

# LEGEND

**EXISTING LOT LINE EXISTING EASEMENT LINE** PROPOSED EASEMENT LINE **BUILDING SETBACK LINE** 

> FLOODWAY/FLOODPLAIN LINE (SCALED FROM FEMA MAP)

SOUTH

CB CHORD BEARING A ARC LENGTH

RECORD DATUM CALCULATED DATUM

Chicago, Illinois 60606 312 994 5700

# SURVEYOR

V3 Companies, Ltd. 7325 Janes Avenue Woodridge, Illinois 60517 630 724 9200 Project Manager: Anthony Strickland

# VICINITY MAP NOT TO SCALE

SUBDIVISION BOUNDARY LINE

**SECTION LINE** 

B.S.L. BUILDING SETBACK LINE

EAST W WEST

RADIUS

FOUND IRON ROD SET CONCRETE MONUMENT

# **PROJECT TEAM**

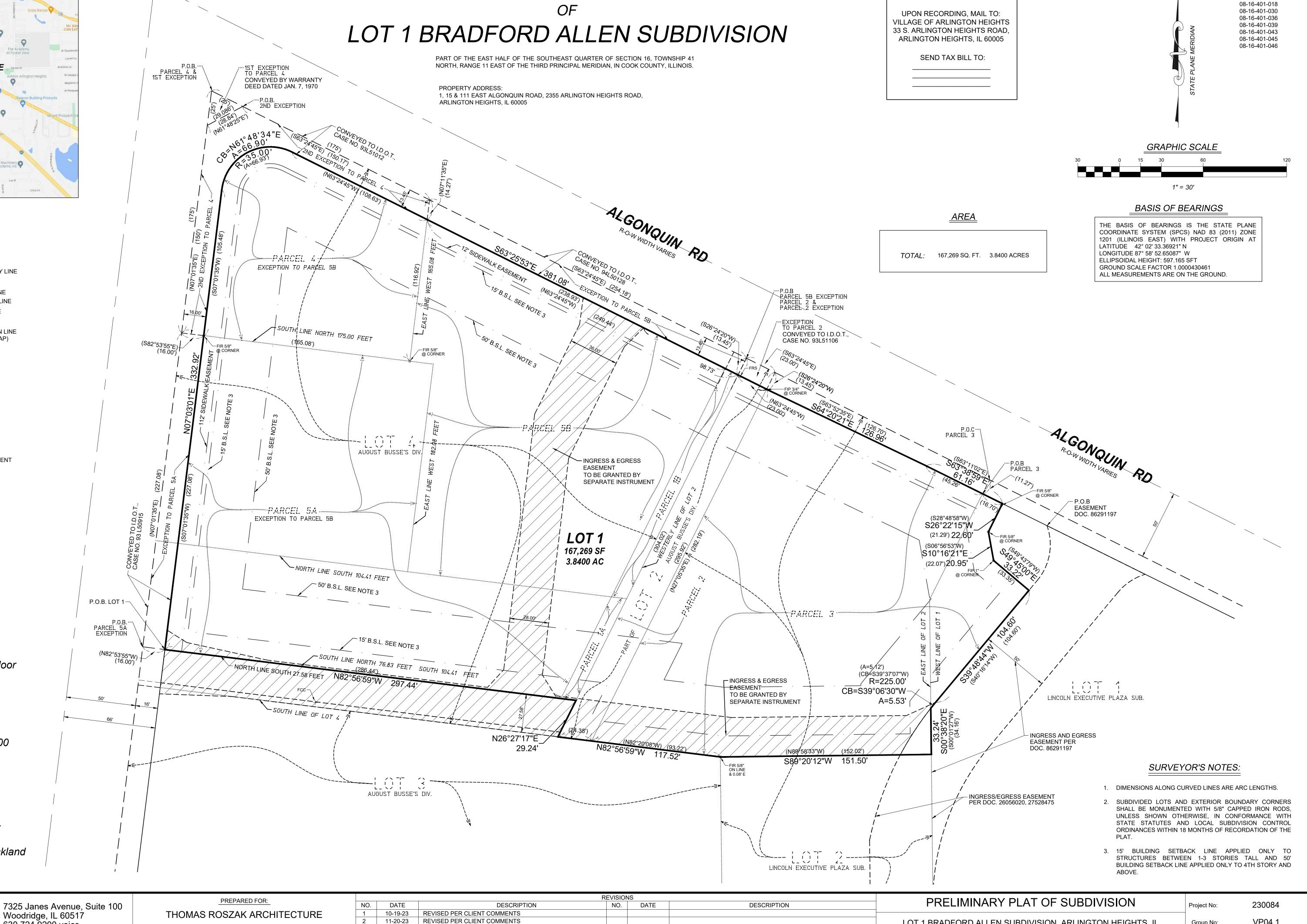
# OWNER

Bradford Allen 300 S. Wacker Drive, 35th Floor

# DEVELOPER

Moceri + Roszak 145 S. Wells Street, Suite 700 Chicago, Illinois 60606 312 423 7989

