



# Village of Arlington Heights Building & Life Safety Department

## Interoffice Memorandum

**To:** Jorge Torres, Director of Building & Life Safety

**From:** Elliot Eldridge, Assistant Building Official, Building & Life Safety Department

**Subject:** PC 23-012 (Arlington Gateway Development - Phase I)

**Date:** September 26, 2023

### General Comments:

**The information provided is conceptual only and subject to a formal plan review. The following comments apply to all new mixed-use retail and residential buildings shown on the submittal.**

1. Drawings produced by an Illinois licensed architect are required for permit submittal. The plans are not stamped and sealed at this review.
2. An approved water supply capable of supplying the required fire flow for fire protection shall be provided. The plans do not appear to conform to this requirement.
3. Fire pumps, if provided, shall be installed in accordance with the 2018 International Fire Code and NFPA 20 and shall comply with all current code requirements including a minimum of two water mains located in different streets. The plans do not appear to conform to this requirement.
4. Fire department connections (FDC) shall be located on the street side of buildings, fully visible and located at the main front entrance of the building and within a maximum travel distance of 100 feet to the nearest fire hydrant and in accordance with the NFPA standard applicable to the system design. The location of fire department connections shall be approved. In order to verify compliance, please provide the proposed location of the FDC and the location of a fire hydrant within 100 feet of the FDC. 2018 IFC 912.2.1 as amended. The plans do not appear to conform to this requirement.
5. A complete NFPA compliant fire suppression system is required. Supervised indicating control valves shall be provided at the point of connection to the riser on each floor. 2018 IFC 903.4.3
6. A fully functional fire alarm shall be installed per NFPA 72. The alarm annunciator panel shall be located at the front entrance. The plans do not appear to conform to this requirement.
7. Visible alarm notification appliances shall be provided in public areas and common areas. A visible exterior weatherproof alarm notification device shall be located within closest proximity to the front main entrance of the building or tenant space. 2018 IFC 907.5.2.3.1 as amended. The plans do not appear to conform to this requirement.
8. A zoning indicator panel and the associated controls, or, fire alarm control panel shall be located within the closest proximity to the front main entrance. Verify with the Fire Code Official and Fire Department if they should be included at the main entrance if they will be in the fire command center. The plans do not appear to conform to this requirement.

9. A key box (Knox Box) shall be provided and contain keys to gain necessary access as required by the fire code official. (More than one may be required based on the size of the project/building). The plans do not appear to conform to this requirement.
10. In order to be considered part of an accessible means of egress, an elevator shall comply with the emergency operation and signaling device requirements. The plans do not appear to conform to this requirement. Separate permit are required.
11. All new elevators shall be equipped with emergency key opening devices at all landings. The location and specific type of device shall be approved by the Fire Department. The plans do not appear to conform to this requirement.
12. If the elevator uses an automatic dialer, the ten-digit number 847-590-3470 shall be used. If bidirectional communication is available and is used, the elevator should call 911. The phone line used to dial 911 must have the correct address information affiliated with that phone line. The plans do not appear to conform to this requirement.
13. Emergency Signs required for elevators shall be 7 inches by 5 inches and read as follows: IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS. The plans do not appear to conform to this requirement.
14. At least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretcher in its horizontal, open position, and shall be identified by the International Symbol for emergency medical services (Star of Life). The Symbol shall be not less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame. The plans do not appear to conform to this requirement.
15. Separate permits are required for an emergency back-up generator. The plans do not appear to conform to this requirement.
16. Structural calculations along with structural drawings by an Illinois licensed structural engineer shall be provided.
17. Accessible routes are required throughout the site. Not enough information has been provided to verify this requirement.
18. A preliminary construction staging plan and development schedule shall be provided for review by the Building & Life Safety Department prior to permit issuance for each phase of the project.
19. Per IFC 2018 D105.4, overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. Please verify that the submittal meets this requirement.
20. Note: "A transmittal letter detailing all the changes from the initial review will be required for any additional reviews".
21. Separate permits are required for the following systems for each building:
  1. Each retail space;
  2. Elevators – designed for a high-rise;



## **Village of Arlington Heights Building & Life Safety Department**

### **Interoffice Memorandum**

3. Fire Alarm – designed for a high-rise;
4. Fire Suppression – designed for a high-rise;
5. Emergency power system;
6. Stand-by power system;
7. Each swimming pool.

## PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. **PC 23-012**Petitioner: TR Management & Consulting as Agent for Bradford Allen  
Arlington Heights Development, LLC. (Contract Purchaser)

145 S Wells Street Ste 700 Chicago, IL 60606, 847.208.7074, thomas@roszak.com

Owner: IHP AH REDEVELOPMENT LLC and IHP ARLINGTON HEIGHTS LLC

Brian Carley, 300 S. Wacker Drive, 35th Floor Chicago, IL 60606

312-994-5664, bcarley@bradfordallen.com

Contact Person: Mike Mocerì

Address: 145 South Wells Street, Suite 700, Chicago, IL 60606

Phone #: 847.804.6433

Fax #: 847.716.7377

Email: mmocerì@roszak.com

P.I.N.# 08-16-401-046-0000, 08-16-401-043-0000, 08-16-401-030-0000, 08-16-401-018-0000, 08-16-401-045-0000 08-1

Location: 1, 15, &amp; 11 East Algonquin Road, 2355 South Arlington Heights Road

Rezoning: Current: B3 Proposed: B2

Subdivision: Lincoln Executive Plaza + part August Busse's

# of Lots: Current: 7 Proposed: 1

PUD: YES For:

Special Use: N/A For:

Land Use Variation: N/A For:

Land Use: Current: Commercial

Proposed: Mixed Use Residential/Retail

Site Gross Area: 167,266

# of Units Total: 299

Studio: 49 1BR: 157 2BR: 83 3BR: 10 4BR:

(Petitioner: Please do not write below this line.)

## 1. PUBLIC IMPROVEMENTS

REQUIRED: YES NO COMMENTS

## a. Underground Utilities

Water

X

Sanitary Sewer

X

Storm Sewer

X

## b. Surface Improvement

Pavement

X

Curb &amp; Gutter

X

Sidewalks

X

Street Lighting

X

## c. Easements

Utility &amp; Drainage

Access

SIDEWALK X

## 2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC

X

b. IDOT

X

c. ARMY CORP

d. IEPA

X

e. CCHD

YES NO COMMENTS

3. R.O.W. DEDICATIONS?

X

4. SITE PLAN ACCEPTABLE?

X

5. PRELIMINARY PLAT ACCEPTABLE?

X

6. TRAFFIC STUDY ACCEPTABLE?

X

7. STORM WATER DETENTION REQUIRED? .....

X

8. CONTRIBUTION ORDINANCE EXISTING? .....

X

9. FLOOD PLAIN OR FLOODWAY EXISTING? ...

X

10. WETLAND EXISTING? .....

X

DRAFT ONLY

53-BDD NOT APPLICABLE

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: V3 COMPANIES

DATE OF PLANS: 09/16/2023

 10/4/23  
 Director Village Engineer Date

**PLAN COMMISSION PC #23-012**  
**Arlington Gateway**  
**1, 15 & 11 E Algonquin Rd, 2355 S Arlington Heights Rd**  
**Round 1**

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Since a subdivision is being proposed the plans must meet all subdivision requirements. Final engineering plans for all public improvements must be approved prior to the final plat of subdivision approval. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. An Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would be public sidewalk along Arlington Heights Road and Algonquin Road. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
13. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
	Prime Meridian: Greenwich
	Angular Unit: Degree
14. The Final Plat of Subdivision must be reviewed and approved by Engineering prior to final Plan Commission approval. The original signed mylar Final Plat of Subdivision, containing all non-Village signatures, shall be submitted one week before the scheduled date of the final Plan Commission meeting. Village Code Section 29-209 also requires a digital copy of the plat to be provided on disk to the Village. The petitioner shall acknowledge that they accept this understanding.
15. The proposed detention facilities will be a private system and as such will not be the Village's responsibility to maintain.
  - a) Provide calculations for sizing the weir.
  - b) Provide a stormwater report.
  - c) Detention shall meet MWRD and Village requirements.
  - d) An MWRD permit is required.

