

VILLAGE OF ARLINGTON HEIGHTS

ORDINANCE NO. 2023-_____

AN ORDINANCE AMENDING A SPECIAL USE PERMIT, AMENDING A LAND USE
VARIATION, AND GRANTING A VARIATION FOR A BUILDING EXPANSION
AT PATTON ELEMENTARY SCHOOL
(1616 N. Patton Avenue)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF ARLINGTON HEIGHTS
THIS ____ DAY OF _____, 2023.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Arlington Heights,
Cook County, Illinois this
_____ day of _____, 2023

Village Clerk

AN ORDINANCE AMENDING A SPECIAL USE PERMIT, AMENDING A LAND USE
VARIATION, AND GRANTING A VARIATION FOR A BUILDING EXPANSION
AT PATTON ELEMENTARY SCHOOL
(1616 N. Patton Avenue)

WHEREAS, Arlington Heights School District 25 (“*Applicant*”) is the owner of record of that certain property located in both the R-3 One Family Dwelling District (“*R-3 District*”) and the P-L Public Lands District (“*P-L District*”), commonly known as 1616 North Patton Avenue, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance (“*Property*”); and

WHEREAS, the Property is currently used for an elementary school, and is improved with an elementary school building, parking lots, and other related improvements (collectively, the “*Existing Improvements*”); and

WHEREAS, in 1990, the President and Board of Trustees adopted Ordinance No. 90-087, granting, among other things, a special use permit for the operation of an elementary school on the portion of the Property in the R-3 District (“*Original Zoning Approvals*”); and

WHEREAS, in March of 2023, the President and Board of Trustees adopted Ordinance No. 23-010 (together with the Original Zoning Approvals, the “*Existing Zoning Approvals*”), amending the special use permit portion of the Original Zoning Approvals to authorize the further expansion of the elementary school on the portion of the Property in the R-3 District, granting a land use variation to allow the portion of the Property within the P-L District to be used as an elementary school, and approving certain related variations from “The 2002 Comprehensive Amendment of the Zoning Ordinance of the Village of Arlington Heights,” as amended (“*Zoning Code*”); and

WHEREAS, the Applicant desires to expand the elementary school building on the Property with an approximately 4,350 square foot gymnasium, to create an additional indoor gym court area, a gym office, and storage space (collectively, the “*Proposed Improvements*”); and

WHEREAS, pursuant to Section 5.5-1 of the Zoning Code, the portion of the Property in the R-3 District may only be used for an expanded elementary school upon issuance by the Village Board of Trustees of an amendment to the Existing Zoning Approvals; and

WHEREAS, pursuant to Section 5.5-1 of the Zoning Code, the Applicant may not expand the use of the portion of the Property in the P-L District for an elementary school except upon issuance by the Board of Trustees of a land use variation; and

WHEREAS, pursuant to Section 6.12-1 of the Zoning Code, for projects requiring Plan Commission review, a traffic study and parking analysis prepared by a qualified professional engineer or prepared in a manner acceptable to the Village is required for certain special use or land use variations; and

WHEREAS, the Applicant desires to construct the Proposed Improvements without providing the traffic study or parking analysis, in violation of Section 6.12-1 of the Zoning Code; and

WHEREAS, pursuant to Sections 8 and 12 of the Zoning Code, the Applicant has filed an application for approval of: (i) an amendment to the special use permit portion of the Existing Zoning Approvals to permit the construction and use of the Proposed Improvements on the portion of the Property in the R-3 District, (ii) an amendment to the land use variation portion of the Existing Zoning Approvals to allow the construction and use of the Proposed Improvements on the portion of the Property in the P-L

District; and (iii) a variation from Section 6.12-1 of the Zoning Code to permit the construction of the Proposed Improvements on the Property (collectively, the “*Requested Relief*”); and

WHEREAS, a public hearing of the Plan Commission of the Village to consider approval of the Requested Relief was duly advertised in the *Daily Herald* on August 29, 2023, and held on September 13, 2023; and

WHEREAS, on September 13, 2023, the Plan Commission made findings and recommendations in support of the Requested Relief, with conditions; and

WHEREAS, the President and Board of Trustees have determined that the Requested Relief meets the required standards for special use permits and variations as set forth in Sections 8.2 and 12.2 of the Zoning Code; and

WHEREAS, the President and Board of Trustees have determined that it will serve and be in the best interest of the Village to grant the Requested Relief, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. GRANT OF SPECIAL USE PERMIT AMENDMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 8 of the Zoning Code and the home rule powers of the Village, the Village hereby grants an amendment to the Existing Zoning Approvals to the Applicant for the construction and use of the Proposed Improvements on the portion of the Property in the R-3 District.

SECTION 3. GRANT OF LAND USE VARIATION AMENDMENTS AND VARIATIONS. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 12 of the Zoning Code and the home rule powers of the Village, the Village hereby grants the following amendment to the Existing Zoning Approvals, as well as the following variation, to the Applicant in connection with the Proposed Improvements of the Property:

- A. Elementary School Gymnasium. The land use variation portion of the Existing Zoning Approvals is amended to permit the construction and use of the Proposed Improvements on the portion of the Property in the P-L District.
- B. Traffic Engineering Approval Waived. A variation from Section 6.12-1 of the Zoning Code to waive the requirement to provide a traffic study and parking analysis prepared by a qualified professional engineer.

SECTION 4. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Code, the approvals granted pursuant to Sections 2 and 3 of this Ordinance are hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions:

- A. Compliance with Regulations. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and the Property must comply at all times with all applicable Federal, State, and Village statutes, codes, ordinances, and regulations, as the same have been or may be amended from time to time.

- B. Compliance with Plans. Except for minor changes and site work approved by the Village Director of Building & Life Safety (for matters within their permitting authority) in accordance with all applicable Village standards, and except as landscaping must be modified pursuant to Section 4.C of this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and of the Property must be substantially compliant with the following plans (collectively, the “Plans”):
 - 1. The Architectural Plan, prepared by STR Partners, LLC and consisting of four sheets, with a last revision date of June 27, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit B; and
 - 2. The Engineering Plan, prepared by Eriksson Engineering Associates, Ltd. consisting of 20 sheets, with a last revision date of May 22, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit C; and
 - 3. The Landscape Plan, prepared by Eriksson Engineering Associates, Ltd. consisting of one sheet, with a last revision date of May 22, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit D; and
 - 4. The Photometric Plan, prepared by KSA Lighting & Controls consisting of four sheets, with a last revision date of May 25, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit E.

- C. Modify Landscaping. The Applicant must modify the landscaping proposed at the southern end of the south parking lot to increase the height of the plantings to six feet in height and substitute the deciduous shrubs with evergreens to provide for year-round screening.

- D. Design Commission. The Applicant must comply with all conditions imposed by the Village Design Commission at its meeting on August 8, 2023.

SECTION 5. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded on title to the Property with the Cook County Clerk’s Recording Division. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon the Applicant and each of its heirs, representatives, successors, and assigns.

SECTION 6. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approvals granted in Sections 2 and 3 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approvals granted in Sections 2 and 3 of this Ordinance unless they first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the R-3 District and the P-L District, and the

applicable provisions of the Village Code, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such enforcement action as may be appropriate under the circumstances.

SECTION 7. AMENDMENTS. Any amendments to the approvals granted in Sections 2 or 3 of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code.

SECTION 8. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 9. EFFECTIVE DATE.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

1. Passage by the Village President and Board of Trustees in the manner required by law; and
2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of Exhibit F attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.

B. In the event the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 9.A.2 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

AYES:

NAYS:

PASSED AND APPROVED THIS ___ day of _____, 2023

Village President

ATTEST:

Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

PARCEL 1:

LOT A IN LYNNWOOD SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19 AND IN THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

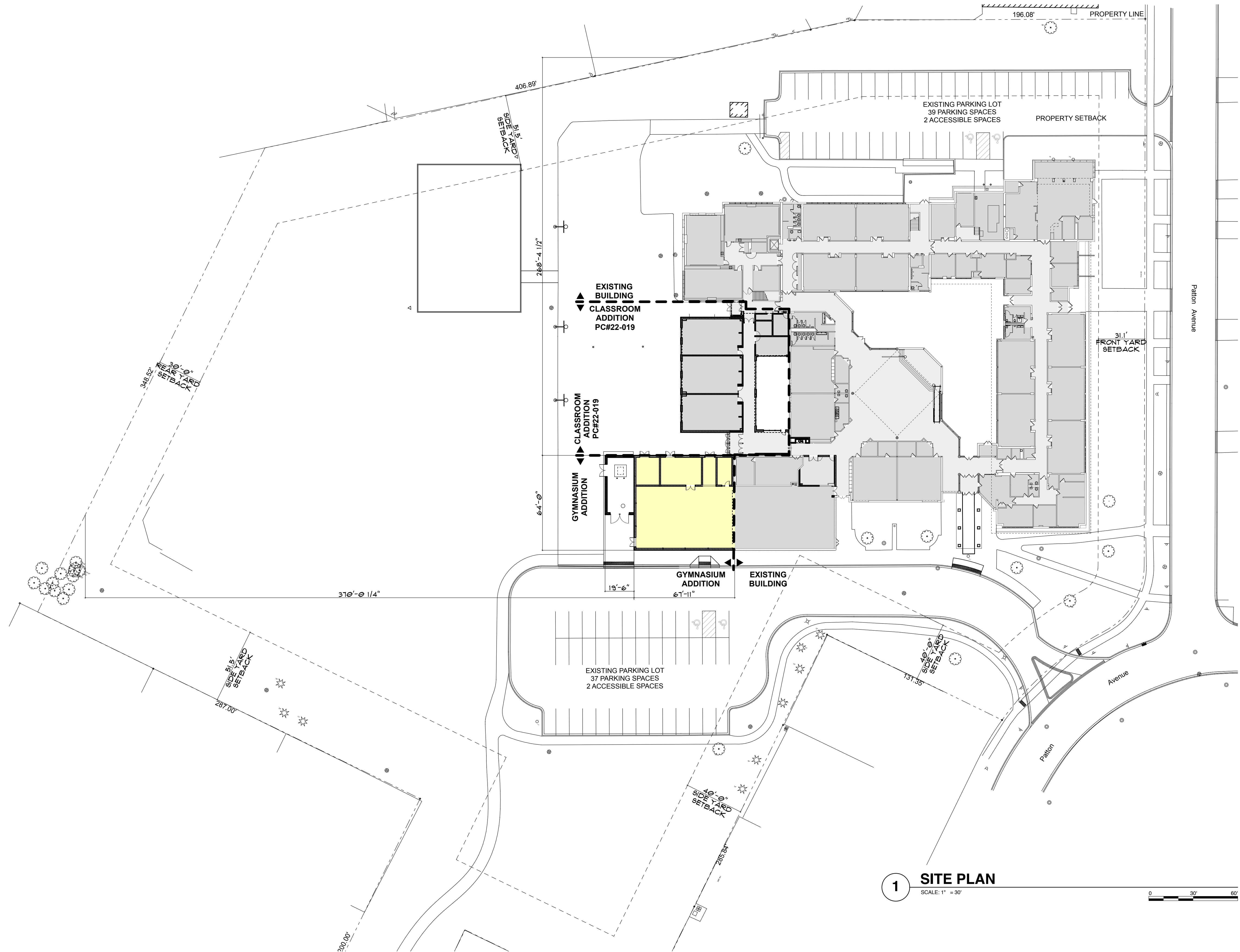
PARCEL 2:

LOT 471 IN HASBROOK SUBDIVISION UNIT NO. 5, A SUBDIVISION OF PART OF THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEROF RECORDED FEBRUARY 9, 1960 AS DOCUMENT 17778451, IN COOK COUNTY, ILLINOIS.

Commonly known as: 1616 North Patton Avenue, Arlington Heights, Illinois.

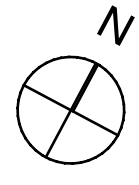
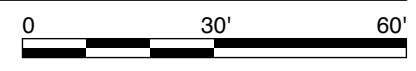
PINs: 03-19-108-035-0000 and 03-19-108-024-0000

EXHIBIT B
ARCHITECTURAL PLAN



1 SITE PLAN

SCALE: 1" = 30'



SITE PLAN

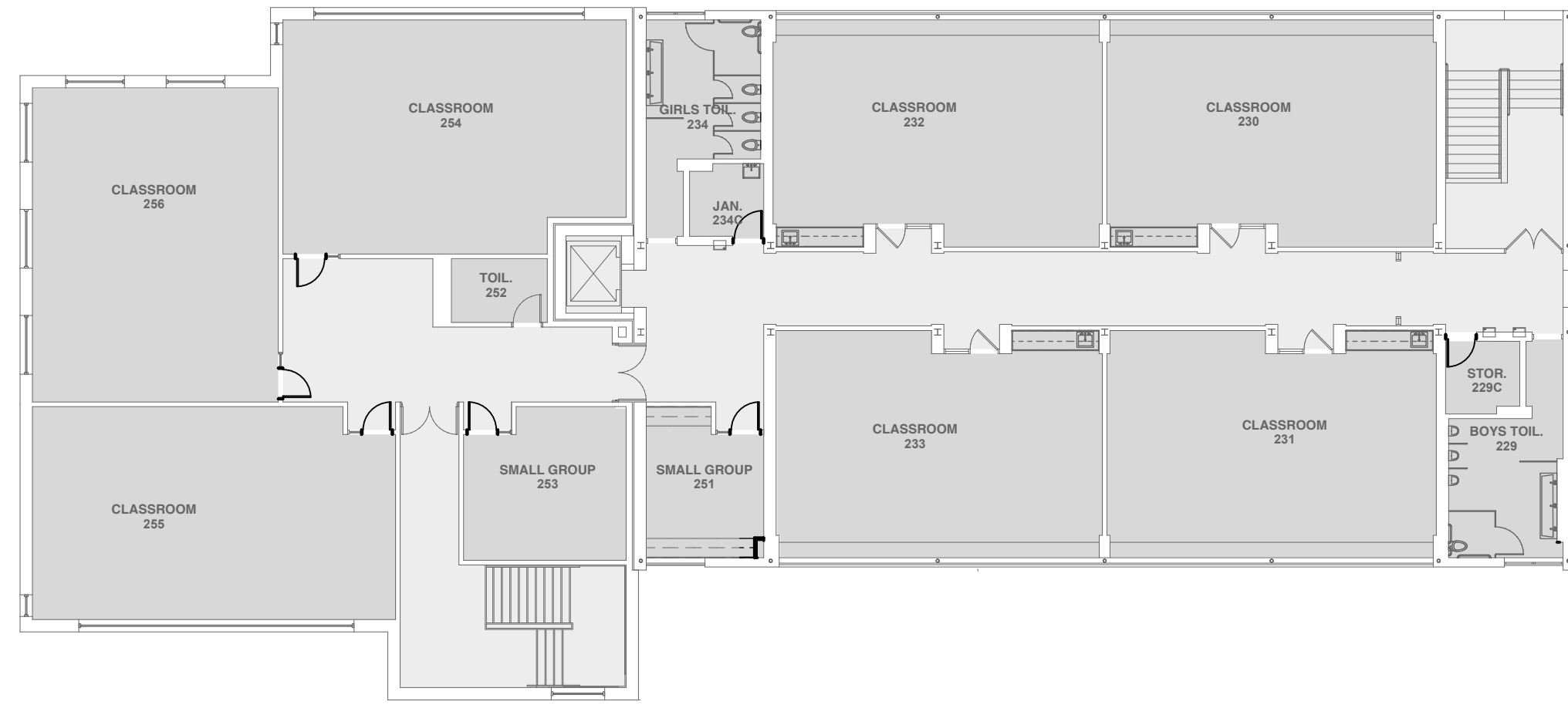
STR
 STR Partners, LLC
 350 West Ontario Street | Suite 200
 Chicago, IL 60654
 www.strpartners.com

PATTON ELEMENTARY SCHOOL ADDITION AND RENOVATIONS

1616 N. Patton Avenue, Arlington Heights, IL 60004

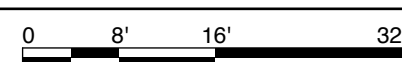
ARLINGTON HEIGHTS SCHOOL DISTRICT 25

6/27/23



2 SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



CLASSROOM ADDITION PC#22-019

CLASSROOM ADDITION PC#22-019

GYMNASIUM ADDITION

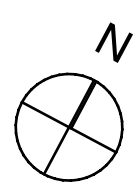
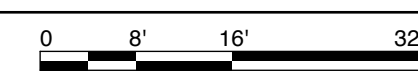
GYMNASIUM ADDITION

EXISTING BUILDING

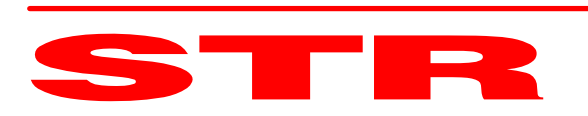


1 FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



FLOOR PLANS

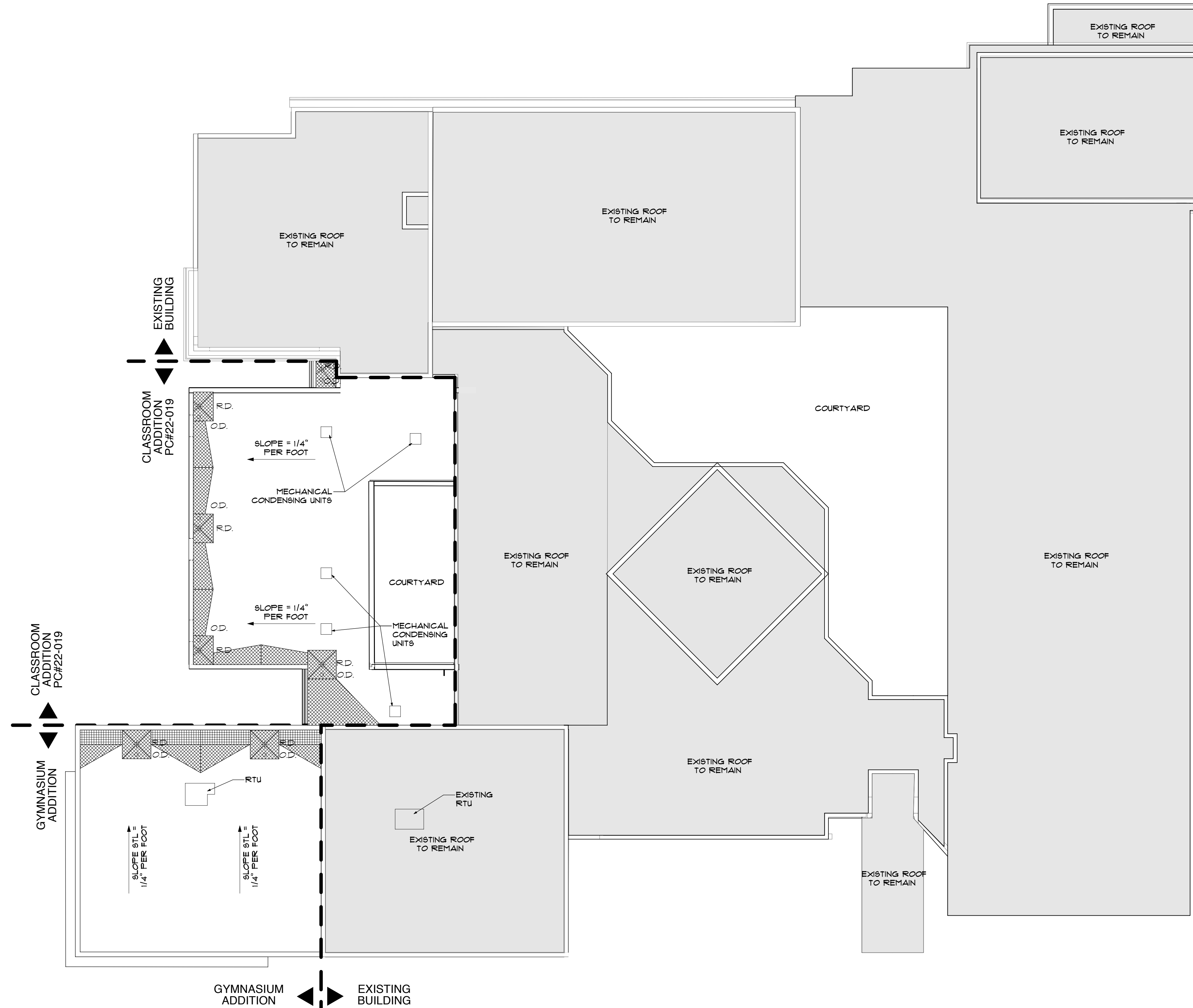


STR Partners, LLC
350 West Ontario Street | Suite 200
Chicago, IL 60654
www.strpartners.com

PATTON ELEMENTARY SCHOOL ADDITION AND RENOVATIONS

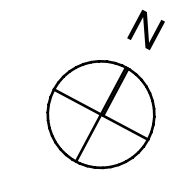
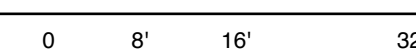
1616 N. Patton Avenue, Arlington Heights, IL 60004

ARLINGTON HEIGHTS SCHOOL DISTRICT 25
6/27/23

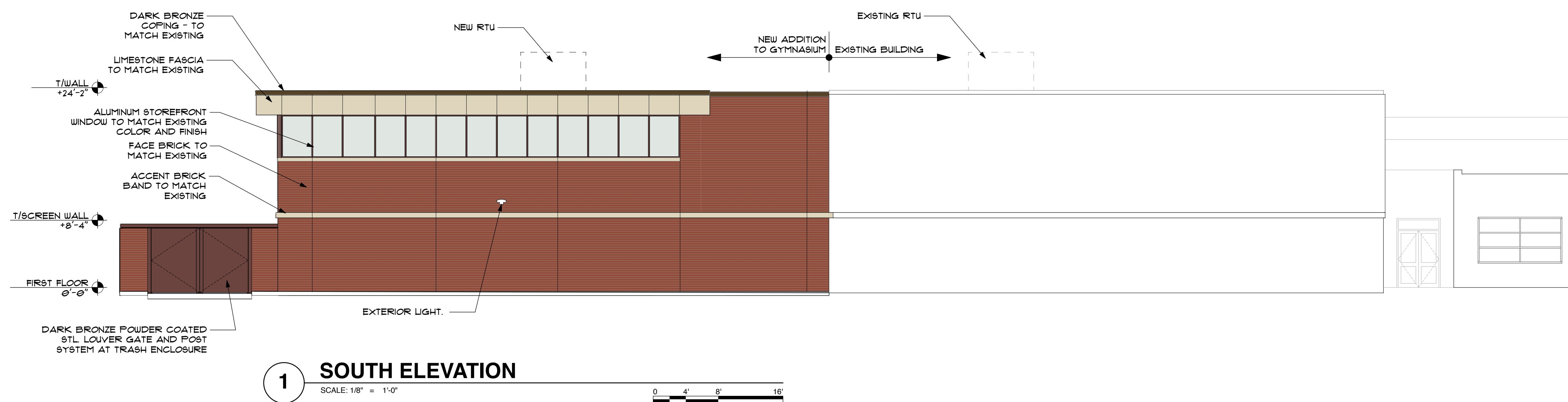
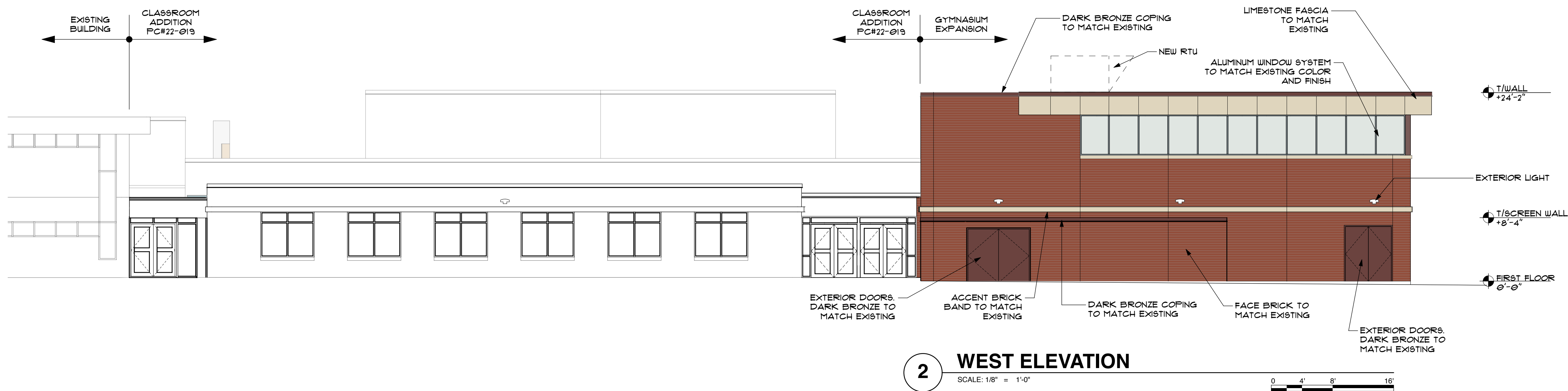
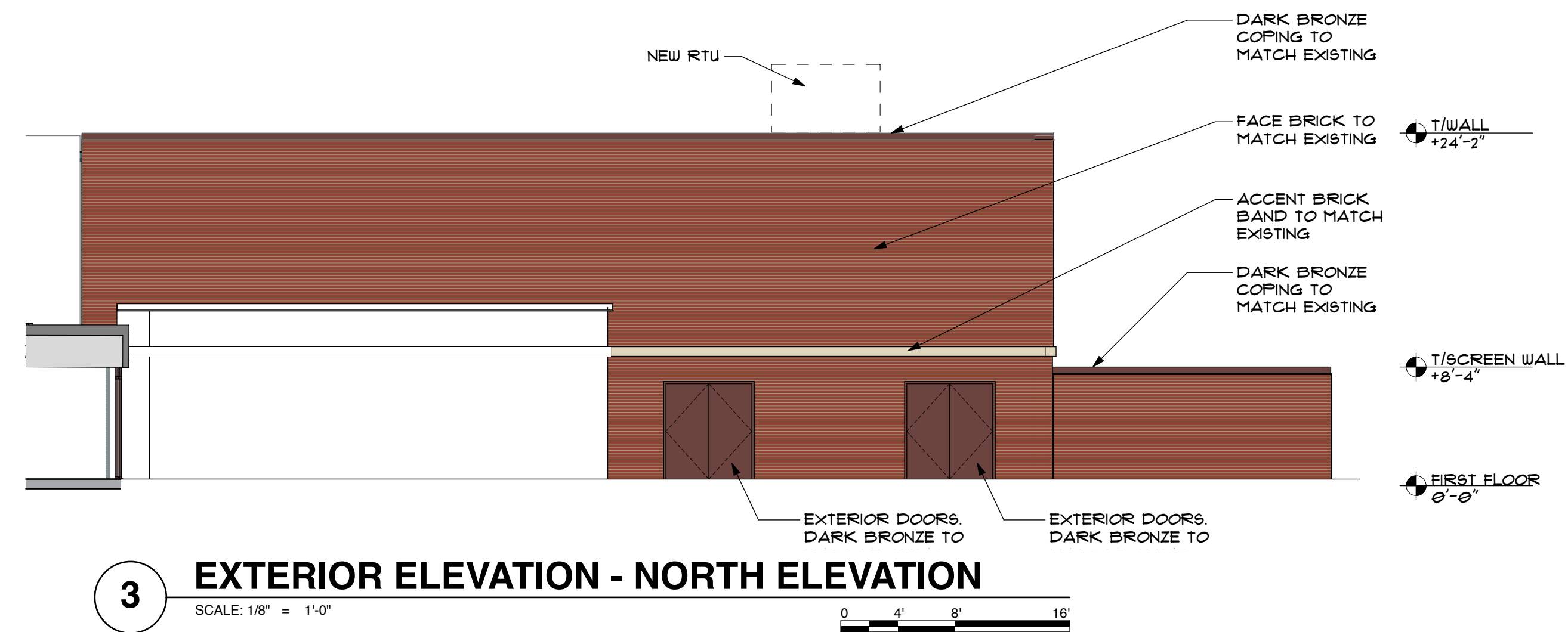


1 PROPOSED ROOF PLAN

SCALE: 1/16" = 1'-0"



ROOF PLAN



BUILDING ELEVATIONS/COLOR RENDERING

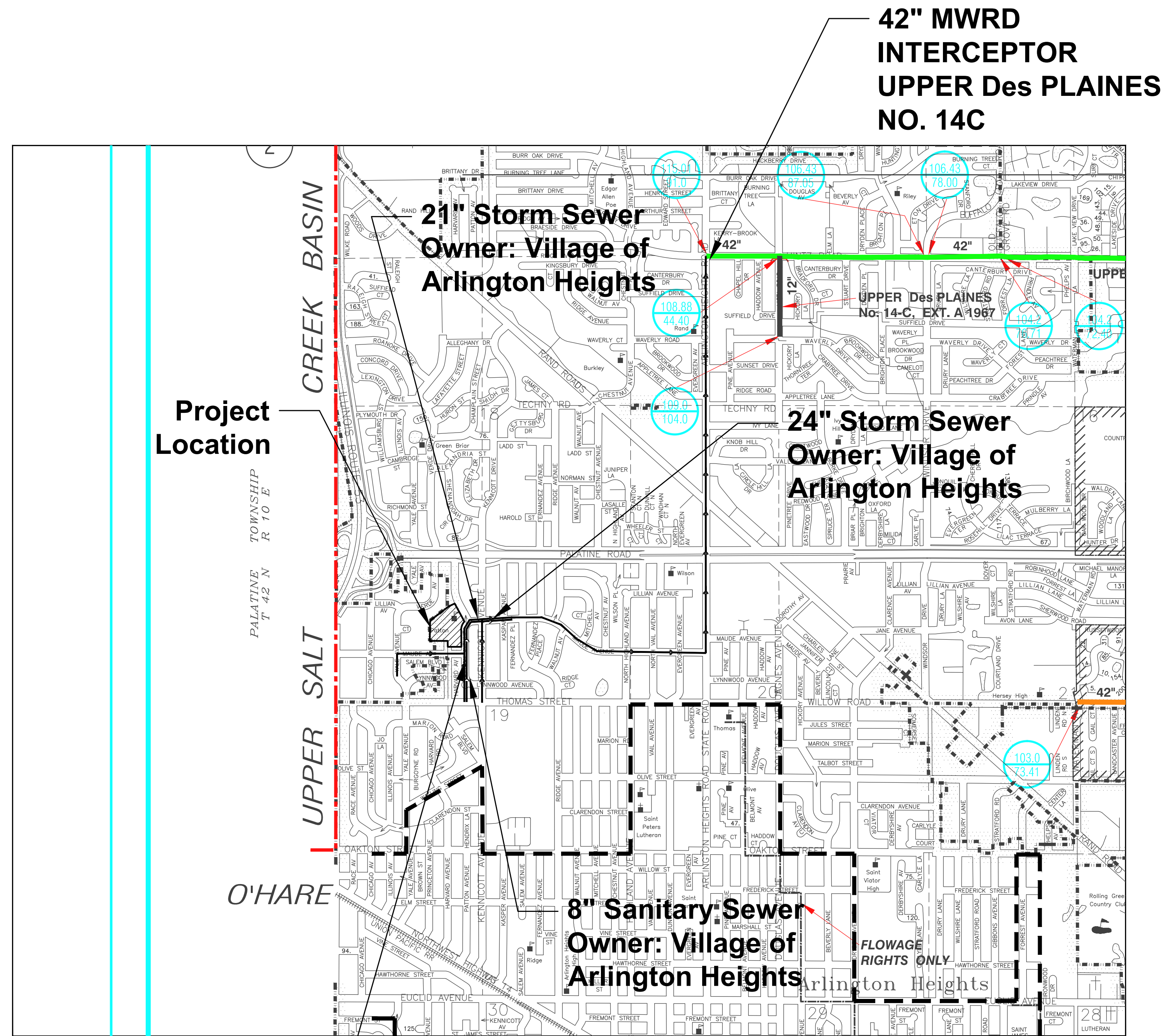
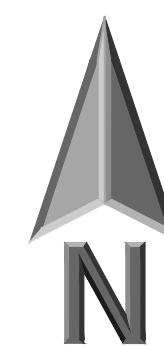
EXHIBIT C
ENGINEERING PLAN

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. Patton Ave.
Arlington Heights, IL 60004



PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



CIVIL SHEET INDEX

C000	CIVIL COVER SHEET
C001	TOPOGRAPHIC SURVEY
C002	TOPOGRAPHIC SURVEY
C003	TOPOGRAPHIC SURVEY
C004	SITE WORK NOTES AND LEGENDS
C005	MWRD GENERAL NOTES
C101	SITE DEMOLITION PLAN
C201	SITE GEOMETRY PLAN
C301	SITE UTILITY PLAN
C401	SITE GRADING AND PAVING PLAN
C501	SITE EROSION AND CONTROL PLAN
C601	SITE WORK DETAILS
C602	SITE WORK DETAILS

LANDSCAPE SHEET INDEX

L101	Landscape Plan
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EXHIBIT INDEX

CX101	EXISTING SITE COVERAGE
CX102	PROPOSED SITE COVERAGE
CX201	PROPOSED DEVELOPMENT AREA (VILLAGE SWM)
CX202	PROPOSED DEVELOPMENT AREA (MWRD SWM)
CX203	TRADE OFF AREA (VILLAGE SWM)
CX301	TRIBUTARY AREA EXHIBIT
CX401	FIRE TRUCK EXHIBIT

SURVEY PROVIDED BY:
 Plat of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
 Monument Recovery Sheet
 Village of Arlington Heights, IL
 Location Address:
 515 Palatine Road
 Monument 32
 3" Dia. Brass Disc In Concrete, 5" Above Ground, 44"± South Of The Centerline Of Frontage Road (Palatine Road) And 21"± East Of The Centerline Of Fernandez Avenue (Stamped 1148)
 NAVD88 Elevation = 713.78

SITE BENCHMARK:
 Survey Control Point, Cut "X" in Concrete Island
 Elevation: 721.51 NAVD88
 Easting: 1075702.92
 Northing: 1981620.54

J.U.L.I.E.

