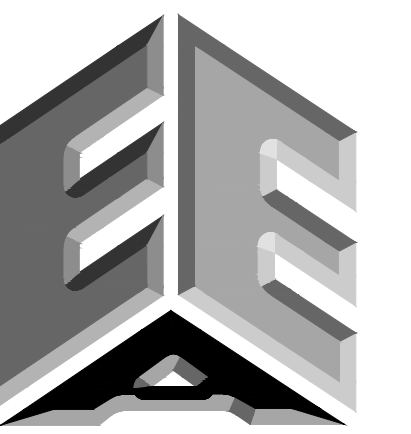
- IMPERVIOUS AREA
= +0.10 ACRES
- SYNTHETIC TURF AREA
= +0.02 ACRES
- PERVIOUS AREA
= -0.12 ACRES

SWM REQUIREMENTS

- VILLAGE:
PROPOSED CONDITIONS (MRM B-75, Village Allowable Release)
= 0.683 AC-TT



EXISTING CONDITIONS

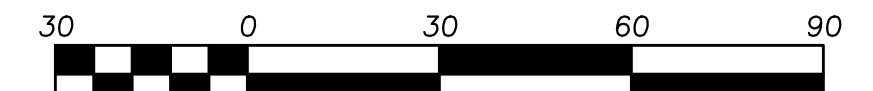
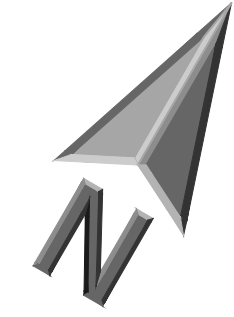


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PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



Scale: 1"=30'

EXHIBIT LEGEND

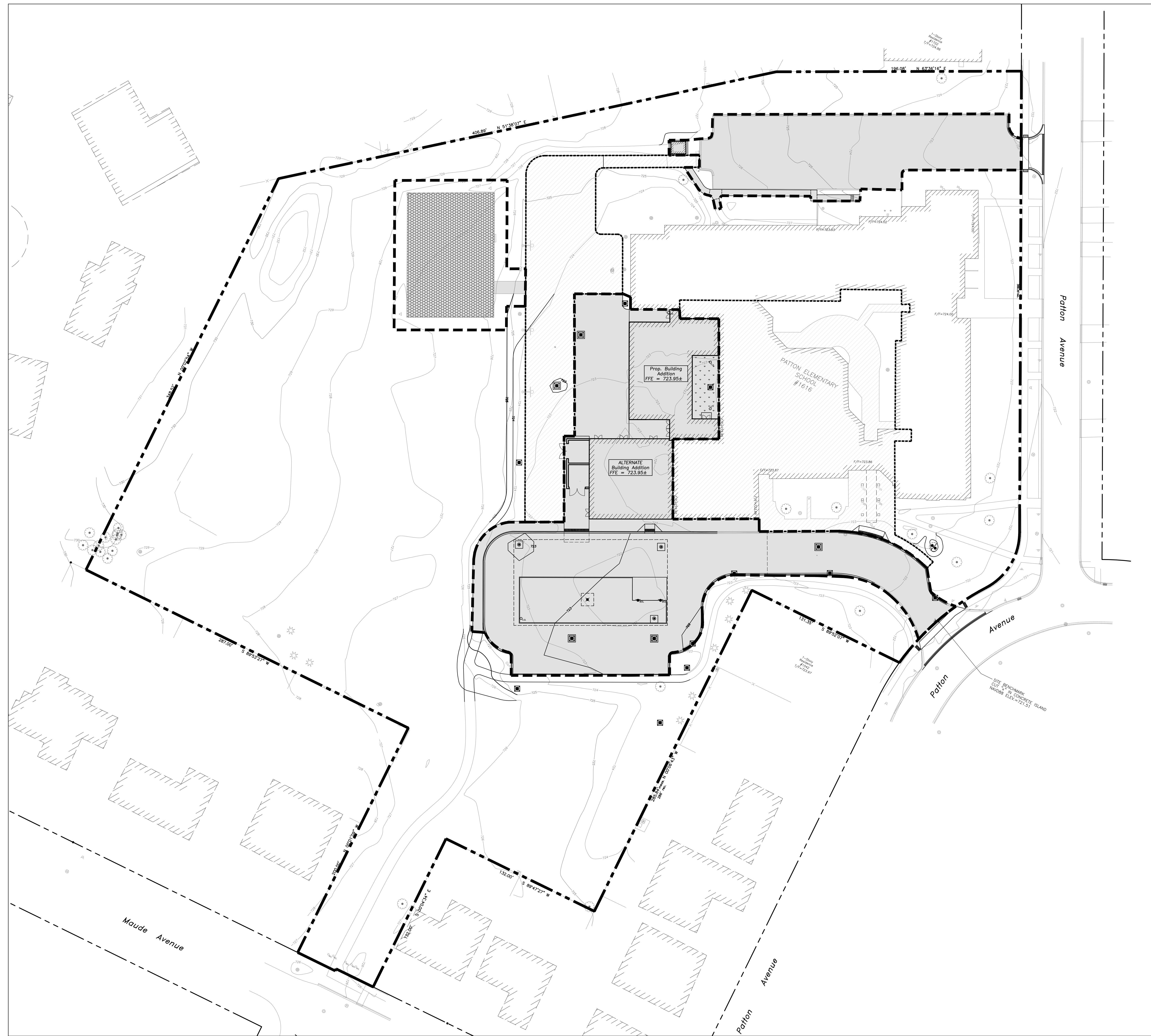
- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- 1990 DEVELOPMENT IMPERVIOUS AREA
- PROPERTY LINE
330,927 SF
7.60 ACRES
- DEVELOPMENT AREA (VILLAGE)
244,100 SF
1.01 ACRES
- 1990 DEVELOPMENT AREA
246,200 SF
1.06 ACRES