16. An IEPA permit is required for the sanitary sewer and water main extensions.
17. Provide inspection manholes for the sanitary sewer approximately 5 feet from the buildings.
18. The proposed detention facility, onsite water main, sanitary sewer and storm sewer are private and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. Please contact the Village Engineer for an editable version of the OUMA.
19. For the east building, the storm sewer and storm services for the south side of the building are not routed through the underground storage vaults.
20. Storm structure ST1-5 is in close proximity to the proposed water main extension.
21. Show the location of the water services for the east building and the northwest building.
22. The fire service and domestic water service for the southwest building is shown to be 12" in diameter, off of an 8" water main.
23. The water main connection on Algonquin Road cannot be connected to a private main. The connection must be to the Village's 12" water main on the north side of Algonquin Road.
24. All existing utilities must be abandoned at the mains.
25. The Village has hired a consultant to assess the capacity of the sanitary sewer for future developments in this area. Phase 1 is complete, two routes have been identified and the Village has received preliminary approval from the MWRD. The Village is currently waiting for approval to go to Phase 2. Additional comments pertaining to the capacity of the sanitary sewer will be provided after the review of the report is complete.
26. Plan Commission approval will require preliminary engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. Any detention storage system located under pavement must be designed to AASHTO HS-25 loading standard. The Village's allowable release rate is 0.18 cfs/Ac. Use  $C=0.50$  for pervious areas,  $C=0.95$  for impervious areas. Use updated Bulletin 70 rainfall data. Clearly show the overflow route for the site. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.
27. Final subdivision approval will require final engineering plans.
28. The site photometric lighting diagram is acceptable. Clarify if the wall pack light fixture can be rotated or if the fixture is fixed to direct the light down.

29. Fire lanes, where required adjacent to buildings, must meet the pavement dimensions as directed by the Fire Department. Fire lanes require a heavy-duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-50 Binder, and 4" CA-6 Stone Subbase. Revise the heavy-duty pavement cross section.
30. The fire truck exhibit does not reflect the Village's tower truck. Attached are the specifications for the tower apparatus.
31. Provide dimensions from the fire lane to the buildings.
32. Concrete sidewalk through the entrances shall be 8" thick.
33. The sidewalk shall continue through the entrances, with the curb stopping at the sidewalk.
34. Provide a dedicated public easement for the public sidewalk along Arlington Heights Road and Algonquin Road.
35. Arlington Heights Road and Algonquin Road are under the jurisdiction of the Illinois Department of Transportation (IDOT). All work within the right-of-way will require an IDOT permit.
36. It is recommended to provide additional green space at the corner of Arlington Heights Road and Algonquin Road.
37. The demolition plan shows full-depth pavement removal at the entrance to Guitar Center affecting access to the Guitar Center parking lot, full-depth pavement removal for the cross-access road between Arlington Heights Rd and Tonne Road to the east, and for the entrance off of S Arlington Heights Rd to be used as the construction entrance, also impacting the Guitar Center parking lot access. The Village is aware that permits have been applied for to begin demolition. Provide additional information on the access to the Guitar Center site and if the cross-access will remain in service until construction begins.
38. The Guitar Center site is not part of this subdivision. Clarify if the developer has permission to complete the modifications to the Guitar Center parking lot.
39. For the east building, provide the direction of traffic flow to the parking garage. The proximity to the Tonne Road access could be problematic.
40. For the northwest building, provide the direction of traffic flow to the garage. The access is 16 ft, two-way traffic requires 24 ft minimum.
41. If the garage exits will be under stop control, provide detectable warning panels.
42. Provide an exhibit showing vehicles maneuvering through the drop off aisle east of the westerly building.

Traffic:

43. The Traffic and Parking Study is a draft. Provide the final Traffic and Parking Study.
44. The traffic signal at the intersection of Tonne Road and Algonquin Road is maintained by the Illinois Department of Transportation (IDOT). The Village of Arlington Heights is 100% responsible for the cost of the maintenance and energy costs. The south leg of Tonne Road is private. The development will be required to share in the cost of the maintenance and energy.

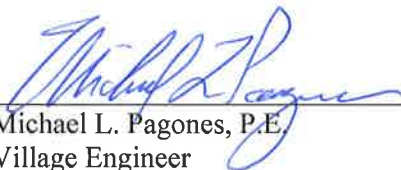
45. The draft Traffic and Parking Study indicate that dual left-turn lanes may be required on the northbound and southbound approaches of Tonne Road at Algonquin Road. Provide a layout for the future improvements to verify if the sidewalk between the building and Tonne Road should be shifted further west.

Preliminary Plat of Subdivision:

46. A Preliminary Plat has not been provided. Refer to the Preliminary Plat of Subdivision checklist.

Final Plat of Subdivision:

47. For the Final Plat of Subdivision, use the attached Final Plat of Subdivision Checklist. The elementary school district is Consolidated Community School District #25, Township High School District #214, Harper Community College District #512. Add the utility signature blocks.
48. The existing lot lines are shown as the same line weight as the proposed lot line, clarify the lot lines.
49. The existing and proposed easement line types are similar, adjust the line type to clarify proposed easements.
50. The plat shows the right-of-way to be 66 ft for Arlington Heights Road, the pavement width is approximately 124 ft. Verify the right-of-way width for Arlington Heights Road.
51. Refer to the Final Plat of Subdivision Checklist:
- a) Item k., the text of protective covenants relating to the proposed subdivision.
  - b) Item l., provide an endorsement by the County Clerk that there are no delinquent, forfeited, foreclosed or purchased general taxes, or unpaid current general taxes, against the land proposed to be subdivided.
  - c) Item n. provide the deed of dedication.
  - d) Item o. for the Village Certificate, add signature blocks for the Village Collector and Village Engineer.
  - e) Item r., provide a certificate in the form as required by the Illinois Department of Transportation.
  - f) Item t., provide a block stating "Send Tax Bill to: (Name/Address)." The actual name and address shall be provided by the developer.
  - g) Item u., provide a location to identify the address of each new lot.
52. Seven Owner's Certificates are provided on the plat. Indicate the respective parcels for each certificate.

  
Michael L. Pagones, P.E.  
Village Engineer

Date 10/4/23

Attachments:

AHFD 133 Turning Performance Analysis (1 page)  
Preliminary Plat of Subdivision Checklist (1 page)  
Final Plat of Subdivision Checklist (3 pages)  
Contacts for Plat Signatures (1 page)





# Turning Performance Analysis

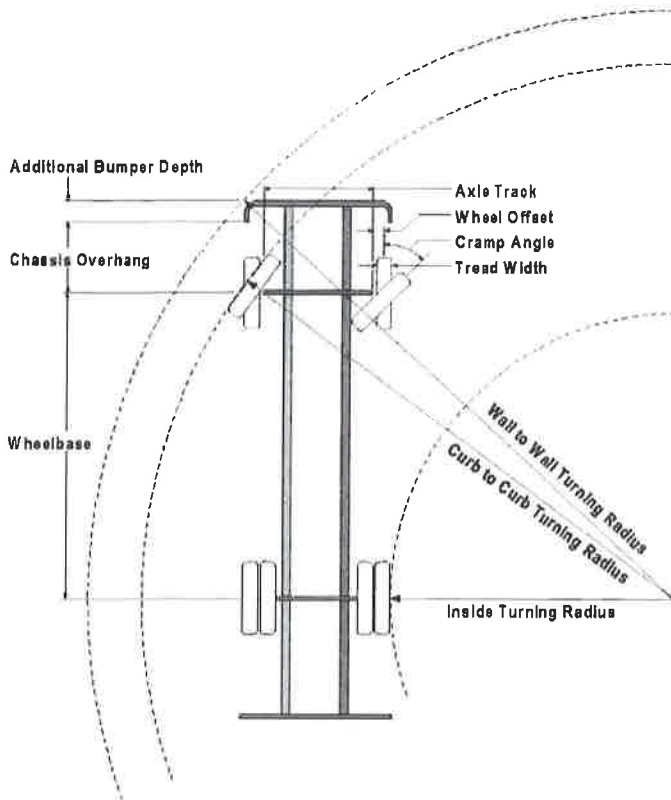
05/22/2018

**Bid Number:** 307

**Department:** Arlington Heights, IL

**Chassis:** Dash CF Chassis, PAP, PUC (Big Block)

**Body:** Aerial, Platform 100', PUC, Alum Body



## Parameters:

*Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.3 in.
Tread Width:	17.8 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	22 in.
Front Overhang:	136.1 in.
Wheelbase:	267.5 in.

## Calculated Turning Radii:

Inside Turn:	25 ft. 3 in.
Curb to curb:	41 ft. 3 in.
Wall to wall:	48 ft. 2 in.

Category	Option	Description
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0078245	Tires, Front, Michelin, XZY3 (wb), 445/65R22.50, 20 ply
Bumpers	0550017	Bumper, 22" Extended, Arrow XT
Aerial Devices	0657391	Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 400lb Tip Load Allowance

## Notes:

\*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

## Definitions:

Inside CrampAngle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis, bumper extensions and or aerial devices.