tstrickland@v3co.com



PRELIMINARY PLAT OF SUBDIVISION



Engineers Scientists Surveyors

Woodridge, IL 60517 630.724.9200 voice 630.724.0384 fax v3co.com

145 S. WELLS STREET CHICAGO, IL 60606 773.516.3501

			REVISION	S					IV/ICIONI		
10.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	PRELIF	WIINARY P	LAT OF SUBD	IVISION	Project No	230084
1	10-19-23	REVISED PER CLIENT COMMENTS								-	
2	11-20-23	REVISED PER CLIENT COMMENTS				I OT 1 BRADEOI	RD ALLEN SU	BDIVISION, ARLING	TON HEIGHTS II	Group No	VP04.1
							ND ALLEIN GO	2211131311,711121113	101112101110, 12	'	
						DRAFTING COMPLETED:	10/12/23	DRAWN BY: ADS/SPK	PROJECT MANAGER: AJS		SHEET NO.
						FIELD WORK COMPLETED:	N/A	CHECKED BY: AJS	SCALE: 1" = 30'		1 of 3

PIN NUMBERS

# LOT 1 BRADFORD ALLEN SUBDIVISION

08-16-401-018 08-16-401-030 08-16-401-036 08-16-401-039 08-16-401-043 08-16-401-045 08-16-401-046

PIN NUMBERS:

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

### **OWNER'S CERTIFICATE**

STATE OF ILLINOIS	) ) SS					
COUNTY OF	)					
THIS IS TO CERTIFY THAT BRADFORD ALLEN ARLINGTON HEIGHTS DEVELOPMENT, LLC. IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE PLATTED AS INDICATED ON THE ATTACHED PLAT, FOR THE USES AND PURPOSES THEREON SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME ON THE STYLE AND TITLE THEREON INDICATED.						
DATED AT	, THIS DAY OF	, A.D., 20				
BY:	ATTEST:					
TITLE:	TITLE:					
	NOTABY BUBLIC					
	NOTARY PUBLIC					
STATE OF ILLINOIS	) )SS					
COUNTY OF	)					
Ι,	, A NOT TY AND STATE AFORESAID, DO HERI	ARY PUBLIC IN AND FOR THE EBY CERTIFY THAT				
	(TITLE)	AND				
	(TITLE)	OF				
WHO IS SUBSCRIBED T ME THIS DAY IN PERSO THEIR CAPACITY FOR	, WHO PERSONALLY KNOWN TO THE FOREGOING CERTIFICATE OF ON AND ACKNOWLEDGED THE EXE THE USES AND PURPOSES THERE DEED OF SAID CORPORATION.	O ME TO BE THE SAME PERSON FOWNERSHIP APPEARED BEFORE CUTION OF THIS INSTRUMENT IN				
GIVEN UNDER MY HANI 20	D AND NOTARIAL SEAL THIS [	DAY OF, A.D.,				
NOTARY PUBLIC						
MY COMMISSION EXPIR	ES:					

### **DEED OF DEDICATION CERTIFICATE**

STATE OF ILLINOIS )					
,					
) SS COUNTY OF)					
WE, THE UNDERSIGNED, BRADFORD ALLEN ARLINGTON HEIGHTS DEVELOPMENT, LLC., OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS LOT 1 BRADFORD ALLEN SUBDIVISION, AN ADDITION TO THE VILLAGE OF ARLINGTON HEIGHTS, COOK COUNTY. FRONT AND SIDE YARD BUILDING SETBACK LINES ARE ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREETS, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE.					
WITNESS OUR HANDS AND SEALS THIS DAY OF, A.D., 20					
777771200 COTCTIF AND CENTED THIS BACT OF, 76.5., 25					
NOTARY PUBLIC					
STATE OF ILLINOIS )  (SOUNTY OF					
,					
SS COUNTY OF)  BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED, AND EACH SEPARATELY AND					
SS COUNTY OF)  BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED					
SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS					
SEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED APPEARED, AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.					
SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS					
SEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED APPEARED, AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.					
SEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED APPEARED, AND EACH SEPARATELY AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.					
BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.  WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF, A.D., 20					
BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE AFORESAID, PERSONALLY APPEARED AND SEVERALLY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER VOLUNTARY ACT AND DEED, FOR THE PURPOSES THEREIN EXPRESSED.  WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF, A.D., 20					

# SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS ) COUNTY OF \_\_\_\_\_

## OWNERS CERTIFICATE

NOTARY PUBLIC

THIS IS TO CERTIFY AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS LOT 1 BRADFORD ALLEN SUBDIVISION, TO THE BEST OF OUR KNOWLEDGE, IS ENTIRELY LOCATED WITHIN THE BOUNDARIES OF CONSOLIDATED COMMUNITY SCHOOL DISTRICT NO. 25, TOWNSHIP HIGH SCHOOL DISTRICT #214, AND HARPER COMMUNITY COLLEGE DISTRICT #512 IN COOK COUNTY, ILLINOIS.