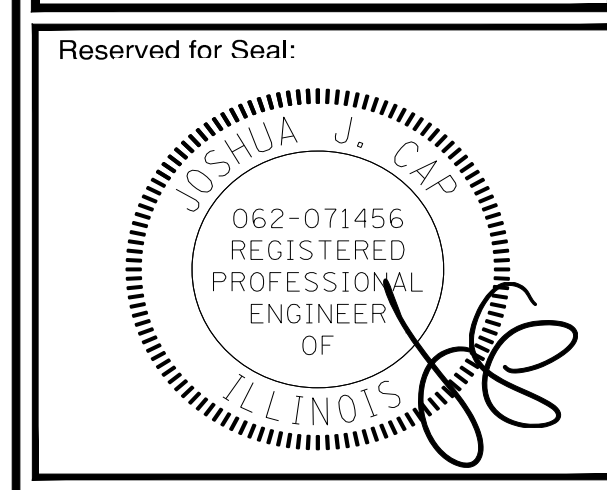
Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.

P (708) 588-4055
 E WMOJobStart@mwr.org

DRAINAGE STATEMENT

To the Best Of Our Knowledge And Belief, It is Our Professional Opinion That The Proposed Improvements On The Property Are Not Within One-Hundred (100) Feet Of A Known Flood Protection Area. The Drainage Of The Surface Waters Will Not Be Changed By The Construction Of This Development Or Any Part Thereof, Or That If Such Surface Water Drainage Will Be Changed, Reasonable Provisions Have Been Made For The Collection And Diversion Of Such Surface Waters Into Public Areas Or Drains Which The Property Owner Has A Right To Use, And That Such Surface Waters Will Be Planned For In Accordance With Generally Accepted Engineering Practices So As To Reduce The Likelihood Of Damage To The Adjoining Property Because Of The Construction Of The Development.



No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Design By:	Approved By:	Date:
LMR	JC	05/22/23

Sheet Title:
CIVIL COVER SHEET

Sheet No:
C000

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 5/19/23 @ 9:03 am By: jrobinblair



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0032823
EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

10111 ILLINOIS
PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60005

SHEET 1 OF 3

PLAT OF SURVEY

PATTON ELEMENTARY SCHOOL - ARLINGTON HEIGHTS SCHOOL DISTRICT 25

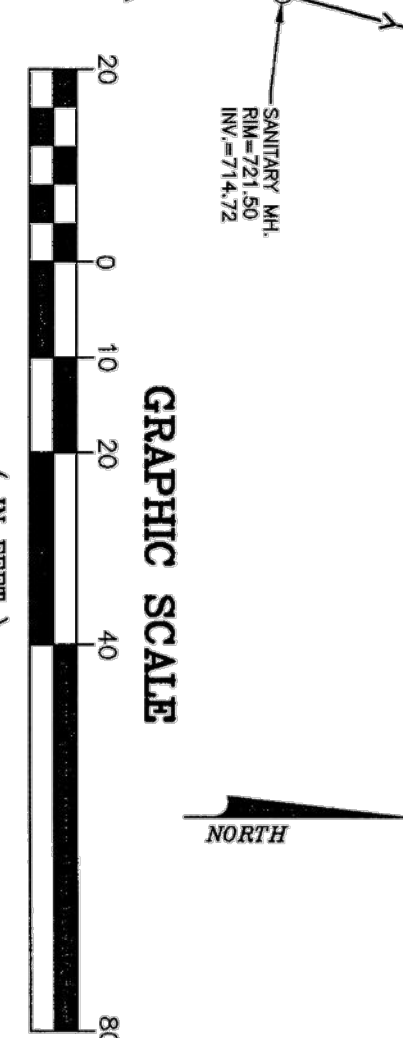
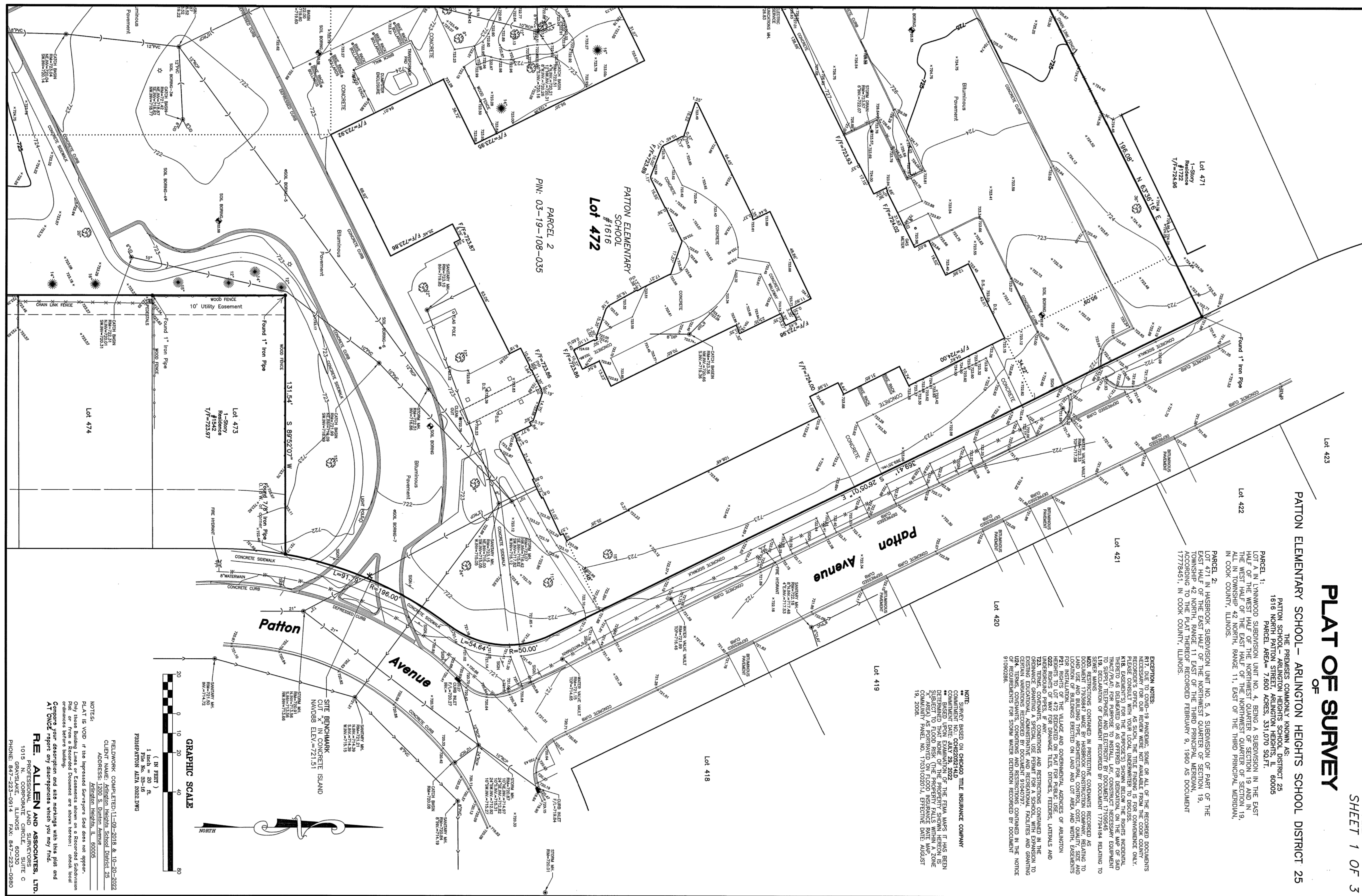
THE PREMISES COMMONLY KNOWN AS:
PATTON SCHOOL - ARLINGTON HEIGHTS SCHOOL DISTRICT 25
1616 NORTH PATTON STREET, ARLINGTON HEIGHTS, IL 60005
PARCEL AREA = 7,600 ACRES, 331,070 SQ.FT.

PARCEL 1:
LOT 471, A 1-1/2 ACRE SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST
HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19 AND IN 1/4
SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN COOK COUNTY, ILLINOIS.

PARCEL 2:
LOT 472, A 1/2 ACRE SUBDIVISION UNIT NO. 5, A SUBDIVISION OF PART OF THE
EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19,
TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,
177,945 SQ. FT., IN COOK COUNTY, ILLINOIS.

DEED AND RECORDS:
R172, DUE TO COVID-19 PANDEMIC, SOME OR ALL OF THE RECORDED DOCUMENTS
NECESSARY FOR OUR REVIEW WERE NOT AVAILABLE FROM THE COOK COUNTY
CLERK'S OFFICE. PLEASE CONSULT WITH YOUR LOCAL UNDERWRITER TO DISCUSS
K18, EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW THE RIGHTS INDICATED
THEREON. THESE EASEMENTS ARE SHOWN FOR INFORMATION ONLY AND ARE NOT
TO BE USED FOR CONSTRUCTION OF ANY KIND. ANY CONSTRUCTION OF ANY KIND
TO SUPPLY TELEPHONE AND ELECTRICITY BY DOCUMENT 1779484 RELATIVE TO
DOOR RESTRICTIONS CONTAINED IN EASEMENTS RECORDED AS
MENTIONED ABOVE SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE
LAND USE AND BILLING THE ARCHITECTURAL CONTROL, COST, QUALITY, SIZE AND
FOR INSTALLATION.
P21, RIGHTS OF THE VILLAGE AND GOVERNING AGENCIES OF ARLINGTON
HEIGHTS, ILLINOIS, IN CONNECTION WITH THE ARCHITECTURAL CONTROL, COST,
QUALITY, SIZE AND FOR INSTALLATION.
Q22, RIGHTS OF WAY FOR DAMAGE TILES, DITCHES, FENCES, LANTERNS AND
UNDERGROUND PIPES, IF ANY, AND CONDITIONS AND RESTRICTIONS CONTAINED IN THE
ORDINANCE GOVERNING A SPECIAL USE PERMIT FOR A SCHOOL, WITH EXPANSION TO
CERTAIN VARIATIONS RECORDED BY DOCUMENT 9104072, FACILITIES AND GRADING
UPON THE PREMISES, CONDITIONS AND RESTRICTIONS CONTAINED IN THE NOTICE
OF HEARING FOR SPECIAL USE PERMIT, RECORDED BY DOCUMENT 9104072 AND
9104073.

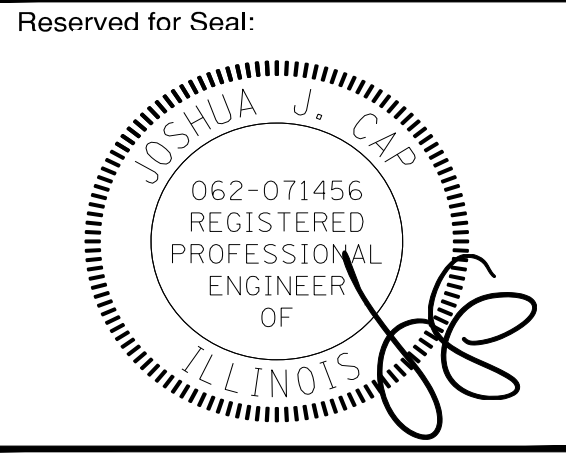
NOTE:
** SURVEY BASED ON CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO. 002325740
*** BASED UPON EXAMINATION OF THE FIRM MAPS IT HAS BEEN
SUBJECT TO FLOOD RISK. THE PROPERTY FALLS WITHIN A FLOOD
PLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP
NO. 19, PANEL NO. 1783102931, EFFECTIVE DATE: AUGUST
19, 2008.



GRAPHIC SCALE
1" = 40 FEET
RESUBMITAL ALTA 2022.DWG

NOTES:
PLAT IS VOID if the impressed Surveyor's Seal does not appear.
Only those Building Lines or Easements shown on a Recorded Subdivision
Ordinance or Easement are shown hereon. Other lines
or easements shown hereon are shown for information only.
Compare your description and site markings with this plat and
AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
ARLINGTON HEIGHTS, ILLINOIS 60005
PHONE: 847-223-0914 FAX: 847-223-0980



No.	Date	Description
1	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**TOPOGRAPHICAL
SURVEY**

Sheet No:
C001



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 154-0033243
EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

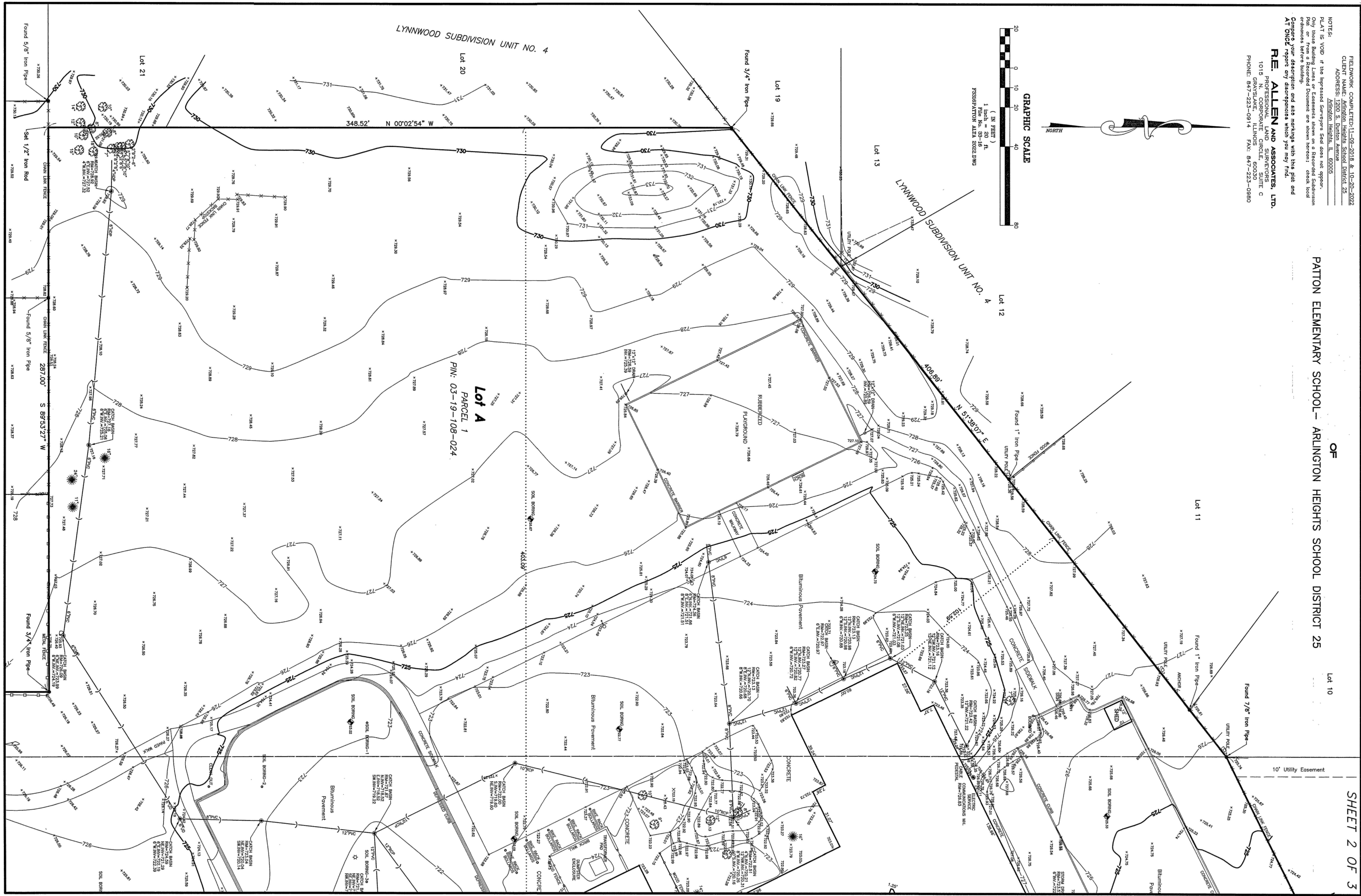
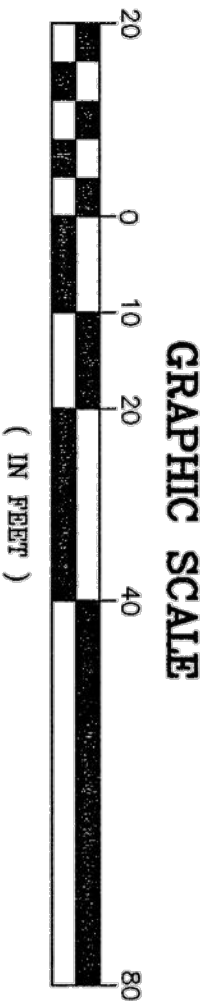
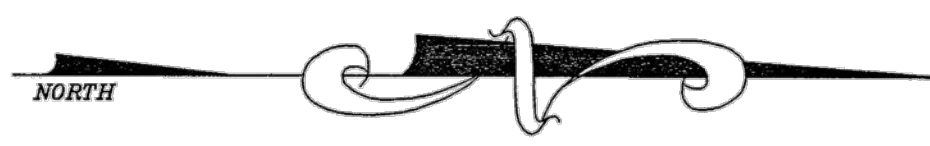
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

OF
PATTON ELEMENTARY SCHOOL - ARLINGTON HEIGHTS SCHOOL DISTRICT 25

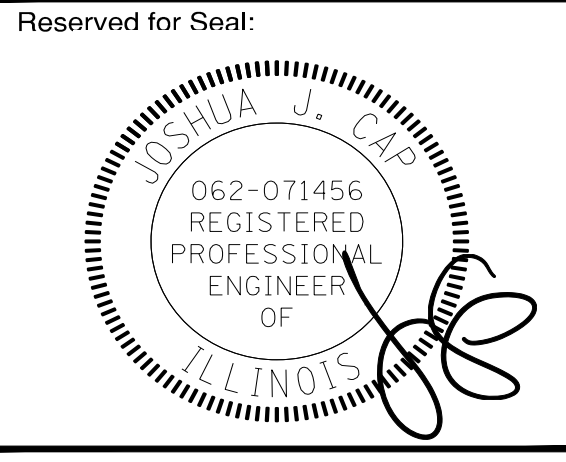
FIELDWORK COMPLETED: 11-09-2018 & 10-20-2022
CLIENT NAME: ARLINGTON HEIGHTS SCHOOL DISTRICT 25
ADDRESS: 1616 N. PATTON AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60005

NOTES:
1. PLAT IS VOID if the Impressed Surveyors Seal does not appear.
2. Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Plat are shown hereon - check local ordinances before building.
3. All work proposed by this plat and all easements shown hereon are subject to the approval of the appropriate authority.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL ENGINEER
1015 GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0980



SHEET 2 OF 3



No.	Date	Description
05/22/23	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**TOPOGRAPHICAL
SURVEY**

Sheet No:
C002

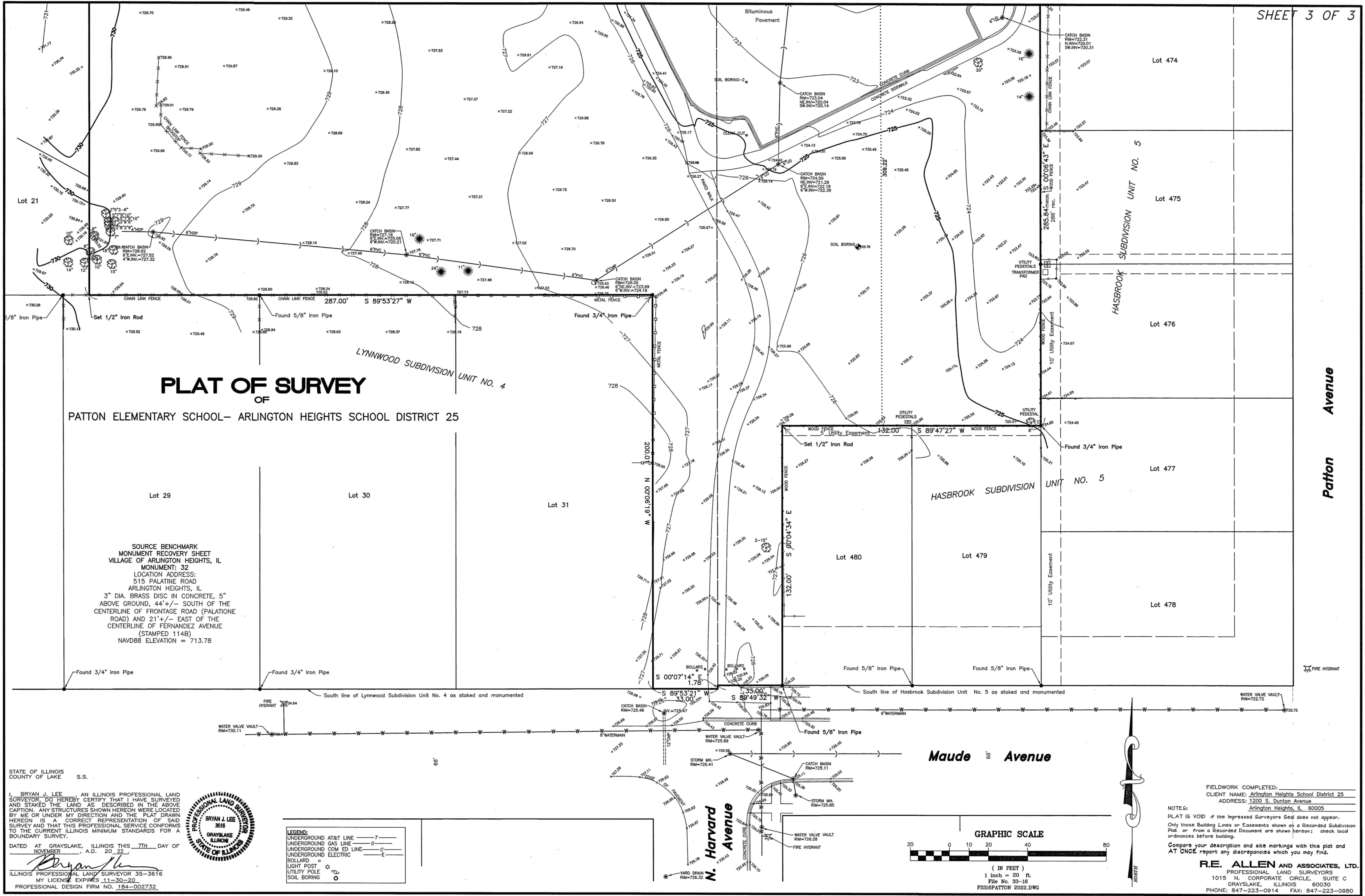


**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

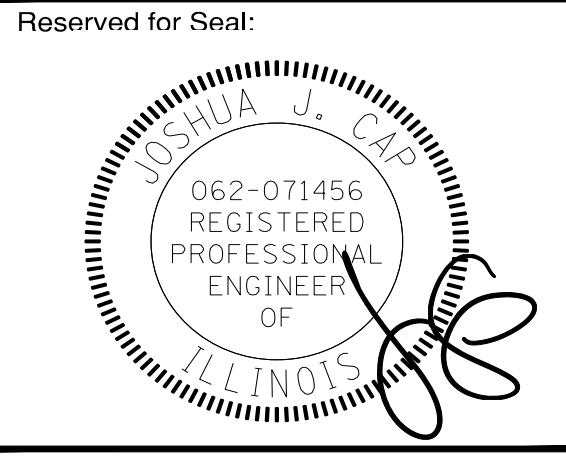
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
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EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-002732
EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET 3 OF 3



EEA - P:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:52am By: jrosenbauer



No.	Date	Description
05/22/23	05/22/23	ISSUE FOR PLAN COMMISSION

FIELDWORK COMPLETED:
CLIENT NAME: Arlington Heights School District 25
ADDRESS: 1200 S. Dunton Avenue
Arlington Heights, IL 60005

NOTES:
PLAT IS VOID if the Impressed Surveyors Seal does not appear.
Only those Building Lines or Easements shown on a Recorded Subdivision Plot or from a Recorded Document are shown herein; check local ordinances before building.
Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0980

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
TOPOGRAPHICAL SURVEY

Sheet No:
C003

GENERAL NOTES

- 1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc. As Shown On The Plans, Has Been Determined From The Best Available Information...

UTILITY NOTES

- 1. Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative...

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- 1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control and Related Work.
2. Contractor Shall Be Responsible For Compliance With IEPA NPDES and ILRII Permit Requirements For Project.

STRUCTURE NOTES

- 1. All Catch Basins to Be Installed In Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
2. All Catch Basins to Be Installed In Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal.

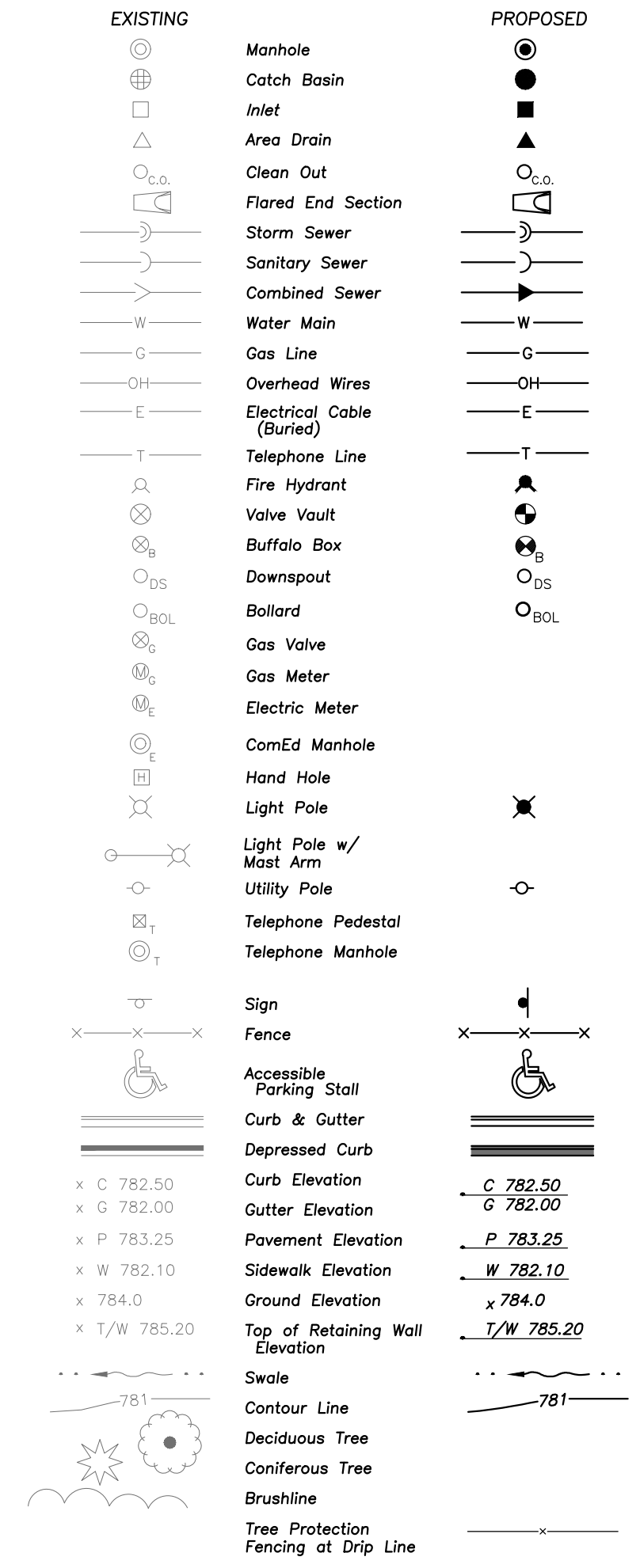
GRADING NOTES

- 1. <<If not included with erosion control notes>>Install And Maintain Silt Fence at the Perimeter of the Construction Zone.
2. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.

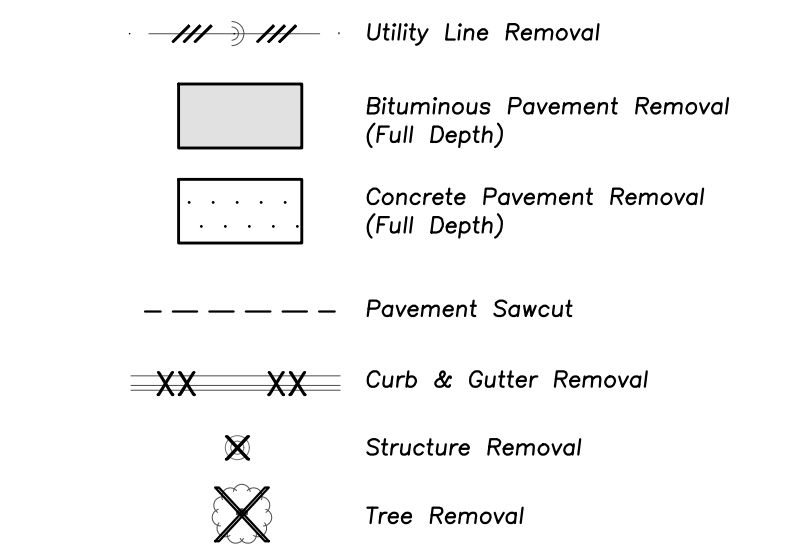
GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
2. All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats of Latex Paints. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.

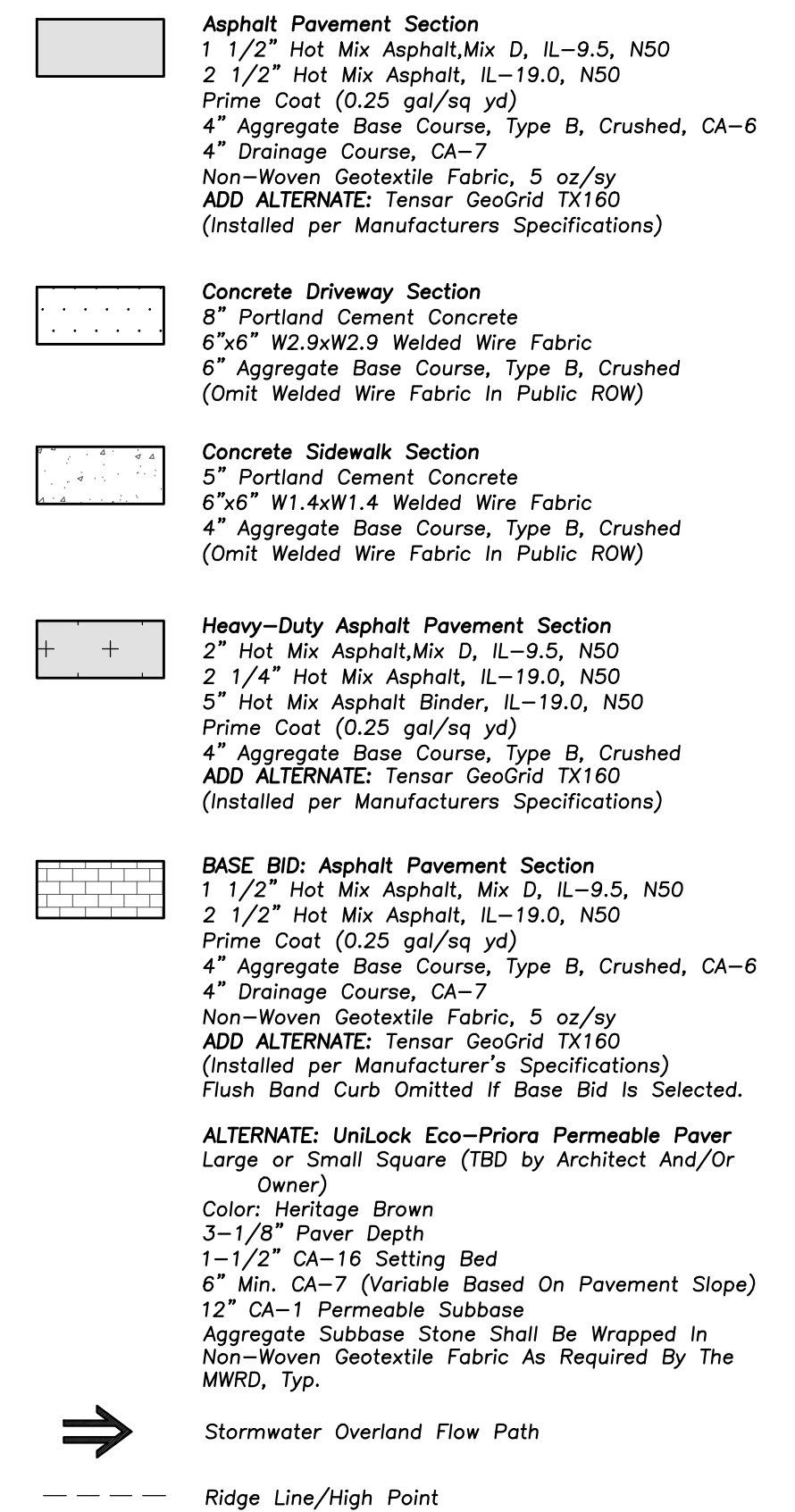
LEGEND



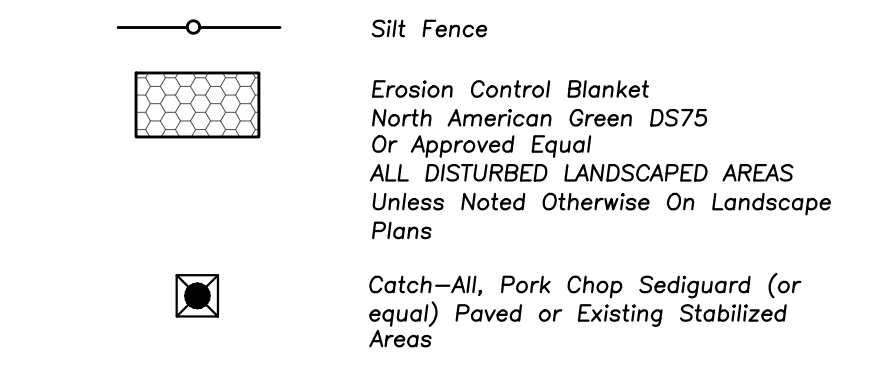
DEMOLITION LEGEND



PAVING & SURFACE LEGEND



SOIL EROSION & SEDIMENTATION CONTROL LEGEND



ERIKSSON ENGINEERING ASSOCIATES, LTD. 145 COMMERCIAL DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS 1616 N. PATTON AVENUE ARLINGTON HEIGHTS, ILLINOIS

Professional Engineer Seal for Joshua A. Cass, Registered Professional Engineer of Illinois.