## **Preliminary Plat of Subdivision Checklist**

**Municipal Code Section 29-201(b)(1 – 13)**

- ☐ 1. The name of the proposed subdivision.
- ☐ 2. A north-point indication, scale, date of preparation of the Preliminary plat, and by whom prepared.
- ☐ 3. A legal description of land proposed to be subdivided, by section, township and range, and other terms as used in describing land on the records of the Recorder of Deeds or Registrar of Titles, Cook County, Illinois.
- ☐ 4. Sufficient information to locate accurately the proposed subdivision in relation to its general neighborhood, by means of references to streets, railroad lines, recorded plats, etc. If the foregoing references cannot be made, then a vicinity plat showing the location of the proposed subdivision, drawn to a smaller scale, shall accompany the Preliminary plat.
- ☐ 5. The description and location of all survey monuments, existing and to be erected, in the area of the proposed subdivision.
- ☐ 6. The boundary lines of the proposed subdivision, drawn to accurate scale and bearing, and a statement of the total area encompassed by the boundary lines.
- ☐ 7. The location and dimensions of streets, easements, improvements and utilities within and immediately contiguous to the proposed subdivision, as well as the location and dimensions of major features such as railroad lines, airports, water courses, lakes and exceptional topography.
- ☐ 8. The location, dimensions and layout of proposed streets, alleys, and sidewalks of the proposed subdivision.
- ☐ 9. The layout, number, dimensions and area of each lot of the proposed subdivision.
- ☐ 10. The location, dimensions and layout of all parcels of land intended to be dedicated for public use, such as parks and other open spaces, or reserved for the use of all subdivision property owners, together with an indication of the nature of each such use within the proposed subdivision.
- ☐ 11. The location, dimensions and layout of all public utility easements in the proposed subdivision.
- ☐ 12. The location and dimensions of all building setback lines in the proposed subdivision.
- ☐ 13. The names and last known addresses of the owners of the land proposed to be subdivided, the subdivider and all owners of land immediately adjoining the land proposed to be subdivided.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com).

## **Final Plat of Subdivision Checklist**

### **Municipal Code Section 29-209(a – t)**

- ☐ a. The date of preparation of the final plat and by whom prepared.
- ☐ b. The boundary of the plat, based on accurate traverse, with angles and lineal dimensions.
- ☐ c. All permanent survey monuments, markers and bench marks.
- ☐ d. Exact location, width and name of all streets within and adjoining the plat, and the exact location and widths of all cross walkways.
- ☐ e. True angles and distances to the nearest established street lines or official monuments, not less than three.
- ☐ f. Municipal, township, county and section lines accurately tied to the lines of the subdivision by distances and angles.
- ☐ g. Radii, internal angles, points and curvatures, tangent bearings and lengths of all arcs.
- ☐ h. All easements for rights of way established for public use and utilities.
- ☐ i. All lot numbers and lines, with accurate dimensions given in hundredths of feet.
- ☐ j. Accurate outlines and legal descriptions of all areas dedicated or reserved for public use, with the proposed uses indicated thereon; and all areas to be reserved by deed covenant for the common use of all property owners; together with the proposed uses indicated thereon.
- ☐ k. The text of protective covenants, approved by the Plan Commission, relating to the proposed subdivision.
- ☐ l. An endorsement by the County Clerk in the form acceptable to Cook County, that there are no delinquent, forfeited, foreclosed or purchased general taxes, or unpaid current general taxes, against the land proposed to be subdivided.
- ☐ m. A summary of all restrictions applicable to any part of such subdivision concerning building restrictions, use restrictions, building setback lines and similar matters.
- ☐ n. A deed of dedication in the form set forth in Section 29-217(a):  
The Final plat shall contain a deed of dedication substantially as follows:

"We, the undersigned, (Names), owners of the real estate shown and described herein, do hereby lay off, plat and subdivide said real estate in accordance with the within plat. This subdivision shall be known and designated as (Name), an addition to the Village of Arlington Heights, Cook County. All streets and alleys and public open spaces shown and not heretofore dedicated are hereby dedicated to the public. Front and side yard building setback lines are established as shown on this plat, between which lines and the property lines of the streets, there shall be erected or maintained no building or structure. There are strips of ground, (Number) feet in width, as shown on this plat and marked 'Easement' reserved for the use of public utilities for the installation of water and sewer mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. No permanent or other structures are to be erected or maintained upon

these strips of land, but owners of lots in this subdivision shall take their titles subject to the rights of the public utilities, and to the rights of the owners of other lots in this subdivision.

(Additional dedications and protective covenants, or private restrictions, would be inserted here upon the subdivider's initiative or the recommendation of the Plan Commission or Village Board; important provisions are those specifying the use to be made of the property and, in the case of residential use, the minimum habitable floor area.)

The foregoing covenants (or restrictions), are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 20\_\_\_\_ [25 year period is suggested], at which time said covenants (or restrictions) shall be automatically extended for successive periods of ten years unless indicated otherwise by negative vote of a majority of the then owners of the building sites covered by these covenants (or restrictions), in whole or in part, which said vote will be evidenced by a petition in writing signed by the owners and duly recorded. Invalidation of any one of the foregoing covenants (or restrictions) by judgment or court order shall in no way affect any of the other various covenants (or restrictions), which shall remain in full force and effect.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected or maintained in violation, is hereby dedicated to the public, and reserved to the several owners of the several lots in this subdivision and to their heirs and assigns.

WITNESS our hands and seals this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

Before me the undersigned Notary Public, in and for the County and State aforesaid, personally appeared (Names), and each separately and severally acknowledged the execution of the foregoing instrument as his or her voluntary act and deed, for the purposes therein expressed.

WITNESS my hand and notarial seal this \_\_\_\_ day of 20 \_\_\_\_.

\_\_\_\_\_  
Notary Public"

- ☐ o. A blank certificate of approval in the form set forth in Section 29-217(b).  
The Final plat shall contain a certificate of approval as follows:

"Under the authority provided by 65 ILCS 5/11-12 as amended by the State Legislature of the State of Illinois and Ordinance adopted by the Village Board of the Village of Arlington Heights, Illinois, this plat was given approval by the Village of Arlington Heights AND MUST BE RECORDED WITHIN SIX MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD, OTHERWISE IT IS NULL AND VOID.

APPROVED by the Plan Commission at a meeting held \_\_\_\_\_

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

APPROVED by the Village Board of Trustees at a meeting held \_\_\_\_\_

\_\_\_\_\_  
President

\_\_\_\_\_  
Village Clerk

APPROVED by the Village Collector  
\_\_\_\_\_

APPROVED by the Village Engineer  
\_\_\_\_\_

"

- ☐ p. A certification by a registered surveyor in the form set forth in Section 29-217(c). The Final plat shall contain a certificate signed by an Illinois Registered Land Surveyor in substantially the following form:

"I, (Name), hereby certify that I am an Illinois Registered Land Surveyor in compliance with the laws of the State of Illinois, and that this plat correctly represents a survey completed by me on (Date); that all monuments and markers shown thereon actually exist, and that I have accurately shown the materials that they are made of.

(SURVEYOR'S SEAL) \_\_\_\_\_ Signature  
Illinois Land Surveyor  
No. \_\_\_\_\_"

- ☐ q. A notarized statement from the owner indicating the school district in which each tract, parcel, lot or block lies.
- ☐ r. A certificate in the form as required by the Illinois Department of Transportation or Cook County Highway Department, respectively, when any new street or new driveway will access one of these Department's streets.
- ☐ s. The parcel index numbers of all lots contained within the plat shall be included on the plat of subdivision.
- ☐ t. A block stating "Send Tax Bill To: (Name/Address)." The actual name and address shall be provided by the developer.
- ☐ u. Provide a location to identify the address of each new lot.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com) .

## ***Contacts for Plat Signatures***

Ted Wyman  
Comcast Cable  
Right-of-Way Engineer  
688 Industrial Drive  
Elmhurst, IL 60126  
Phone: (224) 229-5850 office (847) 652-6074 cell  
Fax: (630) 359-5482  
[Ted\\_Wyman@comcast.com](mailto:Ted_Wyman@comcast.com)

Katie Bengson, Real Estate Specialist      630-576-6867  
**ComEd**      [Katie.bengson@comed.com](mailto:Katie.bengson@comed.com)  
Three Lincoln Center, 4th Floor  
Oakbrook Terrace, IL 60181

Ms. Gwen Borjon      630-388-2976  
**NICOR Gas**      [gborjon@southernco.com](mailto:gborjon@southernco.com)  
1844 W Ferry Rd  
Naperville, IL 60563

Ms. Sue E. Manshum      847-271-5149  
ROW Engineer      [sm9231@att.com](mailto:sm9231@att.com)  
**Ameritech**  
1391 Abbot Ct  
Buffalo Grove, IL 60089

Mr. Alonzo Escatel or Paul Flinkow      Alonzo 630-631-9577 Paul 630-803-9660  
**Astound**      [Alonzo.escatel@astound.com](mailto:Alonzo.escatel@astound.com)  
1130 Carolina Dr      [Paul.flinkow@astound.com](mailto:Paul.flinkow@astound.com)  
West Chicago, IL 60185

Mr. Charles Saint Vil  
**IDOT Permits**      [Charles.SaintVil@illinois.gov](mailto:Charles.SaintVil@illinois.gov)  
201 W Center Court  
Schaumburg, IL 60196

Mr. Michael Sterr, P.E.      312-603-1670  
Permit Division Head, Construction Bureau  
**Cook County Department of Transportation and Highways**  
69 W Washington St      [michael.sterr@cookcountyil.gov](mailto:michael.sterr@cookcountyil.gov)  
24th Floor      [hwy.permits@cookcountyil.gov](mailto:hwy.permits@cookcountyil.gov)  
Chicago, IL 60602

## Sample Signature Blocks

COMMONWEALTH EDISON COMPANY  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

AMERITECH/SBC  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

NICOR GAS  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

COMCAST CABLE  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

WIDE OPEN WEST, LLC  
EASEMENT APPROVED AND ACCEPTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_

TITLE: \_\_\_\_\_

### Cook County Signature Block:

This plat has been approved by the Cook County Highway Department with respect to roadway access pursuant to 765 ILCS 205/2. However, a Highway Permit, conforming to the standards of the Cook County Highway Department is required by the owner of the property for this access.