DATED THIS	DAY OF	_, 20
BY:		

SCHOOL DISTRICT NOTARY CERTIFICATE
STATE OF ILLINOIS )
) SS
COUNTY OF )
,, NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID,
LOCATED AT , ILLINOIS, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING SCHOOL DISTRICT CERTIFICATE,
APPEARED BEFORE ME, THIS DAY, IN PERSON, AND ACKNOWLEDGED THE EXECUTION OF THIS STATEMENT AS HIS FREE AND VOLUNTARY ACT.
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF, 20

## ILLINOIS DEPARTMENT OF TRANSPORTATION:

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT OF SECTION 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS" AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

JOSE RIOS, P.E. REGION ONE ENGINEER



Engineers Scientists Surveyors

7325 Janes Avenue, Suite 100 Woodridge, IL 60517 630.724.9200 voice 630.724.0384 fax v3co.com

PREPARED FOR: THOMAS ROSZAK ARCHITECT 145 S. WELLS STREET CHICAGO, IL 60606 773.516.3501

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			REVISION	3					I) /ICIONI		
N	O. DAT	DESCRIPTION	NO.	DATE	DESCRIPTION	PRELIMINARY PLAT OF SUBDIVISION		Project No:	230084		
1	10-19	3 REVISED PER CLIENT COMMENTS				LOT 1 BRADFORD ALLEN SUBDIVISION, ARLINGTON HEIGHTS, IL					
2	11-20	REVISED PER CLIENT COMMENTS						Group No:	VP04.1		
								'			
						DRAFTING COMPLETED:	10/12/23	DRAWN BY: ADS/SPK	PROJECT MANAGER: AJS	SHE	EET NO.
						FIELD WORK COMPLETED:	N/A	CHECKED BY: AJS	SCALE: 1" = N/A	2	of 3
										·	

PARCEL 2:

**PIN NUMBERS:** 

08-16-401-046

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16. TOWNSHIP 41

NORTH. RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN. IN COOK COUNTY, ILLINOIS.

### SURFACE WATER STATEMENT

STATE OF ILLINOIS

COUNTY OF COOK

TATE OF ILLINOIS	)
	) SS
OLINTY OF COOK	j

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS	_ DAY OF	, A.D. 20
OWNER:		
BY: NAME: TITLE:		
DATED THIS	_ DAY OF	, A.D. 20
BY: STEVEN KRANENB ILLINOIS REGISTERED	ORG, P.E. PROFESSIONAL ENGINEE	ER
IL. STATE REGISTRATION	ON NUMBER	
VILLAGE CERTIF	ICATE	

UNDER THE AUTHORITY PROVIDED BY 65 ILCS 5/11-12 AS AMENDED BY THE STATE LEGISLATURE OF THE STATE OF ILLINOIS AND ORDINANCE ADOPTED BY THE VILLAGE BOARD OF THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF ARLINGTON HEIGHTS AND MUST BE RECORDED WITHIN SIX MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD, OTHERWISE IT IS NULL AND VOID.

one week to the work with the work of the							
APPROVED BY THE PLAN COMMISSION AT A MEETING HELD							
CHAIRMAN							
SECRETARY							
SEONE PART							
APPROVED BY THE VILLAGE BOARD OF TRUSTEES AT A MEETING							
<del></del>							
PRESIDENT							
VILLAGE CLERK							
APPROVED BY THE VILLAGE COLLECTOR							

# **COOK COUNTY CLERK CERTIFICATE**

APPROVED BY THE VILLAGE ENGINEER

STATE OF ILLINOIS ) ) SS
COUNTY OF COOK )
I,, COUNTY CLERK OF COOK COUNTY, ILLINOIS, HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPACURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SAL AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTI WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT, TI, TI, 20
COLINTY RECORDER CERTIFICATE COLINTY CLERK

COUNTY RECORDER CERT	FICATE		COUNTY CLERK
STATE OF ILLINOIS	)		
COUNTY OF COOK	) SS )		
THIS PLAT WAS FILED FOR ILLINOIS, ON THE DA		RECORDER'	S OFFICE OF COOK COUNTY,
OF	, A.D., 20	_AT	_ O'CLOCKM. AS
DOCUMENT NUMBER			

