

VILLAGE OF ARLINGTON HEIGHTS

ORDINANCE NO. 2023-_____

AN ORDINANCE APPROVING A PLANNED UNIT DEVELOPMENT AND VARIATIONS
FOR THE CONSTRUCTION AND OPERATION OF A MIXED-USE DEVELOPMENT
(116-120 W. Eastman Street)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF ARLINGTON HEIGHTS
THIS ____ DAY OF _____, 2023.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Arlington Heights,
Cook County, Illinois this
_____ day of _____, 2023

Village Clerk

AN ORDINANCE APPROVING A PLANNED UNIT DEVELOPMENT AND VARIATIONS
FOR THE CONSTRUCTION AND OPERATION OF A MIXED-USE DEVELOPMENT
(116-120 W. Eastman Street)

WHEREAS, MYLO Residential Arlington Heights Property LLC (“*Applicant*”) is the owner of record of that certain property located in the B-5 Downtown District (“*B-5 District*”), commonly known as 116-120 W. Eastman Street, and legally described in Exhibit A attached to and, by this reference, made a part of this Ordinance (“*Property*”); and

WHEREAS, the Property is currently improved with two vacant commercial buildings, parking lots, and other related improvements (collectively, the “*Existing Improvements*”); and

WHEREAS, the Applicant desires to demolish the Existing Improvements and construct a 135-unit multi-family rental development on the Property with space for a restaurant or other commercial use (collectively, the “*Proposed Development*”); and

WHEREAS, pursuant to Section 9.2(c) of “The 2002 Comprehensive Amendment of the Zoning Ordinance of the Village of Arlington Heights,” as amended (“*Zoning Code*”), in order to construct and operate the Proposed Development, the Applicant must obtain Village approval of a planned unit development (“*PUD*”); and

WHEREAS, pursuant to Section 12 of the Zoning Code, Applicant seeks a land use variation for the Property to allow a predominantly multi-family residential development in the B-5 District; and

WHEREAS, pursuant to Section 10.2-8 of the Zoning Code, drive aisles of at least 24 feet in width are required for the Proposed Development; and

WHEREAS, the Applicant desires to construct a 22.1-foot-wide drive aisle within the Proposed Development, in violation of Section 10.2-8 of the Zoning Code; and

WHEREAS, pursuant to Section 10.2-9 of the Zoning Code, each required off-street parking space must open directly to an aisle or driveway; and

WHEREAS, the Applicant desires to construct tandem parking spaces on the Property, in violation of Section 10.2-9 of the Zoning Code; and

WHEREAS, pursuant to Section 5.5-1 of the Zoning Code, a restaurant may only be established within the B-5 District if a special use permit or a special use waiver is granted; and

WHEREAS, the Applicant intends to pursue restaurant uses for the Planned Development (collectively, the “*Potential Restaurants*”), which will require either special use permits or special use waivers in the future; and

WHEREAS, pursuant to Sections 9 and 12 of the Zoning Code, the Applicant has filed an application for approval of: (i) a PUD to allow a predominantly multi-family residential development on the Property; (ii) a land use variation to allow the construction and use of the Proposed Development on the Property; and (iii) variations from Sections 10.2-8 and 10.2-9 of the Zoning Code to permit the construction of the Proposed Development on the Property (collectively, the “*Requested Relief*”), along with preliminary conceptual consideration of the Potential Restaurants; and

WHEREAS, a public hearing of the Plan Commission of the Village to consider approval of the Requested Relief was duly advertised in the *Daily Herald* on September 26, 2023, and held on October 11, 2023; and

WHEREAS, on October 11, 2023, the Plan Commission made findings and recommendations in support of the Requested Relief, with conditions; and

WHEREAS, the President and Board of Trustees have determined that the Requested Relief meets the required standards for PUDs and variations as set forth in Sections 9 and 12 of the Zoning Code; and

WHEREAS, the President and Board of Trustees have determined that it will serve and be in the best interest of the Village to grant the Requested Relief, subject to the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. GRANT OF PLANNED UNIT DEVELOPMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 9 of the Zoning Code and the home rule powers of the Village, the Village hereby grants a PUD to the Applicant for the development, use, and maintenance of the Proposed Development on the Property.

SECTION 3. GRANT OF VARIATIONS. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 4 of this Ordinance, and in accordance with, and pursuant to, Section 12 of the Zoning Code and the home rule powers of the Village, the Village hereby grants the following variations to the Applicant in connection with the Proposed Development on the Property:

- A. Multi-Family Residential. A land use variation to permit the multi-family residential development of the Property in the B-5 District.
- B. Driving Aisle. A variation from Section 10.2-8 of the Zoning Code to allow a 22.1-foot-wide drive aisle.
- C. Tandem Parking. A variation from Section 10.2-9 of the Zoning Code to allow tandem parking spaces.

SECTION 4. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Code, the approvals granted pursuant to Sections 2 and 3 of this Ordinance are hereby expressly subject to, and contingent upon, the development, use, and maintenance of the Property in compliance with each and all of the following conditions. For all conditions set forth in this Section 4 for which the Village may conduct a review, make a modification, make an approval, or make a determination, the Village Manager, or their designee, is authorized to take that action in their sole discretion.