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Superintendent of Highways  
Cook County, Illinois



# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

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### DEPARTMENT PLAN REVIEW SUMMARY

#### Gateway Redevelopment SE corner Algonquin Rd and Arlington Heights Rd

#### Round 1 Review Comments

10/02/2023

**1. Character of use:**

The character of use is consistent with the area. It will be necessary to limit access to the grounds, to discourage loitering. The addition of trespass signs is recommended.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights Code. Special attention should be given to those outside common areas- ie courtyard and parking garage. Landscaping must not create hiding locations and should provide for natural surveillance.

**3. Present traffic problems?**

Algonquin Rd and Arlington Heights Rd are both heavily traveled, main thoroughfares. Both roads and intersection of these roads are busy during peak and non-peak traffic hours. A traffic impact study was completed for this project.

**4. Traffic accidents at particular location?**

The intersection of Algonquin Rd and Arlington Heights Rd is a top ten crash intersection.

**5. Traffic problems that may be created by the development.**

This development will create higher traffic volume in the area. Vehicles entering and leaving the property will impact traffic on the busy roadway and vice versa.

The size of the building adjacent to the roadway is a concern for traffic problems created by the development. Vehicles turning from northbound Arlington Heights Rd to eastbound Algonquin Rd will have to negotiate that curve without a clear line of sight onto Algonquin Rd.

The design as it stands, reveals vulnerability to vehicles accidentally (or intentionally) leaving the roadway, whether by result of a traffic collision, or by reckless driving.

A multilayered approach should be taken to protect pedestrian traffic and the structure itself. Special consideration should be given to the frequent commercial traffic and the speed of vehicles on the roads adjacent to the property. The use of bollards around the perimeter of the property is recommended as bollards makes it more difficult for cars to drive onto the curb, through the doors or walls, or injure pedestrians.

Due to the location of this development, adjacent to a top ten crash intersection, it is recommended each entrance and exit is "right turn only."

The parking garage and proposed retail space will create heavy foot traffic on and around the property. The area around the vehicle entrance/exit should be clear of obstructions. Vehicle traffic entering and exiting the parking garage must be able to view other vehicles and pedestrians. Street parking adjacent to the entrances/exits should be prohibited. Warning lights/audible signals could be used to signal vehicles are exiting.

## **6. General comments:**

### **Address visibility:**

- Directional signage located at the entry to the complex should be utilized, clearly indicating location of management offices, building names, unit numbers and retail space.

- Include signage for “No Trespassing,” “No Loitering” and/or “No Solicitation.”

- Interior and exterior of lobby space should utilize signage and increase visibility of addresses and unit numbers. All lobby spaces, elevator landings, etc. should prominently/adequately display floor plans. This is essential for first responders as well as persons unfamiliar with the complex layout that may need emergency services. Lobby areas should be equipped with interior signage indicating building number, floor plans, door numbers, etc.

- For each individual unit within the complex, there should be a prominent address number which is easily visible to approaching motor vehicles, pedestrians, and first responders.

### **Parking Garage:**

- Is the new parking garage going to have public access for customers of the retail spaces or is it a resident only parking garage? If yes, is there signage clearly distinguishing public access from private access? If no, is there access control to restrict non-residents/non-permitted driver's access?

- Parking could become an issue if a larger percentage of residents, than expected have vehicles. Emergency telephones should be installed in the parking area for added safety.

- Pedestrian access should be a priority for this project due to the size of the multi-family complex as well as the proposed retail space. Signage should be used whenever possible to increase access control. This includes clearly marked pedestrian entrances delineating public spaces from private spaces. Approved pedestrian entrances should be clear of obstructions and distractions to encourage use. Unapproved entrances on the ground floor should be securely locked in compliance with building, fire and life-safety codes. Avoid forcing pedestrians to cross the paths of the cars whenever possible. When such encounters are unavoidable, the design should create a safe passage for persons to move along until they come to a marked crosswalk.

- Is the new parking garage designed in a way to reduce or eliminate members of our homeless population squatting there? Perimeter definition and access control are essential to deter unwanted pedestrian-level access to the parking lot or garage. (i.e. fencing, level changes, ground floor protection, and/or other architectural and environmental barriers that channel people to designated entry points and discourage others from hiding outside and inside the property or buildings).

- CPTED recommends one means of entry and exit for all vehicles. The less entrances there are, the easier it is to control the users and uses of the facility.

-Ground-level metal screening should be used to prevent or deter unauthorized access, while upper floors should be open with cable strung to prevent cars from overshooting the parking spaces and toppling off. Ground-level screening should not be floor to ceiling in order to deter climbing to higher floors. If space permits, place short bushes close to the perimeter wall to discourage people from climbing or cutting the screen.

-Plantings higher than 3 feet should not be placed within 10 to 15 feet of entrances to prevent hiding spots, and mature trees should be pruned to 8 feet.

-Structural support elements should be round rather than rectangular. A round column allows for much greater visibility around the corners than a rectangular or square column.

-Elevators and stairwells should incorporate as much glass and high-visibility placement as structurally possible. Glass-walled elevators placed along the exterior of the building provide for good natural visibility by people on the street and within the garage.

-Lighting is an important aspect of CPTED. Lighting increases the amount and quality of natural surveillance. If people cannot see the activity, they cannot report the activity. Lighting can also deter those intending to conduct criminal/nuisance activity. Exterior lighting needs to be activated by sensor, timer or motion depending on the need and location.

-The height of the light fixtures makes a difference in the ability of pedestrians to see past the shadows caused by the cars and other obstructions naturally occurring in parking lots. Typical light poles are 30 to 45 feet high and cast a wide swath of lighting, but they create deep shadows between cars. Pedestrian-level lighting in the 12- to-14-foot range casts light that will go through the glass of cars and reflect off the cars; that can dramatically reduce shadows and dark spots.

-The interior of parking garages should be painted in light colors to increase reflectivity of the luminaries, which should use polycarbonate lenses for vandal- and break-resistance. The ceiling should be painted white to further increase the goal of reflectivity.

-CCTV is an essential part of CPTED and is highly recommended in a parking garage as large as the one proposed for this project. Signage indicating the use of video surveillance and monitoring is also highly recommended in conjunction with CCTV.

### **Balcony:**

-The balcony should be designed so it does not act as a natural ladder and with anti-climb features. The balcony must be adequately designed so it does not allow hand and foot holds to potential offenders trying to scale up the outside of the building. The railings should be designed so that foot or hand grips cannot be used by a potential offender.

### **Trash enclosure:**

-Locking trash enclosures is recommended to discourage foraging. Additionally, the trash enclosure provides a place of concealment for criminal activity if trash areas are not properly secured.

-Should be monitored 24/7 by CCTV and contain clearly visible signage indicating the use of security cameras.

### **Additional Resident Storage Space:**

-The blue prints indicate residents will have access to private storage/bike storage units. Storage facilities should be secure and accessible only to residents. There should be signage to encourage users to lock their storage lockers and video surveillance of the area to deter theft and help identify potential offenders.

### **Emergency Contact Information:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

A-J #330  
Alexandra Ovington, Crime Prevention Officer  
Community Services Bureau

Approved by:  
[Signature] #583  
Supervisor's Signature

## HEALTH SERVICES DEPARTMENT

6

## PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. \_\_\_\_\_  
Petitioner: TR Management & Consulting as Agent for Bradford Allen  
Arlington Heights Development, LLC. (Contract Purchaser)  
145 S Wells Street Ste 700 Chicago, IL 60606, 847.208.7074, thomas@roszak.com  
Owner: IHP AH REDEVELOPMENT LLC and IHP.ARLINGTON HEIGHTS LLC  
Brian Carley, 300 S. Wacker Drive, 35th Floor Chicago, IL 60606  
312-994-5664, bcarley@bradfordallen.com  
Contact Person: Mike Mocerl  
Address: 145 South Wells Street, Suite 700, Chicago, IL 60606  
Phone #: 847.804.6433  
Fax #: 847.716.7377  
Email: mmocerl@roszak.com

P.I.N.# 08-16-401-046-0000, 08-16-421-043-0000, 08-16-401-039-0000, 08-16-401-015-0000, 08-16-401-045-0000 06-  
Location: 1, 15, & 11 East Algonquin Road, 2355 South Arlington Heights Road  
Rezoning: \_\_\_\_\_ Current: B3 Proposed: B2  
Subdivision: Lincoln Executive Plaza + part August Busse's  
# of Lots: \_\_\_\_\_ Current: 7 Proposed: 1  
PUD: YES \_\_\_\_\_ For: \_\_\_\_\_  
Special Use: N/A \_\_\_\_\_ For: \_\_\_\_\_  
Land Use Variation: N/A \_\_\_\_\_ For: \_\_\_\_\_  
Land Use: \_\_\_\_\_ Current: Commercial  
Proposed: Mixed Use Residential/Retail  
Site Gross Area: 167,266  
# of Units Total: 299  
Studio: 49 1BR: 157 2BR: 83 3BR: 10 4BR:

(Petitioner: Please do not write below this line.)