COUNTY RECORDER

Engineers 7325 Janes Avenue. Suite 100 Woodridge, IL 60517 **Scientists** 630.724.9200 voice 630.724.0384 fax Surveyors

v3co.com

145 S. WELLS STREET CHICAGO, IL 60606

PREPARED FOR: THOMAS ROSZAK ARCHITECTURE

773.516.3501

DESCRIPTION 10-19-23 REVISED PER CLIENT COMMENTS REVISED PER CLIENT COMMENTS

PERMISSION TO RECORD

I, ANTHONY J. STRICKLAND, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF

THIS PLAT OF LOT 1 BRADFORD ALLEN SUBDIVISION WITH THE COOK COUNTY

RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED

UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION

, A.D., 2023

STATE OF ILLINOIS

COUNTY OF COOK

ILLINOIS, HEREBY DESIGNATE

THIS TH DAY OF

ANTHONY J. STRICKLAND

STATE OF ILLINOIS

COUNTY OF COOK )

PARCEL A:

PARCEL B:

COUNTY, ILLINOIS.

DESCRIBED AS FOLLOWS:

COOK COUNTY, ILLINOIS.

DESCRIBED AS FOLLOWS:

2 OF THE ILLINOIS REVISED STATUTES.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437

THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025

V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I, ANTHONY J. STRICKLAND, ILLINOIS PROFESSIONAL LAND

SURVEYOR NO. 3437, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED

THAT PART OF THE FOLLOWING DESCRIBED PARCELS A AND B TAKEN AS A TRACT, LYING

EASTERLY OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID TRACT, SAID POINT

THE NORTH LINE THEREOF, TO A POINT ON THE SOUTH LINE OF THE NORTH 76.83 FEET OF THE

SOUTH 104.41 FEET OF LOT 4 AFORESAID, SAID POINT BEING 286.44 FEET EASTERLY OF THE

THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF LOT 4, TOGETHER WITH THAT PART OF

NORTH 175.00 FEET OF LOT 4, ALL AS MEASURED ALONG AND PERPENDICULAR TO THE

WESTERLY LINE THEREOF, IN AUGUST BUSSE'S DIVISION OF PART OF THE EAST 1/2 OF SECTION

16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK

EXCEPTING THEREFROM THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF

THE STATE OF ILLINOIS BY ORDER ENTERED JANUARY 20. 1994 IN CASE NO. 93L50915 AND

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 76.83 FEET OF THE SOUTH 104.41

FEET OF SAID LOT 4; THENCE ON AN ASSUMED BEARING OF NORTH 7 DEGREES 01 MINUTES 35

SECONDS EAST ALONG THE WESTERLY LINE OF SAID LOT 4 A DISTANCE OF 227.08 FEET TO THE

SOUTH LINE OF THE NORTH 175.00 FEET OF SAID LOT 4; THENCE SOUTH 82 DEGREES 53

MINUTES 55 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTH 175.00 FEET OF SAID LOT 4

A DISTANCE OF 16.00 FEET: THENCE SOUTH 7 DEGREES 01 MINUTES 35 SECONDS WEST ALONG

A LINE 16.00 FEET NORMALLY DISTANT EASTERLY OF AND PARALLEL WITH THE WESTERLY LINE

OF SAID LOT 4 A DISTANCE OF 227.08 FEET TO THE SOUTH LINE OF THE NORTH 76.83 FEET OF

THE SOUTH 104.41 FEET OF SAID LOT 4: THENCE NORTH 82 DEGREES 53 MINUTES 55 SECONDS

WEST ALONG SAID SOUTH LINE OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF SAID

LOT 4 (EXCEPTING THE SOUTH 104.41 FEET THEREOF, AND ALSO EXCEPTING THAT PART OF

THE WEST 182.08 FEET LYING NORTH OF SAID SOUTH 104.41 FEET AND LYING SOUTH OF THE

NORTH 175.00 FEET OF SAID LOT 4, AND ALSO EXCEPTING THE NORTH 175.00 FEET OF THE

WEST 165.08 FEET OF SAID LOT 4, ALL AS MEASURED ALONG AND PERPENDICULAR TO THE

EXCEPTING THEREFROM THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF

THE STATE OF ILLINOIS BY ORDER ENTERED APRIL 22, 1994 IN CASE NO. 94L50128 AND

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE ON AN ASSUMED BEARING OF

SOUTH 26 DEGREES 24 MINUTES 20 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 4

A DISTANCE OF 13.45 FEET; THENCE NORTH 63 DEGREES 24 MINUTES 45 SECONDS WEST

ALONG A LINE 13.45 FEET NORMALLY DISTANT SOUTHWESTERLY OF AND PARALLEL WITH THE

NORTHERLY LINE OF SAID LOT 4 A DISTANCE OF 249.44 FEET TO THE EAST LINE OF SAID WEST

165.08 FEET OF LOT 4; THENCE NORTH 7 DEGREES 01 MINUTES 35 SECONDS EAST ALONG SAID

EAST LINE OF THE WEST 165.08 FEET OF LOT 4 A DISTANCE OF 14.27 FEET TO THE NORTHERLY

LINE OF LOT 4 A DISTANCE OF 254.18 FEET TO THE POINT OF BEGINNING.