Revision table with columns for No., Date, and Description. Entry: 05/22/23 ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

SITE WORK NOTES AND LEGENDS

Sheet No: C004



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EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
 1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

A. REFERENCED SPECIFICATIONS

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF _____ MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO WMOJOBSTART@MWRD.ORG).
- THE VILLAGE OF _____ ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS _____ FT.
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
WATER MAIN QUALITY PVC	ASTM D-3350	ASTM D-3261, F-2620 (HEAT FUSION)
4-INCH TO 36-INCH	ASTM D-3035	ASTM D-3212, F-477 (GASKETED)
4-INCH TO 12-INCH	ASTM D-2241	ASTM D-3139
14-INCH TO 48-INCH	AWWA C900	ASTM D-3139
	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

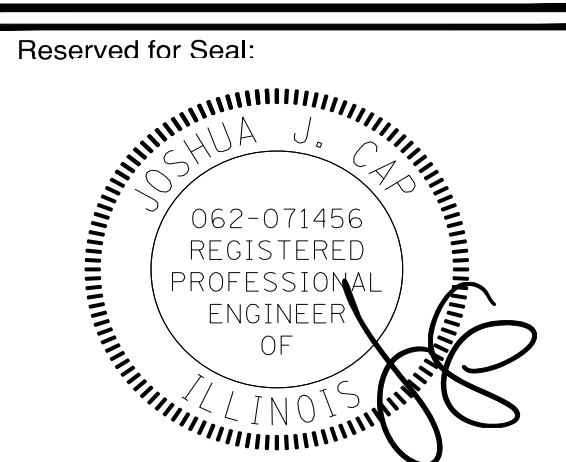
- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL
 MWRD GENERAL NOTES

10/13/2022
 STD. DWG. NO.18
 PAGE NO. 19



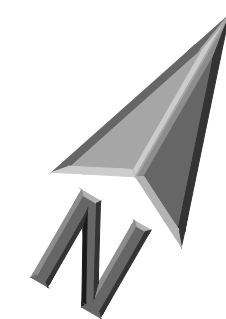
No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
MWRD GENERAL NOTES

Sheet No:
C005

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



Scale: 1"=20'

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffer Box	Buffer Box
Downspout	Downspout
Bollard	Bollard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Seawall	Seawall
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Shrubline	Shrubline
Tree Protection Fencing of Drip Line	Tree Protection Fencing of Drip Line

DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village of Arlington Heights Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall Be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Drip Line of Trees to Remain. All Trenching Within the Drip Line of Existing Trees to Remain Shall Be Done Radially Away From Trunk If Roots in Excess of 1" Diameter are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval of The Architect Prior to Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Substrate. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND

	Utility Line Removal
	Bituminous Pavement Removal (Full Depth)
	Concrete Pavement Removal (Full Depth)
	Pavement Sawcut
	Curb & Gutter Removal
	Structure Removal
	Tree Removal

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SURVEY PROVIDED BY:

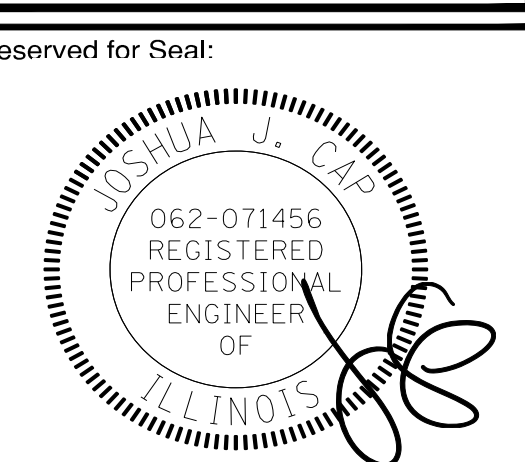
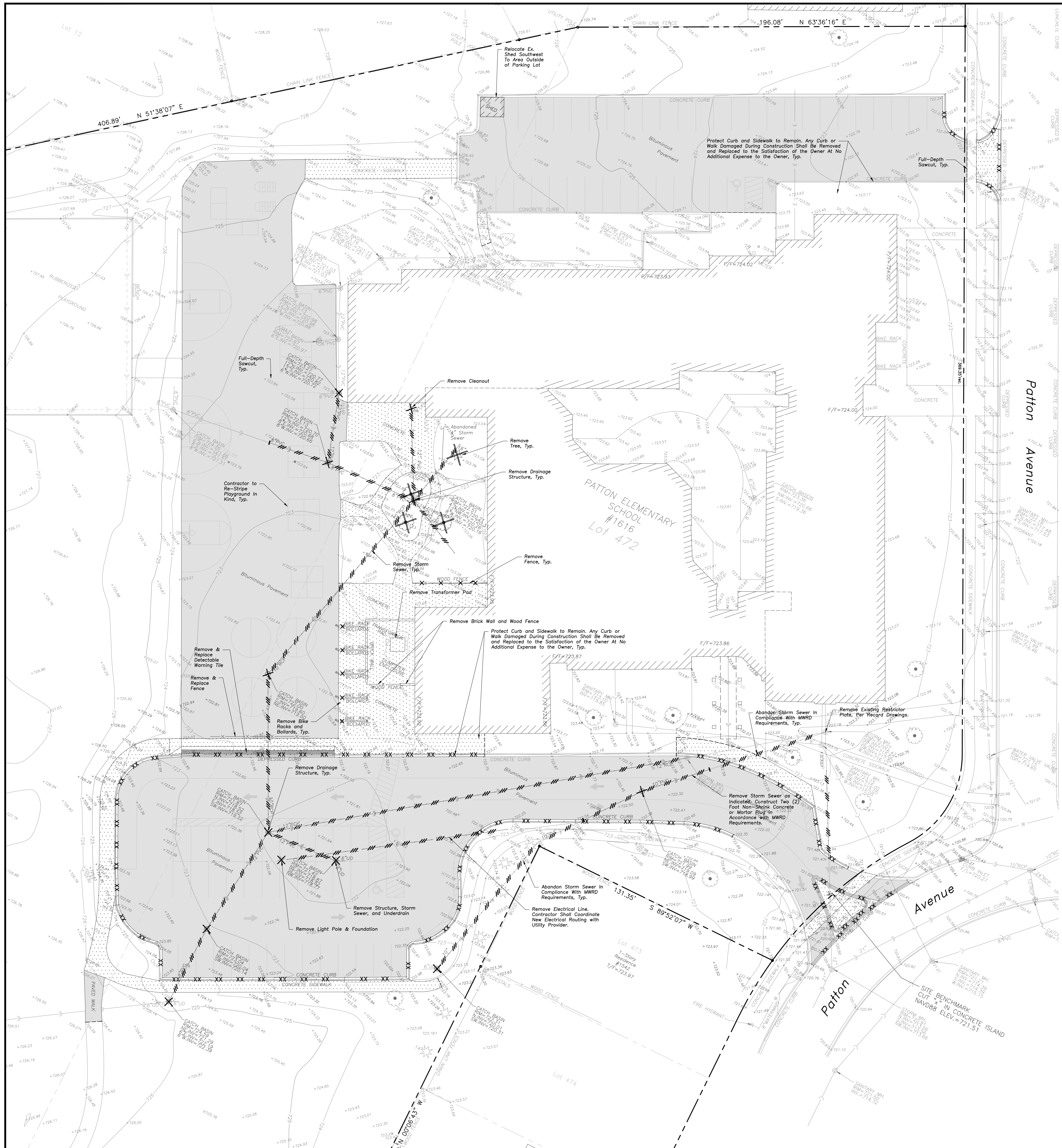
Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
Monument Recovery Sheet
Village of Arlington Heights, IL
Location Address:
515 Palatine Road
Monument 32
3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of The Centerline of Frontage Road (Palatine Road) And 21'± East of The Centerline of Fernandez Avenue (Stamped 114B)
NAVD88 Elevation = 713.78
SITE BENCHMARK:
Survey Control Point, Cut "X" in Concrete Island
Easting: 1073702.52
Northing: 1981620.54

J.U.L.I.E.

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No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

SITE DEMOLITION PLAN

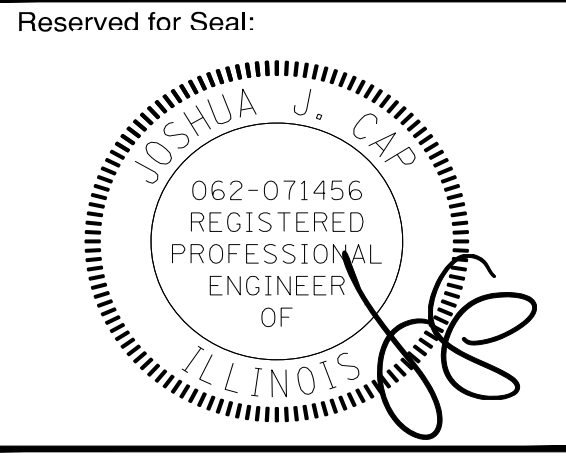
Sheet No: C101



ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 233-4804
 FAX: (847) 233-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-00332-0
 EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

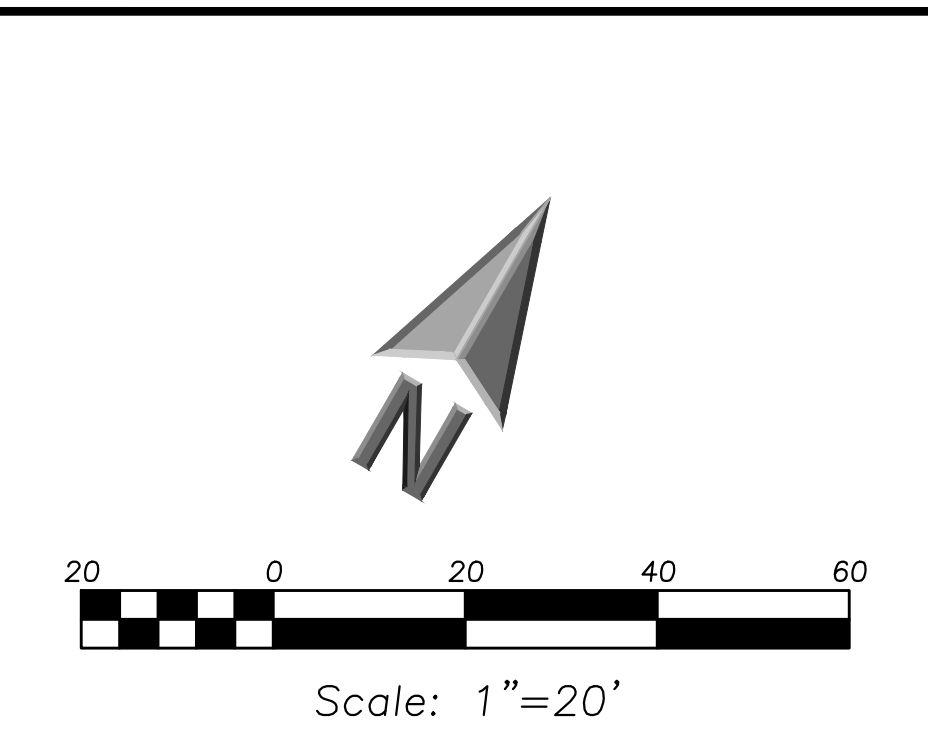
1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS



No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

DESIGN BY: LMR JC DATE: 05/22/23
 APPROVED BY: JC DATE: 05/22/23
 SHEET TITLE: SITE GEOMETRY PLAN

SHEET NO: C201



GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats For Latex Paints.
- Refer to Architectural Drawings For Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Bushline	Bushline
Tree Protection Fencing at Drip Line	Tree Protection Fencing at Drip Line

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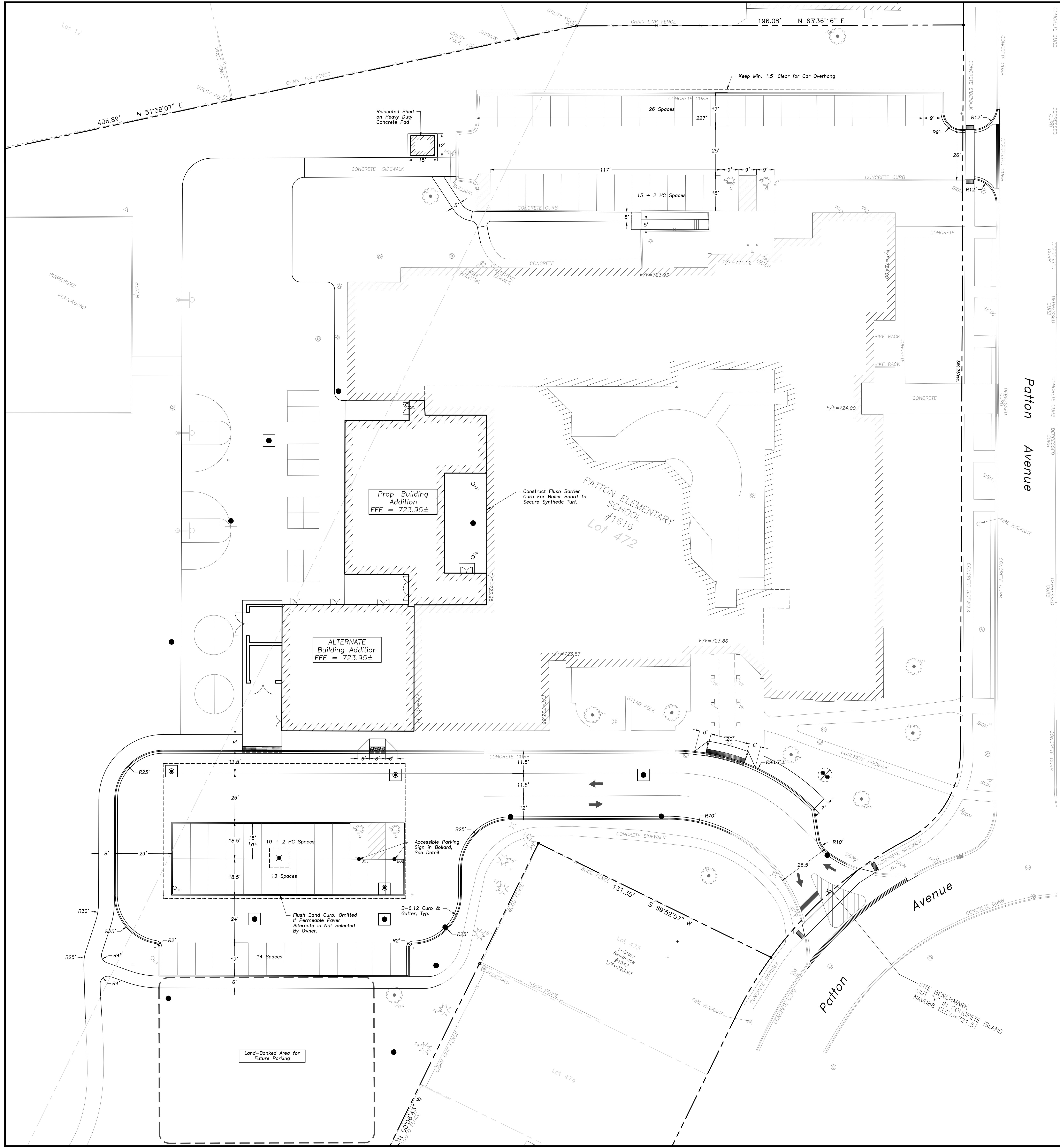
Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

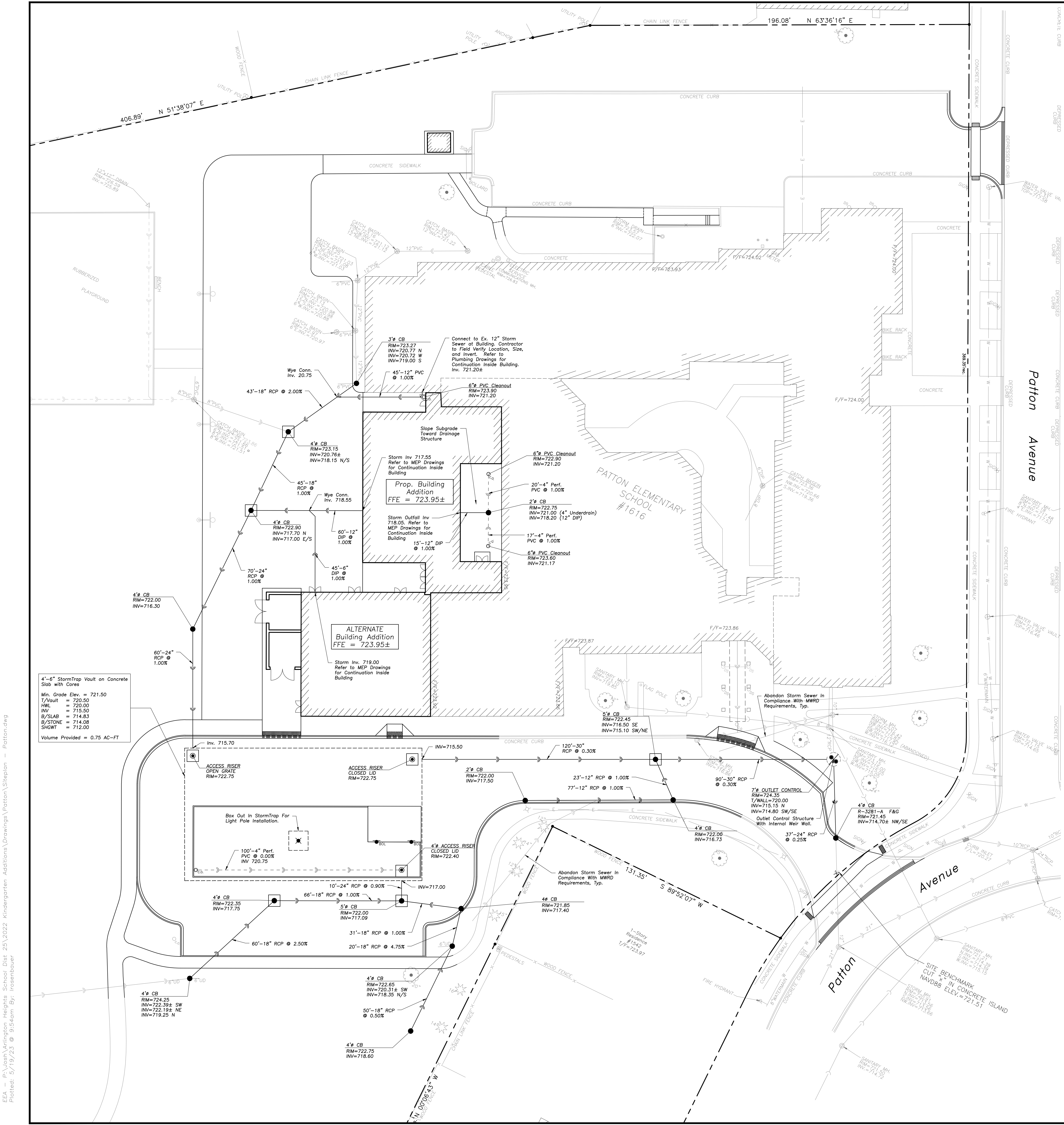
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EEA - P:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:33am By: jrobinbauer

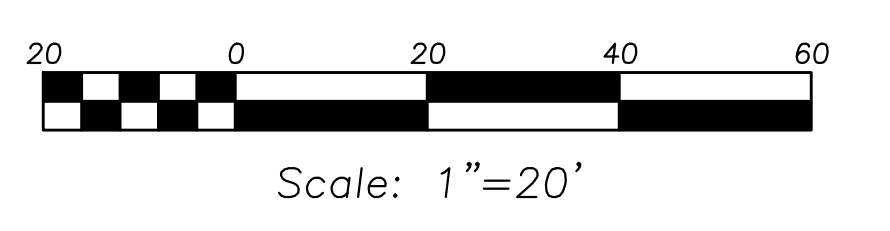


UTILITY NOTES

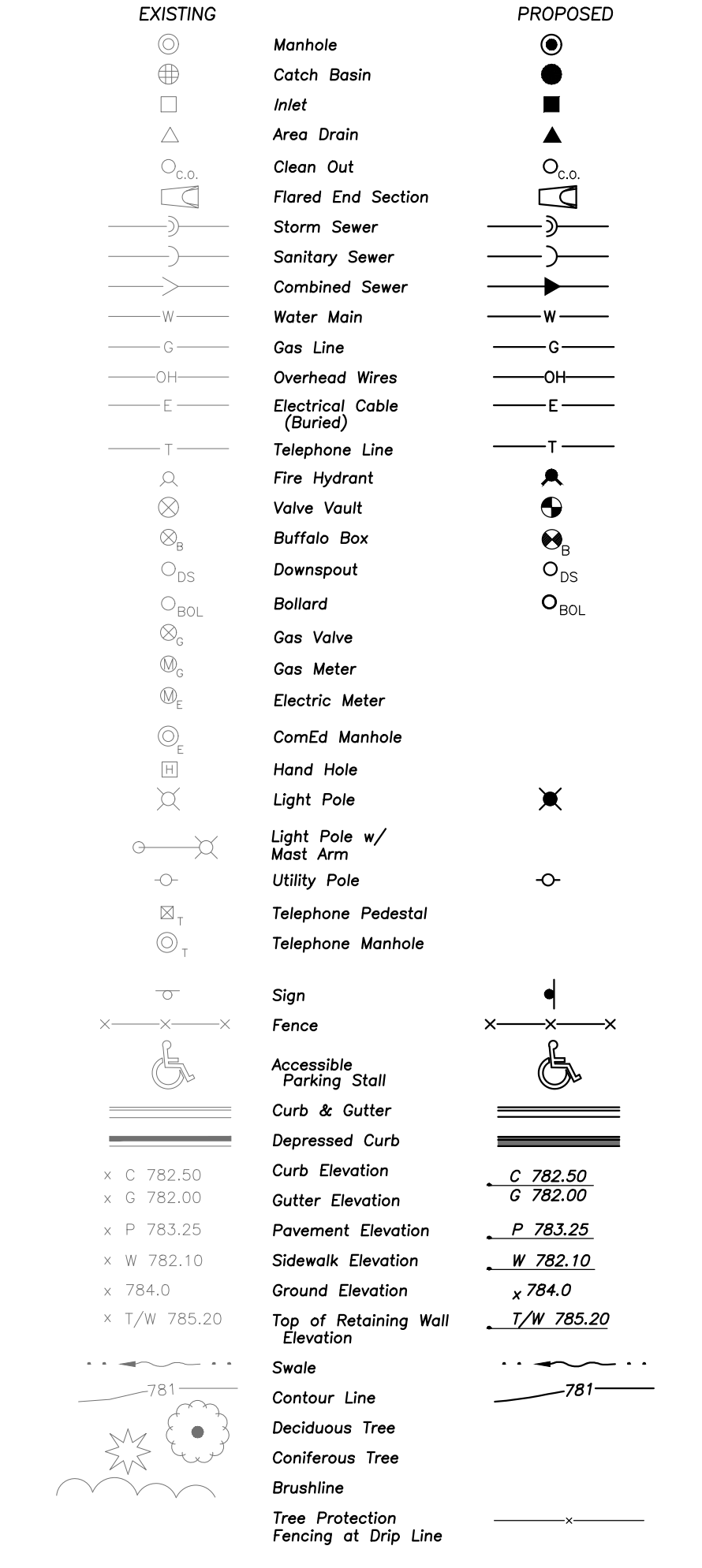
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2004-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R430-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections or Flat Slab Top as Necessary.
- All Sanitary Manholes Shall Include a Chimney Seal.



LEGEND



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PROFESSIONAL DESIGN FIRM
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EXPIRES: 04/30/2023

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
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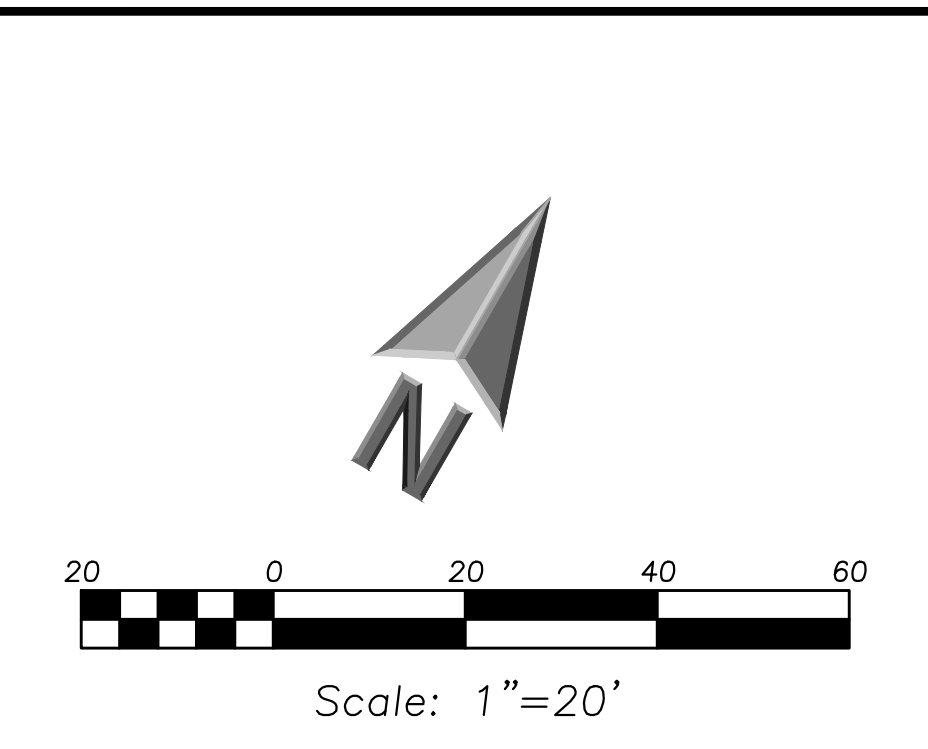
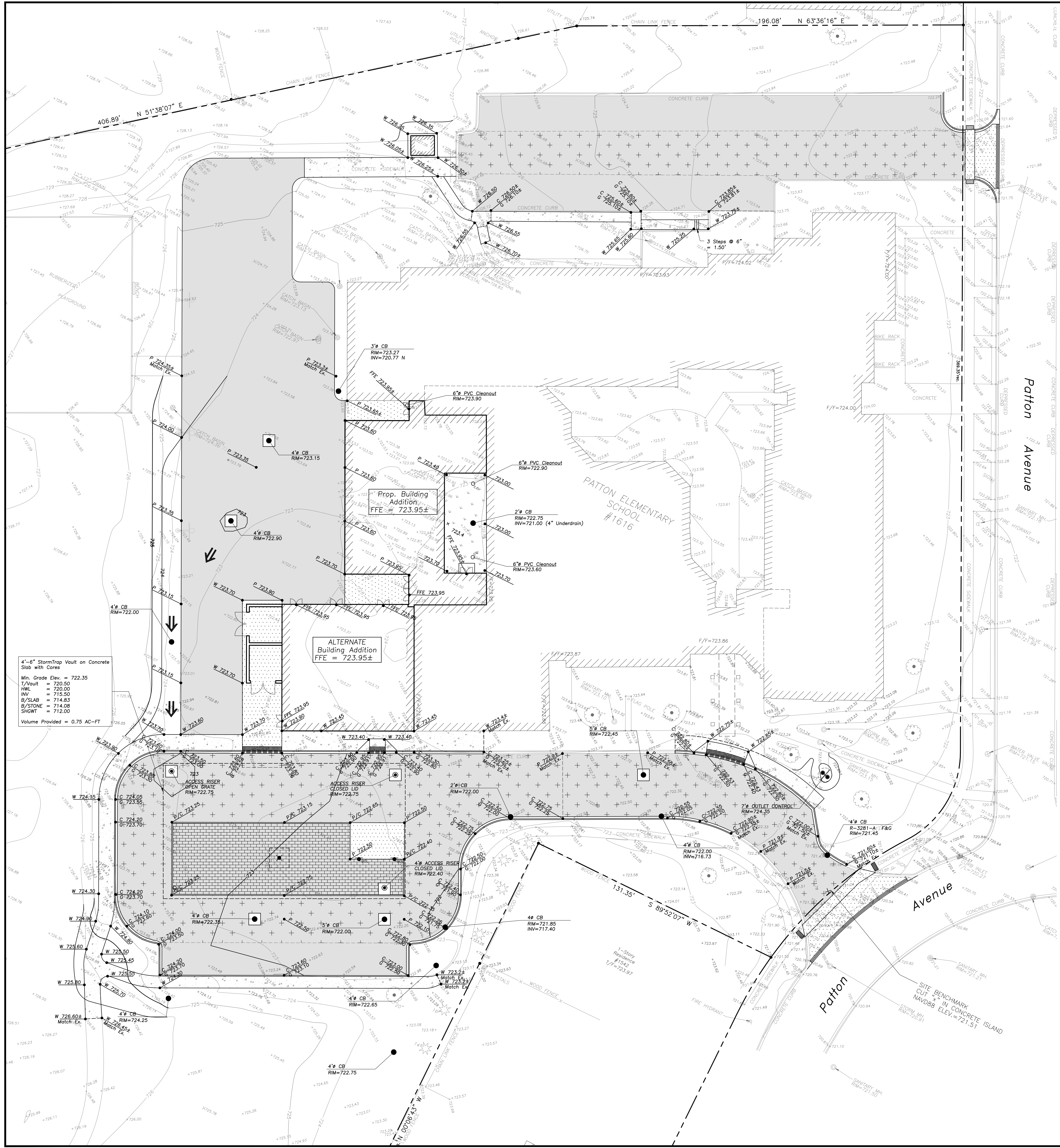
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No.	Date	Description
05/22/23		ISSUE FOR PLAN COMMISSION

Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title: **SITE UTILITY PLAN**

Sheet No: **C301**



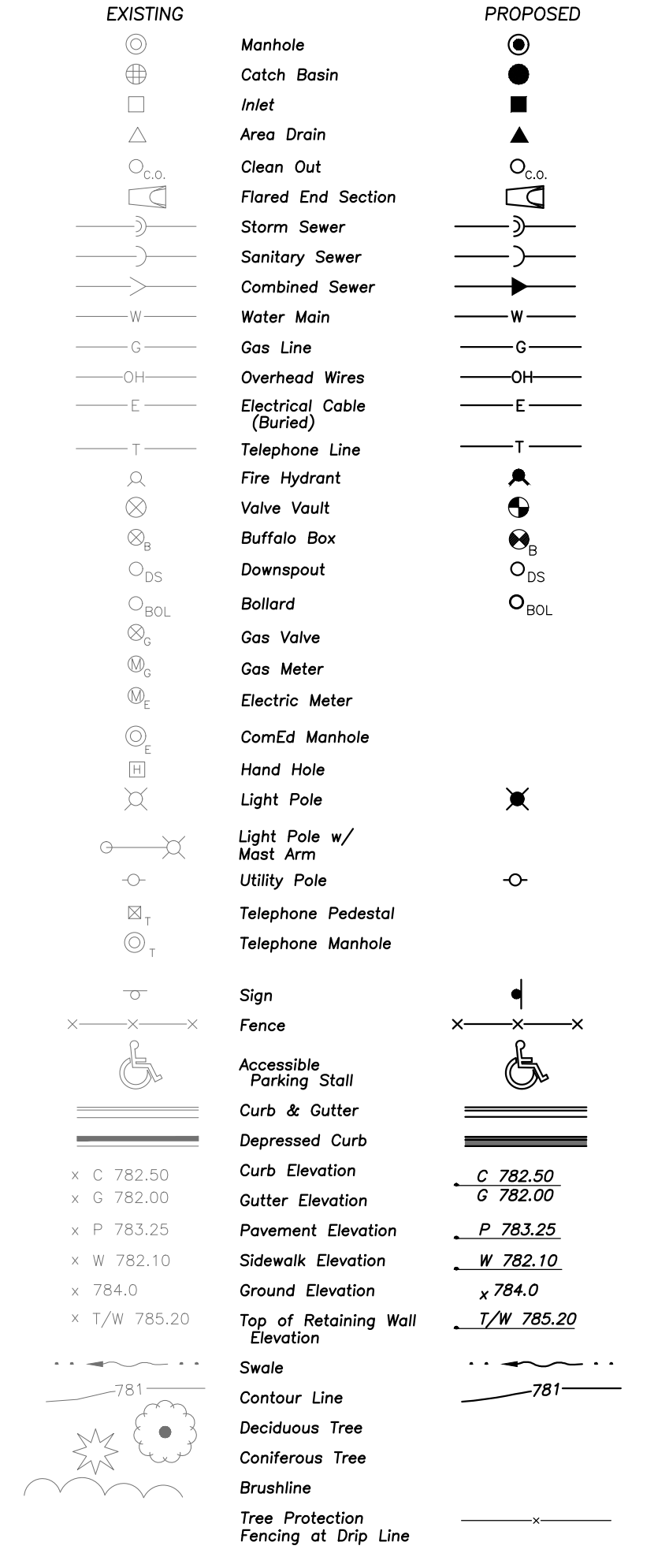
GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Sodded Unless Noted Otherwise On The Landscape Drawings.
- Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.