## 1. GENERAL COMMENTS:

- Plans for the proposed swimming pool and spa will need to be submitted to the Illinois Department of Public Health for permitting.
- Village Code requires that recycling be provided in all multi-family properties. A recycling plan will need to be submitted during the building permit phase.

Sean Freres

9/19/23

Environmental Health Officer

Date

James McCalister

9/19/23

Director

Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. **PC 23-012**  
 Petitioner: TR Management & Consulting as Agent for Bradford Allen  
 Arlington Heights Development, LLC. (Contract Purchaser)  
 145 S Wells Street Ste 700 Chicago, IL 60606, 847.208.7074, thomas@roszak.com  
 Owner: IHP AH REDEVELOPMENT LLC and IHP ARLINGTON HEIGHTS LLC  
 Brian Carley, 300 S. Wacker Drive, 35th Floor Chicago, IL 60606  
 312-994-5664, bcarley@bradfordallen.com  
 Contact Person: Mike Mocerì  
 Address: 145 South Wells Street, Suite 700, Chicago, IL 60606  
 Phone #: 847.804.6433  
 Fax #: 847.716.7377  
 Email: mmocerì@roszak.com

P.I.N.# 08-16-401-046-0000, 08-16-401-043-0000, 08-16-401-030-0000, 08-16-401-018-0000, 08-16-401-045-0000 08-  
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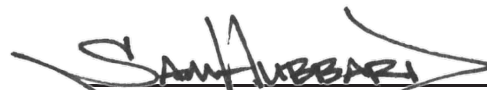
(Petitioner: Please do not write below this line.)

YES NO

1. X \_\_\_\_\_ COMPLIES WITH COMPREHENSIVE PLAN?
2. X \_\_\_\_\_ COMPLIES WITH THOROUGHFARE PLAN?
3. X \_\_\_\_\_ VARIATIONS NEEDED FROM ZONING REGULATIONS?  
(See below.)
4. \_\_\_\_\_ X \_\_\_\_\_ VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?  
(See below.)
5. X \_\_\_\_\_ SUBDIVISION REQUIRED?
6. X \_\_\_\_\_ SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?  
(See below.)

Comments:

SEE ATTACHED COMMENTS #7 - #73

  
 Coordinator

OCT. 2, 2023  
 Date

# Planning & Community Development Dept. Review

October 2, 2023



## REVIEW ROUND 1

Project: Arlington Gateway – Phase I  
1, 15, and 111 E. Algonquin Rd, 2355 S. Arlington Heights Rd.

Case Number: PC 23-012

### **General:**

7. The Plan Commission must review and approve the following action:
  - Planned Unit Development to allow a 299-unit mixed use development with 24,875 square feet of ground floor commercial floor area.
  - Rezoning from the B-3, General Service, Wholesale, and Motor Vehicles District to the B-2, General Business District.
  - Plat of Subdivision approval to consolidate the subject property into one lot.
  - Conceptual Special Use Permit approval to allow xx,xxx sq. ft. of restaurant floor area including x,xxx square feet of exterior seating areas. When tenants are identified for these spaces, they will be required to obtain a Special Use Permit through the Plan Commission review process, or if eligible, receive a Special Use Permit Waiver.
  - Setback variations from Chapter 28, Section 5.1-21.1d will be required as based on your response. See remainder of comments for further details.
  - A variation from Chapter 28, Section 6.1-5.1, to allow balconies to encroach into certain yards as based on your response to certain comments below.

Additional variations may be required depending upon your response to certain comments and review of the revised plans.

8. For all variations identified as being required based on the comments below, please provide a separate document outlying the justification for each variation requested. This document shall address the specific standards of approval for variations as outlined in Code. For each requested variation, provide a separate response outlying how the variation complies with the standards for approval as outlined below:
  - The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
  - The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
  - The proposed variation is in harmony with the spirit and intent of this Chapter; and
  - The variance requested is the minimum variance necessary to allow reasonable use of the property.
9. Please review and revise the project narrative to reflect the most recent iteration of this project.
10. Impact Fee's will be required for the residential portion of the development, in accordance with Village Policy.
11. Future plan submissions shall include less plan sheets. Please omit the following plans: Geotechnical, A107-A126, A201-205, A420-425, A490-A493, and A600 thru the end of the plan set, all of which shall be reviewed as part of building permit review. Please ensure that all plans and/or studies to be resubmitted as a result of the Round



1 Department review comments include a revision date. One hard copy of all resubmission items shall be required, along with one copy of all resubmission items in a USB/flash drive.

12. Please provide a short summary on the neighborhood meeting, including when notices were sent in the mail, when the meeting occurred, what the location of the meeting was, and how many attendees were present.
13. IDOT review and approval shall be required. You're strongly encouraged to begin coordination with IDOT regarding the proposed modifications to access/curb cuts. Please provide an update on all communications to-date.
14. Please reach out to Pace for coordination on potential bus stop improvements:  
 Steven Andrews  
 Pace Suburban Bus  
 Section Manager, Community Relations  
 Cell: 847-997-1509  
[Steven.Andrews@PaceBus.com](mailto:Steven.Andrews@PaceBus.com)

#### **Easements & Access:**

15. What is the status on the release of the easements that encumber the site? Please provide a summary of the easements, beneficiaries, and the status of their release. Additionally, please provide the following easement documents: 22566267, 22566270, 22925493, 22925494, 86291197, 26446335, and 0020420409.
16. Access shall be granted for Lots 1, 2, and 3 of the Lincoln Executive Plaza subdivision for usage of the portion of the E/W road from Tonne to Arlington Heights Road that falls within the subject property. This must include the portion at the northwest portion where the access drive connects to Arlington Heights Road. This shall be added to the Plat of Subdivision.
17. Access shall be granted to the Guitar Center lot for usage of all portions of the E/W road from Tonne to Arlington Heights Road that fall within the subject property. Provide this on the Plat of Subdivision.
18. Please provide proof of ownership for Lot 2 of Lincoln Executive Plaza subdivision and/or authority to make the modifications to the E/W road. An easement benefitting the appropriate lots will be needed on Lot 2 to account for the proposed modifications to the intersection of the E/W Road and Tonne.
19. Does the petitioner have the authority to make the modifications to "Parcel 4" and the portions of the Guitar Center lot? Please provide record of the authority to make these modifications or indicate the status of any negotiations to obtain this authority.
20. Similarly, does the petitioner have the authority to make the modifications to the northwest corner of Lot 1 within the Lincoln Executive Plaza subdivision, (located at the northeast corner of the subject property)? Please provide record of the authority to make these modifications or indicate the status of any negotiations to obtain this authority.
21. An easement is needed for the sidewalk that falls within the subject property. Provide this on the Plat of Subdivision.

#### **Streetscape/Landscaping/Photometrics:**

22. Photometric levels along the south property line abutting the Guitar Center exceed the maximum allowable levels (restricted to 2.0 footcandles at the property line). Revise the plan to conform to code requirements, as feasible, or request a variation to allow 4.0 footcandles where code restricts maximum footcandle levels to 2.0.
23. Revise the Photometric Plan to include the fixture mounting height for all free-standing poles (fixtures SL-1 thru SL-3). Per Section 10.2-12.3c.3, all fixtures mounted 20'-40' above grade shall be separated from each other by 3' for every 1' of mounting height. Separate the fixtures accordingly to comply with code, as applicable.



24. The label callouts on sheet L-100 do not appear to be pointing to the correct items. Please review and revise accordingly.
25. Provide a detail for the proposed exterior mechanical screen (height, material, style). Also provide for the proposed dog run fence.
26. In addition to the proposed mechanical enclosure along the south of the building, please indicate the location of any necessary ground mounted mechanical equipment (HVAC equipment, utility pedestals/meters, switchgear, etc.) on the site plan and provide landscape screening where applicable.