PROPOSED CONDITIONS

- 2023 DEVELOPMENT
IMPERVIOUS AREA
31,600 SF = 0.73 ACRES
- PERMEABLE PLAYGROUND AREA
6,960 SF = 0.16 ACRES
- PERVIOUS AREA
4,500 SF = 0.10 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- RUNOFF COEFFICIENT
C = 0.87

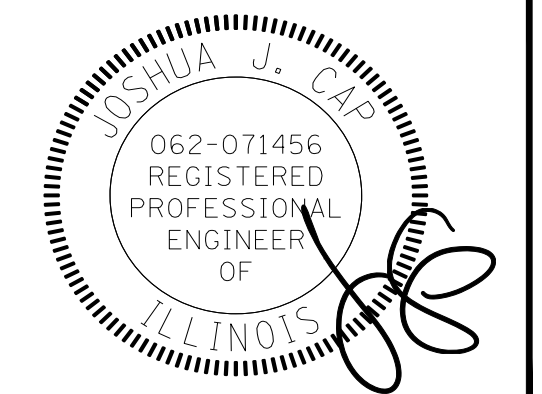
SWM REQUIREMENTS

- VILLAGE:
DETENTION REQUIRED FOR PROPOSED CONDITIONS
(MRM B-75, Village Allowable Release)
= 0.384 AC-FT
- DETENTION REQUIRED FOR 1990 DEVELOPMENT
(Per Record Permit 90-043)
= 0.387 AC-FT
- TOTAL VILLAGE DETENTION REQUIRED
0.384 + 0.387 = 0.771 AC-FT



PROPOSED CONDITIONS

Reserved for Seal



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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
PROPOSED DEVELOPMENT AREA (VILLAGE SWM)

Sheet No:
CX201



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PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