LINE OF SAID LOT 4; THENCE SOUTH 63 DEGREES 24 MINUTES 45 SECONDS EAST ALONG SAID

WESTERLY LINE OF SAID LOT 4) IN AUGUST BUSSE'S DIVISION OF PARTS OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN

LOT 4 A DISTANCE OF 16.00 FEET TO THE POINT OF BEGINNING.

THE WEST 182.08 FEET LYING NORTH OF SAID SOUTH 104.41 FEET AND LYING SOUTH OF THE

SOUTHWEST CORNER OF SAID TRACT, AS MEASURED ALONG THE SOUTH LINE THEREOF:

MY LICENSE EXPIRES ON NOVEMBER 30, 2024.

**SURVEYOR'S CERTIFICATE CONTINUED** 

THAT PART OF LOT 2 IN AUGUST BUSSE'S DIVISION OF PARTS OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1928 AS DOCUMENT NO. 10023115 IN BOOK 258 OF PLATS, PAGE 32, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 2; THENCE SOUTHEASTERLY ALONG THE NORTH LINE OF LOT 2, BEING THE SOUTHERLY LINE OF ALGONQUIN ROAD, FOR 23 FEET; THENCE SOUTHWESTERLY ALONG A LINE PARALLEL TO THE WESTERLY LINE OF SAID LOT 2 FOR 295.92 FEET TO A POINT IN A SOUTHERLY LINE OF SAID LOT 2; THENCE NORTHWESTERLY ALONG THE AFORESAID SOUTHERLY LINE OF SAID LOT 2 FOR 24.38 FEET TO THE MOST WESTERLY CORNER OF LOT 2; THENCE NORTHEASTERLY ALONG A WESTERLY LINE OF LOT 2 FOR 304.02 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER ENTERED APRIL 14, 1994 IN CASE NO. 93L51106 AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 2; THENCE ON AN ASSUMED BEARING OF SOUTH 63 DEGREES 24 MINUTES 45 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 2 A DISTANCE OF 23.00 FEET: THENCE SOUTH 26 DEGREES 24 MINUTES 20 SECONDS WEST ALONG A LINE PARALLEL WITH THE WESTERLY LINE OF SAID LOT 2 A DISTANCE OF 13.45 FEET; THENCE NORTH 63 DEGREES 24 MINUTES 45 SECONDS WEST ALONG A LINE 13.45 FEET NORMALLY DISTANT SOUTHWESTERLY OF AND PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 2 A DISTANCE OF 23.00 FEET TO THE WESTERLY LINE OF SAID LOT 2; THENCE NORTH 26 DEGREES 24 MINUTES 20 SECONDS EAST ALONG SAID WESTERLY LINE OF LOT 2 A DISTANCE OF 13.45 FEET TO THE POINT OF BEGINNING.

THAT PART OF LOTS 1 AND 2 IN LINCOLN-EXECUTIVE PLAZA RESUBDIVISION, BEING A RESUBDIVISION OF PART OF LOT 2 IN AUGUST BUSSE'S DIVISION OF PART OF THE EAST 1/2 OF SECTION 16. TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 12, 1981 AS DOCUMENT 26056020, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1: THENCE SOUTH 27 DEGREES 05 MINUTES 35 SECONDS WEST ALONG THE WESTERLY LINE OF SAID LOT 1, 11.27 FEET TO A POINT OF BEGINNING AT THE SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED; THENCE SOUTH 63 DEGREES 11 MINUTES 02 SECONDS EAST ALONG SAID SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED 16.70 FEET (SAID SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED BEING A STRAIGHT LINE DRAWN FROM SAID POINT ON THE WESTERLY LINE OF SAID LOT 1, 11.27 FEET, AS MEASURED ALONG SAID WESTERLY LINE SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 1 TO A POINT ON THE EAST LINE OF SAID LOT 1, 11.18 FEET AS MEASURED ALONG SAID EAST LINE, SOUTH OF THE NORTHEAST CORNER OF SAID LOT 1); THENCE SOUTH 28 DEGREES 48 MINUTES 58 SECONDS WEST, 21.29 FEET; THENCE SOUTH 06 DEGREES 56 MINUTES 53 SECONDS EAST, 22.07 FEET; THENCE SOUTH 49 DEGREES 43 MINUTES 46 SECONDS EAST, 33.35 FEET; THENCE SOUTH 40 DEGREES 16 MINUTES 14 SECONDS WEST, 104.60 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVED LINE CONVEX NORTHWESTERLY, HAVING A RADIUS OF 225.00 FEET AND BEING TANGENT TO SAID LAST DESCRIBED LINE AT SAID LAST DESCRIBED POINT, AN ARC DISTANCE OF 5.12 FEET TO THE WEST LINE OF SAID LOT 1 (THE CHORD OF SAID ARC BEARS SOUTH 39 DEGREES 37 MINUTES 07 SECONDS WEST, 5.12 FEET); THENCE SOUTH 00 DEGREES 01 MINUTES 27 SECONDS WEST ALONG THE WEST LINE OF SAID LOT, BEING ALSO THE EAST LINE OF SAID LOT 2, 34.16 FEET TO A POINT 505.81 FEET, AS MEASURED ALONG SAID EAST LINE OF LOT 2, NORTH OF THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 89 DEGREES 58 MINUTES 33 SECONDS WEST, 152.02 FEET TO A CORNER OF SAID LOT 2; THENCE NORTH 82 DEGREES 20 MINUTES 08 SECONDS WEST ALONG A SOUTH LINE OF SAID LOT 2, 93.22 FEET TO A SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 27 DEGREES 05 MINUTES 35 SECONDS EAST ALONG THE WESTERLY LINE OF SAID LOT 2, 282.19 FEET TO THE SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED: THENCE SOUTH 63 DEGREES 52 MINUTES 35 SECONDS EAST ALONG SAID SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED, 126.70 FEET TO AN ANGLE POINT IN SAID LINE; THENCE SOUTH 63 DEGREES 11 MINUTES 02 SECONDS EAST ALONG THE SOUTHWESTERLY LINE OF ALGONQUIN ROAD AS WIDENED, 45.36 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