PAVING & SURFACE LEGEND

- Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Concrete Driveway Section**
 - 8" Portland Cement Concrete
 - 6"x6" W2.9W2.9 Welded Wire Fabric
 - 6" Aggregate Base Course, Type B, Crushed (Omit Welded Wire Fabric in Public ROW)
 - Concrete Sidewalk Section**
 - 5" Portland Cement Concrete
 - 6"x6" W1.4W1.4 Welded Wire Fabric
 - 4" Aggregate Base Course, Type B, Crushed (Omit Welded Wire Fabric in Public ROW)
 - Heavy-Duty Asphalt Pavement Section**
 - 2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/4" Hot Mix Asphalt, IL-19.0, NS0
 - 5" Hot Mix Asphalt Binder, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Flush Band Curb Omitted if Base Bid is Selected.
 - BASE BID: Asphalt Pavement Section**
 - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 - 2 1/2" Hot Mix Asphalt, IL-19.0, NS0
 - Prime Coat (0.25 gal/sq yd)
 - 4" Aggregate Base Course, Type B, Crushed, CA-6
 - 4" Drainage Course, CA-7
 - Non-Woven Geotextile Fabric, 5 oz/sy
 - ADD ALTERNATE: Tensar GeoGrid TX160 (Installed per Manufacturer Specifications)
 - Flush Band Curb Omitted if Base Bid is Selected.
 - ALTERNATE: UniLock Eco-Priora Permeable Paver**
Large or Small Square (TBD by Architect And/Or Owner)
 - Color: Heritage Brown**
 - 3-1/8" Flaver Depth
 - 1-1/2" CA-16 Setting Bed
 - 6" Min. CA-7 (Variable Based On Pavement Slope)
 - 12" CA-1 Permeable Subbase
 - Aggregate Subbase Stone Shall Be Wrapped in Non-Woven Geotextile Fabric As Required By The MWD, Typ.
- Stormwater Overland Flow Path
Ridge Line/High Point

LEGEND



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Reserved for Seal

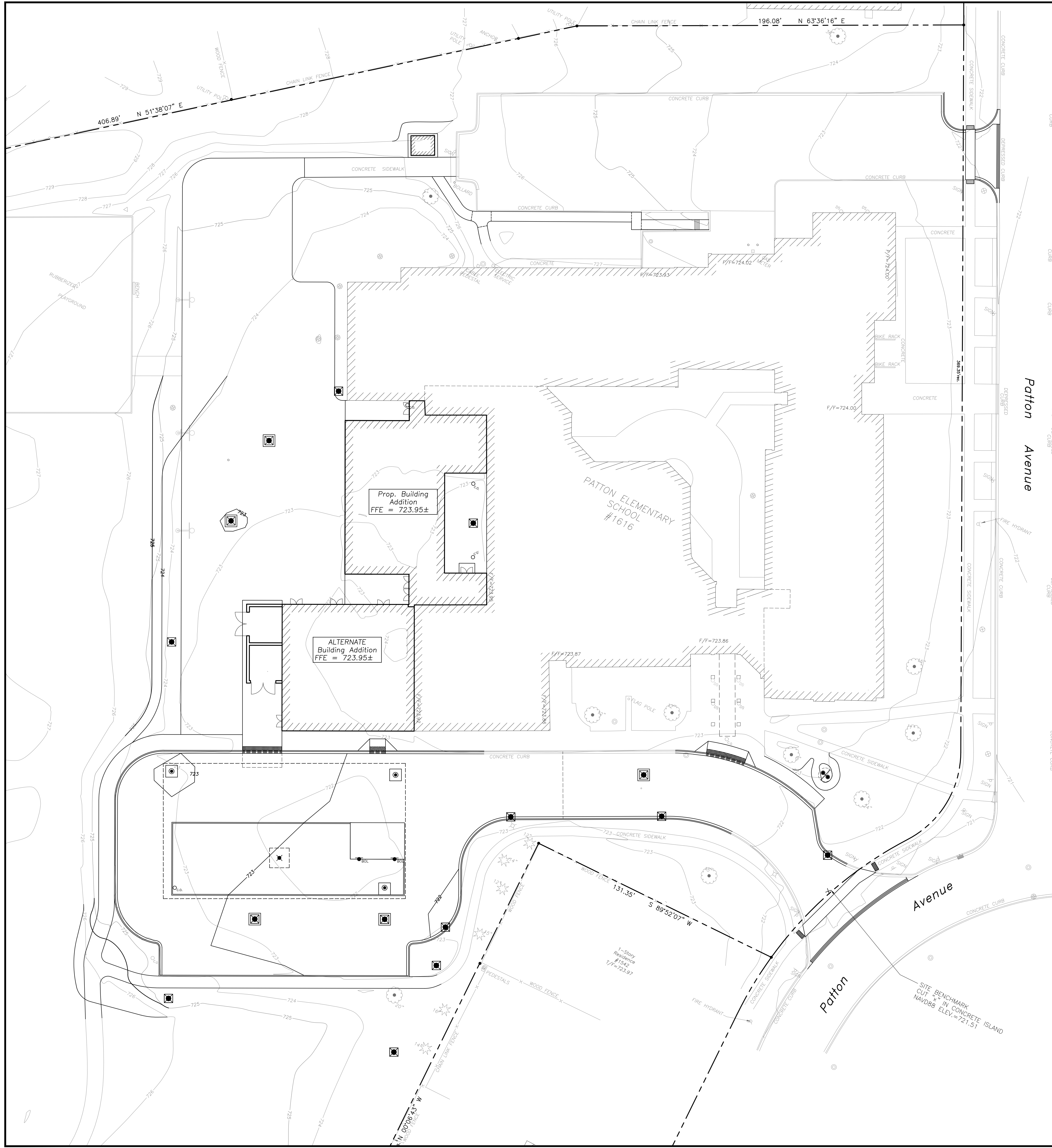
No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

DESIGN BY: LMR APPROVED BY: JC DATE: 05/22/23

SHEET TITLE: GRADING AND PAVING PLAN

SHEET NO: C401

EA - P:\Joshi\Arlington Heights School - Dist. 25\2022 Kindergarten Additions Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 07/19/23 @ 9:30am By: irasenbauer



SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
2. Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
3. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
4. All Storm Sewer Structures That Are, or Will Be, Functioning During Construction Shall Be Protected, Filtered, or Otherwise Treated to Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around the Grate in Landscaped Areas and "Catch-All" Inlet Protectors (or equal) in Paved Areas to Prevent Siltation.
5. Install and Maintain Silt Fence at the Perimeter of the Construction Zone and Wetland Areas As Shown on the Plans. Maintain Silt Fence Throughout Construction and Until Vegetation Has Been Fully Established.
6. The Erosion Control Measures Indicated on the Drawings Are the Minimum Requirements. Additional Measures May Be Required As Directed By the Qualified Soil and Erosion Sediment and Control Inspector or Governing Agency.
7. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
8. Report Releases of Reportable Quantities of Oil or Hazardous Materials if They Occur in Accordance with IEPA NPDES Requirements.
9. All Concrete Washout Shall Conform to The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
10. Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Rayons. Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Erosion Control Blanket
North American Green DS75
Or Approved Equal
- ALL DISTURBED LANDSCAPED AREAS
Unless Noted Otherwise On Landscape Plans
- Catch-All, Park Chop Sediguard (or equal) Paved or Existing Stabilized Areas

LEGEND

- | EXISTING | PROPOSED |
|--------------------------------------|--------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Boiler | Boiler |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Bushline | Bushline |
| Tree Protection Fencing at Drip Line | Tree Protection Fencing at Drip Line |

GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown on the Plans, Has Been Determined From The Best Available Information and is Given For the Convenience of the Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That the Actual Location of Those Which Are Shown May Be Different From the Location As Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown on the Drawings.
2. Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify the Owner, Engineer and The Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
5. All Areas, on or off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
8. The Engineer is Furnishing These Drawings For Construction Purposes As a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, The User Of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark:
 Monument Recovery Sheet
 Village of Arlington Heights, IL
 Location Address:
 515 Palatine Road
 Monument 32
 3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of the Centerline of Frontage Road (Palatine Road) And 21'± East of the Centerline of Fernandez Avenue (Stamped 114B)
 NAVD88 Elevation = 713.78
 SITE BENCHMARK:
 Survey Control Point, Cut "X" in Concrete Island
 Elevation: 721.51, NAVD88
 Easting: 1079702.92
 Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-0133220
 EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal

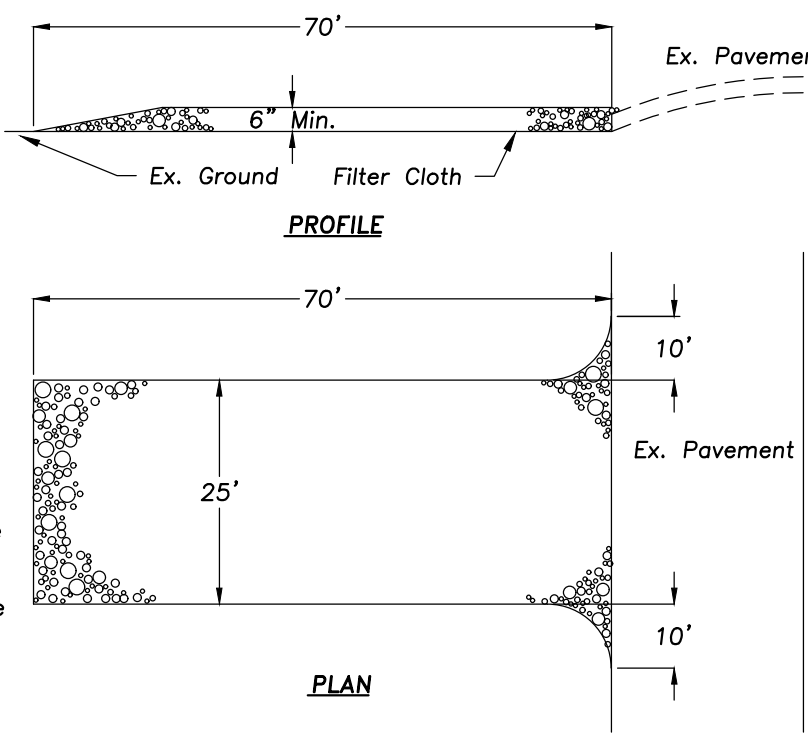
062-071456
 REGISTERED PROFESSIONAL ENGINEER
 OF ILLINOIS

No.	Date	Description
	05/22/23	ISSUE FOR PLAN COMMISSION

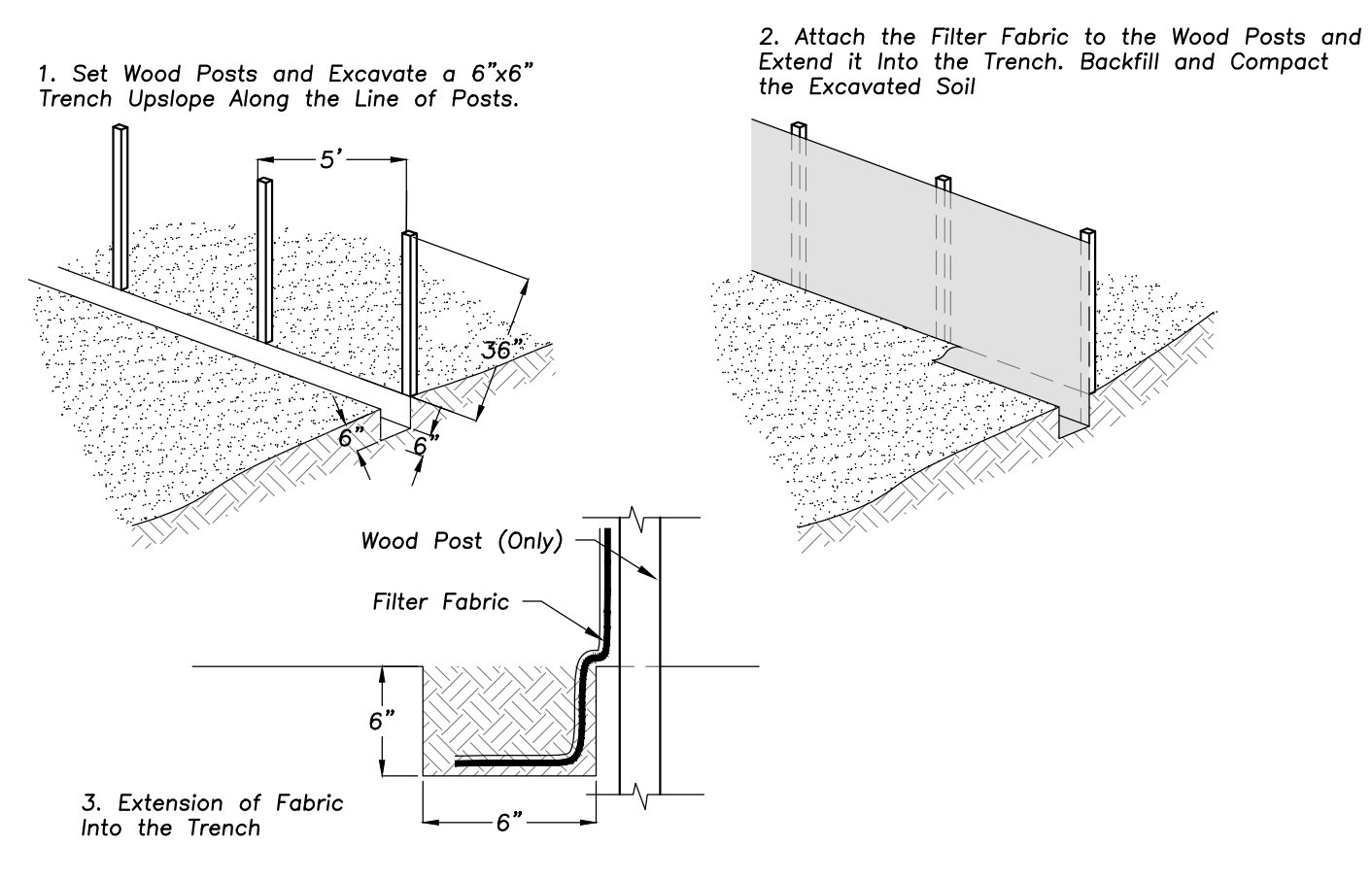
Sheet Title:
SITE EROSION AND SEDIMENT CONTROL PLAN

Sheet No:
C501

GENERAL NOTES
STONE SIZE - Use 100T gradation CA-1 aggregate stone.
MAINTENANCE - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean-out of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.
FILTER CLOTH - Will be placed over the entire area prior to placing stone. Conform to Illinois Urban Manual Section 592, Type II, or IV.
WASHING - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 Periodic inspection and needed maintenance shall be provided after each rain.



**STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE**

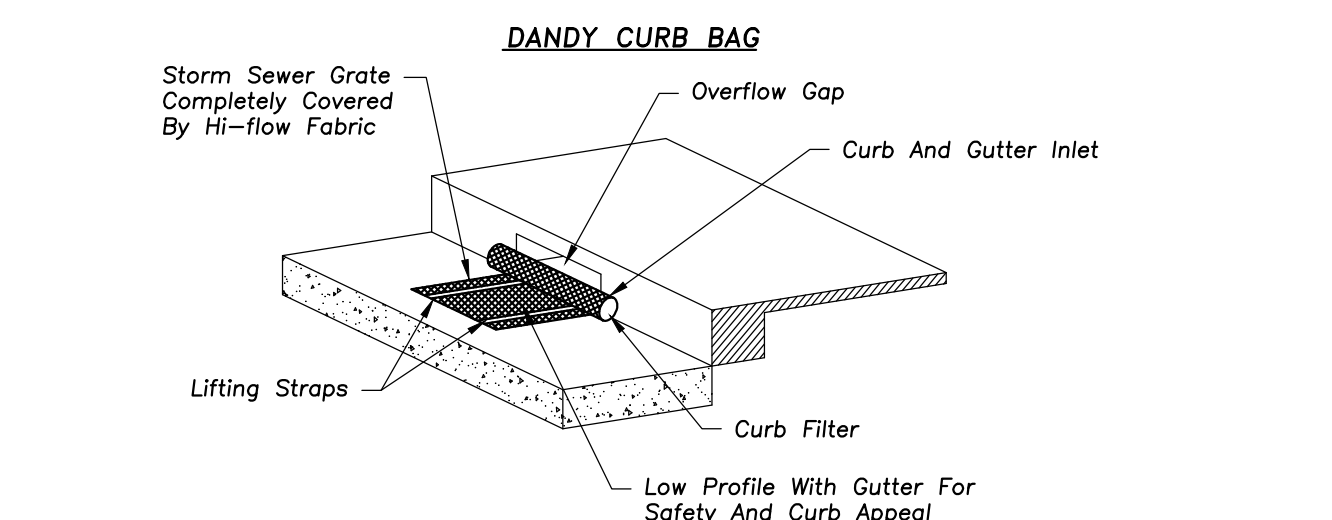


SILT FENCE CONSTRUCTION (AASHTO 288-00)

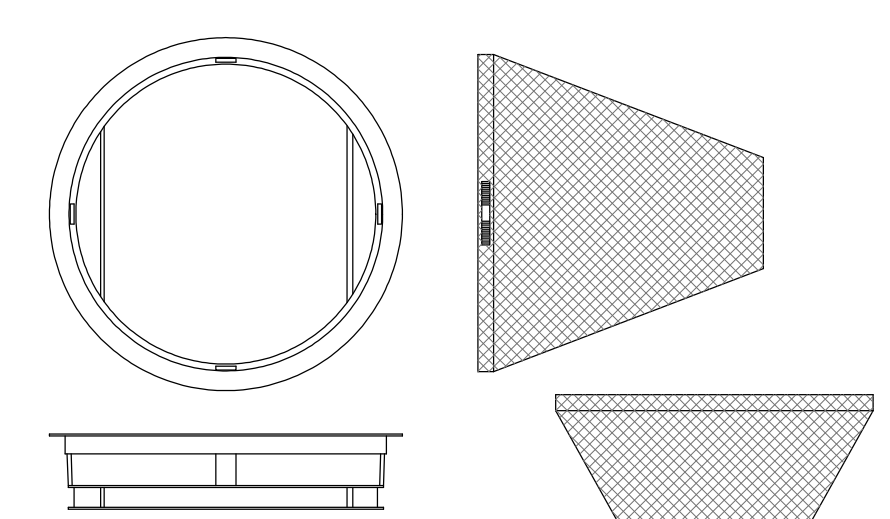
Note: The Dandy Bag Will Be Manufactured in The US From A Woven Monofilament Fabric That Meets Or Exceeds The Following Specifications:

Mechanical Properties	Test Method	Units	Min.
Crack Tensile Strength	ASTM D 2256	lb/inch	1500
Crack Elongation	ASTM D 2256	%	10
Machine Break Strength	ASTM D 2256	lb/inch	200
Machine Break Elongation	ASTM D 2256	%	10
Aperture Size	ASTM D 2256	microns	100
Permeability	ASTM D 2256	cm/s	1.0

Note: All Dandy Bags Can Be Ordered With Our Optional Oil Absorbent Flap

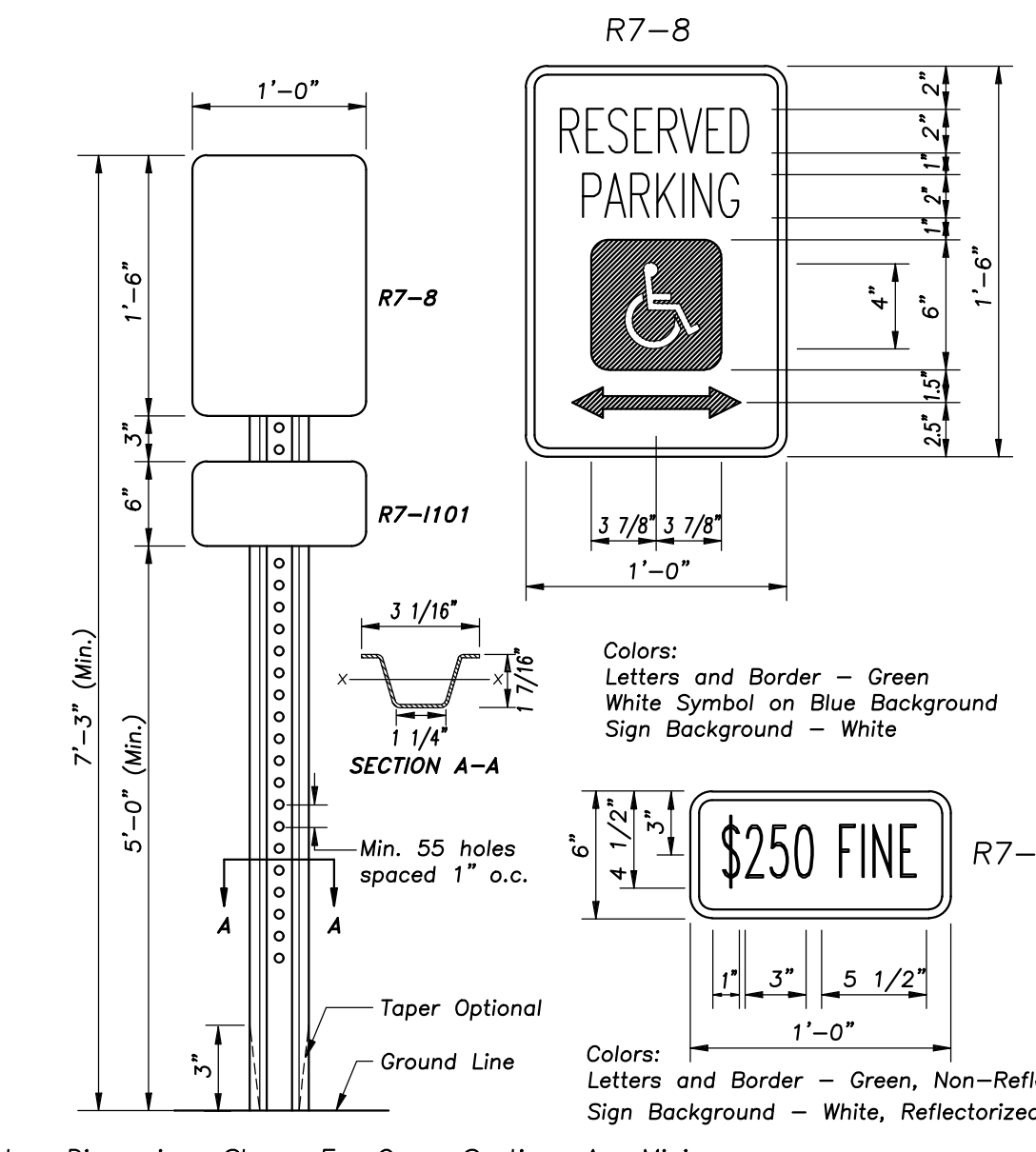


DANDY CURB BAG SEDIMENT CONTROL DEVICE



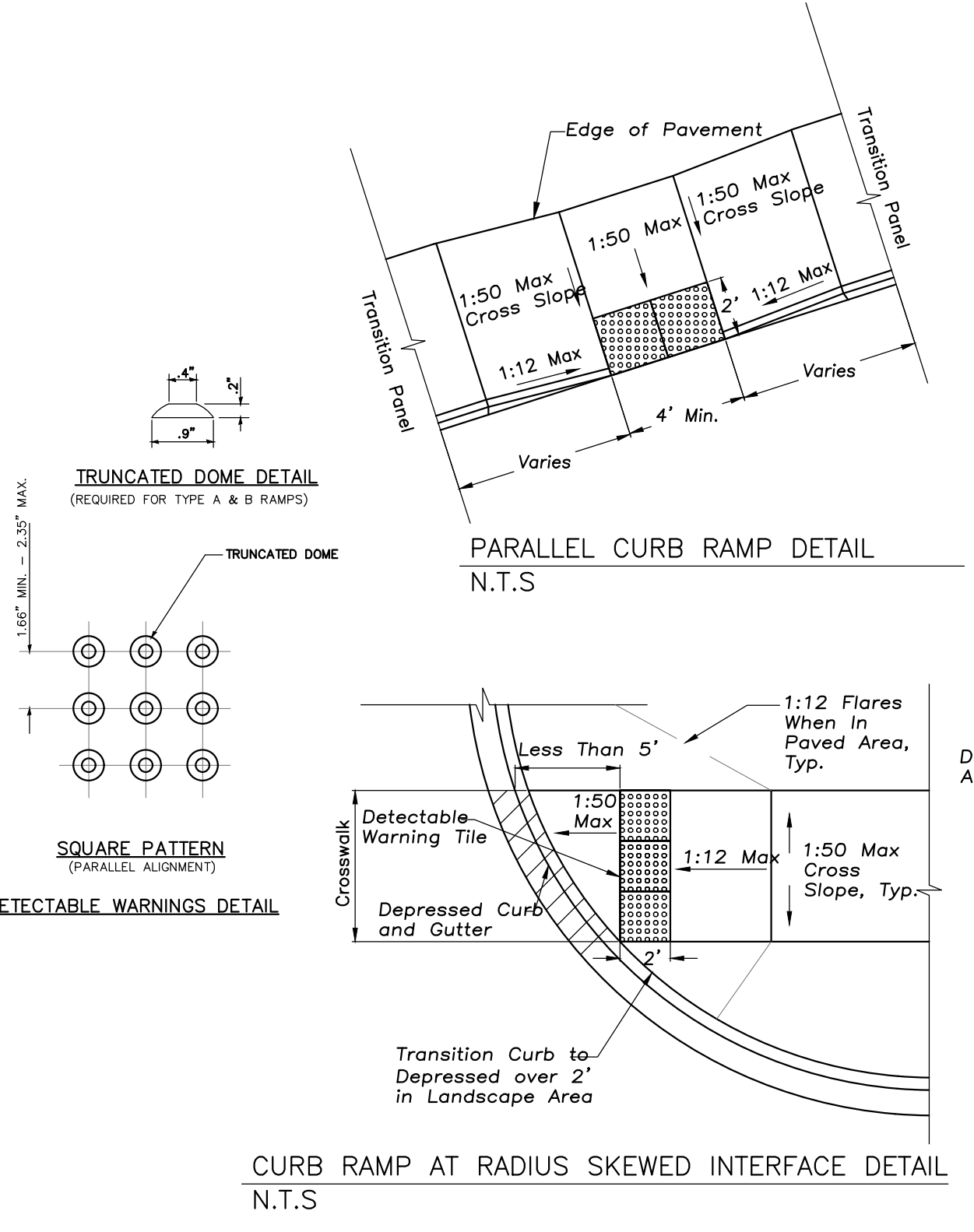
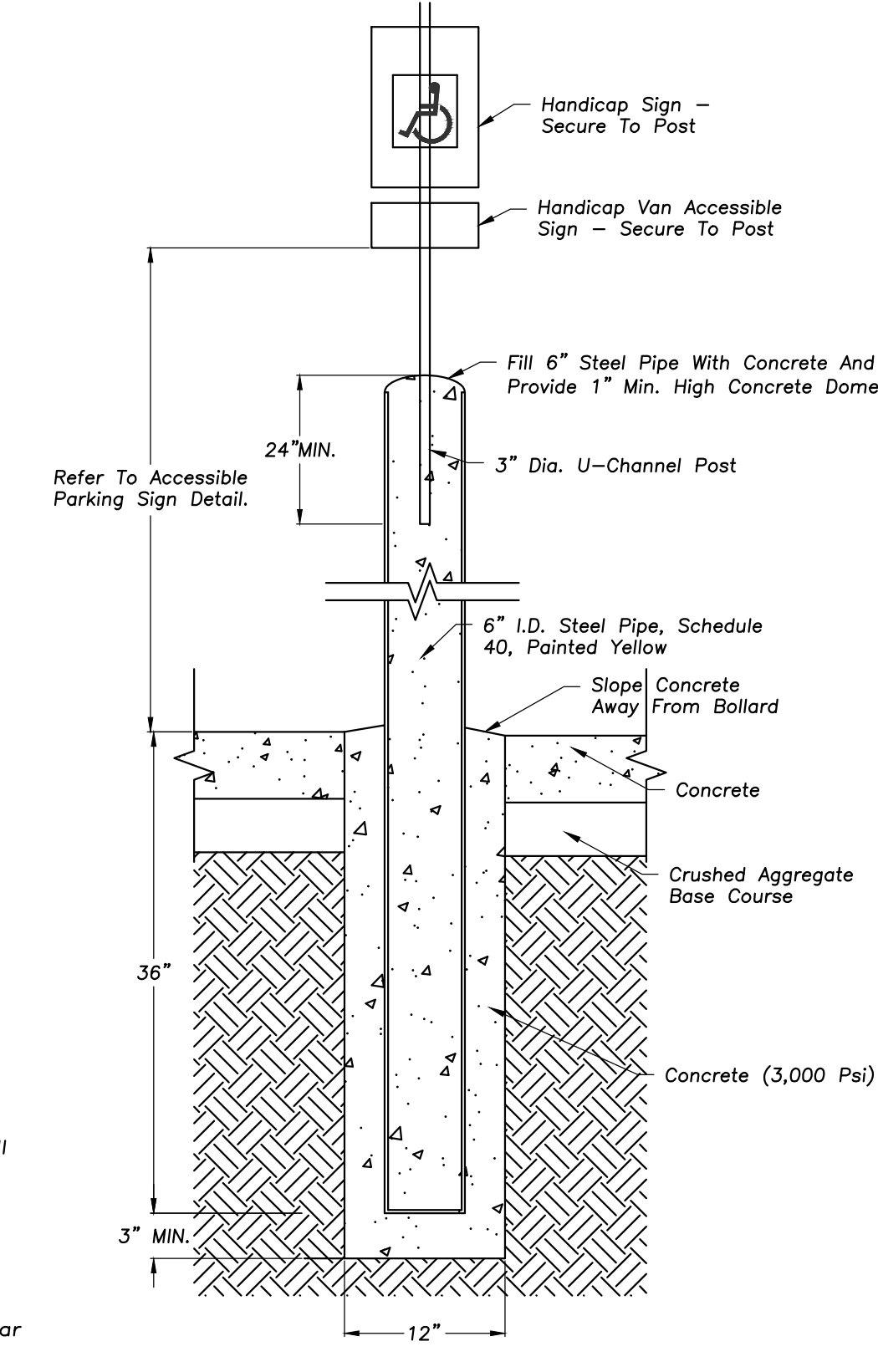
General Notes:
 Use Marathon Materials, Inc., "Catch-All" Inlet Protectors Or Approved Equal. Inlet Protector Types Shall Be Selected To Fit Frame and Grate of Open Lid Structures To Be Protected. www.marathonmaterials.com
 Frame: Top Flange Fabricated From 1 1/4" X 1 1/4" X 1/8" Angle. Base Rim Fabricated From 1 1/2" X 3/4" X 1/8" Channel. Handles And Suspension Brackets Fabricated From 1 1/2" X 1/2" Flat Stock. All Domestic Steel Conforming To ASTM-A36
 Sediment Bag: Bag Fabricated From A Geotextile Non-woven Polypropylene Geotextile Reinforced With Polyester Mesh. Bag Secured To Base Rim With A Stainless Steel Strap And Lock.
 Install Baskets In All Existing Storm Inlets Prior To Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