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ARLINGTON HEIGHTS, ILLINOIS

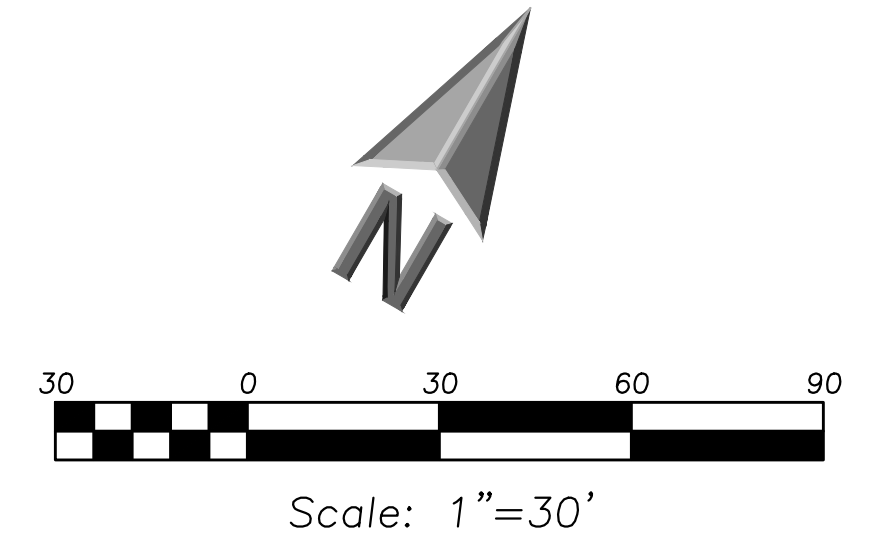
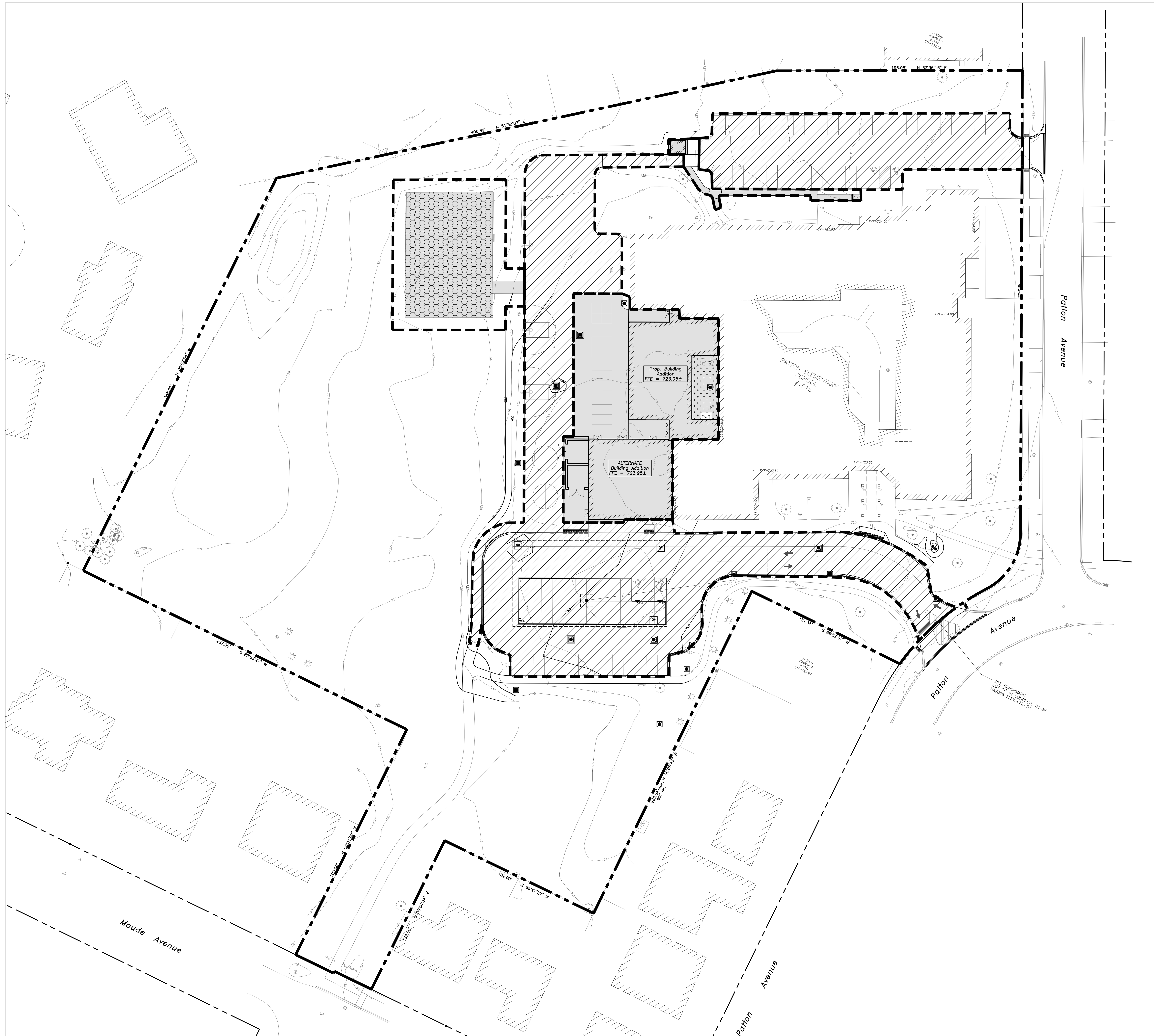


EXHIBIT LEGEND

- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- PAVEMENT MAINTENANCE
(Excluded From SWM Calculations)
±26,100 SF
1.29 ACRES
- PROPERTY LINE
330,927 SF
7.60 ACRES
- DEVELOPMENT AREA (MWRD)
±26,100 SF
0.70 ACRES
- MAINTENANCE AREA (MWRD)
±56,000 SF
1.29 ACRES

PROPOSED CONDITIONS

- IMPERVIOUS AREA
18,080 SF = 0.42 ACRES
- PERMEABLE PLAYGROUND AREA
6,960 SF = 0.16 ACRES