REVISIONS

NO.

DATE

THAT PART OF LOT 4 IN AUGUST BUSSE'S DIVISION OF PARTS OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT INTERSECTION OF SOUTHERLY LINE OF ALGONQUIN ROAD WITH THE EASTERLY LINE OF ARLINGTON HEIGHTS ROAD AS LAID OUT IN SAID BUSSE'S DIVISION RUNNING THENCE SOUTHERLY ALONG EASTERLY LINE OF SAID ARLINGTON HEIGHTS ROAD. 175 FEET, THENCE EASTERLY AT RIGHT ANGLES TO SAID EASTERLY LINE OF ROAD 165.08 FEET, THENCE NORTHERLY PARALLEL WITH SAID EASTERLY LINE OF SAID ROAD, 116.92 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID ALGONQUIN ROAD WHICH IS 175 FEET EASTERLY OF THE PLACE OF BEGINNING, THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF ROAD, 175 FEET TO PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS;

EXCEPTING THEREFROM THAT PORTION OF THE ABOVE DESCRIBED PREMISES CONVEYED BY WARRANTY DEED DATED JANUARY 7, 1970 TO THE STATE OF ILLINOIS, MORE PARTICULARLY **DESCRIBED AS FOLLOWS:** 

A PART OF THAT PART OF LOT 4 IN AUGUST BUSSE'S DIVISION OF PARTS OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTHERLY LINE OF ALGONQUIN ROAD WITH THE EASTERLY LINE OF ARLINGTON HEIGHTS ROAD AS LAID OUT IN THE SUBDIVISION; RUNNING THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID ARLINGTON HEIGHTS ROAD, 175 FEET; THENCE EASTERLY AT RIGHT ANGLES TO SAID EASTERLY LINE OF ROAD 165.08 FEET; THENCE NORTHERLY PARALLEL WITH SAID EASTERLY LINE OF SAID ROAD, 116.92 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID ALGONQUIN ROAD WHICH IS 175 FEET EASTERLY OF THE POINT OF BEGINNING: THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID ROAD 175 FEET. TO THE POINT OF BEGINNING; BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY LINE OF ALGONQUIN ROAD WITH THE EASTERLY LINE OF ARLINGTON HEIGHTS ROAD AS LAID OUT IN AFOREMENTIONED SUBDIVISION, THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID ARLINGTON HEIGHTS ROAD, 25 FEET, TO A POINT; THENCE NORTHEASTERLY ALONG A STRAIGHT LINE, A DISTANCE OF 29.086 FEET MORE OR LESS TO A POINT ON THE SOUTHERLY LINE OF SAID ALGONQUIN ROAD, WHICH IS 25 FEET EASTERLY OF THE POINT OF BEGINNING; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID ROAD 25 FEET, TO THE POINT OF BEGINNING;