**Site/Infrastructure:**

27. Please provide a conceptual intersection plan for the Tonne Road/Algonquin Road infrastructure improvements required in future phases. Modifications to the proposed infrastructure may be needed to accommodate for the future intersection improvements, such as curblane, sidewalk, and pedestrian crossings, and this should be taken into consideration within your forthcoming resubmission. Can intersection improvements, such as the dual left turn lanes, be accommodated in the existing roadway easement? The conceptual intersection plan shall include the following:
  - The entire intersection including all easements, Rights-of-Way (ROW), signal equipment, lane configurations, bike and pedestrian facilities, and crossings to determine the alignment of the roadway.
  - How the driveway will align with the traffic lanes with Tonne Road across Algonquin Road.
  - All configurations of the driveway for the future phases of redevelopment
28. Please re-evaluate the proposed pickle ball court location as adjacent to the outdoor eating area and along Algonquin Road. Consider a different amenity in this location that would better integrate with the outdoor dining areas and would not require a 10' tall fence with netting. As an accessory structure, this sport court would require a variation to be located in the exterior side yard along Algonquin Road. A variation would be required for the 10' tall fencing.
29. Please revise the exterior bike parking locations to relocate the bike racks outside of pedestrian walkways/sidewalks. Please note that between 5-15 bike parking spaces will be required for the commercial uses (depending on the overall tenant mix and size of the restaurants).
30. Per the South Arlington Height Road Corridor Plan, the overhead lines along the south side of Algonquin Road shall be buried as part of any redevelopment on the subject property. Please coordinate with IDOT and the applicable utility companies to facilitate said burial.
31. Provide a master plan showing how the proposed project (i.e. Phase I) integrates with the existing improvements on the neighboring lots.
32. The Obelisks shall be reviewed as part of the Design Commission review process.

**Building:**

33. Building setback variations are necessary as code requires building setbacks along all 4 sides of the site, not just along the sides abutting Algonquin Road and Arlington Heights Road. The setbacks are required as follows:
  - North: 15' (floors 1-3), 50' (floors 4 and above)
  - South: 15' (floors 1-3), 50' (floors 4 and above)
  - East: 15' (floors 1-3), 50' (floors 4 and above)
  - West: 15' (floors 1-3), 50' (floors 4 and above)

Please revise the architectural plans to clearly show the proposed building setbacks. Specifically, see the attachment at the end of these comments and revise the applicable sheets to clearly show the proposed setbacks of the building **at its closest point** from the colored elevations to the adjacent colored property line.

34. Balconies are only a permitted encroachment within a required rear yard. Per Code, the rear yard is the east side of the site abutting the privately owned Tonne Road parcel. Balconies that project outwards past the front plane of the structure on the north, south, and west elevations in areas where the front plane of the structure already encroaches into a required setback, will require a variation to further project into the required setback. Please provide details to verify the extent of variations as may be required.
35. Provide a response to the variation approval criteria for any building setback variation and balcony encroachment variation required.
36. Add to the elevations a height measurement to the top of the elevator/stair overrun.
37. Add note to elevations confirming loading zone door height. Minimum required clearance for loading zones is 14' in height.
38. Please revise the architectural floor plans and to clearly show the width and depth of all parking rows within the garage, as well as the width of all drive aisles within the garage. Parking stalls shall be a minimum of 9' wide and 18' deep. Drive aisles shall be a minimum of 24' in width.
39. Please demonstrate if the last two "stalls" at the end of the Level 3 garage are too difficult to access to be used for parking purposes. If these spaces need to be left open to provide access to the adjacent stalls, please consider striping these stalls to make it clear that they are not to be used for parking.
40. A note must be added to the floor plans outlining how many bike parking spaces will be contained within the bike storage room. Per code, a minimum of 30 bike parking stalls shall be required for the residential uses.
41. Please provide a conceptual plan for the green roofs and solar panel array.

**Parking and Traffic:**

42. The amount of code required parking for restaurant tenants (1 space per 45 sq. ft. of seating area) is greater than for standard retail tenants (1 space per 300 sq. ft. of floor area). The proposed commercial spaces are intended to include restaurant tenants and outdoor seating areas have been proposed. The commercial parking has been proposed at the minimum code required amount as based on the entire commercial space being leased to non-restaurant tenants. In order to adequately plan for parking, provide an estimate for the total square footage within each retail space (A, B, C) that is anticipated to be leased to a restaurant/café/food establishment.
43. The parking tables on sheet A-006A and A-006B should be updated to account for the restaurant spaces.
44. Please note that the size of outdoor seating areas is included in the overall restaurant seating area size for code required parking calculations purposes.
45. Delineate on sheet A-006A the boundaries of each outdoor seating area and provide the size (in sq. ft.) of each.
46. Can the lower level of parking be expanded slightly to increase the garage parking supply? This would allow for sharing of garage parking between the commercial and residential uses. Commercial employees could park in the lower level of the garage, or if restaurants offer valet parking, this could be provided in the lower level of the garage.
47. Please outline where guests of the residential units, employees (of both the residential and commercial uses), and valet parking could occur.
48. Provide description of all anticipated approvals that will be needed from IDOT in order to design and install traffic as well as bike and pedestrian improvements.
49. Ensure all new signal phasing includes appropriate crossing times for the anticipated increase in pedestrian and bicycle traffic to safely accommodate the large crossings.

50. For the right-in, right-out driveways it may be beneficial to provide a gap analysis in order to determine the impact of these movements between intersections and highway ramps.
51. Please provide bike and pedestrian counts and crash data to determine potential impacts or issues that may be resolved with the planned improvements.
52. Please confirm access restrictions for the parking garage.
53. Please provide parking utilization data from similar sites to confirm the parking utilization rates. The sites should be of similar scale, land uses, and proximity to highway/transit as possible.
54. Parking Management – The petitioner should submit a parking management plan that provides detail on how all parking spots will be allotted to residential units, how guest parking and employee parking will be accommodated, and demand for commercial parking in light of previous comments on restaurant uses.
55. Algonquin Road and Arlington Heights Road Intersection - Under the Year 2029 Phase I conditions there is a nearly 50% increase in the westbound left turn movement during weekday evenings. This should be addressed in the signal timing recommendations.
56. Tonne Road Intersection - The Tonne Road Northbound left-turn movement suffers a significant delay in the Phase I and full buildout scenarios and not just a decrease in level of service. The delay more than doubles with no specific increase noted. The conditions with the proposed signal timing modifications should be provided. The same occurs for the southbound through and right-turn movements for both 2029 Phase I and full buildout.

#### **Bike and Pedestrian Access**

57. Provide details for the design and materials for all pedestrian crosswalks along the roadway frontages and internal parking lots.
58. Provide bicycle and pedestrian access along all frontages of the site through a shared-use path. This should include the shared drives accessible from Tonne Road and from Arlington Heights Road. The path would preferably be 10 – 12 feet wide although consideration down to an 8-foot path would be considered where they may be ROW restrictions and the existence of a sidewalk on the adjacent side of the roadway is provided. The path would allow for existing and future access to the following:
  - The Elk Grove Evanston Bikeway outlined in the Northwest Municipal Council (NWMC) Multimodal Plan. The Bikeway would be accessible from both Tonne Road and the Algonquin Road/Arlington Heights Road intersections.
  - Future connections to Busse Woods would be accessible from the southwestern edge of the site and would continue with future phases of the redevelopment. Future access may also be accessible to the internal roadway
  - Use shared-use paths through the site to access all future phases of redevelopment through the site or adjacent sites to promote multimodal access and shared parking opportunities.

#### **Market Study:**

59. While it is understood that the following projects are still in the planning phase, please analyze the potential impact of the Woods Plaza redevelopment in Elk Grove Village, along with the proposed redevelopment of International Plaza in the Village of Arlington Heights. Additionally, the Village is in very preliminary discussions with a developer that is interested in constructing 316 multi-family rental units on Arlington Heights Road approximately 1,500 north of the subject property.

#### **PUD/Construction Phasing:**

60. A preliminary construction schedule and construction staging plan shall be required, per Section 9.1i. The plans shall identify construction site entrances, anticipated number of construction workers and where they will park during each phase of construction, the type and amount of construction vehicles per phase and where they will

be staged, the location of material storage, and information on any anticipated lane closures, including info on where the closures will take place and the general timeframe for each closure.

61. Are there any proposed Covenants, Conditions, or Restrictions for the subdivision or PUD?

**Plat of Subdivision:**

62. Please clarify if your intent is to proceed with Preliminary and Final Plat of Subdivision approval into one process. Final Plat approval requires the submission of final engineering plans and stormwater detention calculations. Please note that the Final Plat of Subdivision, as approved by the Engineering Dept., must be printed on mylar and submitted to the Village, with signatures obtained from all parties except those to be coordinated by the Village, **no less than one week** prior to the Plan Commission hearing date. If this requirement cannot be met, you can proceed with Preliminary Plat approval, with Final Plat approval obtained at a future date (i.e. a separate Plan Commission meeting would be needed). Please note that no public notice is required for Final Plat of Subdivision approval. Should you end up proceeding with Preliminary Plat approval only, an electronic copy of the Plat which reads "Preliminary" will be required one week prior to the Plan Commission hearing.

63. Please note that payment of all applicable engineering fees and the provision of all surety bonds, public improvement deposits, and maintenance guarantees must be provided **one week prior** to appearing before the Village Board for Final Plat approval. An Engineer's Estimate of Probable Cost is needed in order to calculate these fees.