- PERVIOUS AREA
4,500 SF = 0.10 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- RUNOFF COEFFICIENT
C = 0.80

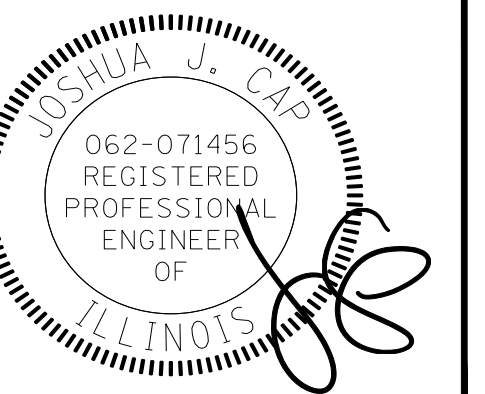
SWM REQUIREMENTS

- MWRD:**
- PROPOSED DEVELOPMENT AREA (NOMO B-75)
CN = 83.63
Release Rate = 0.14 CFS (0.20 CFS/AC, MWRD Allowable)
 - VOLUME CONTROL**
Req'd = 0.035 AC-FT
Provided = 0.052 AC-FT
C_{Reduction} = 87.94
 - REQ'D DETENTION VOLUME**
Req'd Volume = 0.279 AC-FT

PROPOSED CONDITIONS

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 05/19/23 @ 9:58am By: jrosenbauer