ALSO EXCEPTING THEREFROM THAT PORTION OF THE ABOVE PREMISES CONVEYED TO THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY CONDEMNATION PROCEEDINGS AS SET FORTH IN FINAL JUDGMENT ORDER NO. 93 L 51012, FILED IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS ON MAY 2, 1996, SAID PREMISES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF LOT 4 IN AUGUST BUSSE'S DIVISION, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1928 AS DOCUMENT 10023115, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 4; THENCE ON AN ASSUMED BEARING OF SOUTH 63 DEGREES 24 MINUTES 45 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 4 A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 63 DEGREES 24 MINUTES 45 SECONDS EAST ALONG THE SAID NORTHERLY LINE OF LOT 4 A DISTANCE OF 150.19 FEET; THENCE SOUTH 7 DEGREES 01 MINUTES 35 SECONDS WEST 14.27 FEET TO A POINT 13.45 FEET NORMALLY DISTANT SOUTHWESTERLY OF THE NORTHERLY LINE OF SAID LOT 4; THENCE NORTH 63 DEGREES 24 MINUTES 45 SECONDS WEST ALONG A LINE 13.45 FEET NORMALLY DISTANT SOUTHWESTERLY AND PARALLEL WITH THE SAID NORTHERLY LINE OF LOT 4 A DISTANCE OF 108.63 FEET; THENCE SOUTHERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE SOUTHEAST, RADIUS 35.00 FEET, CENTRAL ANGLE 109 DEGREES 33 MINUTES 40 SECONDS, 66.93 FEET TO A POINT 16.00 FEET NORMALLY DISTANT EASTERLY OF THE WESTERLY LINE OF SAID LOT 4; THENCE SOUTH 7 DEGREES 01 MINUTES 35 SECONDS WEST ALONG A LINE 16.00 FEET NORMALLY DISTANT EASTERLY AND PARALLEL WITH THE WESTERLY LINE OF SAID LOT 4 A DISTANCE OF 105.48 FEET; THENCE NORTH 82 DEGREES 53 MINUTES 55 SECONDS WEST 16.00 FEET TO THE WESTERLY LINE OF SAID LOT 4; THENCE NORTH 7 DEGREES 01 MINUTES 35 SECONDS EAST ALONG THE WESTERLY LINE OF SAID LOT 4 A DISTANCE OF 150.00 FEET; THENCE NORTH 61 DEGREES 48 MINUTES 25 SECONDS EAST 28.84 FEET, TO THE POINT OF BEGINNING.

DESCRIPTION

DRAFTING COMPLETED:

FIELD WORK COMPLETED:

10/12/23

N/A

### SURVEYOR'S CERTIFICATE CONTINUED

### PARCEL 5A:

THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF LOT 4, TOGETHER WITH THAT PART OF THE WEST 182.08 FEET LYING NORTH OF SAID SOUTH 104.41 FEET AND LYING SOUTH OF THE NORTH 175.00 FEET OF LOT 4, ALL AS MEASURED ALONG AND PERPENDICULAR TO THE WESTERLY LINE THEREOF, IN AUGUST BUSSE'S DIVISION OF PART OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER ENTERED JANUARY 20, 1994 IN CASE NO. 93L50915 AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF SAID LOT 4; THENCE ON AN ASSUMED BEARING OF NORTH 7 DEGREES 01 MINUTES 35 SECONDS EAST ALONG THE WESTERLY LINE OF SAID LOT 4 A DISTANCE OF 227.08 FEET TO THE SOUTH LINE OF THE NORTH 175.00 FEET OF SAID LOT 4: THENCE SOUTH 82 DEGREES 53 MINUTES 55 SECONDS EAST ALONG THE SOUTH LINE OF THE NORTH 175.00 FEET OF SAID LOT 4 A DISTANCE OF 16.00 FEET; THENCE SOUTH 7 DEGREES 01 MINUTES 35 SECONDS WEST ALONG A LINE 16.00 FEET NORMALLY DISTANT EASTERLY OF AND PARALLEL WITH THE WESTERLY LINE OF SAID LOT 4 A DISTANCE OF 227.08 FEET TO THE SOUTH LINE OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF SAID LOT 4; THENCE NORTH 82 DEGREES 53 MINUTES 55 SECONDS WEST ALONG SAID SOUTH LINE OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF SAID LOT 4 A DISTANCE OF 16.00 FEET TO THE POINT OF BEGINNING.

### PARCEL 5B:

LOT 4 (EXCEPTING THE SOUTH 104.41 FEET THEREOF, AND ALSO EXCEPTING THAT PART OF THE WEST 182.08 FEET LYING NORTH OF SAID SOUTH 104.41 FEET AND LYING SOUTH OF THE NORTH 175.00 FEET OF SAID LOT 4, AND ALSO EXCEPTING THE NORTH 175.00 FEET OF THE WEST 165.08 FEET OF SAID LOT 4, ALL AS MEASURED ALONG AND PERPENDICULAR TO THE WESTERLY LINE OF SAID LOT 4) IN AUGUST BUSSE'S DIVISION OF PARTS OF THE EAST 1/2 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER ENTERED APRIL 22, 1994 IN CASE NO. 94L50128 AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE ON AN ASSUMED BEARING OF SOUTH 26 DEGREES 24 MINUTES 20 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 4 A DISTANCE OF 13.45 FEET; THENCE NORTH 63 DEGREES 24 MINUTES 45 SECONDS WEST ALONG A LINE 13.45 FEET NORMALLY DISTANT SOUTHWESTERLY OF AND PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 4 A DISTANCE OF 249.44 FEET TO THE EAST LINE OF SAID WEST 165.08 FEET OF LOT 4; THENCE NORTH 7 DEGREES 01 MINUTES 35 SECONDS EAST ALONG SAID EAST LINE OF THE WEST 165.08 FEET OF LOT 4 A DISTANCE OF 14.27 FEET TO THE NORTHERLY LINE OF SAID LOT 4; THENCE SOUTH 63 DEGREES 24 MINUTES 45 SECONDS EAST ALONG SAID NORTHERLY LINE OF LOT 4 A DISTANCE OF 254.18 FEET TO THE POINT OF BEGINNING.