INLET PROTECTORS - SEDIMENT BAG

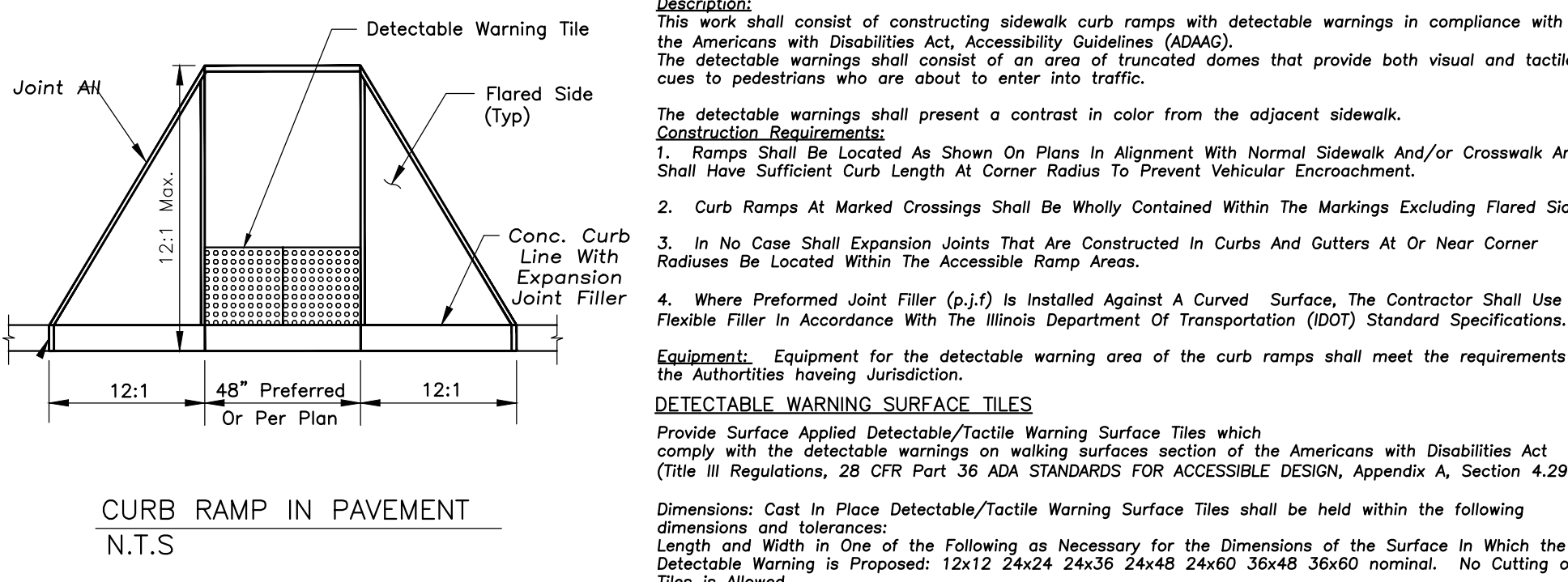
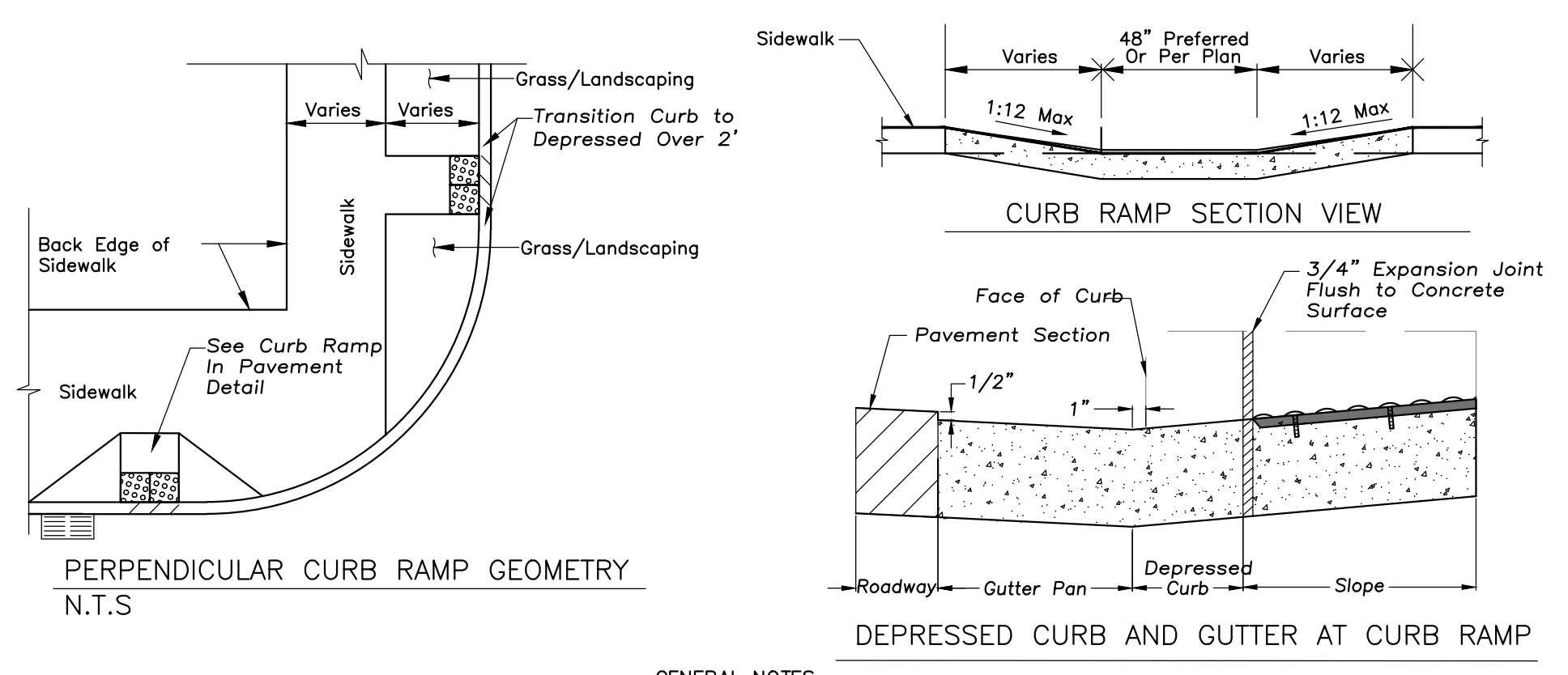


Notes: Dimensions Shown For Cross Sections Are Minimum.
 All Holes Are 3/8" ø. Minimum Section Modulus About The X-X Axis Of The Post Shall Be 0.223 In.
 For Posts In Which Holes Are Punched Or Drilled For More Than Half Their Length, The Section Modulus Shall Be Computed For The Net Section.
 3"-6" Post Bury Depth.
 Post Shall Weigh 2.00 Lb/T Length.
 One In Six Accessible Parking Spaces Must Be Van Accessible, Minimum Of One Van Accessible Spaces Have The Same Requirement Except They Must Also Have 96" Of Clear Vertical Space.

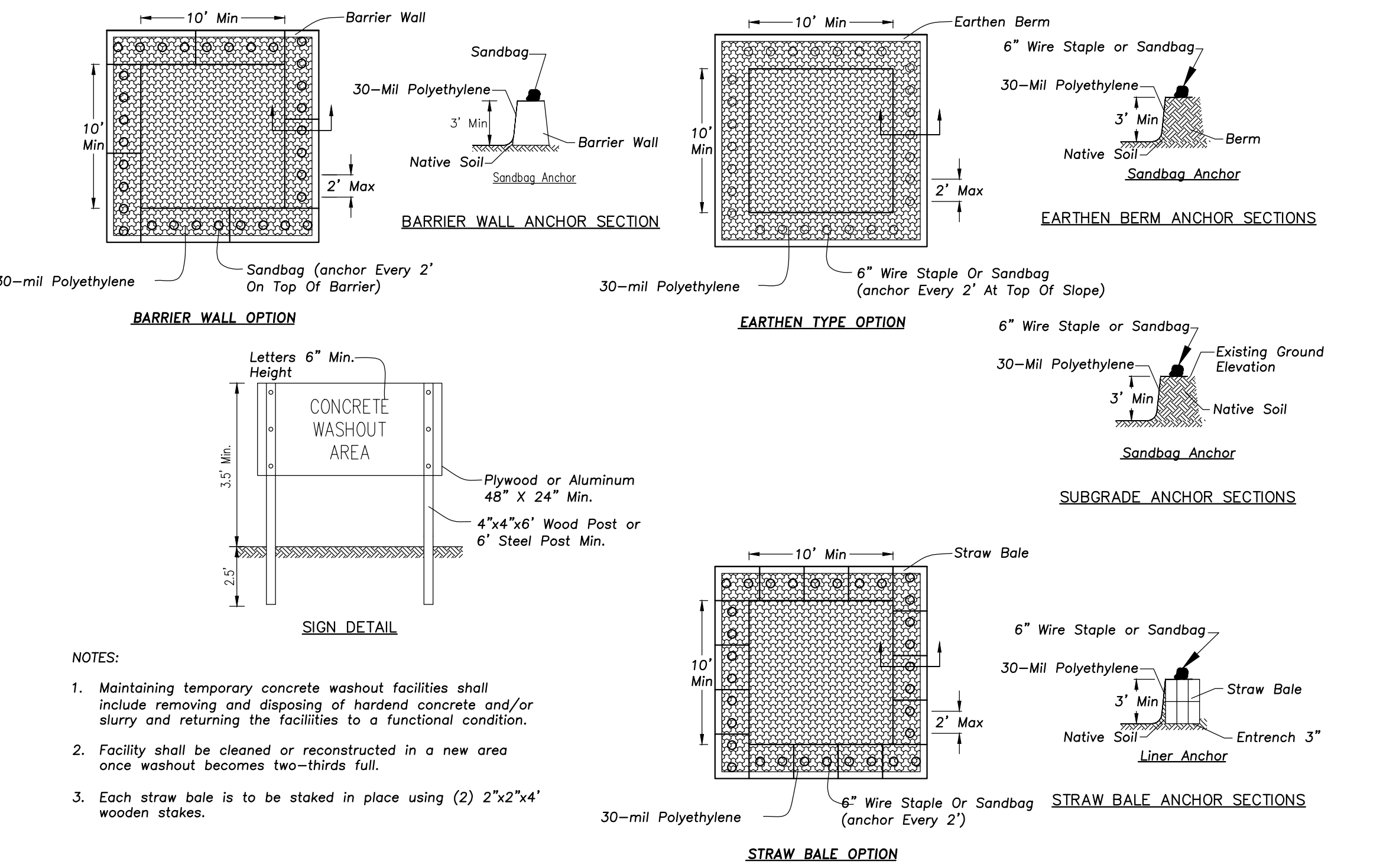
ACCESSIBLE PARKING SIGN IN BOLLARD



ACCESSIBLE RAMPS FOR SIDEWALKS

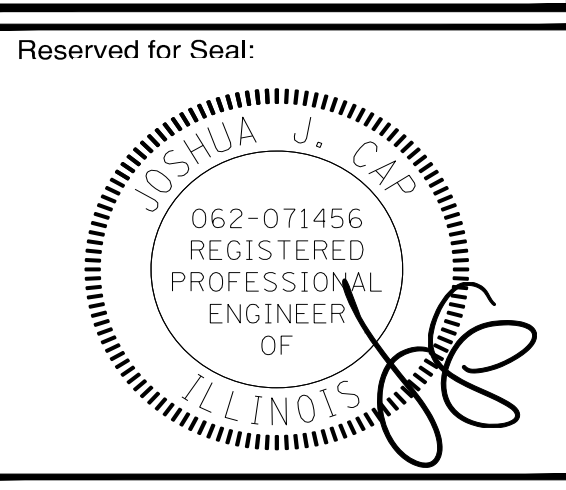


GENERAL NOTES
Specification:
 This work shall consist of constructing sidewalk curb ramps with detectable warnings in compliance with the Americans with Disabilities Act, Accessibility Guidelines (AGMG).
 The detectable warnings shall consist of an area of truncated domes that provide both visual and tactile cues to pedestrians who are about to enter into traffic.
 The detectable warnings shall present a contrast in color from the adjacent sidewalk.
Construction Requirements:
 1. Ramps Shall Be Located As Shown On Plans In Alignment With Normal Sidewalk And/or Crosswalk And Shall Have Sufficient Curb Length At Corner Radius To Prevent Vehicular Encroachment.
 2. Curb Ramps At Marked Crossings Shall Be Wholly Contained Within The Markings Excluding Flared Sides.
 3. In No Case Shall Expansion Joints That Are Constructed In Curbs And Gutters At Or Near Corner Radiuses Be Located Within The Accessible Ramp Areas.
 4. Where Preformed Joint Filler (p.j.f.) Is Installed Against A Curved Surface, The Contractor Shall Use A Flexible Filler In Accordance With The Illinois Department Of Transportation (IDOT) Standard Specifications.
Equipment: Equipment for the detectable warning area of the curb ramps shall meet the requirements of the Authority Having Jurisdiction.
DETECTABLE WARNING SURFACE TILES
 Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2
 Dimensions: Cast In Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances:
 Length and Width in One of the Following as Necessary for the Dimensions of the Surface in Which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of Tiles is Allowed.
 Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions.
 Verify With The Local Authorities Having Jurisdiction that Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface.
 Verify With The Local Authorities Having Jurisdiction that the Manufacturer's Products are Acceptable for the Detectable Warning Surface.



CONCRETE WASHOUT FACILITY

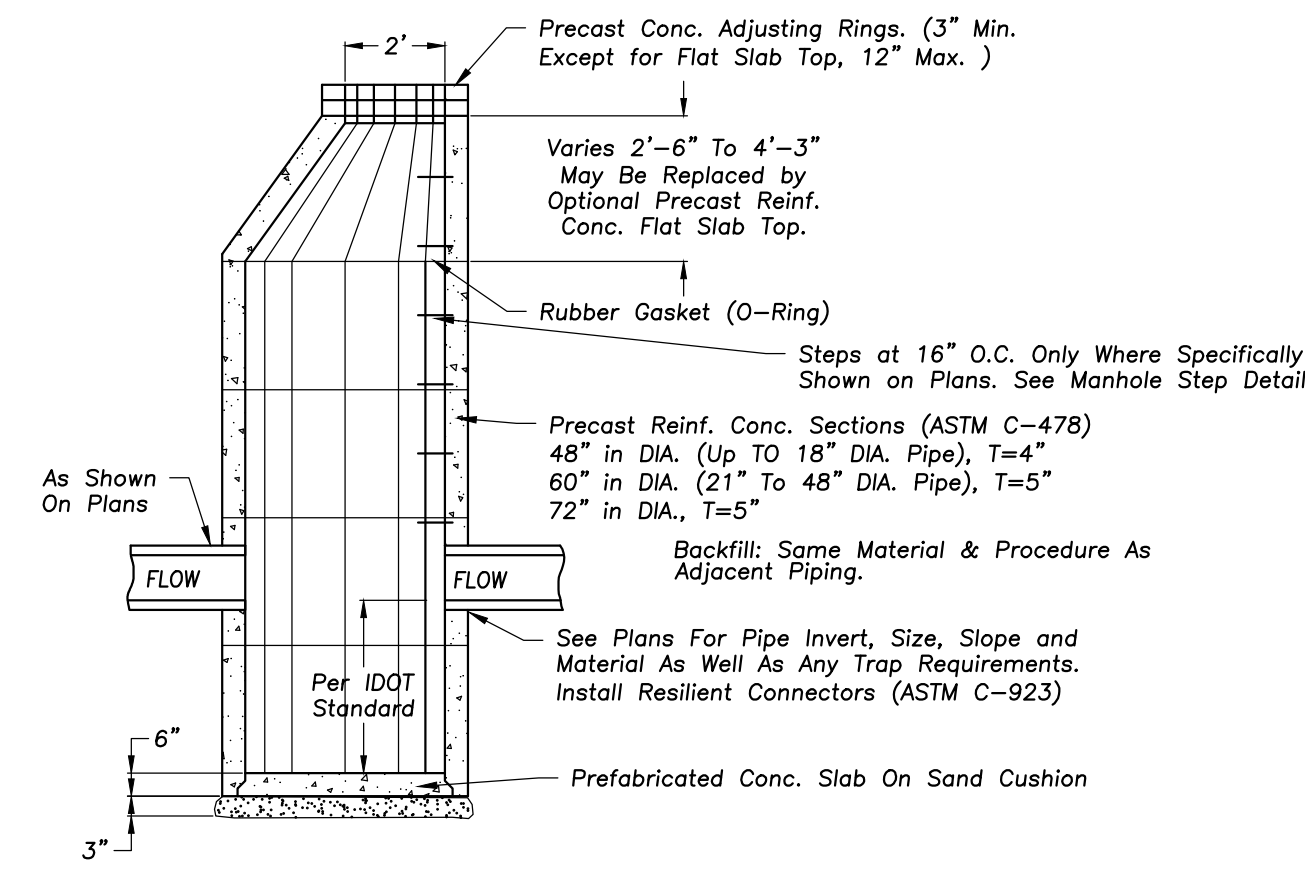
NOTES:
 1. Maintaining temporary concrete washout facilities shall include removing and disposing of harden concrete and/or slurry and returning the facilities to a functional condition.
 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
 3. Each straw bale is to be staked in place using (2) 2"x2"x4" wooden stakes.



No.	Date	Description
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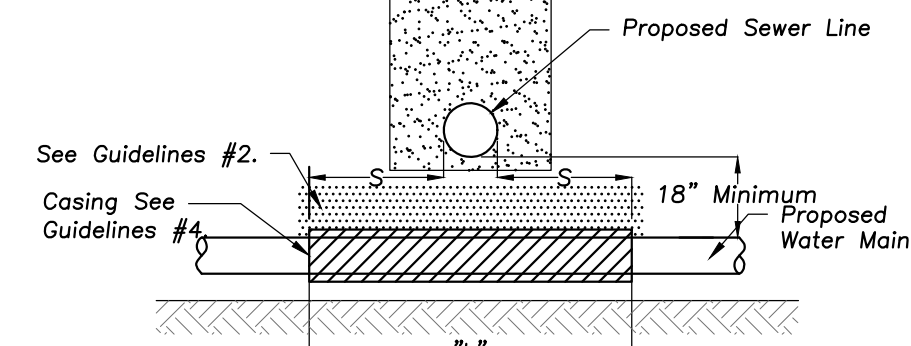
Sheet Title:
SITE WORK DETAILS

Sheet No:
C601



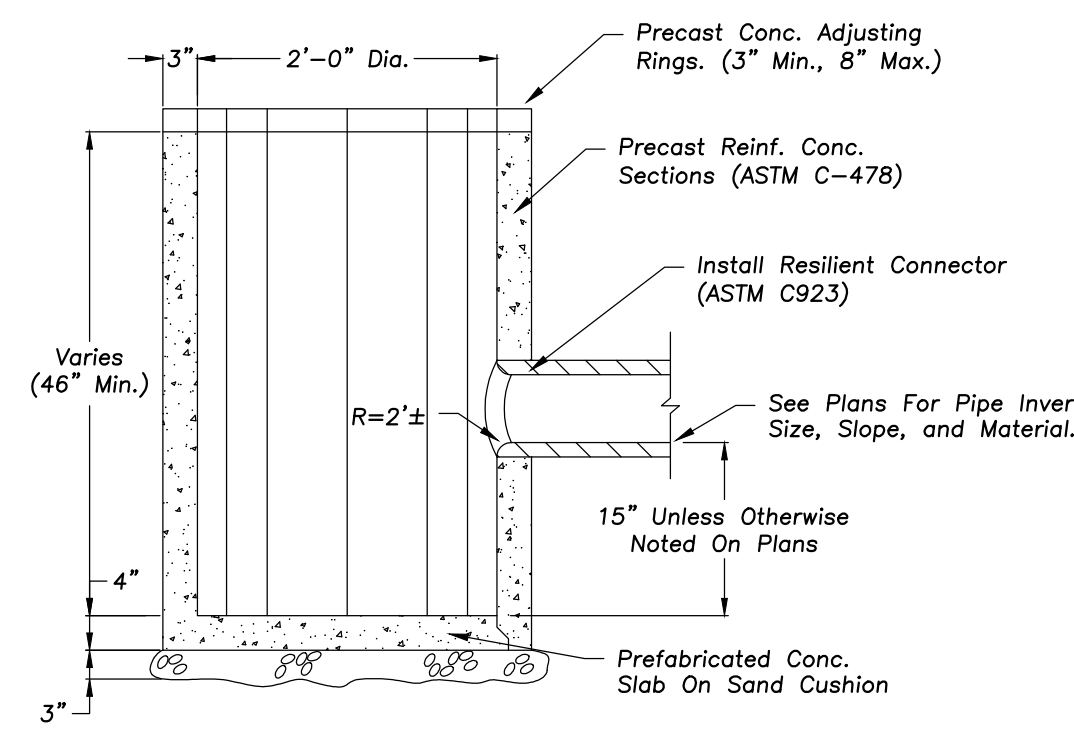
CATCH BASIN

(Taken From Standard Specifications for Water and Sewer Main Construction in Illinois, May 1996)
 Note: Compactions Refer to 20-2.20B



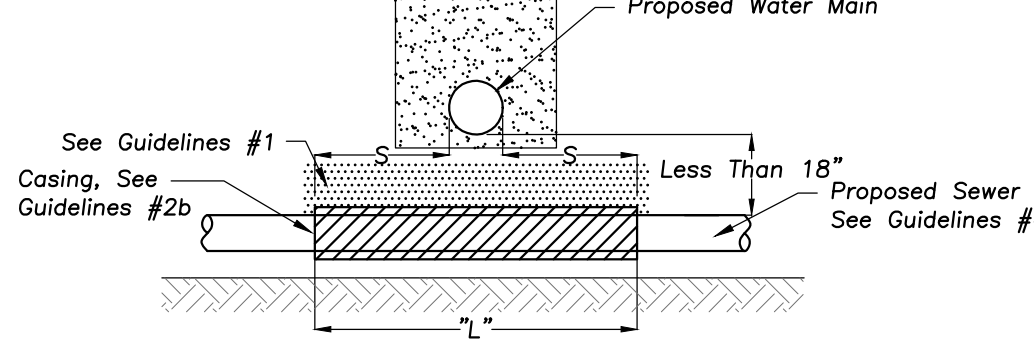
Proposed Water Main Below Existing Sewer Line With 18" Minimum Vertical Separation.

- Guidelines
1. Omit select granular embankment and granular backfill to one (1) foot over top of watermain and use select excavated material (Class IV) and compact the length of "L".
 2. If select granular backfill exists, remove within width of existing sewer line trench and replace with select excavated material (Class IV) and compact.
 3. Provide adequate support for existing sewer line to prevent damage due to settlement.
 4. Use "L" feet of water main material for casing of proposed water main and seal ends of casing.



CATCH BASIN - 2' DIA.

(Taken From Standard Specifications for Water and Sewer Main Construction in Illinois, May 1996)
 Note: Compactions Refer to 20-2.20B

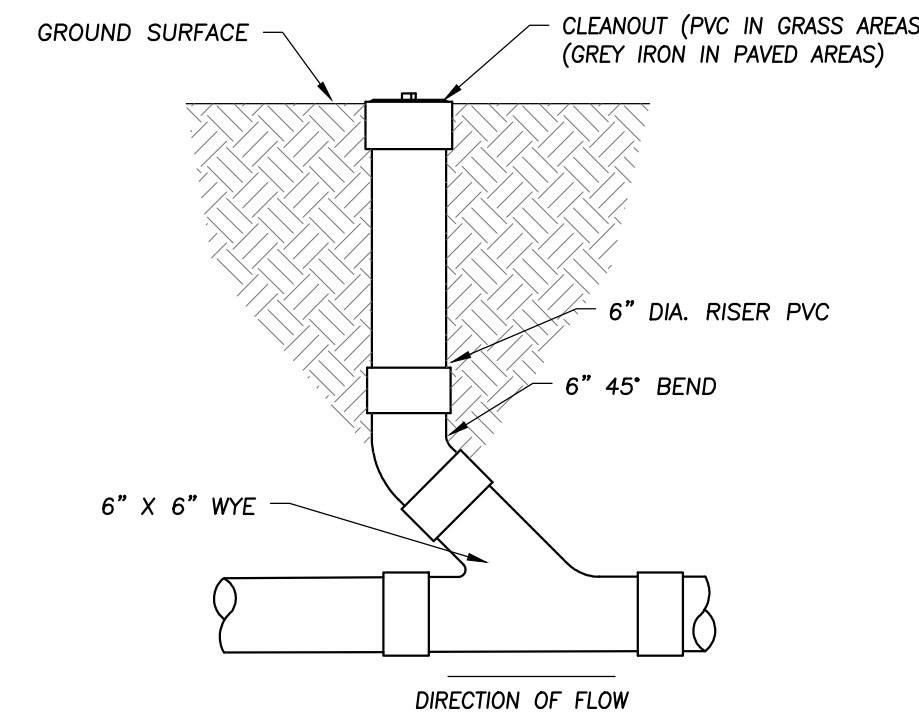


Proposed Sewer Line Below Existing Water Main With Less Than 18" Vertical Separation

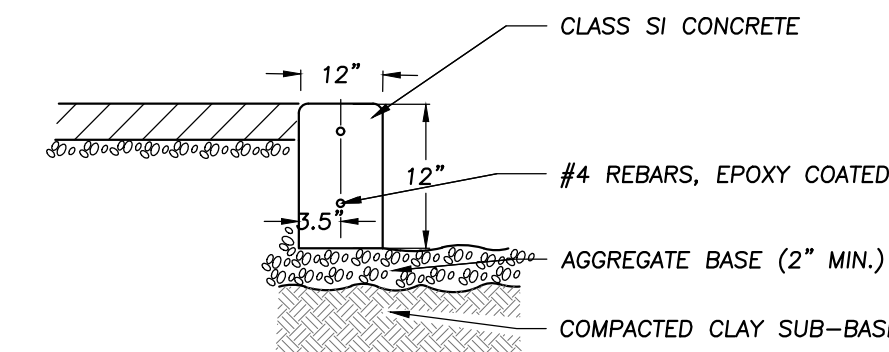
- Guidelines
1. Omit select granular embankment and granular backfill to one (1) foot over top of watermain and use select excavated material (Class IV) and compact for "5" feet on each side of water main.
 - 2a. Construct "L" feet of proposed sewer or water main material and pressure test, or:
 2b. Use "L" feet of water main material for casing of proposed sewer and seal ends of casing.
 3. Provide adequate support for existing water main to prevent damage due to settlement of sewer trench.

WATER AND SEWER SEPARATION REQUIREMENTS

WATER AND SEWER SEPARATION REQUIREMENTS

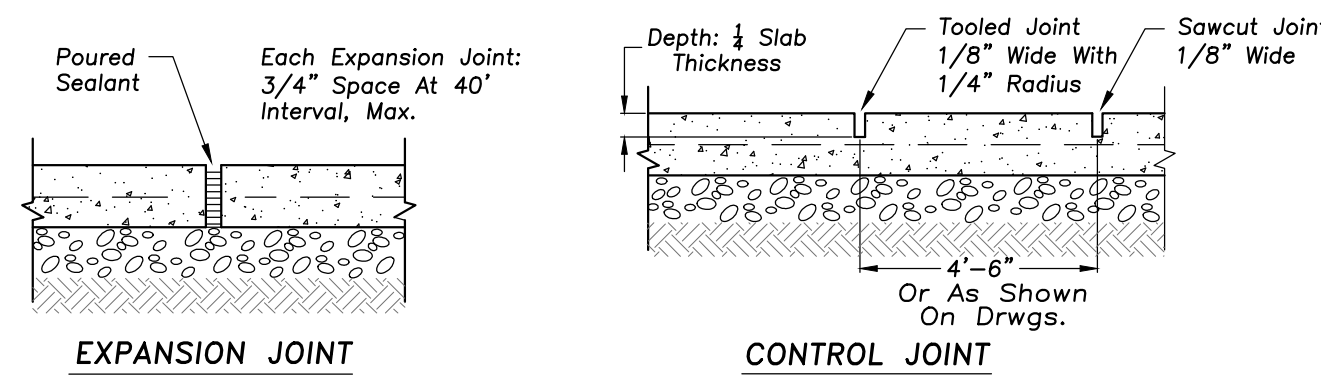


CLEANOUT



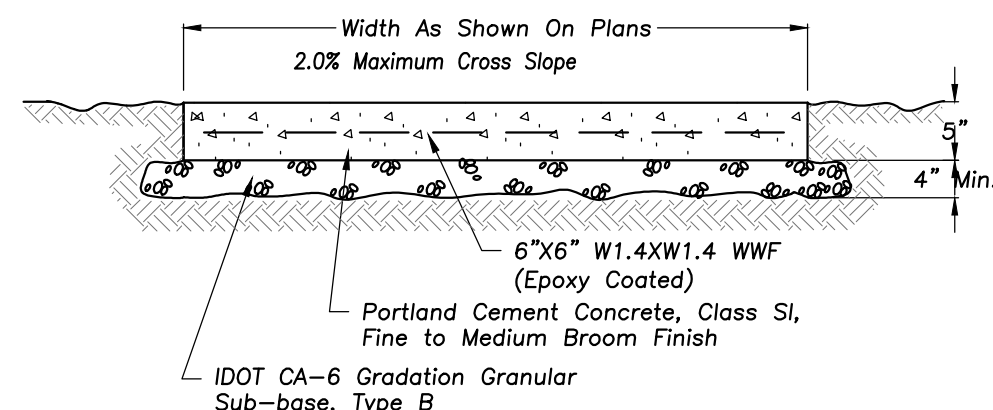
FLUSH CURB

- NOTES:
1. A 1" expansion joint shall be installed at all points of curvature for short radius (under 25 ft.) curves. Maximum expansion joint spacing is 50'. Expansion joints shall be constructed with 1" thick preformed expansion joint filler conforming to the curb and gutter cross section and shall be provided with one 1-1/4" diameter, 18" long, coated smooth dowel bar. The dowel bar shall be fitted with a cap with a pinched stop which provides a minimum of 1" of expansion.
 2. Maximum contraction/control joint spacing shall be (20') twenty feet.