Reserved for Seal

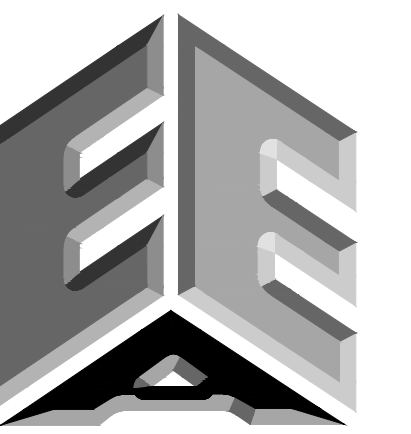


No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

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 Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**PROPOSED
 DEVELOPMENT AREA
 (MWRD SWM)**

Sheet No:
CX202

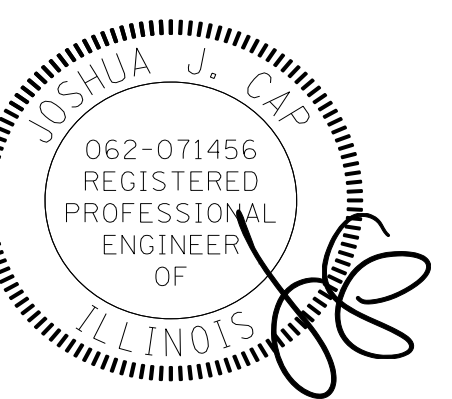


**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal



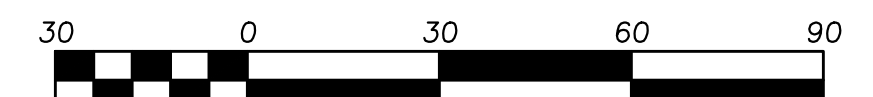
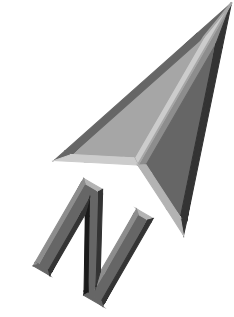
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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**TRADE OFF AREA
(VILLAGE SWM)**

Sheet No:
CX203



Scale: 1"=30'

EXHIBIT LEGEND

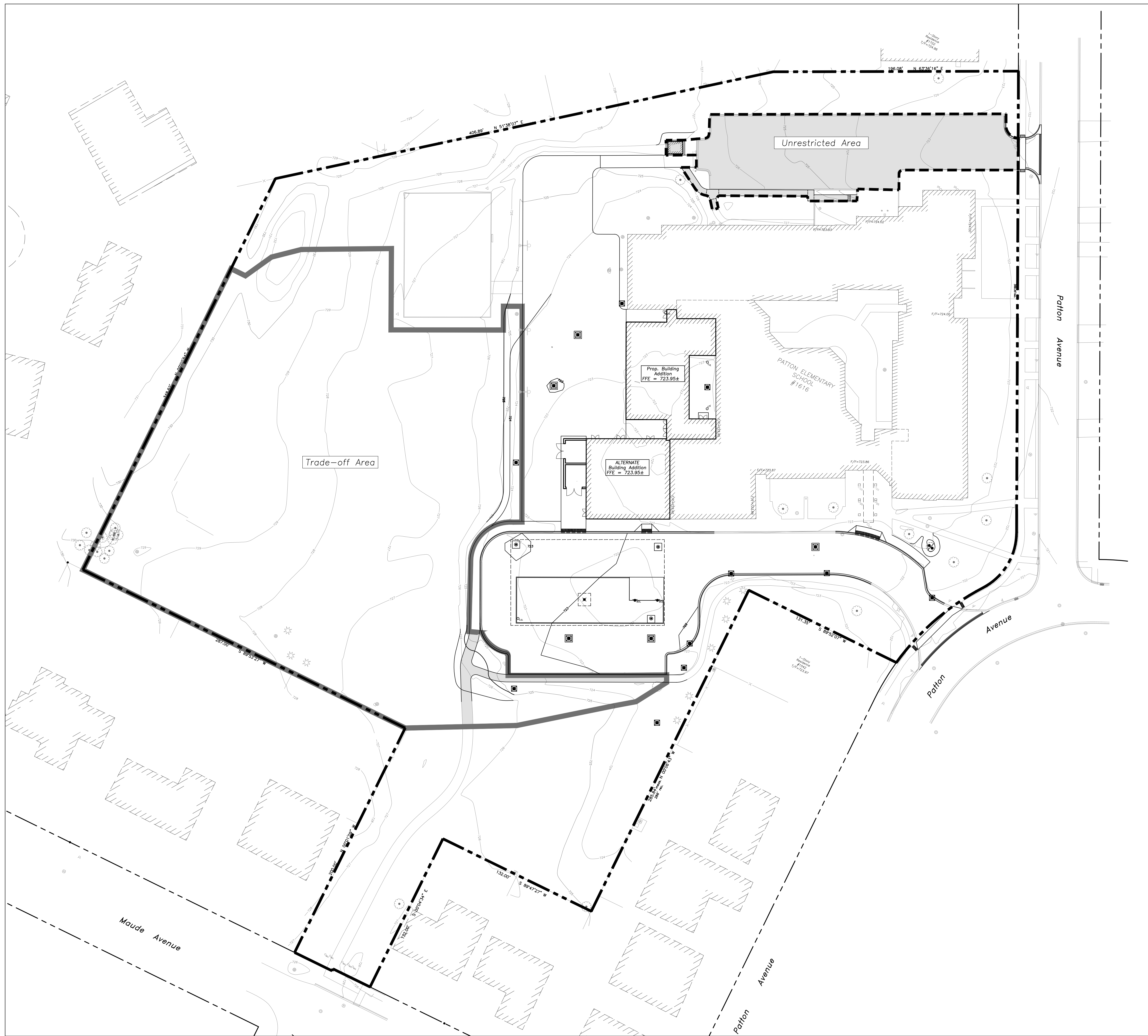
- IMPERVIOUS AREA
- TRADE OFF AREA
= 93,825 SF
2.13 ACRES
- UNRESTRICTED AREA
= 40,510 SF
0.93 ACRES