64. Why are so many owners certificates needed on the Plat?

65. IDOT signature is required on the Plat of Subdivision.

66. Per Section 29-209 of Chapter 29, please provide space for the County Clerk's stamp.

67. Building setback lines must be shown on the Plat of Subdivision. Please add setback lines which shall be 15' from the property boundary and 50' from the property boundary. For the 15' setback, a note shall be added clarifying that this applied only to structures between 1-3 stories tall and for the 50' setback a note shall be added to clarify that it shall be applied only to 4th story and above.

68. Provide a Deed of Dedication per Section 29-209n of Chapter 29. The 2<sup>nd</sup> and 3<sup>rd</sup> paragraphs can be omitted if there are no separate and additional covenants, conditions and restrictions for the subdivision.

69. A surveyors seal shall be added to the Plat.

70. Add the PIN numbers to the Plat per Chapter 29, Section 29-209s.

71. Add a location to send future tax bills per Chapter 29, Section 29-209t.

72. A lot number must be proposed for the new lot, including the total size of the newly proposed lot per Section 29-209i.

73. In order to properly display the necessary easements that must be established as part of this subdivision, along with the applicable easement provisions, it is recommended that another page be added to the Plat of Subdivision to clearly show the proposed easement locations, beneficiaries, and provisions.

Prepared by: 







- LANDSCAPING NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR TERRACE DESIGN, DETAILS, AND SPECIFICATIONS.  
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTS, TREES AND PLANTER SPECIFICATIONS.  
3. REFER TO SHEET A-440 FOR ROOF TYPES  
4. PROVIDE MINIMUM ONE EXTERIOR NOSE BBS AND ONE W/PGPI RECEPTACLE PER ROOF FOR BUILDING MAINTENANCE. REFER TO ARCH DRAWINGS FOR LOCATIONS
- FINISH LEGEND
- ROOM FINISH TAG
- CEILING FLOOR WALL WALL BASE
- COMMON SPACE SHOWN
- FLOOR PLAN NOTES
1. DIMENSIONS ARE TO GYPSUM BOARD, CONCRETE, OR CMU, UNO.  
2. CLOSET DOORS ARE CENTERED WITHIN CLOSET WIDTHS, UNO.  
3. SEE A-700 SHEETS FOR BATHROOM AND KITCHEN DETAILS IDENTIFYING DIFFERENCES BETWEEN TYPE A AND TYPE B UNITS.  
4. FURNITURE IS SHOWN FOR REFERENCE ONLY.  
5. REFER TO SHEET A-360 FOR ROOF TYPES AND A-403 FOR LOCATIONS AND SQUARE FOOTAGES  
6. REFER TO INTERIOR ELEVATIONS FOR ROOMS WITH MULTIPLE WALL PAINT COLORS LISTED  
7. SEAL ALL CONCRETE FLOORS THAT ARE NOT SCHEDULED TO RECEIVE ANOTHER FINISH  
8. REFER TO DOOR SCHEDULE FOR TYPICAL RESIDENTIAL DOORS TAGS WITH A LETTER, NON-RESIDENTIAL DOORS ARE TAGGED WITH THE NUMBER OF THE ROOM THEY ASSOCIATE WITH  
9. SEAL ALL EXPOSED CONCRETE WALLS IN RESIDENTIAL BATHROOMS  
10. REFER TO DETAIL A-815 FOR TYP DOOR DETALS  
11. PROVIDE SHADES IN ALL UNITS: 1% AT ALL BEDROOMS AND STUDIO UNITS, 3% AT ALL KITCHENS, LIVING, DINING ROOMS UNLESS STUDIO UNITS.  
12. REFER TO A-800 SEAMING DIAGRAMS FOR CARPET PATTERNS.  
13. REFER TO LEVEL 5 FOR RESIDENTIAL UNIT TAGS AND INFORMATION  
14. PROVIDE CONTROL JOINTS AT ALL GYPSUM BOARD ASSEMBLIES AT INTERVALS OF 30' O.C. MAXIMUM. CONTROL JOINTS ARE TO ALIGN WITH DOOR JAMBS AT ALL LOCATIONS UNO. PROVIDE JOINT DRAWING TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.  
15. PROVIDE STANDARD WHITE LAMINATE CLOSET SHELVING MODULES WITH METAL HANGER RODS AT ALL RESIDENTIAL UNIT ENTRY AND BEDROOM CLOSETS.

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SIGNATURE SEAL

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ILLINOIS  
THOMAS A. ROSZAK  
REGISTERED ARCHITECT  
#001 019175  
EXPIRATION DATE:  
NOVEMBER 30, 2024

I CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY COMPLY TO THE VILLAGE OF ARLINGTON HEIGHTS BUILDING CODE.

No.	Date	Description
4	9/15/2023	90% CD's
2	7/26/2023	80% CD's
1	6/30/2023	50% CD's

## ARLINGTON HEIGHTS PHASE I

2355 S. Arlington Heights Rd.,  
Arlington Heights, IL 60005

OWNER  
**Bradford Allen**  
300 S. Wacker Dr., 35th Floor  
Chicago, IL 60606  
Tel: 312-264-5700

DESIGNER  
**Mocerri + Roszak**  
145 S. Wells St., Suite 700  
Chicago, IL 60606  
Tel: 312-423-7989

ARCHITECT  
**Thomas Roszak Architecture, LLC**  
145 S. Wells St., Suite 700  
Chicago, IL 60606  
Tel: 312-423-7989

CONSTRUCTION MANAGER  
**SteelGrass, LLC**  
145 S. Wells St., Suite 700  
Chicago, IL 60606  
Tel: 312-423-7989

DEVELOPMENT CONSULTANT  
**TR Management + Consulting**  
145 S. Wells St., Suite 700  
Chicago, IL 60606  
Tel: 312-423-7989

LANDSCAPE ARCHITECT  
**Thomas Roszak Architecture, LLC**  
145 S. Wells St., Suite 700  
Chicago, IL 60606  
Tel: 312-423-7989

CIVIL ENGINEER  
**V3 Companies**  
7325 Janes Avenue  
Woodridge, IL 60517  
Tel: 630-724-6200

STRUCTURAL ENGINEER  
**Thornton Tomasetti**  
330 N. Wabash Avenue, Suite 1500  
Chicago, IL 60611  
Tel: 312-346-2000

MEP DESIGN CONSULTANT  
**Cosentini Associates**  
1 S. Wacker Drive, Suite 3700  
Chicago, IL 60606  
Tel: 312-201-7451

GEOTECHNICAL ENGINEER  
**GEI**  
1615 W. Bryn Mawr Avenue, Suite 400  
Chicago, IL 60611  
Tel: 312-868-0364

GENERAL CONTRACTOR  
**Clark Construction Group**  
216 S. Jefferson Street, Suite 502  
Chicago, IL 60601  
Tel: 312-474-5500