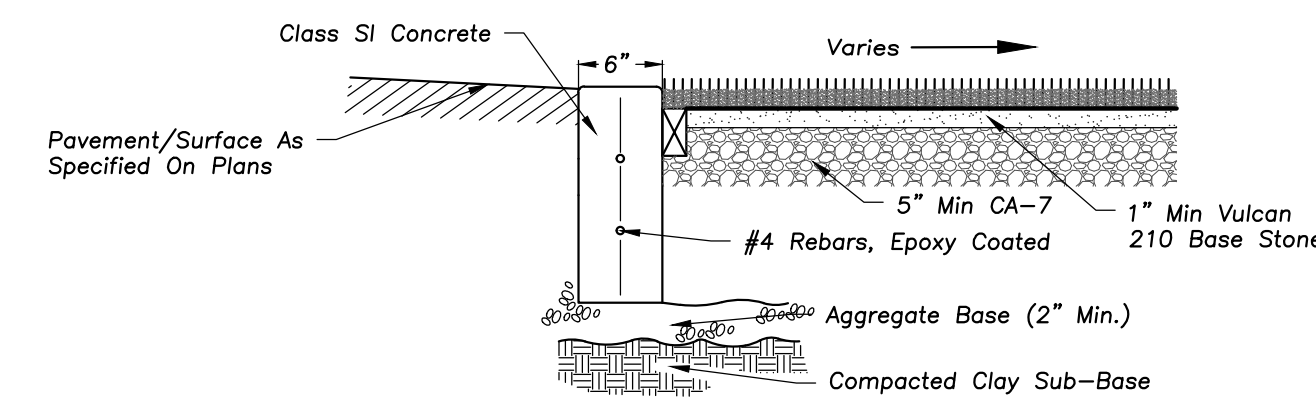


EXPANSION JOINT

CONTROL JOINT

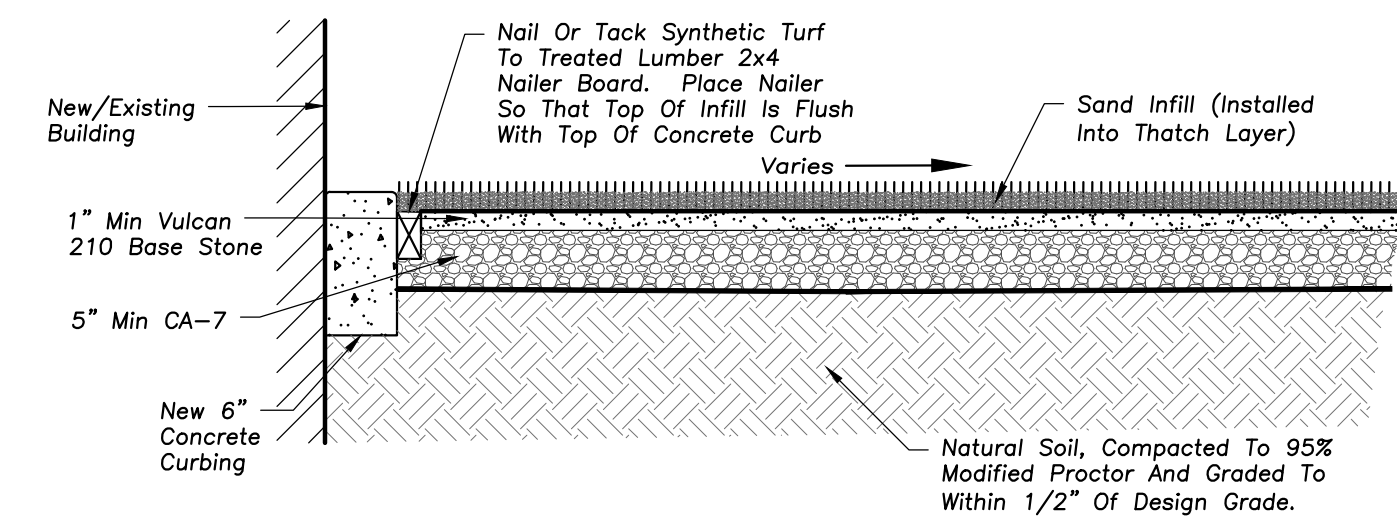


PORTLAND CEMENT CONC. SIDEWALK

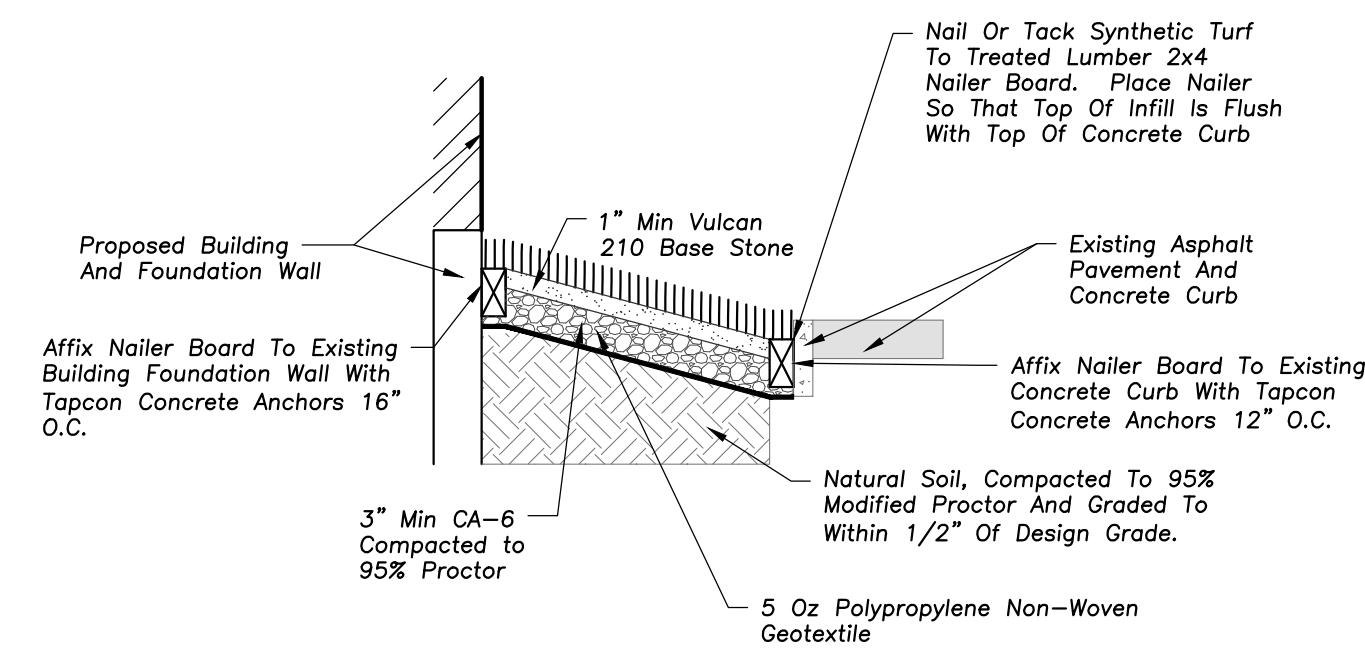


MODIFIED TYPE B PERIMETER CURB WITH NAILER BOARD

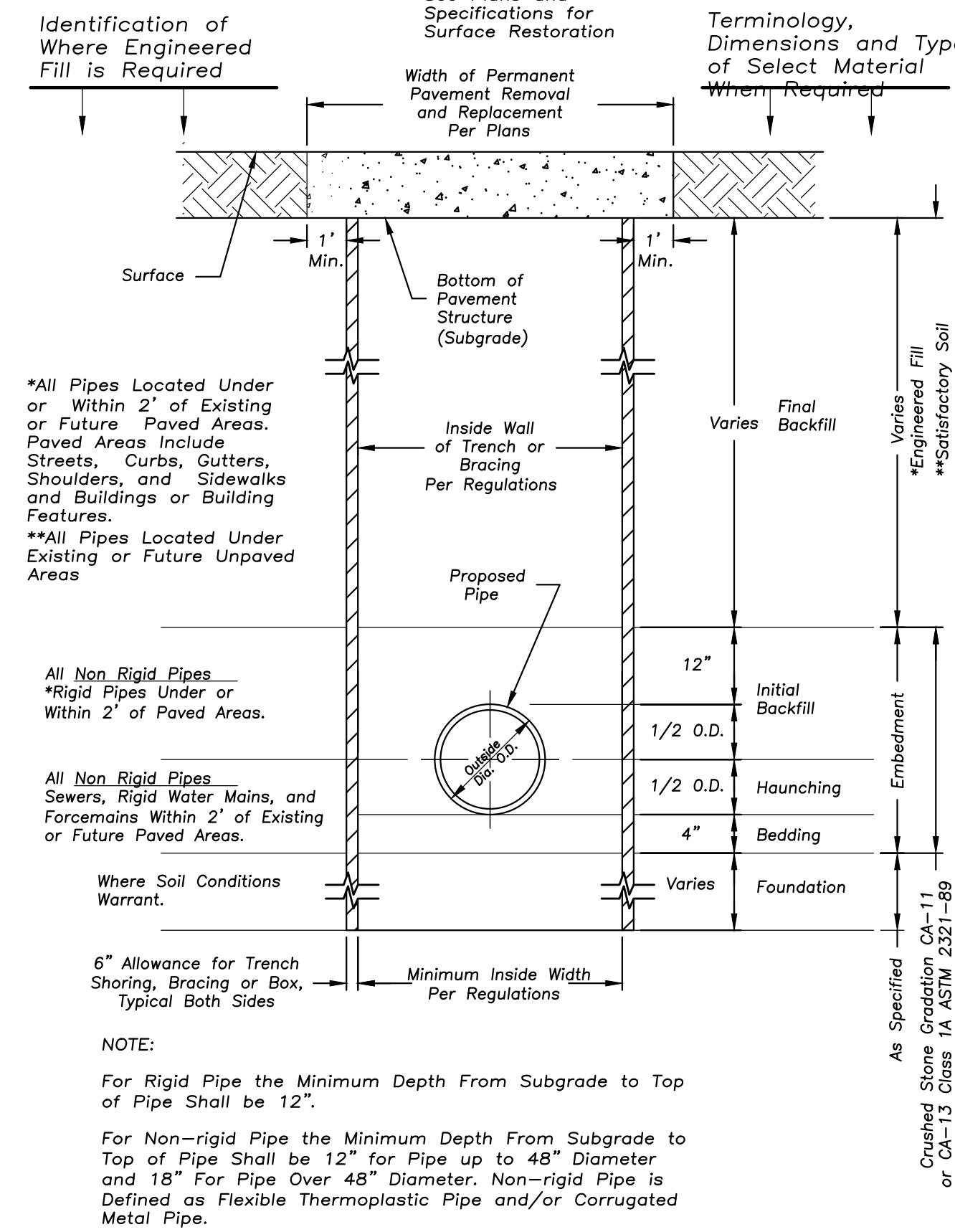
- Notes:
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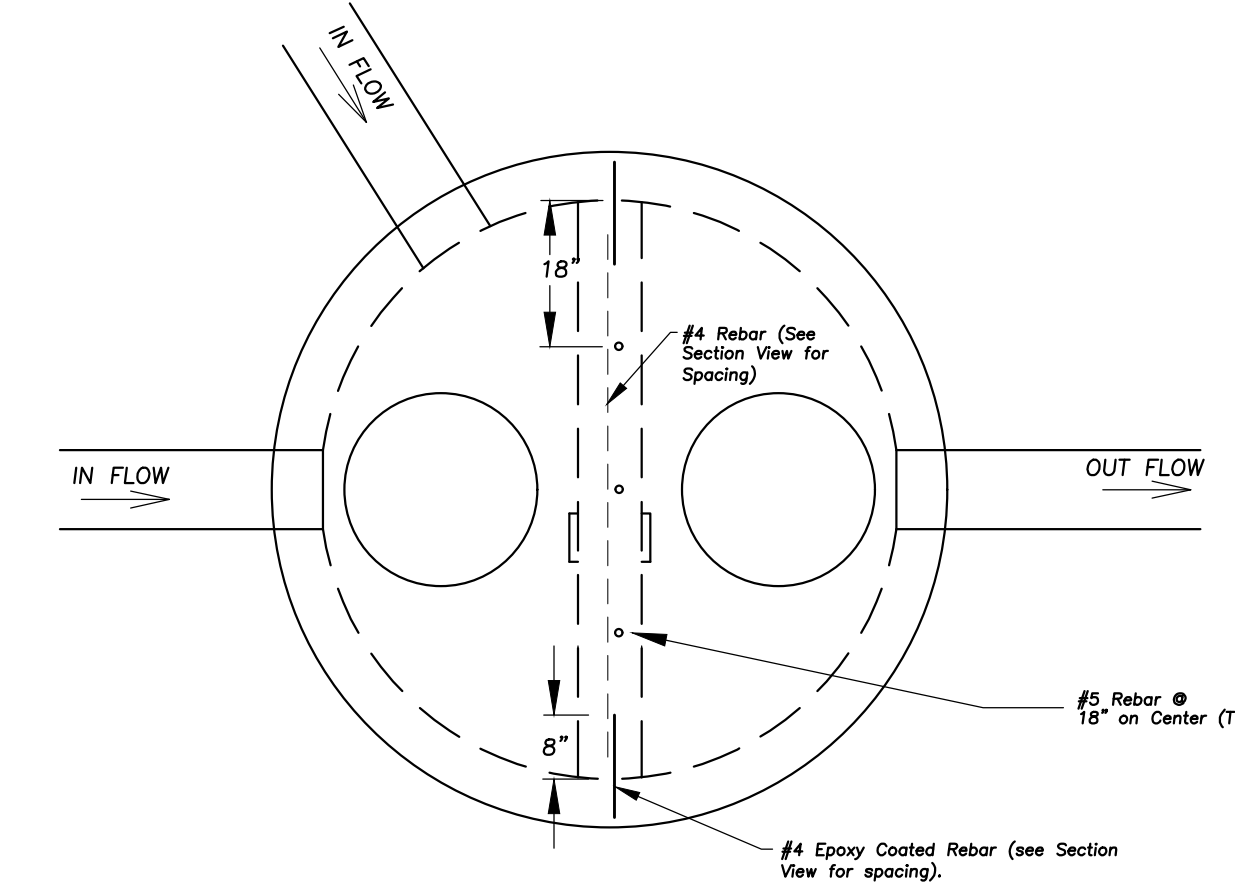
SYNTHETIC TURF DETAIL



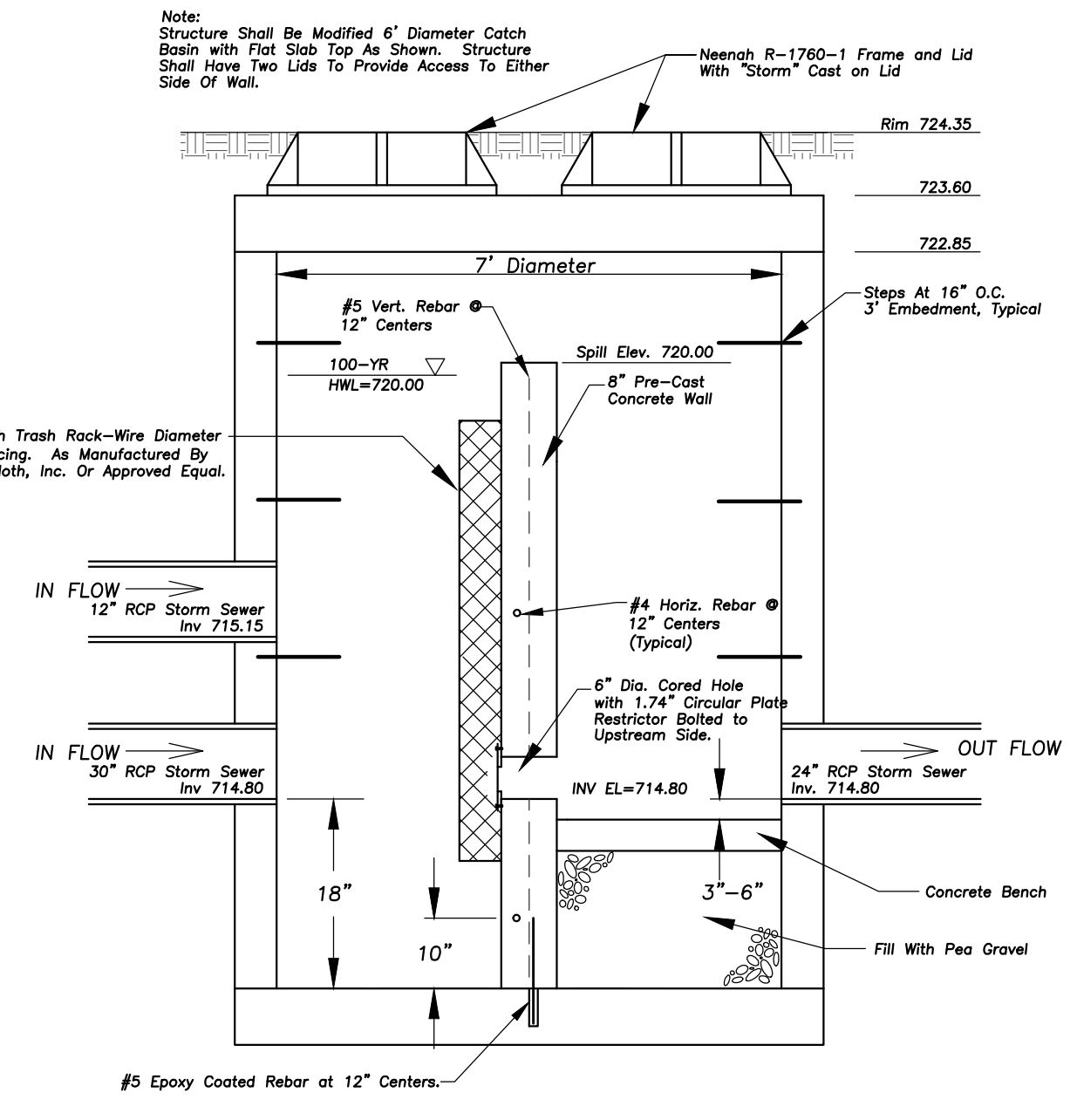
SYNTHETIC TURF AT FOUNDATION DETAIL



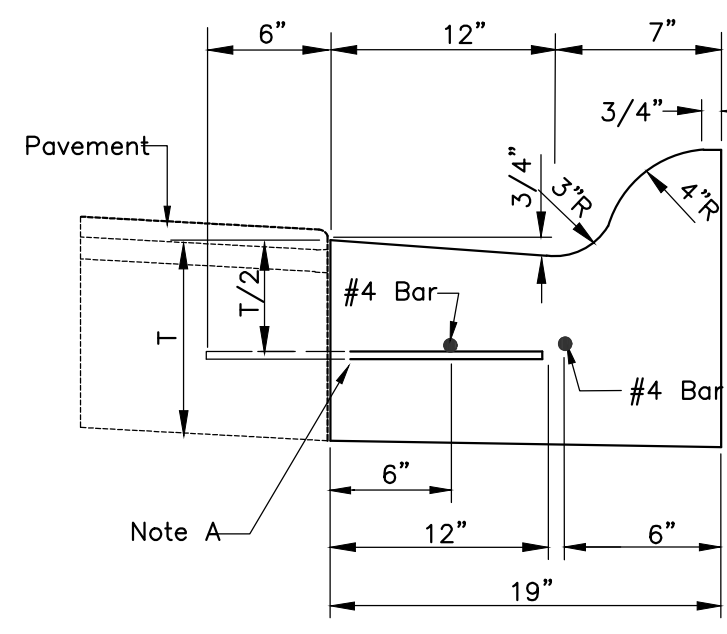
STANDARD SEWER AND WATER TRENCH SECTION



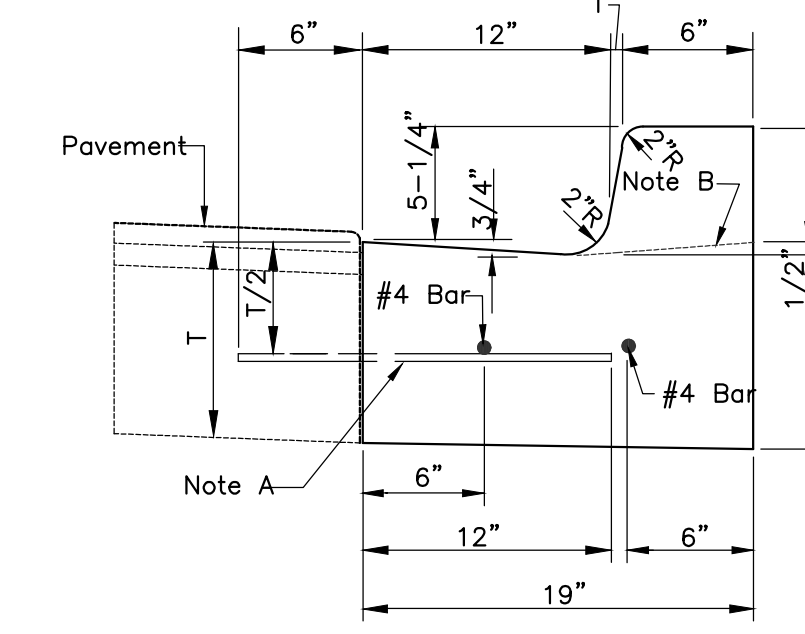
PLAN VIEW NOT TO SCALE



RESTRICTOR STRUCTURE



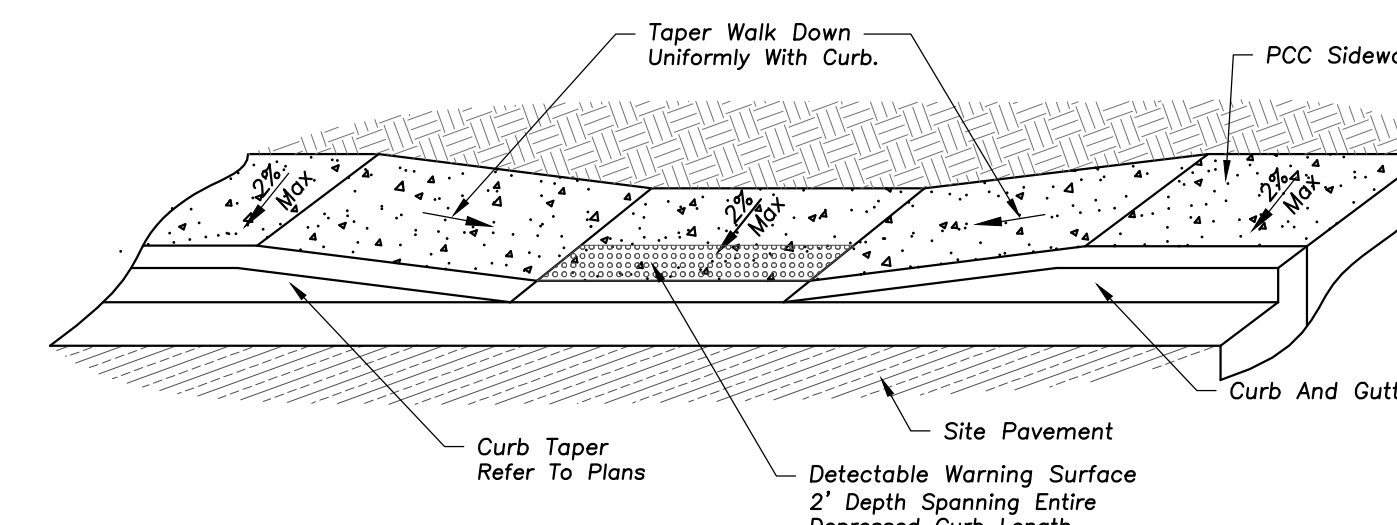
ROLL TYPE CURB



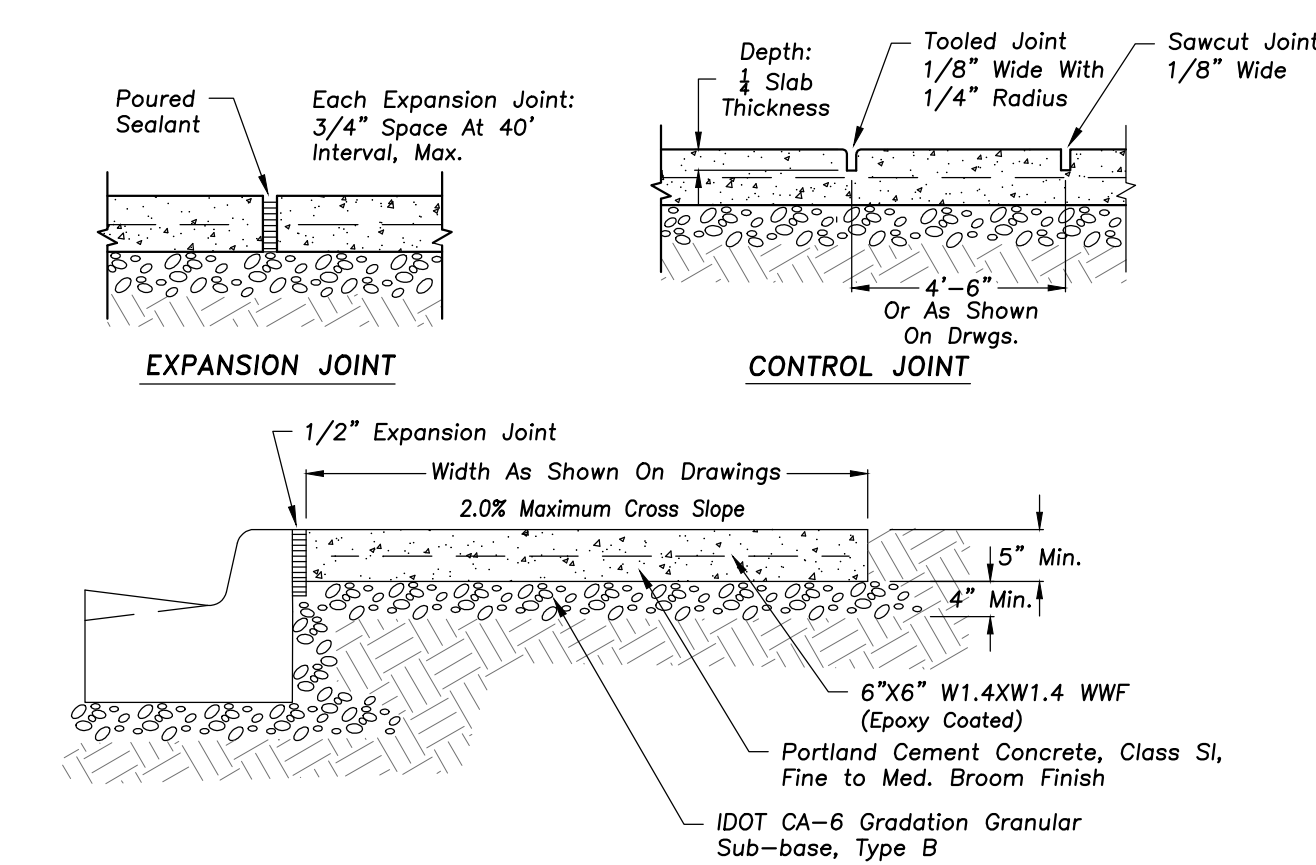
B-6.12 CURB & GUTTER

- Notes:
1. 2-#4 Longitudinal Bars 20 Feet In Length With 12" Overlaps, At 60' Intervals, Except At Expansion Joints.
 2. Expansion Joints Shall Be A Minimum Of 3/4" Preformed Expansion Material And Shall Be Provided With A 1" Dia. X 18" Coated Smooth Dowel Bar Fitted With A Cap That Will Allow A Minimum Of 1" Of Expansion.
 3. Construction Joints Shall Be Template Formed Or Saw-cut (Within 24 Hours Of Placement Of The Curb) To 1/5th The Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints Depth Of The Gutter Flag At 20ft. Intervals Or At The Joints In An Adjacent Concrete Pavement.

- Note "a"
 1/2" Dia. Steel Tie Bars @ 2'-6" Centers Grouted In Place Of 5/8" Dia. J-bolts Anchored In Place. (omit For Bituminous Base.)
- Note "b"
 Profile For Depressed Curb @ Driveways And Ramps



DEPRESSED ACCESSIBLE LANDING DETAIL



PORTLAND CEMENT CONC. SIDEWALK

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-033220
 EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL
 BUILDING ADDITION AND RENOVATIONS
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal

No.	Date	Description
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DESIGN BY: LMR APPROVED BY: JC DATE: 05/22/23

SHEET TITLE: SITE WORK DETAILS

SHEET NO: C602

EEA - P:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions Drawings\Patton_Siteplan - Patton.dwg
 Plotted: 5/19/23 @ 9:50am By: irasibubur



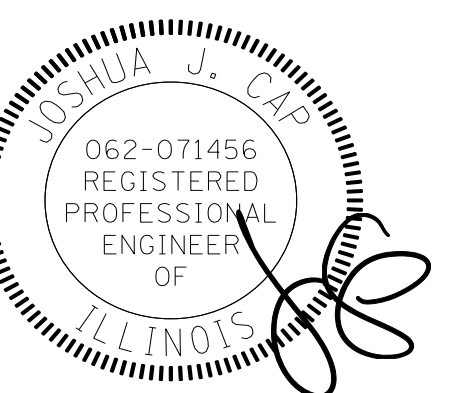
**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
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1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal



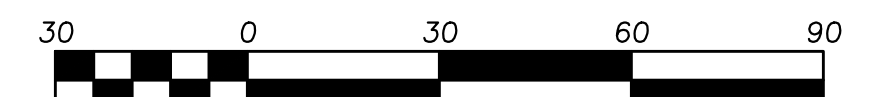
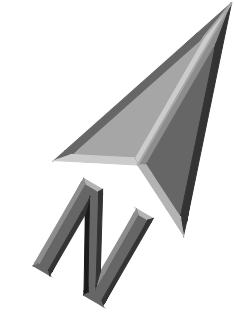
No.	Date	Description
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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**EXISTING SITE
COVERAGE**

Sheet No:
CX101



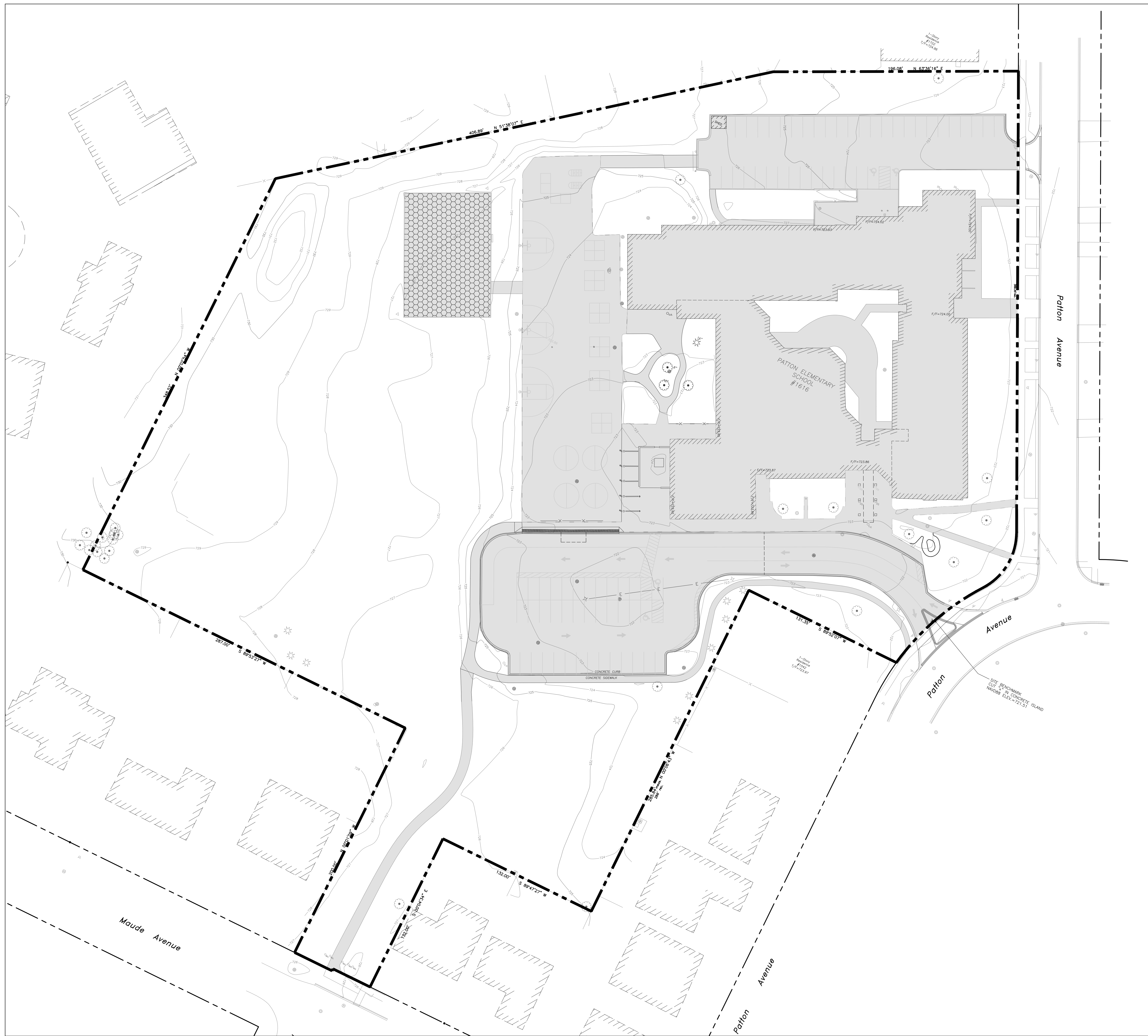
Scale: 1"=30'

EXHIBIT LEGEND

- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- PROPERTY LINE
330,927 SF
7.60 ACRES

EXISTING SITE CONDITIONS

- IMPERVIOUS AREA
130,085 SF = 3.00 ACRES
- PERMEABLE PLAYGROUND AREA
6,800 SF = 0.16 ACRES
- PERVIOUS AREA
193,442 SF = 4.44 ACRES
- RUNOFF COEFFICIENT
C = 0.68



EXISTING CONDITIONS



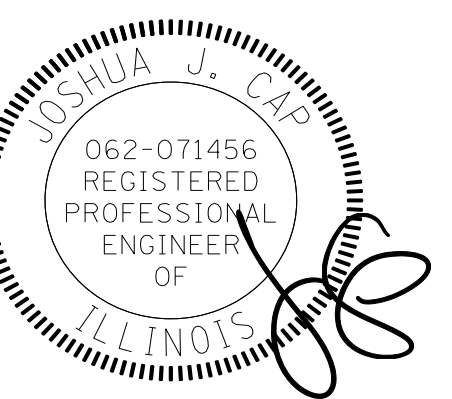
**ERIKSSON
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ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
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PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-0033220
EXPIRES: 04/30/2023

PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

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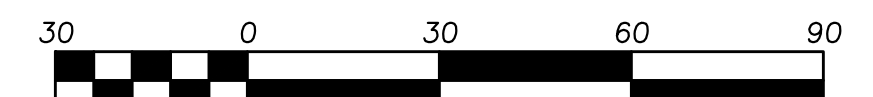
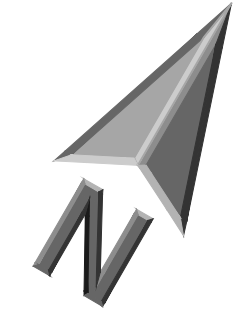
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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**PROPOSED SITE
COVERAGE**

Sheet No:
CX102



Scale: 1"=30'

EXHIBIT LEGEND

- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- PROPERTY LINE
330,927 SF
7.60 ACRES