TRADE OFF AREA

- IMPERVIOUS AREA
17,000 SF = 0.20 ACRES
- PERVIOUS AREA
96,340 SF = 1.95 ACRES
- CURVE NUMBER
CN = 81.67

RUNOFF VOLUME

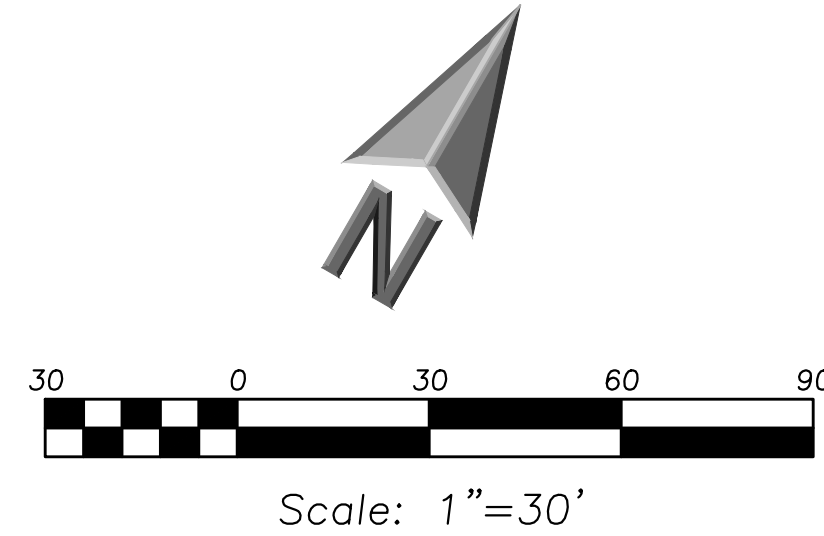
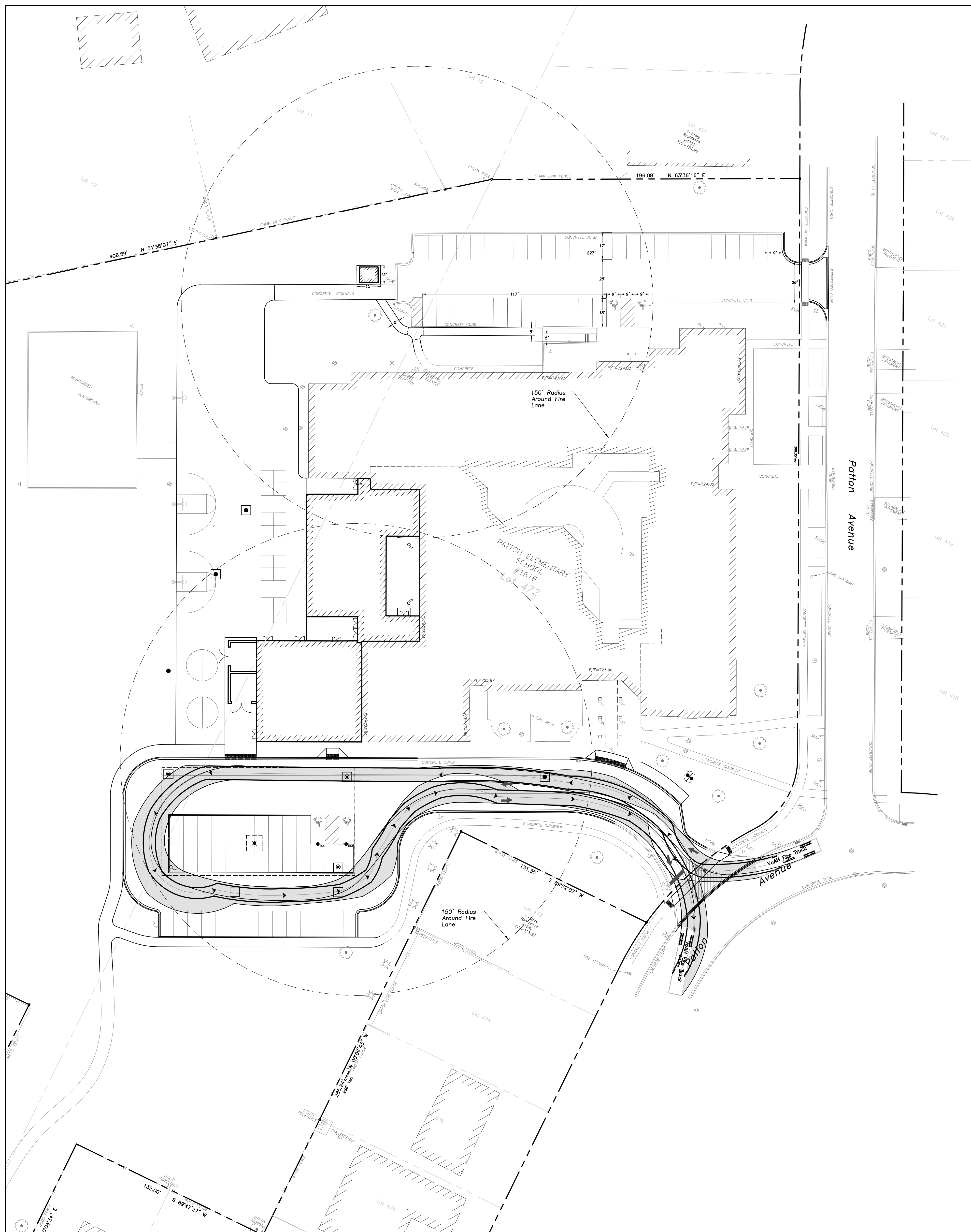
- TRADE OFF RUNOFF VOLUME (NRCS RUNOFF EQUATIONS)
= 1.14 AC-FT
- UNRESTRICTED RUNOFF VOLUME (NRCS RUNOFF EQUATIONS)
= 0.65 AC-FT