MECHANICAL DESIGN/BUILD CONTRACTOR

PLUMBING DESIGN/BUILD CONTRACTOR

ELECTRICAL DESIGN/BUILD CONTRACTOR

FIRE PROTECTION DESIGN/BUILD CONTRACTOR

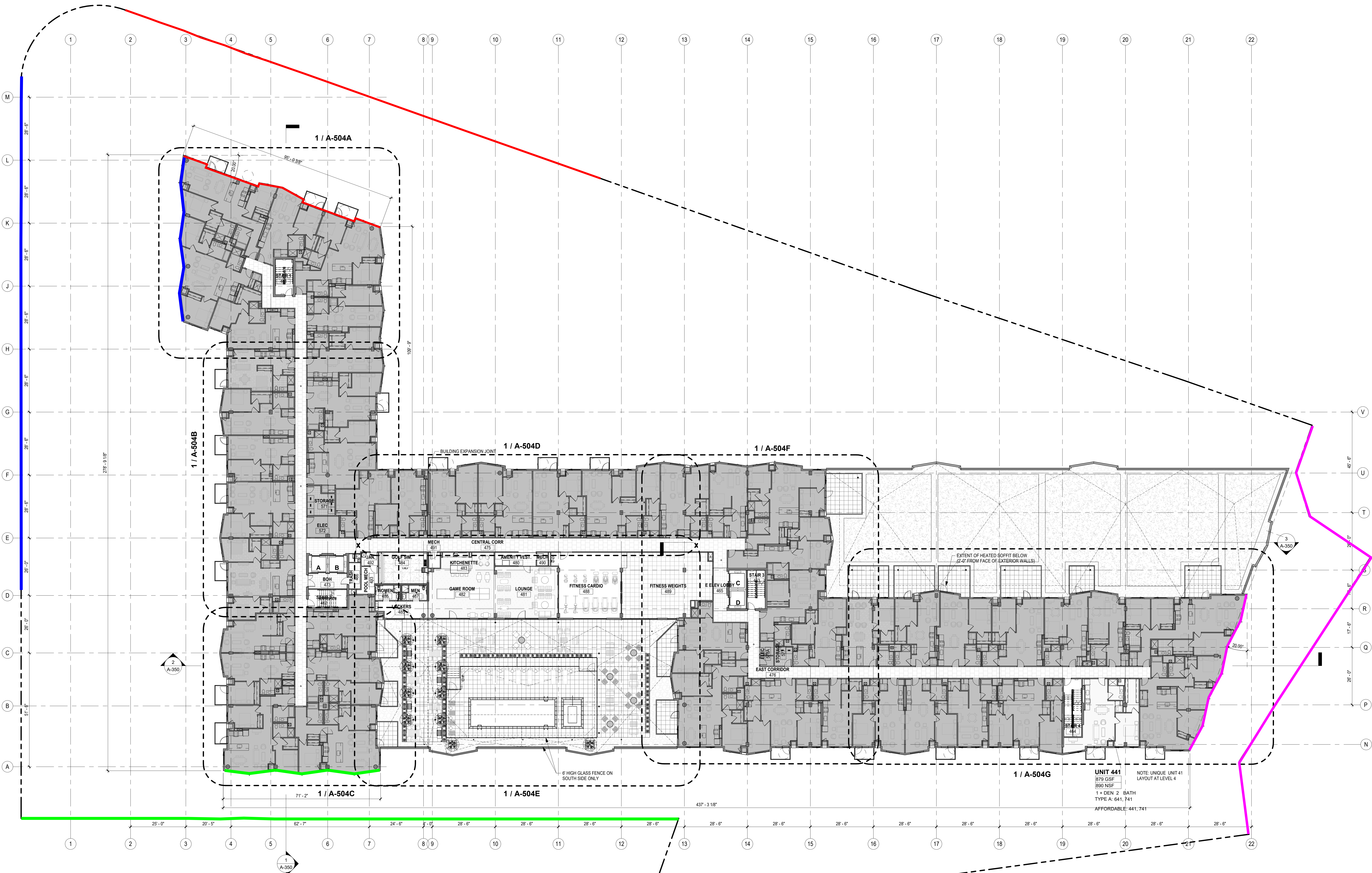
## KEY PLAN LV4

SHEET TITLE  
LEVEL 4 FLOOR PLAN

SCALE  
As Indicated

DATE  
09/07/2023

SHEET NUMBER  
A-104



1 LEVEL 4 OVERALL FLOOR PLAN  
1/16" = 1'-0"



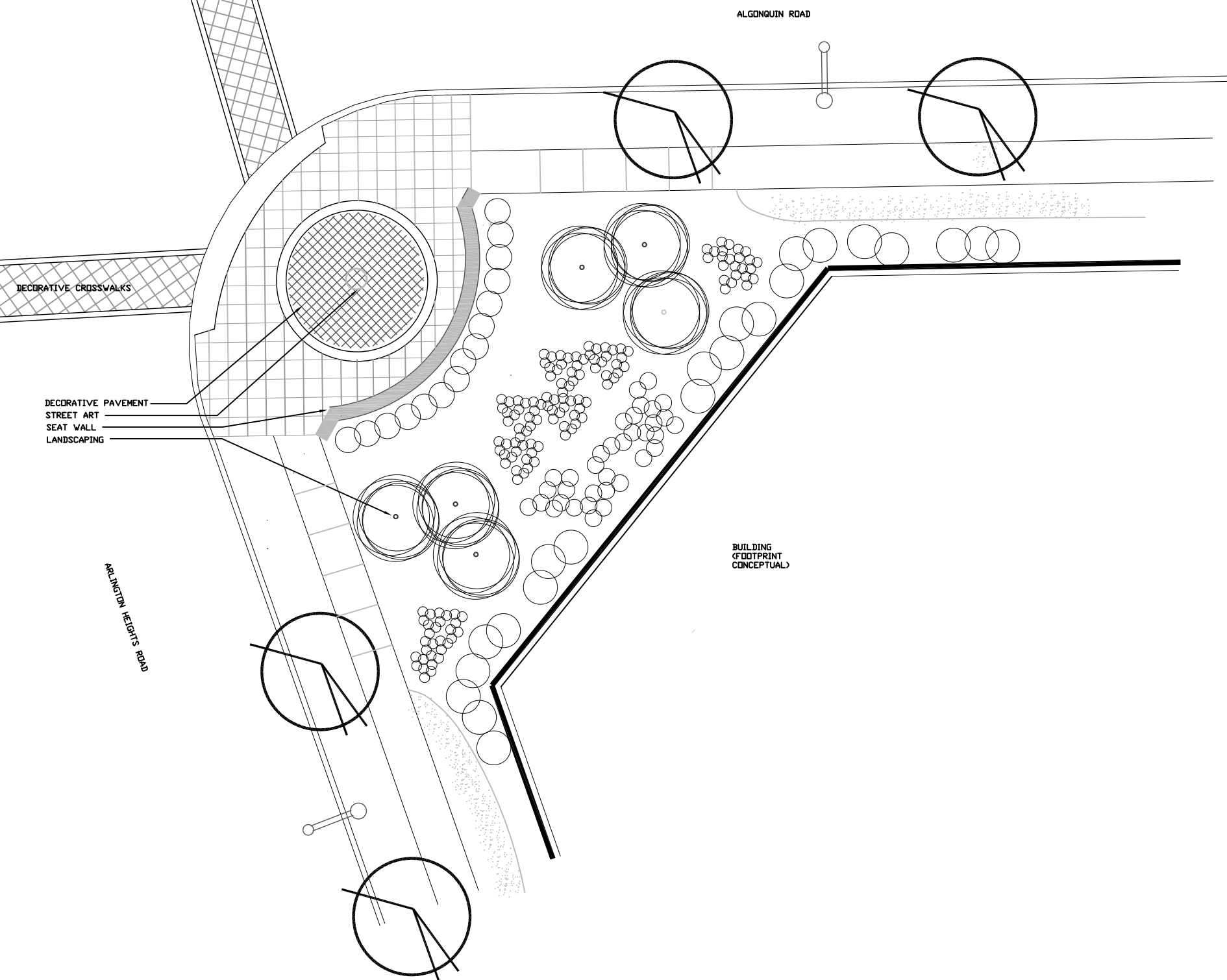
Arlington Gateway Development  
PC 23-012  
October 4, 2023

**Landscape Issues**

- 1) The overall landscaping is minimal. Please incorporate foundation plantings for the area located near the northwest corner of Arlington Heights Road and Algonquin Road. In addition, please incorporate foundation plantings for the area near Tonne Road and Algonquin Road. There should be an abundance of landscaping at both Tonne/Algonquin Road and Arlington Heights Road/Algonquin Road. The planting should be a mix of shrubs and perennials and take into consideration the design of the building elevation.
- 2) Provide parkway trees along Arlington Heights Road, Algonquin Road and Tonne Road. Please incorporate a variety of shade trees that are spaced approximately 40-50 feet apart. The trees should be 2.5 inch caliper at time of installation. The species must be salt and drought tolerant.
- 3) Incorporate decorative crosswalks that consist of a thermoplastic material or similar product for the intersection at Arlington Heights Road and Algonquin Road and the intersection at Algonquin Road and Tonne Road. The crosswalks must be wide enough to accommodate pedestrians and bicycles. Attached are examples of similar crosswalks and the Village will collaborate on the design details.
- 4) Specialty pavement is shown on the landscape plan and the engineering plan (Sheet L-100 & C3.0). Please note that the plans are inconsistent. The landscape plan shows specialty pavement that consists of stripes between the buildings. Please clarify the materials and coordinate so that the plans are consistent. In addition, please provide details for the pavers and the striped areas.
- 5) At the corner of Arlington Heights Road and Algonquin Road incorporate an expanded pedestrian area that includes specialty pavement, seat walls and landscaping. The area should contribute to the focal point and provide pedestrians a generous area of relief at the corner. Please see the attached concept.
- 6) Incorporate site furnishings including raised planters, decorative lighting and seating/benches throughout the site. Please provide details for the site furnishing package. For the decorative lighting, it is recommended that a decorative pedestrian light fixture (approximately 12 feet high) be incorporated throughout the site and along the public sidewalk on the private side.
- 7) Will landscaping or shade trees be provided on the south side of the new access road? Please show the transition for the area/drive to the south.
- 8) Whatever element is proposed in the area identified for pickle ball, it must be screened with landscaping. The landscaping should be layered with a mix of evergreens and perennials.

- 9) Provide a 3 foot high screen for parking areas along Arlington Heights Road and Algonquin Road. The code required screen must be incorporated between the public sidewalk and the parking area (Chapter 28, Section 6.15).
- 10) Provide four inch caliper shade trees at the end of each parking row (Chapter 28, Section 6.15).
- 11) Please provide details for the wall enclosing the generator on the south elevation.
- 12) Landscape screening must be provided for any utility/mechanical areas. Any new utility/mechanical boxes must be placed where they are not visible and screened.





# CROSSWALKS