PROPOSED SITE CONDITIONS

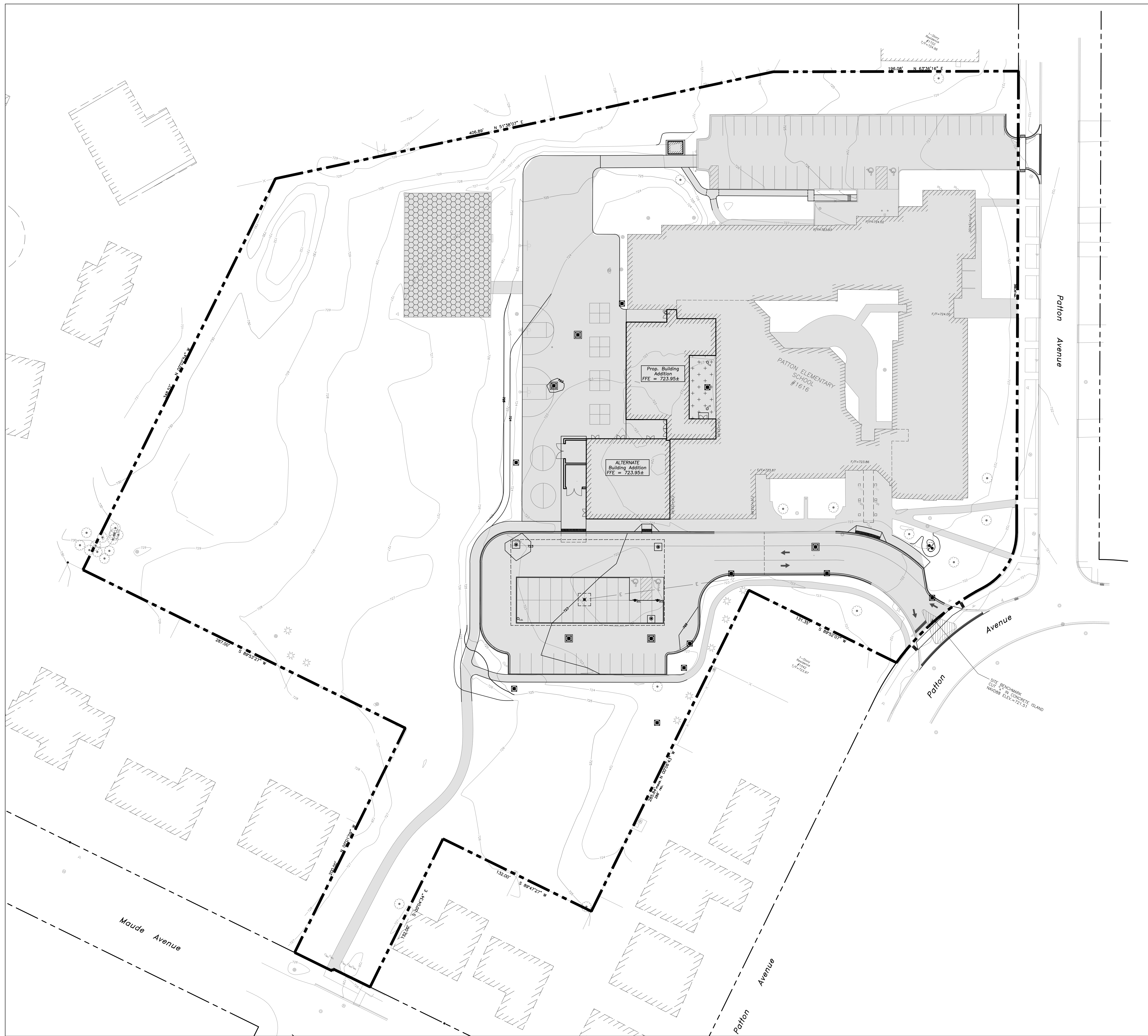
- IMPERVIOUS AREA
135,203 SF = 3.10 ACRES
- PERMEABLE PLAYGROUND AREA
6,800 SF = 0.16 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- PERVIOUS AREA
187,882 SF = 4.31 ACRES
- RUNOFF COEFFICIENT
C = 0.69

SUMMARY

- IMPERVIOUS AREA
= +0.10 ACRES
- SYNTHETIC TURF AREA
= +0.02 ACRES
- PERVIOUS AREA
= -0.12 ACRES

SWM REQUIREMENTS

- VILLAGE:
PROPOSED CONDITIONS (MRM B-75, Village Allowable Release)
= 0.683 AC-TT

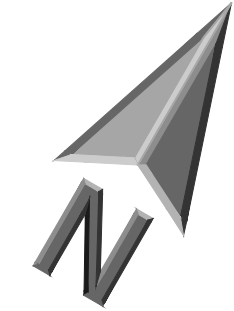


EXISTING CONDITIONS



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**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



Scale: 1"=30'

EXHIBIT LEGEND

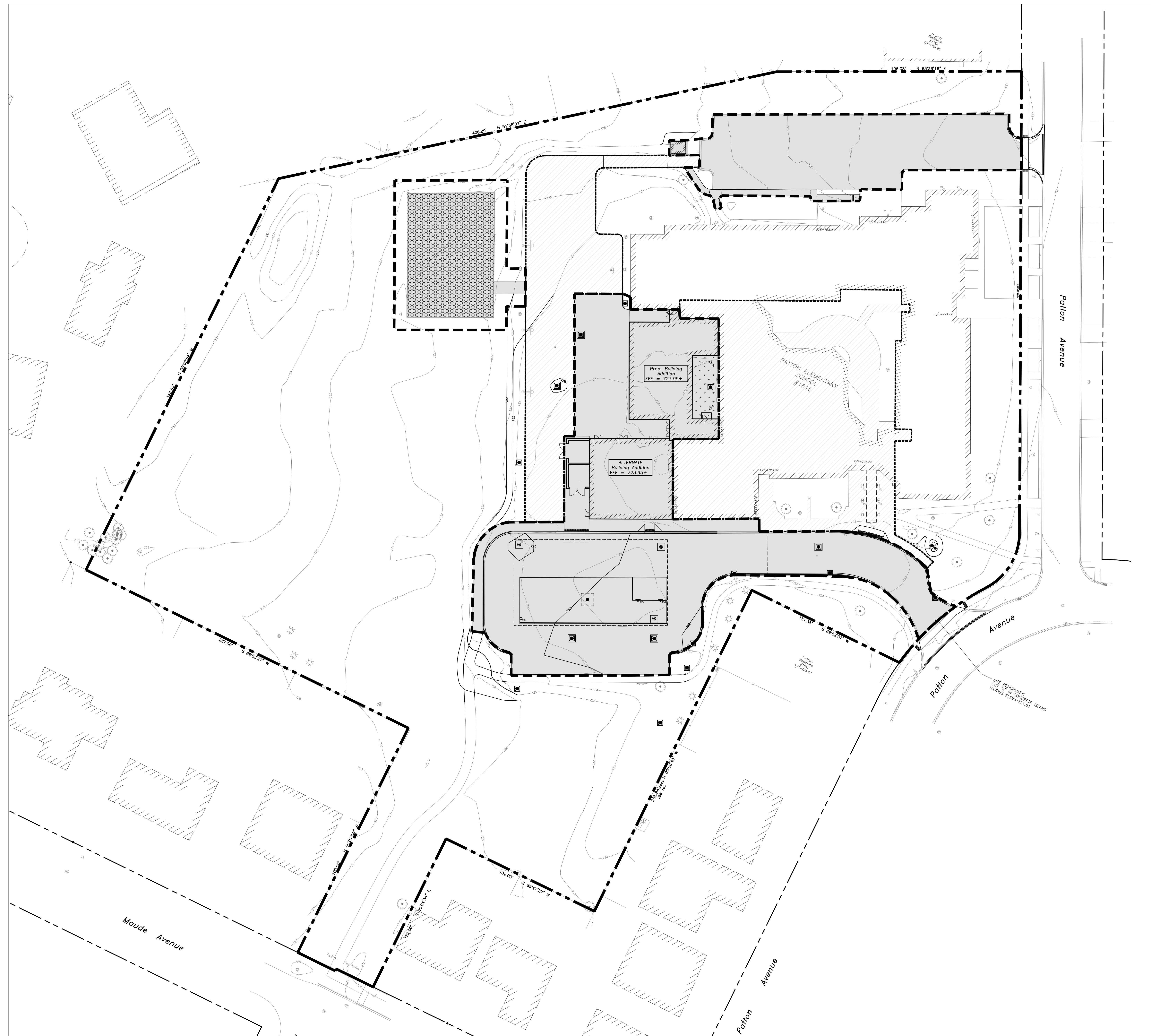
- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- 1990 DEVELOPMENT IMPERVIOUS AREA
- PROPERTY LINE
330,927 SF
7.60 ACRES
- DEVELOPMENT AREA (VILLAGE)
244,100 SF
1.01 ACRES
- 1990 DEVELOPMENT AREA
246,200 SF
1.06 ACRES

PROPOSED CONDITIONS

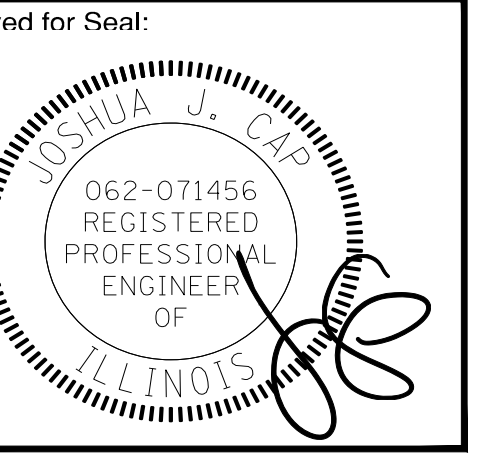
- 2023 DEVELOPMENT
IMPERVIOUS AREA
31,600 SF = 0.73 ACRES
- PERMEABLE PLAYGROUND AREA
6,960 SF = 0.16 ACRES
- PERVIOUS AREA
4,500 SF = 0.10 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- RUNOFF COEFFICIENT
C = 0.87

SWM REQUIREMENTS

- VILLAGE:
DETENTION REQUIRED FOR PROPOSED CONDITIONS
(MRM B-75, Village Allowable Release)
= 0.384 AC-FT
- DETENTION REQUIRED FOR 1990 DEVELOPMENT
(Per Record Permit 90-043)
= 0.387 AC-FT
- TOTAL VILLAGE DETENTION REQUIRED
0.384 + 0.387 = 0.771 AC-FT



PROPOSED CONDITIONS



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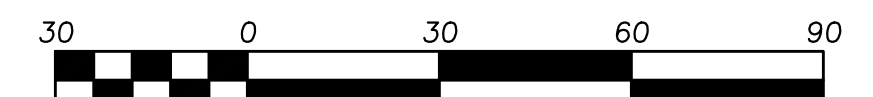
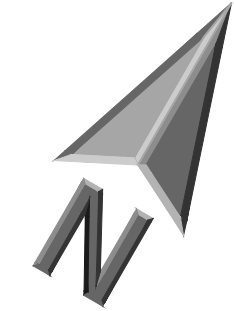
Sheet Title:
PROPOSED DEVELOPMENT AREA (VILLAGE SWM)

Sheet No:
CX201



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**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS



Scale: 1"=30'

EXHIBIT LEGEND

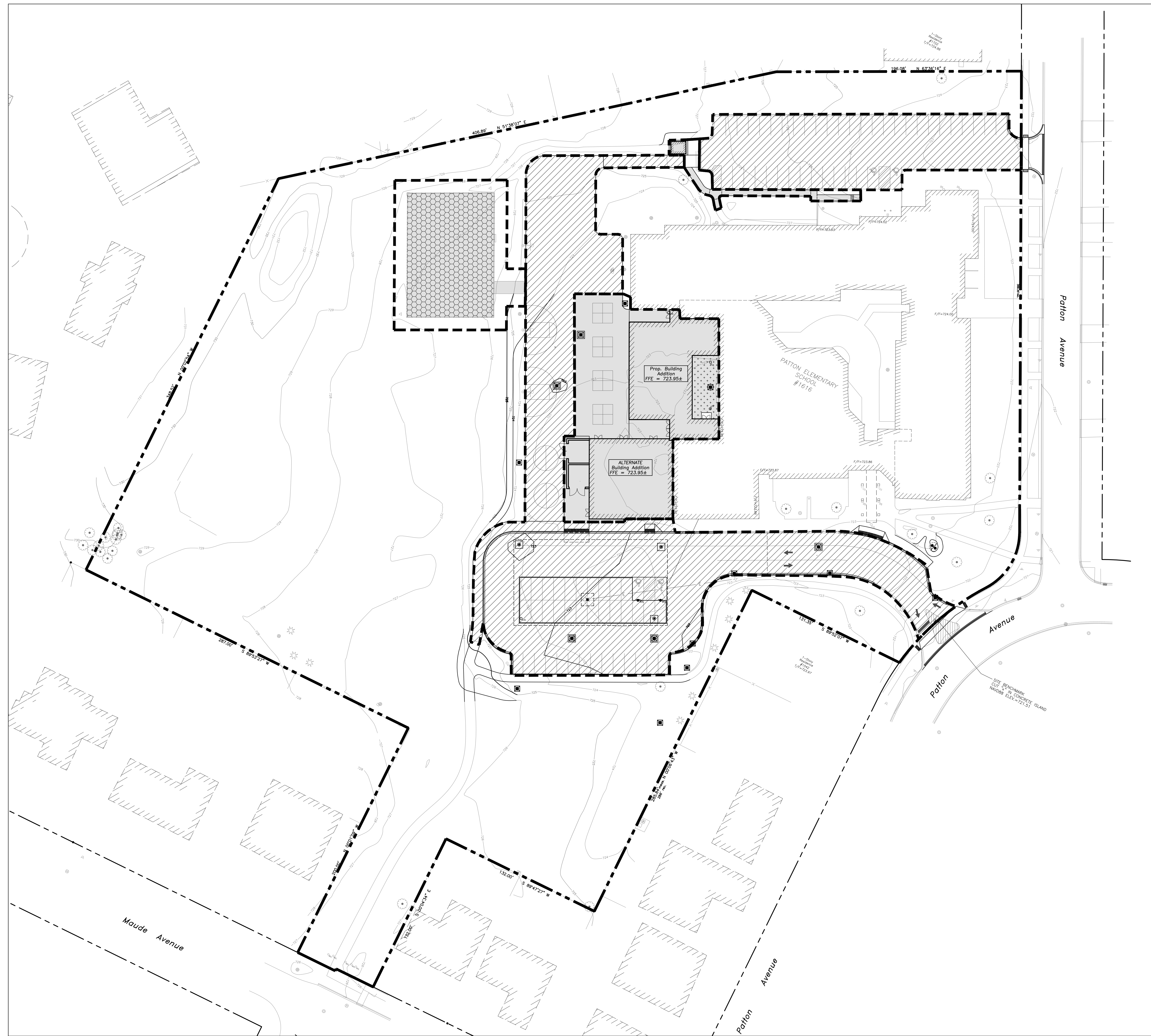
- IMPERVIOUS AREA
- PERMEABLE PLAYGROUND AREA
- SYNTHETIC TURF AREA
- PAVEMENT MAINTENANCE
(Excluded From SWM Calculations)
±26,100 SF
1.29 ACRES
- PROPERTY LINE
330,927 SF
7.60 ACRES
- DEVELOPMENT AREA (MWRD)
±26,100 SF
0.70 ACRES
- MAINTENANCE AREA (MWRD)
±56,000 SF
1.29 ACRES

PROPOSED CONDITIONS

- IMPERVIOUS AREA
18,080 SF = 0.42 ACRES
- PERMEABLE PLAYGROUND AREA
6,960 SF = 0.16 ACRES
- PERVIOUS AREA
4,500 SF = 0.10 ACRES
- SYNTHETIC TURF AREA
1,040 SF = 0.02 ACRES
- RUNOFF COEFFICIENT
C = 0.80

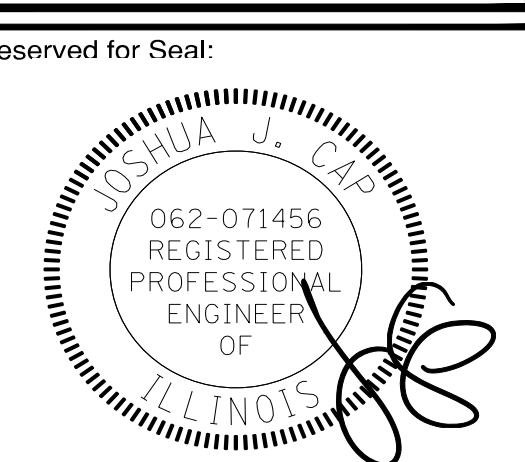
SWM REQUIREMENTS

- MWRD:**
- PROPOSED DEVELOPMENT AREA (NOMO B-75)
CN = 83.63
Release Rate = 0.14 CFS (0.20 CFS/AC, MWRD Allowable)
 - VOLUME CONTROL**
Req'd = 0.035 AC-FT
Provided = 0.052 AC-FT
C_{Reduction} = 87.94
 - REQ'D DETENTION VOLUME**
Req'd Volume = 0.279 AC-FT



PROPOSED CONDITIONS

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 05/19/23 @ 9:58am By: jrosenbauer



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Sheet Title:
PROPOSED DEVELOPMENT AREA (MWRD SWM)

Sheet No:
CX202

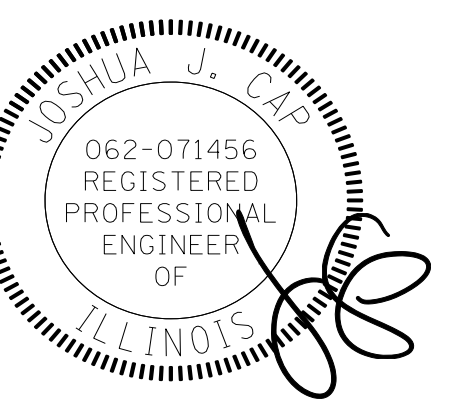


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**PATTON ELEMENTARY SCHOOL
BUILDING ADDITION AND RENOVATIONS**
1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

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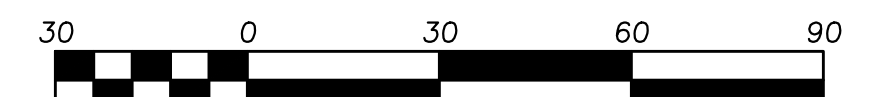
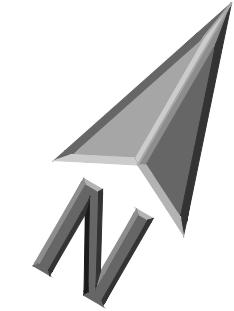


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Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title:
**TRADE OFF AREA
(VILLAGE SWM)**

Sheet No:
CX203



Scale: 1"=30'

EXHIBIT LEGEND

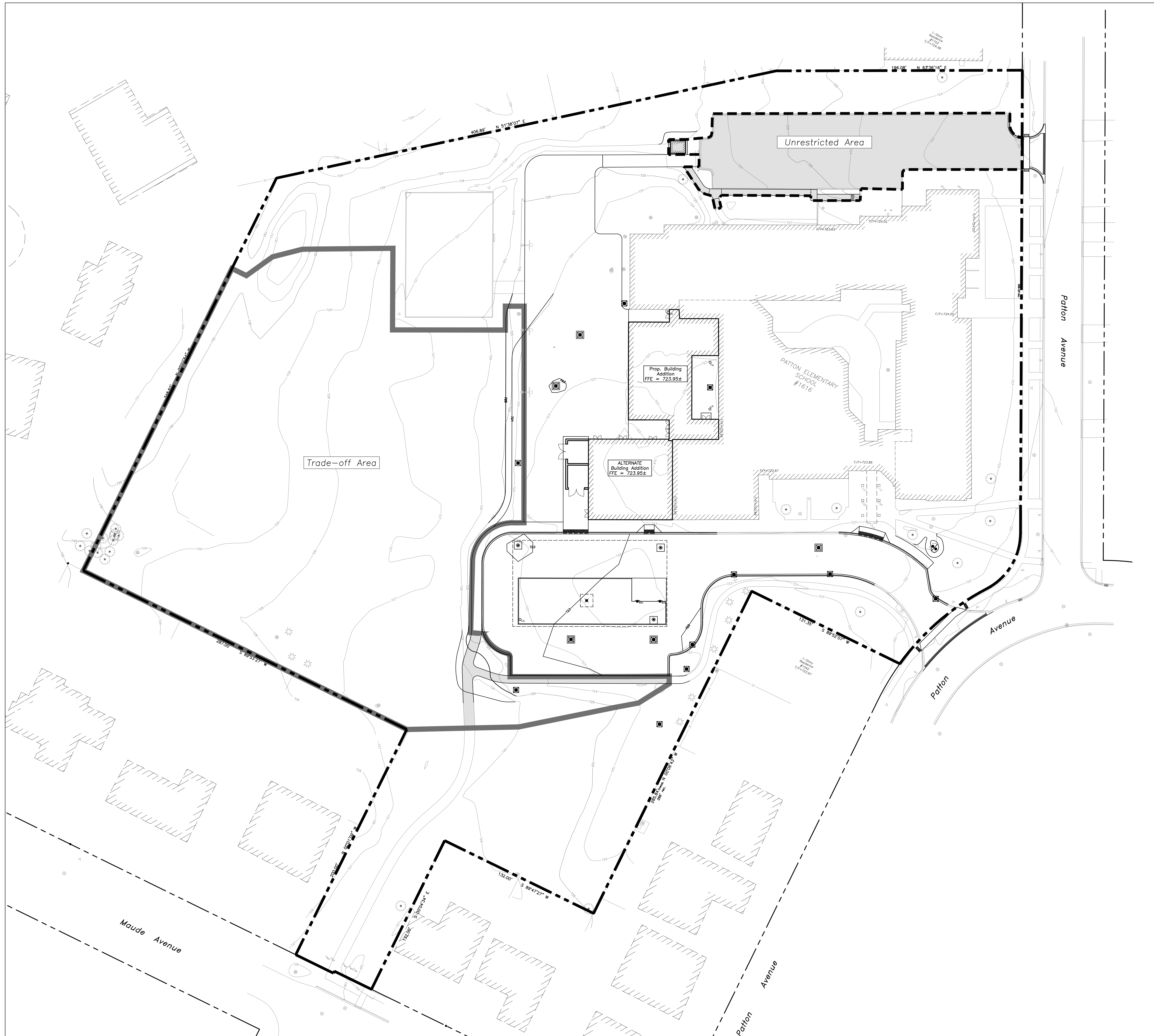
- IMPERVIOUS AREA
- TRADE OFF AREA
= 93,825 SF
2.13 ACRES
- UNRESTRICTED AREA
= 40,510 SF
0.93 ACRES

TRADE OFF AREA

- IMPERVIOUS AREA
17,000 SF = 0.20 ACRES
- PERVIOUS AREA
96,340 SF = 1.95 ACRES
- CURVE NUMBER
CN = 81.67

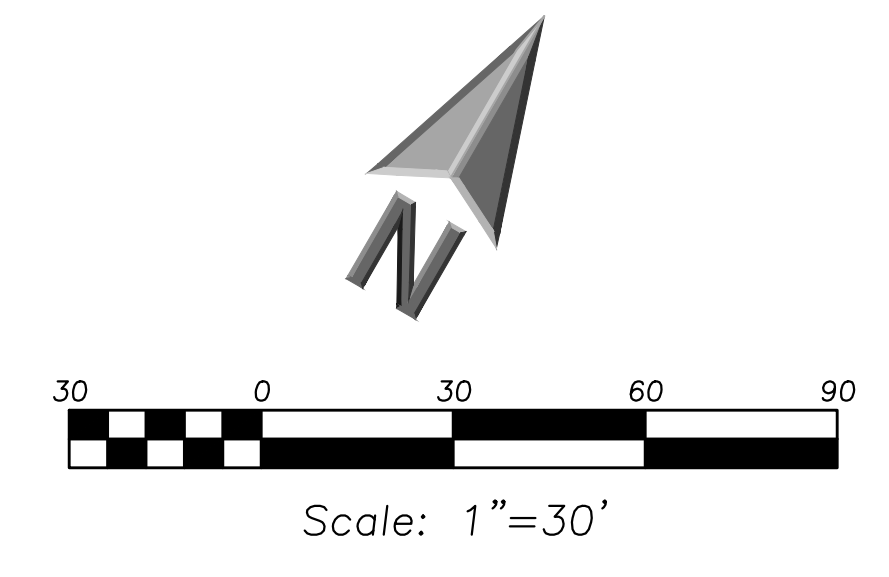
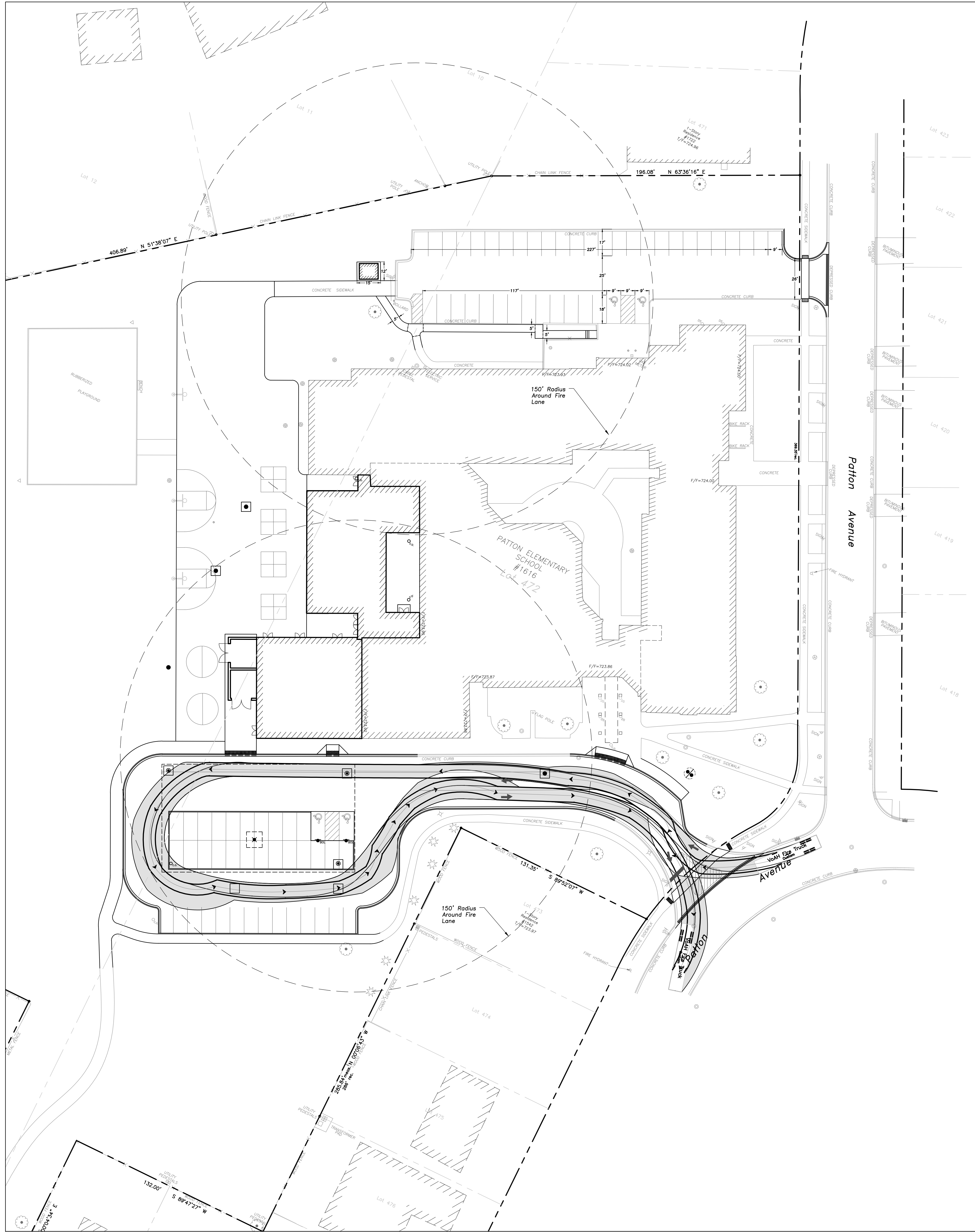
RUNOFF VOLUME

- TRADE OFF RUNOFF VOLUME (NRCS RUNOFF EQUATIONS)
= 1.14 AC-FT
- UNRESTRICTED RUNOFF VOLUME (NRCS RUNOFF EQUATIONS)
= 0.65 AC-FT



PROPOSED CONDITIONS

EEA - F:\Joshua\Arlington Heights School Dist 25\2022 Kindergarten Additions\Drawings\Patton\Siteplan - Patton.dwg
 Plotted: 05/19/23 @ 10:00am By: jrossenbauer



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 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-0033230
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**PATTON ELEMENTARY SCHOOL
 BUILDING ADDITION AND RENOVATIONS**
 1616 N. PATTON AVENUE
 ARLINGTON HEIGHTS, ILLINOIS

Reserved for Seal

JOSHUA J. CAP
 062-071456
 REGISTERED
 PROFESSIONAL
 ENGINEER
 OF
 ILLINOIS

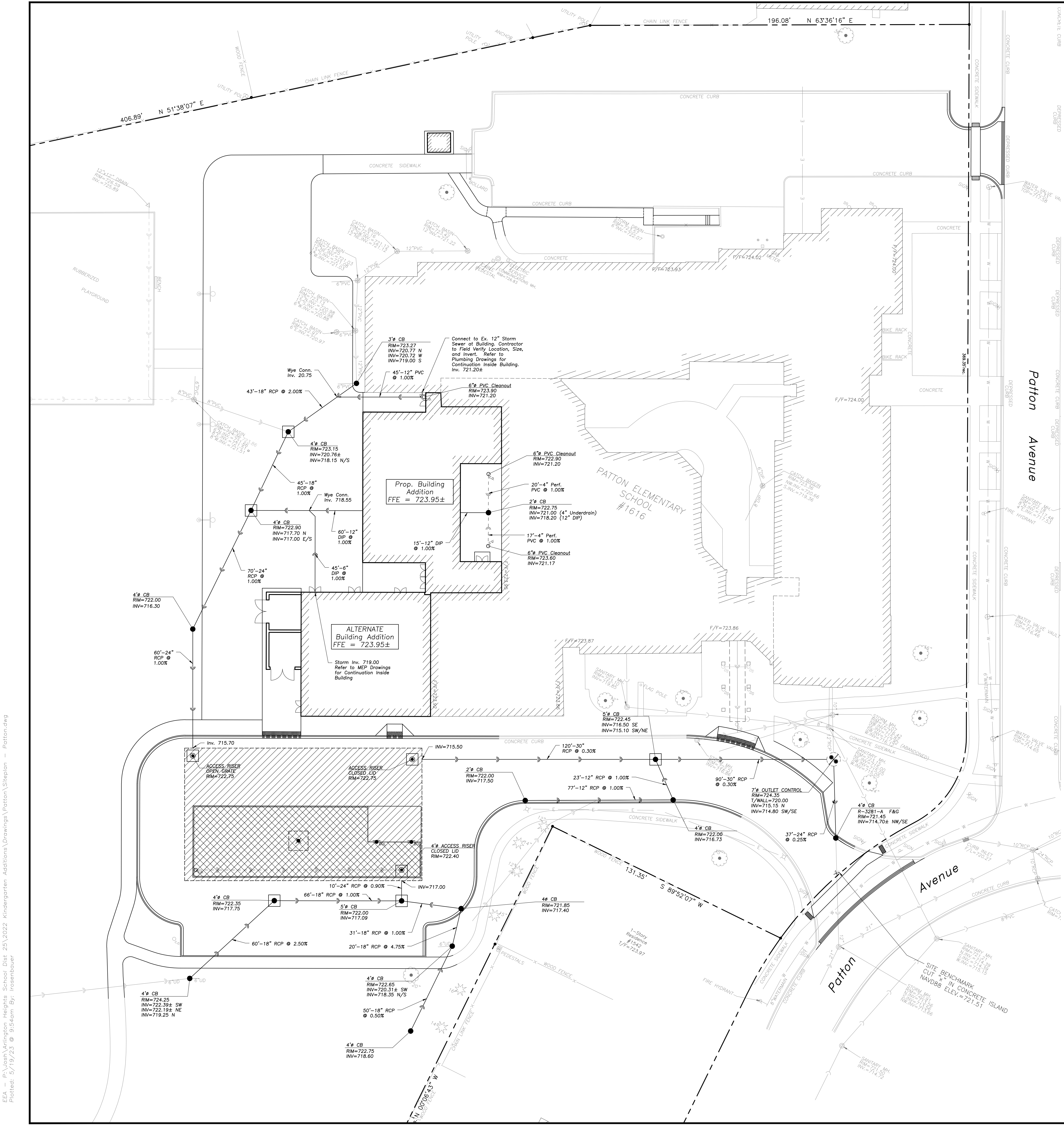
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Sheet Title:
**FIRE TRUCK
 EXHIBIT**