PROPOSED CONDITIONS

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 05/19/23 @ 9:58am By: jrosenblum

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 05/19/23 @ 10:00am By: jrossenbauer



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**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

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No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

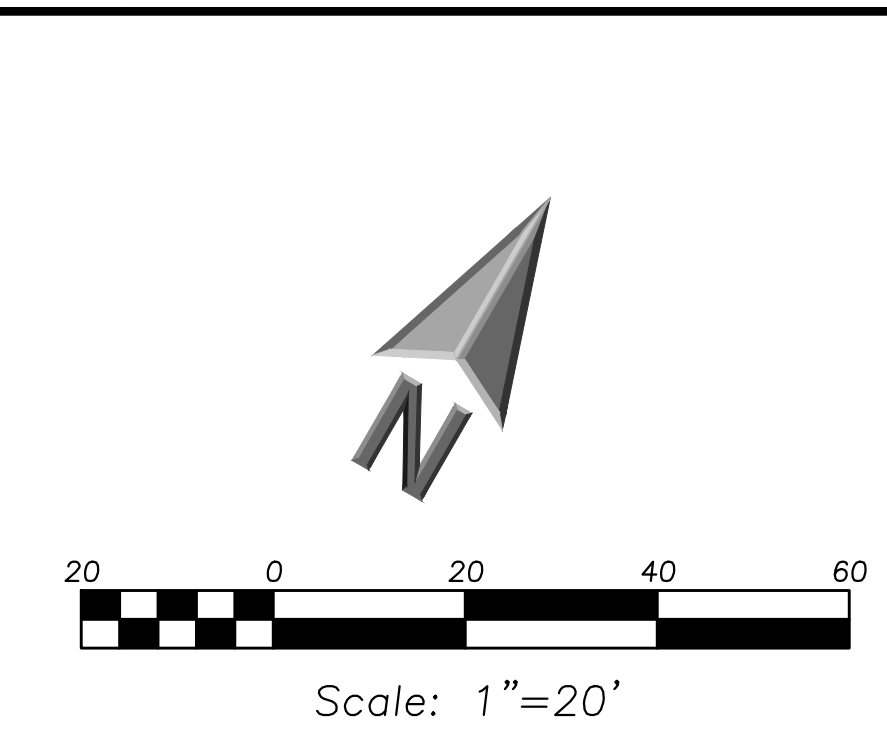
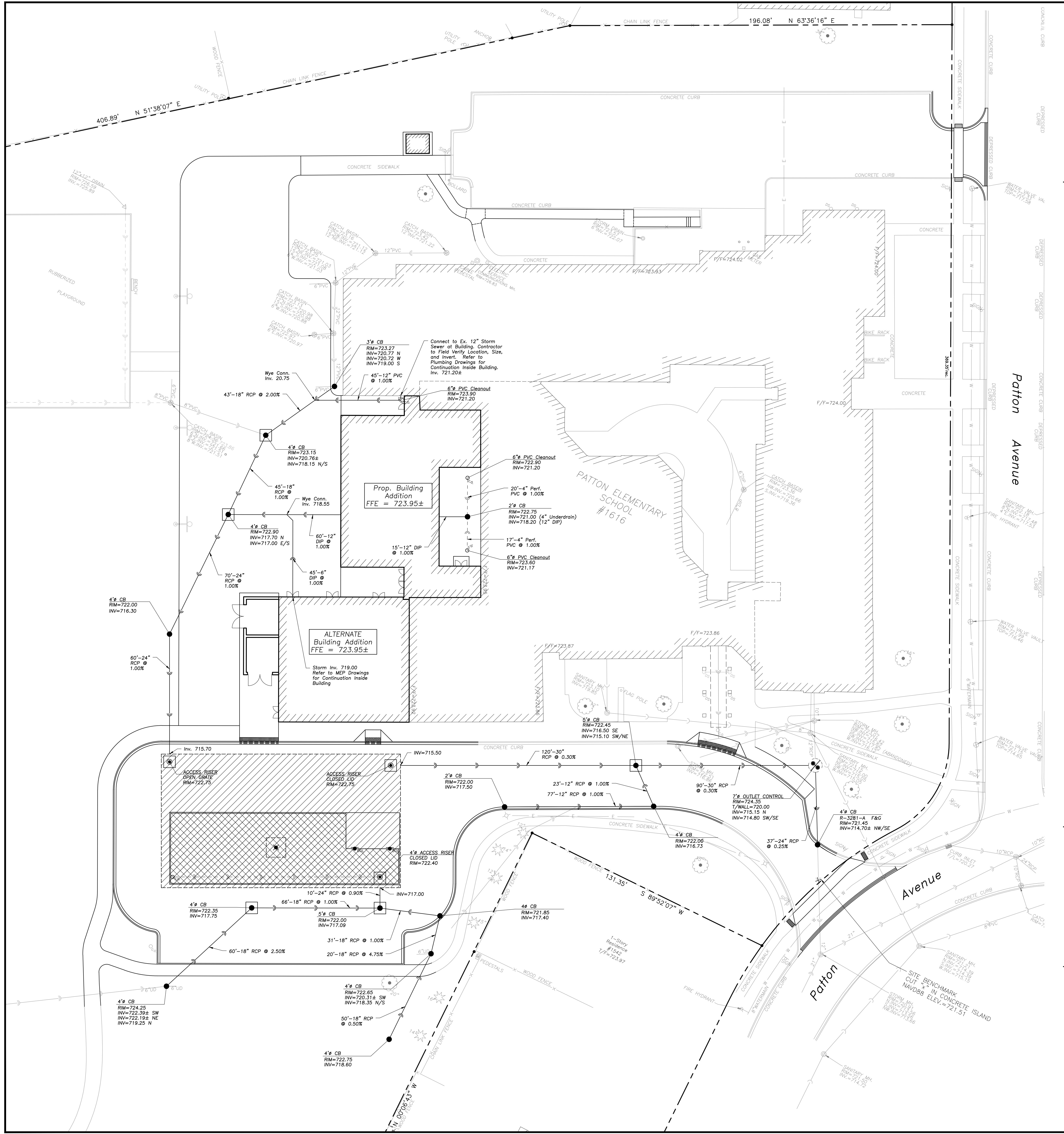
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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**FIRE TRUCK
EXHIBIT**

Sheet No:
CX401

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS



POST-CONSTRUCTION OPERATION AND MAINTENANCE

The Owner of This Development, With Facilities As Shown On This Exhibit, Shall Assume Responsibility For The Following Perpetual Maintenance Activities:

