

VICINITY MAP
NOT TO SCALE

LEGEND

	SUBDIVISION BOUNDARY LINE
	EXISTING LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE
	FLOODWAY/FLOODPLAIN LINE (SCALED FROM FEMA MAP)
	BUILDING SETBACK LINE
	NORTH
	SOUTH
	EAST
	WEST
	CHORD BEARING
	ARC LENGTH
	RADIUS
	RECORD DATUM
	CALCULATED DATUM
	FOUND IRON PIPE
	FOUND IRON ROD
	SET CONCRETE MONUMENT

PROJECT TEAM

OWNER

Bradford Allen
300 S. Wacker Drive, 35th Floor
Chicago, Illinois 60606
312 994 5700

DEVELOPER

Moceri + Roszak
145 S. Wells Street, Suite 700
Chicago, Illinois 60606
312 423 7989

SURVEYOR

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Anthony Strickland
tstrickland@v3co.com

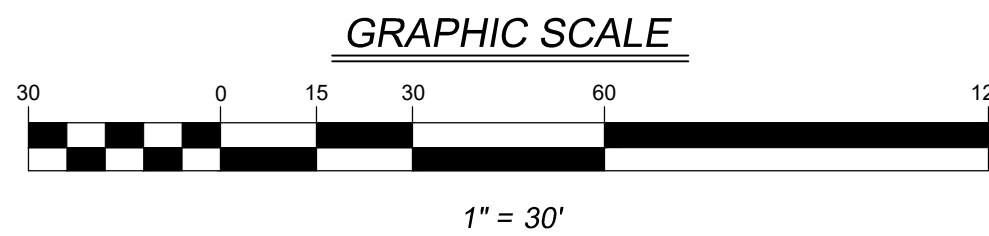
PRELIMINARY PLAT OF SUBDIVISION OF LOT 1 BRADFORD ALLEN SUBDIVISION

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 41
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PROPERTY ADDRESS:
1, 15 & 111 EAST ALGONQUIN ROAD, 2355 ARLINGTON HEIGHTS ROAD,
ARLINGTON HEIGHTS, IL 60005

UPON RECORDING, MAIL TO:
VILLAGE OF ARLINGTON HEIGHTS
33 S. ARLINGTON HEIGHTS ROAD,
ARLINGTON HEIGHTS, IL 60005

SEND TAX BILL TO:

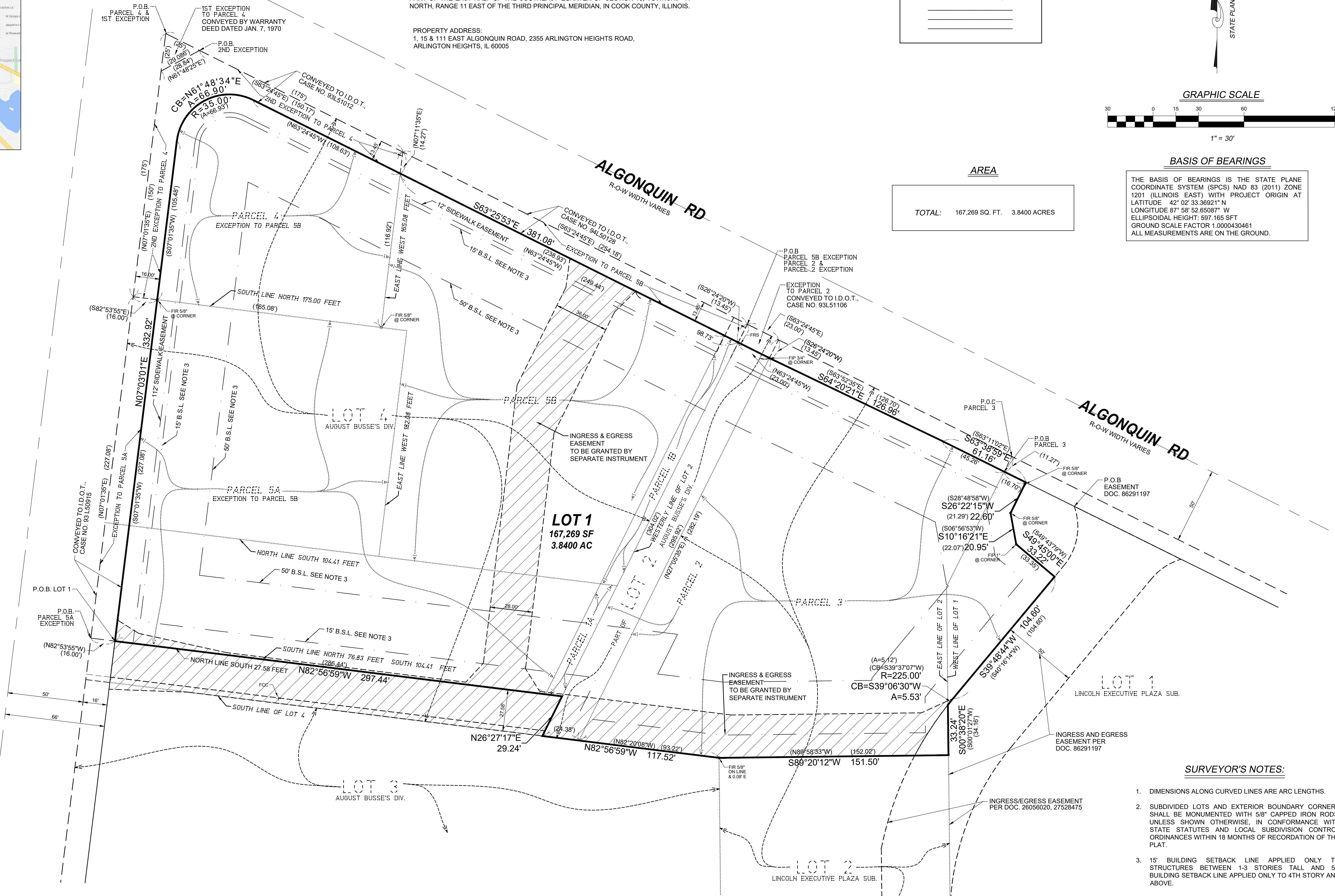


BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 42° 02' 33.36921" N
LONGITUDE 87° 58' 52.65087" W
ELLIPSOIDAL HEIGHT: 597.165 SFT
GROUND SCALE FACTOR 1.0000430461
ALL MEASUREMENTS ARE ON THE GROUND.