EXCEPTING FROM SAID PARCELS 5A AND 5B ABOVE A TRACT OF LAND LYING EASTERLY OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF SAID TRACT, SAID POINT BEING 238.93 FEET EAST OF THE NORTH MOST CORNER OF SAID TRACT, AS MEASURED ALONG THE NORTH LINE THEREOF, TO A POINT ON THE SOUTH LINE OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF LOT 4 AFORESAID, SAID POINT BEING 286.44 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID TRACT, AS MEASURED ALONG THE SOUTH LINE THEREOF IN COOK COUNTY, ILLINOIS.

ALL OF THE ABOVE PARCELS TAKEN AS A WHOLE MORE SPECIFICALLY DESCRIBED AS

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK, COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 76.83 FEET OF THE SOUTH 104.41 FEET OF LOT 4 IN AUGUST BUDDE'S DIVISION AND THE EAST LINE OF THAT PART TAKEN BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER ENTERED APRIL 22, 1994 IN CASE NO. 94L50128; THENCE NORTH 07 DEGREES 03 MINUTES 01 SECONDS EAST, 332.92 FEET; TO A POINT OF CURVATURE; THENCE ALONG AN ARC OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 35.00 FEET, A CHORD BEARING OF NORTH 61 DEGREES 48 MINUTES 34 SECONDS EAST, 66.90 FEET; THENCE SOUTH 63 DEGREES 25 MINUTES 53 SECONDS EAST, 381.08 FEET; THENCE SOUTH 64 DEGREES 20 MINUTES 21 SECONDS EAST, 126.96 FEET; THENCE SOUTH 63 DEGREES 38 MINUTES 59 SECONDS EAST, 61.16 FEET; THENCE SOUTH 26 DEGREES 22 MINUTES 15 SECONDS WEST, 22.60 FEET: THENCE SOUTH 10 DEGREES 16 MINUTES 21 SECONDS EAST, 20.95 FEET: THENCE SOUTH 49 DEGREES 45 MINUTES 00 SECONDS EAST, 33.22 FEET: THENCE SOUTH 39 DEGREES 48 MINUTES 44 SECONDS WEST, 104.60 FEET; TO A POINT OF CURVATURE; THENCE ALONG AN ARC OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 225.00 FEET, HAVING A CHORD BEARING OF SOUTH 39 DEGREES 06 MINUTES 30 SECONDS WEST, 5.53 FEET; THENCE SOUTH 00 DEGREES 38 MINUTES 20 SECONDS EAST, 33.24 FEET; THENCE SOUTH 89 DEGREES 20 MINUTES 12 SECONDS WEST, 151.50 FEET; THENCE NORTH 82 DEGREES 56 MINUTES 59 SECONDS WEST, 117.52 FEET; THENCE NORTH 26 DEGREES 27 MINUTES 17 SECONDS EAST, 29.24 FEET; THENCE NORTH 82 DEGREES 56 MINUTES 59 SECONDS WEST, 297.44 FEET; TO THE PLACE OF BEGINNING CONTAINING 3.8400 ACRES, MORE OR LESS; ALL IN COOK COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THIS PROPERTY IS IN AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) PER FIRM MAPS NUMBER 17031C0211J, EFFECTIVE DATE AUGUST 19, 2008.

DATED THIS \_\_\_ DAY OF \_ , A.D., 20<u>23</u>

ANTHONY J. STRICKLAND ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437 MY LICENSE EXPIRES ON NOVEMBER 30, 2024. V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902 THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.

SCALE: 1" = N/A

PRELIMINARY PLAT OF SUBDIVISION LOT 1 BRADFORD ALLEN SUBDIVISION, ARLINGTON HEIGHTS, IL

DRAWN BY: ADS/SPK | PROJECT MANAGER: AJS

CHECKED BY: AJS

VP04.1 Group No: SHEET NO.

Project No:

035-003437

LAND

**ILLINOIS** 

SURVEYOR

230084

PROFESSIONAL

of 3