- General**
Regular Inspections And Routine Maintenance Of General Areas Shall Be Performed On A Monthly Or As-Needed Basis. Specific Items Of Concern Include:
 - Litter And Debris Shall Be Controlled
 - Landscaped Areas Shall Be Maintained With Regular Mowing And Restored With Appropriate Seedings / Vegetation As Necessary
 - Accumulated Sediment Shall Be Disposed Of Properly, Along With Any Wastes Generated During Maintenance Operations
 - Riprap Areas Shall Be Repaired With The Addition Of New Riprap, As Necessary, Of Similar Size And Shape
 - Roads Shall Be Swept, Vacuumed And/Or Washed On A Regular Basis
- Stormwater Management Facilities**
All Components Of The Stormwater Management Facilities Shall Be Checked Monthly Between March And November And Maintained As Necessary To Ensure Proper Performance. It Is Critical That All Inflows And Outflows To The Detention Facility Are Clean And Performing As Designed. In Addition, The Design Volume Of The Detention Facility Shall Also Be Maintained. Inspections For The Following Specific Items Should Be Conducted Monthly Between March And November:
 - Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
 - Remove Accumulated Sediment At Outlet
 - Scour And Erosion At Outlet, Repair And Reseal
 - Any Ice Damage To Outlet Or Pipes, Repair If Necessary
 - Condition Of Trash Racks, Remove Debris
 - Outlet Pipe Condition Downstream
- Outlet Control Structure**
Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
- Access For Maintenance Equipment**
Remove Any Obstructions Placed In Maintenance Easements
- Safety Features**
Access Controls To Hazardous Areas
Fences
Loose Or Damaged Posts
Loose Or Broken Wires
Condition Of Gates
Signs
- Detention Volume**
Inspect All Stormwater Detention Facilities To Ensure That The Constructed Volume For Detention Is Maintained. No Sediment, Topsoil, Or Other Dumping Into The Facility Shall Be Allowed. Specific Locations In The Stormwater Management System Design To Accumulate Sediment, Shall Be Dredged As Necessary To Prevent Sediment From Reaching The Invert Of Any Gravity Outlet Pipe.
 - Facility Shall Be Inspected Yearly Using The Monitoring Well To Verify The System Is Functioning Properly.
 - Surfaces Of Permeable Pavement Shall Be Cleaned With Low-Pressure Power Washer.
 - Accumulated Sediment From The Surface Shall Be Vacuumed Out And Disposed Of Properly.
 - Appropriate Signage Shall Be Repaired If Damaged Or Illegible
 - Do Not Seal Coat Permeable Pavements.
- Stormwater Collection System**
The Owner Shall Perform Monthly Inspections Of All Components Of The Stormwater Collection System. The Monthly Inspection Shall Occur Between March And November And Include The Following Specific Areas Of Concern:
 - Storm Inlets/Manholes**
 - Remove Accumulated Leaves And Other Debris From Grates
 - Reset Covers/Lids On As-Needed Basis
 - Remove Accumulated Sediment From Manhole Bottom When 50% Of Sump Is Filled
 - Storm Sewers/Outlets**
 - Visually Inspect Pipes By Removing Manhole Lids, Make Repairs As Necessary
 - Storm Sewers And Culverts Shall Be Checked For Siltation Deposits At Inlets, Outlets, And Within The Conduit. Clean Out As Necessary
 - Restoring Riprap At Outfalls If Erosion Observed
 - Replant And Reseed Any Eroded Areas

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Bollard	Bollard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
SideWalk Elevation	SideWalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Sewer	Sewer
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

SEQUENCE OF MAJOR CONSTRUCTION EVENTS

- Volume Control Practices Should Be Installed Toward The End Of The Construction Period.
- The Contributing Drainage Area Must Be Stabilized Prior To The Installation Of The Volume Control Practice.
- Volume Control Facilities Must Be Protected With A Double-Row Of Silt Fence (Or Equivalent Measure) During Construction. The Two Layers Of Silt Fence Should Be Placed At Least 5 Feet Apart And Must Follow The Illinois Urban Manual.
- In General, Volume Control Facilities Should Not Be Used As Temporary Sediment Traps During Construction. For Sites Where This Is Not Practicable, Special Construction Notes And Details Are Required To Protect The Functionality Of The Facility.

POST-CONSTRUCTION OPERATION AND MAINTENANCE LEGEND

[Symbol]	DETENTION FACILITY
[Symbol]	VOLUME CONTROL

GENERAL NOTES

- The Location Of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information And Is Given For The Convenience Of The Contractor. However, The Owner And The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, And That The Actual Location Of Those Which Are Shown May Differ From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay Of Any Discrepancies Between The Drawings And Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services For The Project Area.
- Notify The Owner, Engineer And The Village Of Arlington Heights A Minimum Of 48 Hours In Advance Of Performing Any Work.
- All Areas, On Or Off Site, Disturbed During Construction Operations And Not Part Of The Work As Shown Hereon Shall Be Restored To Original Condition To The Satisfaction Of The Owner At No Additional Cost To The Owner. It Is Incumbent Upon Contractor To Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) To Stake All Site Improvements Accordingly. Contractor Shall Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, Or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, And Coordinate All Dimensions And Locations Of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

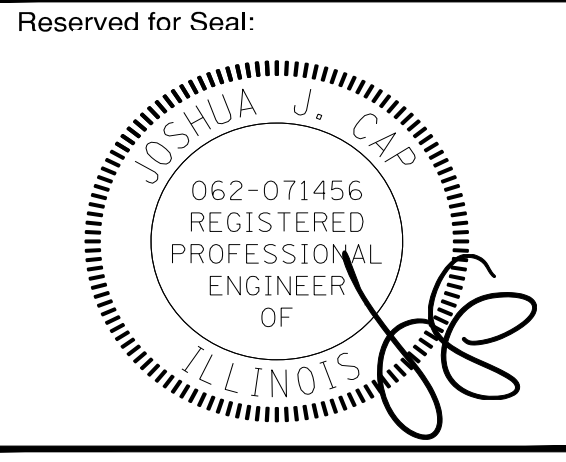
SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
515 Palatine Road
Monument 32
3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South Of The Centerline Of Frontage Road (Palatine Road) And 21'± East Of The Centerline Of Fernandez Avenue (Stamped 114B)
NAVD88 Elevation = 713.78
SITE BENCHMARK:
Survey Control Point, Cut "X" in Concrete Island
NAVD88 Elevation: 721.51, NAVD88
Easting: 1079702.92
Northing: 1981620.54

J.U.L.I.E.
Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



No.	Date	Description
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OPERATION AND MAINTENANCE EXHIBIT

Sheet No: **CXM-01**