AREA

TOTAL: 167,269 SQ. FT. 3.8400 ACRES



SURVEYOR'S NOTES:

- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 5/8" CAPPED IRON RODS, UNLESS SHOWN OTHERWISE, IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 18 MONTHS OF RECORDATION OF THE PLAT.
- 15' BUILDING SETBACK LINE APPLIED ONLY TO STRUCTURES BETWEEN 1-3 STORIES TALL AND 50' BUILDING SETBACK LINE APPLIED ONLY TO 4TH STORY AND ABOVE.



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
THOMAS ROSZAK ARCHITECTURE
145 S. WELLS STREET
CHICAGO, IL 60606
773.516.3501

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-19-23	REVISED PER CLIENT COMMENTS			
2	11-20-23	REVISED PER CLIENT COMMENTS			

PRELIMINARY PLAT OF SUBDIVISION

LOT 1 BRADFORD ALLEN SUBDIVISION, ARLINGTON HEIGHTS, IL

DRAFTING COMPLETED: 10/12/23
FIELD WORK COMPLETED: N/A

DRAWN BY: ADS/SPK
CHECKED BY: AJS

PROJECT MANAGER: AJS
SCALE: 1" = 30'

Project No: 230084
Group No: VP04.1

SHEET NO.
1 of 3

PRELIMINARY PLAT OF SUBDIVISION
OF
LOT 1 BRADFORD ALLEN SUBDIVISION

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 41
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN NUMBERS:

08-16-401-018
08-16-401-030
08-16-401-036
08-16-401-039
08-16-401-043
08-16-401-045
08-16-401-046

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT BRADFORD ALLEN ARLINGTON HEIGHTS DEVELOPMENT, LLC, IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE PLATTED AS INDICATED ON THE ATTACHED PLAT, FOR THE USES AND PURPOSES THEREON SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME ON THE STYLE AND TITLE THEREON INDICATED.

DATED AT _____, THIS ____ DAY OF _____, A.D., 20__.

BY: _____ ATTEST: _____

TITLE: _____ TITLE: _____

NOTARY PUBLIC

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR THE
RESIDING IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

_____ (TITLE) _____ AND

_____ (TITLE) _____ OF

_____, WHO PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHO IS SUBSCRIBED TO THE FOREGOING CERTIFICATE OF OWNERSHIP APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 20 ____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DEED OF DEDICATION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

WE, THE UNDERSIGNED, BRADFORD ALLEN ARLINGTON HEIGHTS DEVELOPMENT, LLC., OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS LOT 1 BRADFORD ALLEN SUBDIVISION, AN ADDITION TO THE VILLAGE OF ARLINGTON HEIGHTS, COOK COUNTY. FRONT AND SIDE YARD BUILDING SETBACK LINES ARE ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREETS, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE.

WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, A.D., 20__.

NOTARY PUBLIC

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED _____, AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 20 ____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

OWNERS CERTIFICATE

THIS IS TO CERTIFY AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS LOT 1 BRADFORD ALLEN SUBDIVISION, TO THE BEST OF OUR KNOWLEDGE, IS ENTIRELY LOCATED WITHIN THE BOUNDARIES OF CONSOLIDATED COMMUNITY SCHOOL DISTRICT NO. 25, TOWNSHIP HIGH SCHOOL DISTRICT #214, AND HARPER COMMUNITY COLLEGE DISTRICT #512 IN COOK COUNTY, ILLINOIS.

DATED THIS ____ DAY OF _____, 20 ____

BY: _____

TITLE: _____

SCHOOL DISTRICT NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, _____, NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT
LOCATED AT _____, ILLINOIS, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING SCHOOL DISTRICT CERTIFICATE, APPEARED BEFORE ME, THIS DAY, IN PERSON, AND ACKNOWLEDGED THE EXECUTION OF THIS STATEMENT AS HIS FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20 ____.

NOTARY PUBLIC

ILLINOIS DEPARTMENT OF TRANSPORTATION:

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT OF SECTION 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS" AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

JOSE RIOS, P.E.
REGION ONE ENGINEER



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
THOMAS ROSZAK ARCHITECTURE
145 S. WELLS STREET
CHICAGO, IL 60606
773.516.3501

			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-19-23	REVISED PER CLIENT COMMENTS			
2	11-20-23	REVISED PER CLIENT COMMENTS			

PRELIMINARY PLAT OF SUBDIVISION

LOT 1 BRADFORD ALLEN SUBDIVISION, ARLINGTON HEIGHTS, IL

DRAFTING COMPLETED:	10/12/23	DRAWN BY: ADS/SPK	PROJECT MANAGER: AJS
FIELD WORK COMPLETED:	N/A	CHECKED BY: AJS	SCALE: 1" = N/A

Project No: 230084

Group No: VP04.1

SHEET NO.
2 of 3