Sheet No:
CX401



POST-CONSTRUCTION OPERATION AND MAINTENANCE

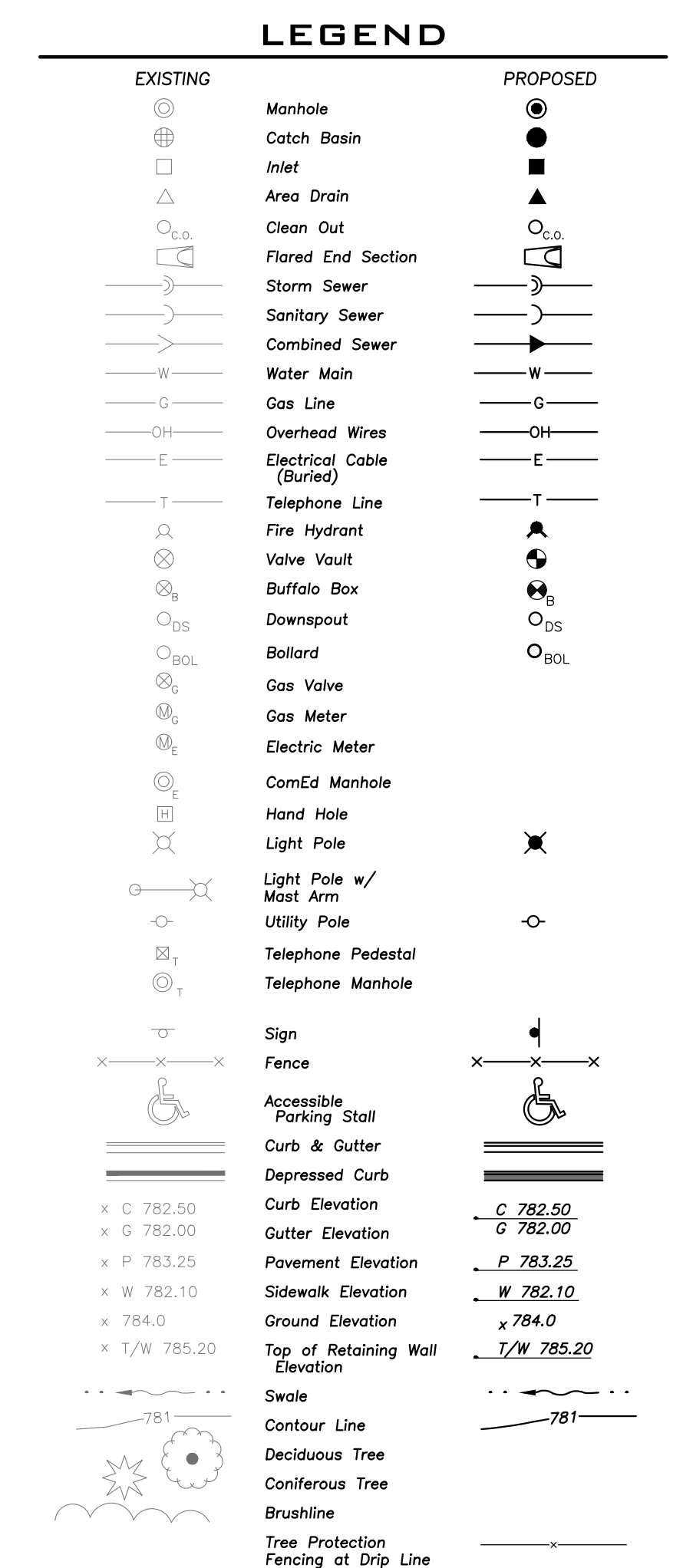
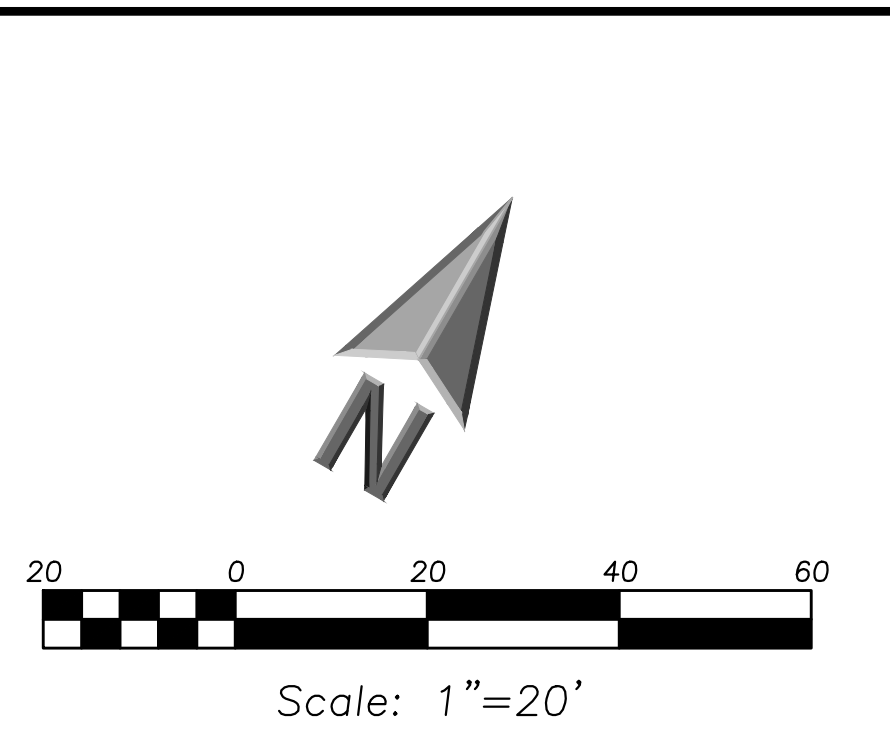
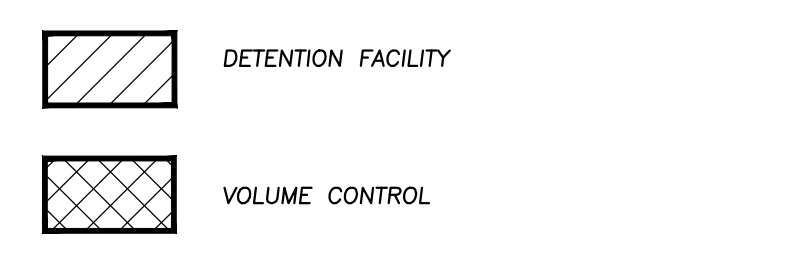
The Owner of This Development, With Facilities As Shown On This Exhibit, Shall Assume Responsibility For The Following Perpetual Maintenance Activities:

- General**
Regular Inspections And Routine Maintenance Of General Areas Shall Be Performed On A Monthly Or As-Needed Basis. Specific Items Of Concern Include:
 - Litter And Debris Shall Be Controlled
 - Landscape Areas Shall Be Maintained With Regular Mowing And Restored With Appropriate Seeding / Vegetation As Necessary
 - Accumulated Sediment Shall Be Disposed Of Properly, Along With Any Wastes Generated During Maintenance Operations
 - Riprap Areas Shall Be Repaired With The Addition Of New Riprap, As Necessary, Of Similar Size And Shape
 - Roads Shall Be Swept, Vacuumed And/Or Washed On A Regular Basis
- Stormwater Management Facilities**
All Components Of The Stormwater Management Facilities Shall Be Checked Monthly Between March And November And Maintained As Necessary To Ensure Proper Performance. It Is Critical That All Inflows And Outflows To The Detention Facility Are Clean And Performing As Designed. In Addition, The Design Volume Of The Detention Facility Shall Also Be Maintained. Inspections For The Following Specific Items Should Be Conducted Monthly Between March And November:
 - Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
 - Remove Accumulated Sediment At Outlet
 - Scour And Erosion At Outlet, Repair And Reseed
 - Any Ice Damage To Outlet Or Pipes, Repair If Necessary
 - Condition Of Trash Racks, Remove Debris
 - Outlet Pipe Condition Downstream
- Volume Control Facility**
Routing Inspections And Maintenance Of Volume Control Facilities Shall Be Performed By The Owner On A Yearly Or As-Needed Basis. Specific Items Of Concern Include:
 - Facility Shall Be Inspected Yearly Using The Monitoring Well To Verify The System Is Functioning Properly
 - Surfaces Of Permeable Pavement Shall Be Cleaned With Low-Pressure Power Washer
 - Accumulated Sediment From The Surface Shall Be Vacuumed Out And Disposed Of Properly
 - Appropriate Signage Shall Be Repaired If Damaged Or Illegible
 - Do Not Seal Coat Permeable Pavers

SEQUENCE OF MAJOR CONSTRUCTION EVENTS

- Volume Control Practices Should Be Installed Toward The End Of The Construction Period.
- The Contributing Drainage Area Must Be Stabilized Prior To The Installation Of The Volume Control Practice.
- Volume Control Facilities Must Be Protected With A Double-Row Of Silt Fence (Or Equivalent Measure) During Construction. The Two Layers Of Silt Fence Should Be Placed At Least 5 Feet Apart And Must Follow The Illinois Urban Manual.
- In General, Volume Control Facilities Should Not Be Used As Temporary Sediment Traps During Construction. For Sites Where This Is Not Practicable, Special Construction Notes And Details Are Required To Protect The Functionality Of The Facility.

POST-CONSTRUCTION OPERATION AND MAINTENANCE LEGEND



GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Differ From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay Of Any Discrepancies Between The Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services For The Project Area.
- Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours In Advance Of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of The Work As Shown Hereon Shall Be Restored To Original Condition To The Satisfaction Of The Owner at No Additional Cost to The Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) To Stake All Site Improvements Accordingly. Contractor Shall Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction, Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates, Ltd. For Eriksson Engineering Associates on November 12, 2018. Order Number F33-16.

PROJECT BENCHMARKS

Source Benchmark: Monument Recovery Sheet Village of Arlington Heights, IL Location Address: 515 Palatine Road Monument 32
3" Dia. Brass Disc in Concrete, 5" Above Ground, 44"± South of the Centerline of Frontage Road (Palatine Road) And 21'± East of the Centerline of Fernandez Avenue (Stamped 114B)
NAVD88 Elevation = 713.78
SITE BENCHMARK: Survey Control Point, Cut "X" in Concrete Island NAVD88 Elevation: 721.51, NAVD88 Easting: 1072702.82, Northing: 1981620.54

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

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PATTON ELEMENTARY SCHOOL BUILDING ADDITION AND RENOVATIONS

1616 N. PATTON AVENUE
ARLINGTON HEIGHTS, ILLINOIS

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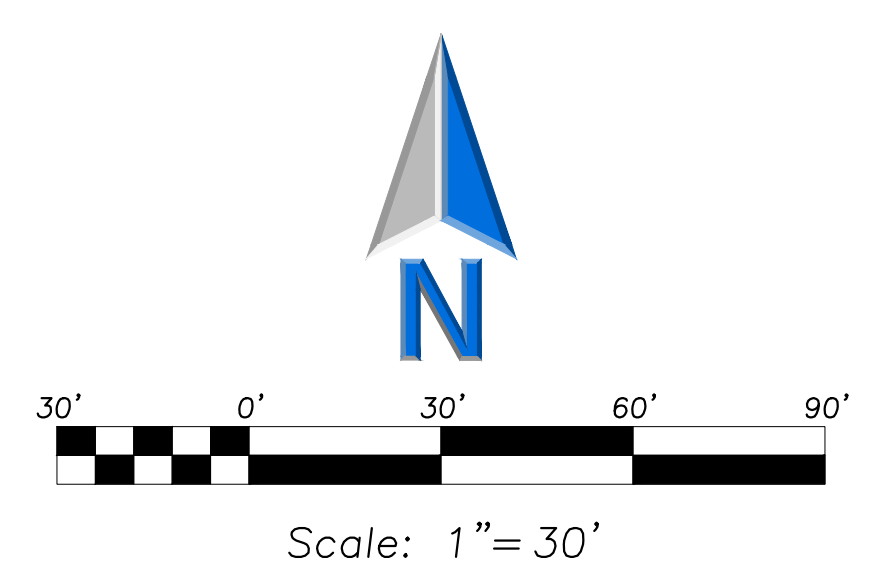
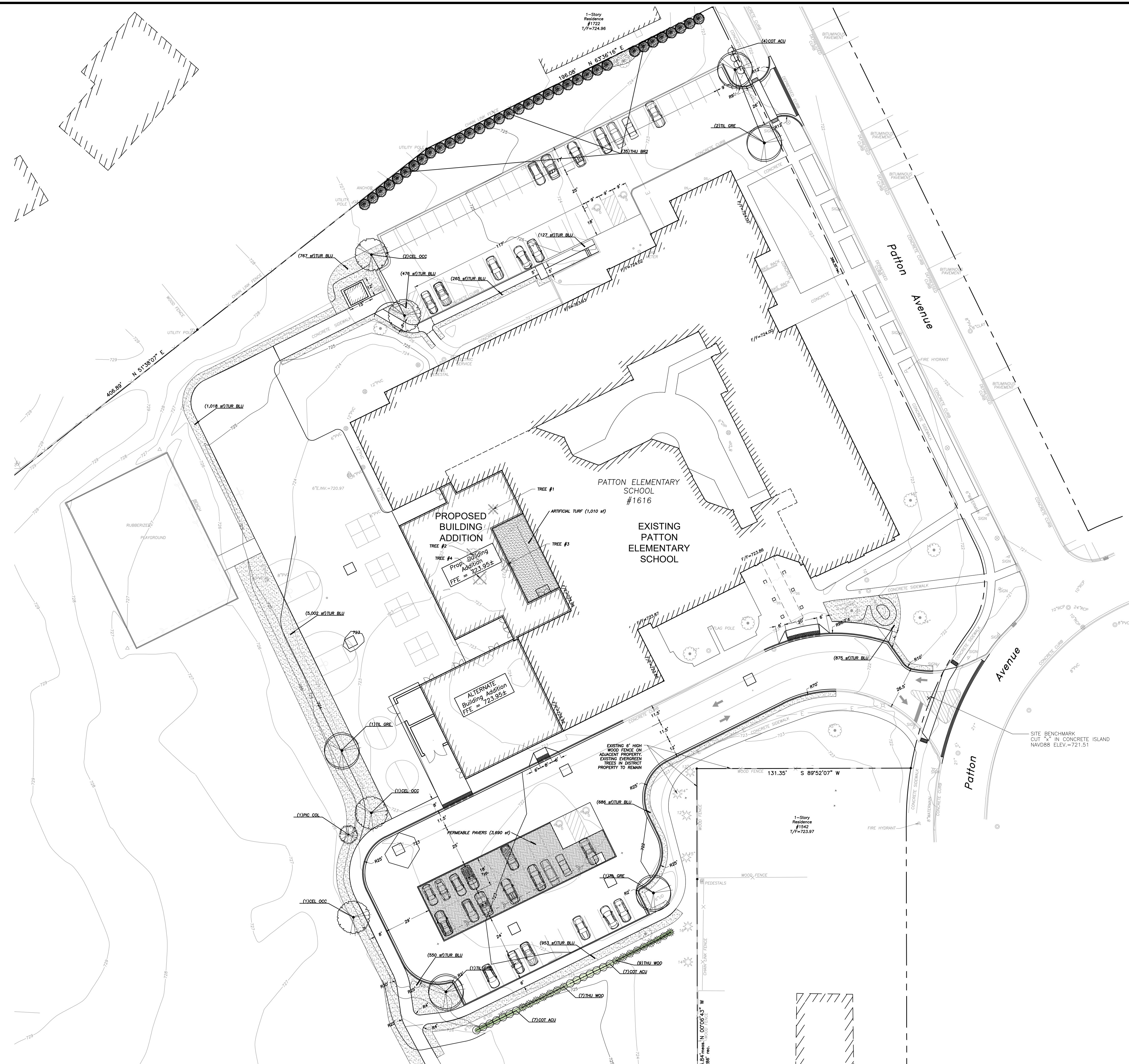
Design By: LMR Approved By: JC Date: 05/22/23

Sheet Title: **OPERATION AND MAINTENANCE EXHIBIT**

Sheet No: **CXM-01**

EXHIBIT D
LANDSCAPING PLAN

**PATTON ELEMENTARY SCHOOL
BUILDING ADDITIONS**
 1616 N. PATTON AVE.
 ARLINGTON HEIGHTS, ILLINOIS



PLANT SCHEDULE

PLANT	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CANOPY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CEL COC	CELTS OCCIDENTALIS / COMMON HACKBERRY	B & B	4" CAL.	4
TL GRE	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	4" CAL.	5
EVERGREEN TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
THU BR2	THUJA OCCIDENTALIS 'BRABANT' / BRABANT ARBORVITAE	B & B	6' HT.	35
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B & B	36" HT.	18
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	B & B	36" HT.	16
TURF GRASS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
TURF BLU	SOD BLUEGRASS / KENTUCKY BLUEGRASS	S.F.	S.F.	10,592 SF

SITE MATERIALS SCHEDULE

ARTIFICIAL TURF	1,010 SF
MULCH	1,548 SF
PERMEABLE PAVERS	3,690 SF

LANDSCAPE NOTES:

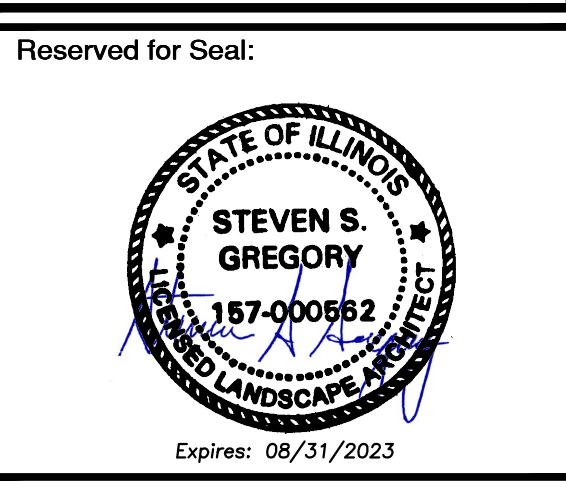
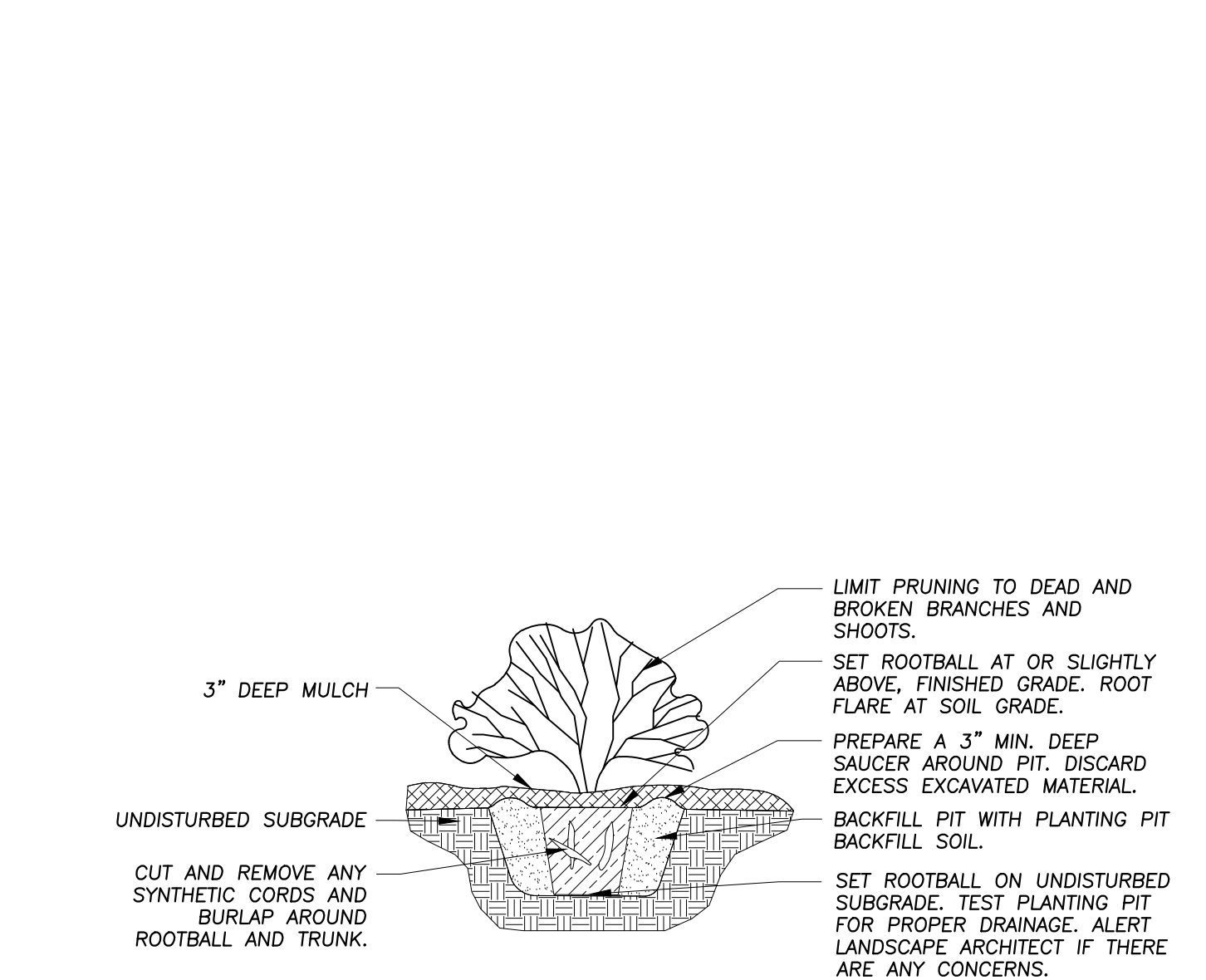
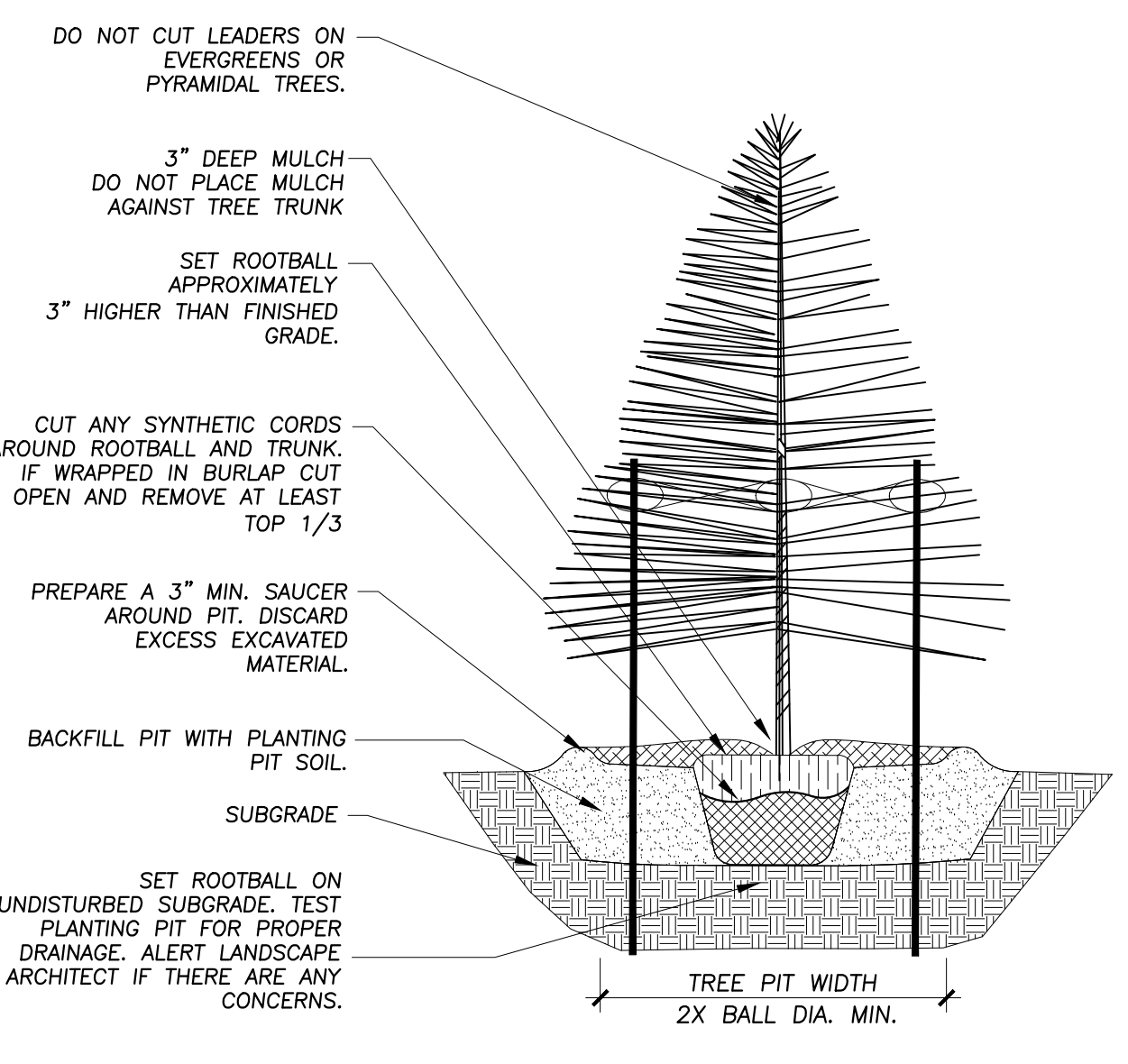
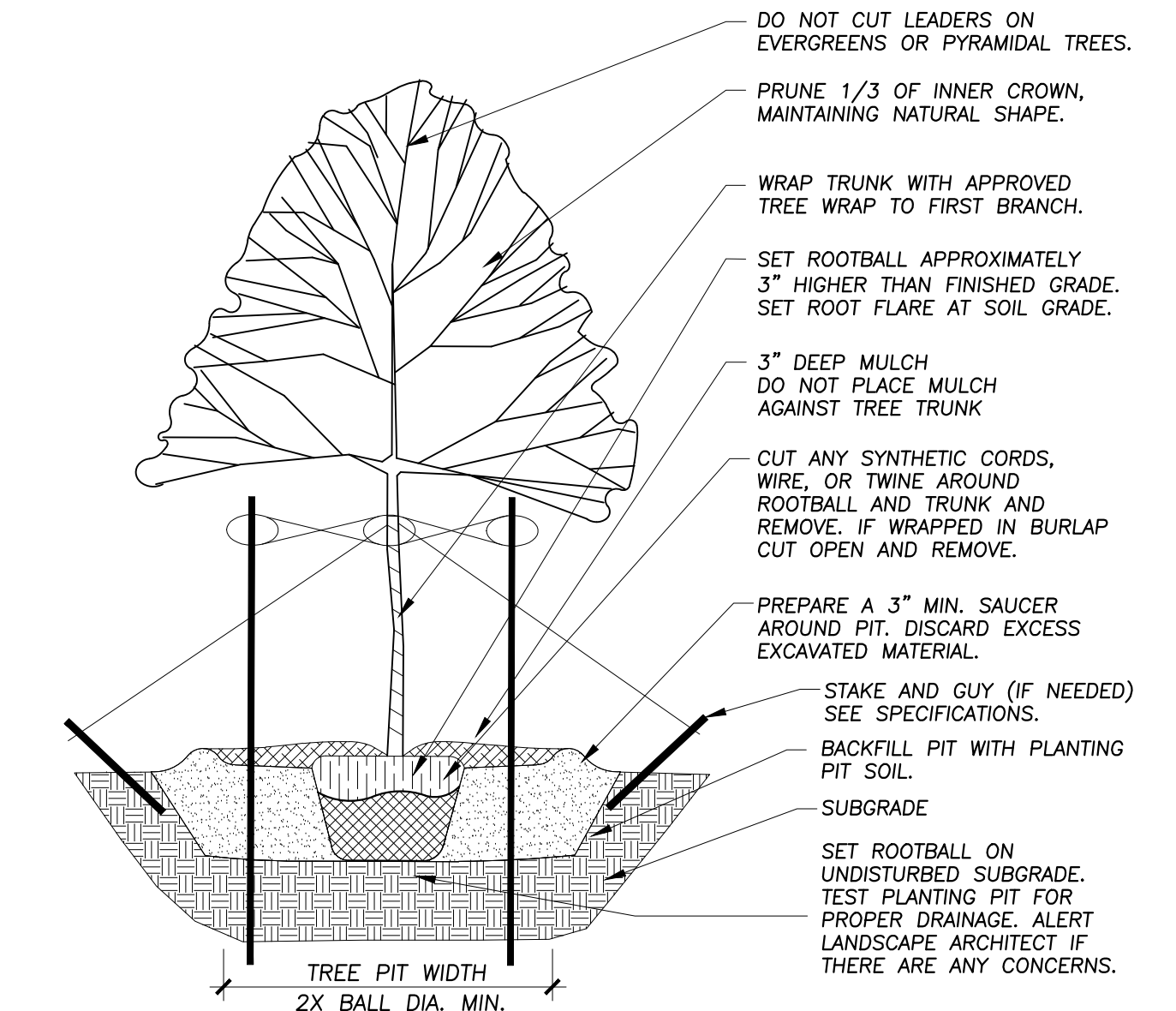
- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISTORTED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR, REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DUE TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE CITY IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 6" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.

EXISTING TREE INVENTORY: (Development Area Only)

Tree #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	<i>Pinus nigra</i>	Austrian Pine	16" Cal.	Good	
2	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	8" Cal.	Good	
3	<i>Betula nigra</i>	River Birch	5 @ 4"-8" Cal.	Good	Multi-trunk form
4	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	12" Cal.	Good	

TREE PRESERVATION NOTES:

- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS. FENCE TO BE PLACED AT THE DRIP LINE OF THE TREE.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.



No.	Date	Description
	09/22/2023	ISSUE FOR DESIGN COMMISSION

Design By: SSG Approved By: JC Date: 12/05/2022

LANDSCAPE PLAN

Sheet No: **L100**

EXHIBIT E
PHOTOMETRIC PLAN



D-Series Size 1 LED Wall Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

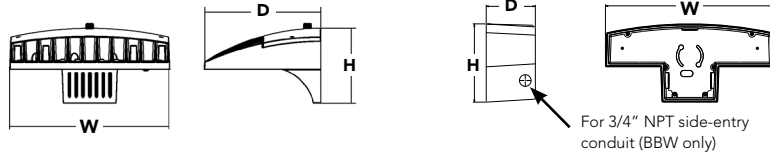
d#series

Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, E20WC)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	E20WC Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) ¹	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT ² 120 ³ 208 ³ 240 ³ 277 ³ 347 ^{3,4} 480 ^{3,4}	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) ⁵	Shipped installed PE Photoelectric cell, button type ⁶ DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{1,7} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{1,7} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{1,7} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{1,7} E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant ^{8,9}

Other Options

Finish (required)

Shipped installed

SF	Single fuse (120, 277 or 347V) ^{3,10}
DF	Double fuse (208, 240 or 480V) ^{3,10}
HS	House-side shield ¹¹
SPD	Separate surge protection ¹²

Shipped separately¹¹

BSW	Bird-deterrent spikes
VG	Vandal guard
DDL	Diffused drop lens

DDBXD	Dark bronze	DSSXD	Sandstone
DBLXD	Black	DBBTD	Textured dark bronze
DNAXD	Natural aluminum	DBLBXD	Textured black
DWHXD	White	DNATXD	Textured natural aluminum

DWHGXD	Textured white
DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXWVG U	Vandal guard accessory

NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
	TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69		
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
	TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66		
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
	TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59		
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
	TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57		
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
	TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77		
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
	TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71		
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
	TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66		
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
	TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60		

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXW1 LED 20C 1000 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

Motion Sensor Default Settings

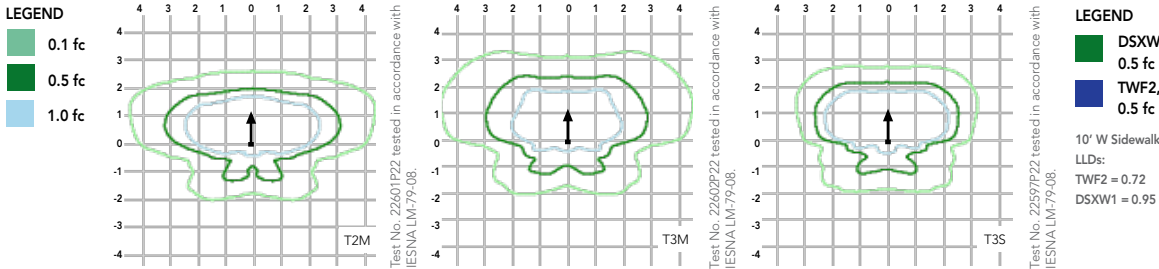
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

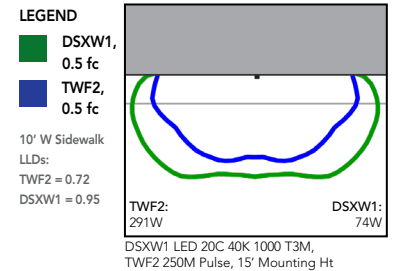
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Distribution overlay comparison to 250W metal halide.



Options and Accessories



T3M (left)



HS - House-side shields



BSW - Bird-deterrent spikes



VG - Vandal guard



DDL - Diffused drop lens

FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



EXHIBIT F

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Arlington Heights, Illinois (“*Village*”):

WHEREAS, Arlington Heights School District 25 (“*Applicant*”) is the owner of record of that certain property located in the R-3 One Family Dwelling District and the P-L Public Lands District, and commonly known as 1616 N. Patton Avenue (“*Property*”); and

WHEREAS, Ordinance No. 2023-_____, adopted by the Village President and Board of Trustees on _____, 2023 (“*Ordinance*”), approves an amendment to an existing special use permit, an amendment to an existing land use variation, and grants a variation to the Applicant for the expansion and continued operation of an elementary school on the Property; and

WHEREAS, Section 9 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to, accepts, consents to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village’s granting of the amended special use permit and the variations for the Property or its adoption of the Ordinance, and that the Village’s approvals do not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
4. The Applicant hereby agrees to hold harmless and indemnify the Village, the Village’s corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village’s adoption of the Ordinance granting the amended special use permit and the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2023

ATTEST:

ARLINGTON HEIGHTS SCHOOL DISTRICT 25

By: _____

By: _____

Its: _____

Its: _____