- A. Compliance with Regulations. Except to the extent specifically provided otherwise in this Ordinance, the development, use, operation, and maintenance of the Proposed Improvements and the Property must comply at all times with all applicable Federal, State,

and Village statutes, codes, ordinances, and regulations, as the same have been or may be amended from time to time.

B. Compliance with Plans. Except for minor changes and site work approved by the Village Director of Building & Life Safety (for matters within their permitting authority) in accordance with all applicable Village standards, and except as may be approved pursuant to Sections 4.C through 4.H of this Ordinance, the development, use, operation, and maintenance of the Proposed Development and of the Property must be substantially compliant with the following plans (collectively, the “Plans”):

1. The Architectural Plans, prepared by OKW Architects, PLLC consisting of 19 sheets, with a last revision date of November 28, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit B;
2. The Engineering Plans, prepared by RWG Engineering, LLC consisting of two sheets, with a last revision date of October 27, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit C;
3. The Landscape Plans, prepared by Kathryn Talty Landscape Architecture, Inc. consisting of two sheets, with a last revision date of October 27, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit D;
4. The Fire Truck Turning Plans, prepared by RWG Engineering, LLC consisting of two sheets, with a last revision date of October 27, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit E;
5. The Vehicle Turning Plans, prepared by RWG Engineering, LLC consisting of one sheet, with a last revision date of October 27, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit F;
6. The Renderings, prepared by OKW Architects, PLLC consisting of nine sheets, with a last revision date of November 28, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit G;
7. The Parking Lot Photometric Plan, prepared by PG Enlighten consisting of 28 sheets, with a last revision date of August 30, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit H; and
8. The Construction Staging Plan, prepared by OKW Architects, Inc. consisting of one sheet, with a last revision date of April 17, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as Exhibit I.

C. General Conditions.

1. Outdoor Deck. The outdoor roof deck area along the western side of the Proposed Development may not be used between the hours of 10:00 P.M. on Sunday through Thursday until 10:00 A.M. the following morning, or from 11:00 P.M. on Friday and Saturday until 10:00 A.M. the following morning. Building-mounted and permanent speakers or audio system are prohibited in the outdoor deck. All personal music and speaker usage on the outdoor deck must end by 9:00 P.M. each

night. The Village may impose additional restrictions on the general usage times and music or sound emanating from the outdoor deck if use of the outdoor deck does not comply with this Section 4.C.1, or if the outdoor deck usage results in excessive nuisances.

2. Logistics Plan.

- a. The building permit application for the Proposed Development must include a detailed final construction schedule and logistics plan, that identifies staging areas, material storage, lane closures, and construction worker parking for review, modification, and approval by the Village.
- b. Any work occurring within the right-of-way must be scheduled to minimize disruption to other businesses, residential neighbors, and patrons of the Downtown and neighborhood. Construction traffic must be limited to pre-approved lanes and locations approved by the Village.
- c. The Applicant must provide a truck parking and truck access plan for review and approval by the Village. Emergency access must be maintained at all times during each construction phase.

3. Condominium Conversion. The dwelling units within the Proposed Development may not be converted to condominium units except upon (a) amendment of the PUD granted pursuant to Section 2 of this Ordinance, and (b) the provision of sufficient parking for the Property as determined necessary by the Village.

4. Impact Fees. The Applicant must pay all required impact fees in accordance with, and when required by, Chapter 29 of the Municipal Code of Arlington Heights, Illinois, 1995, as amended ("*Village Code*").

5. Inclusionary Housing. The Applicant must ensure that the Proposed Development is and remains in full compliance with the requirements of the Village's Inclusionary Housing Ordinance set forth in Chapter 7 of the Village Code, and the Village's Inclusionary Housing Guidelines, including, without limitation, the following:

- a. Providing, in perpetuity, seven actual on-site affordable units within the Proposed Development (a minimum of 5% of the total units) plus a fee-in-lieu payment for 3.125 units (a maximum of 2.5% of the total number of units), in compliance with Section 7-1707(b)(1)(b) of the Village Code; and
- b. Ensuring compliance with all other provisions of the Inclusionary Zoning Ordinance.

D. Parking Conditions.

1. Parking Garage.

- a. Residential parking spaces within the parking garage must be leased separately from units and may not be included within any residential lease.

- b. Any tenant desiring two parking spaces within the parking garage must lease tandem spaces, with first priority going to two-bedroom units. Once all tandem spaces have been leased, no other unit will be allowed two parking spaces.
 - c. No more than 21 residential units may lease two spaces within the parking garage.
 - d. Studio units are prohibited from leasing more than one parking space within the parking garage.
 - e. No residential unit may lease more than two parking spaces within the parking garage.
 - f. Residential guest parking must be made available within the parking garage and at no time may there be less than five parking spaces assigned as guest parking spaces. ADA parking spaces do not count as a guest parking space. Parking spaces that are not leased by residential tenants must be made available for guests and added to the guest parking pool.
 - g. The parking garage audible warning must be reduced or eliminated between 10:00P.M. to 7:00A.M.
2. Parking Management. At the request of the Village, the Applicant must provide details and data on the operation, management, and usage of parking spaces both within the parking garage as well as on the streets in the vicinity of the Property. If the Village determines that modifications are needed for parking for the Proposed Development, the Applicant must work with the Village to modify the operation, management, and allocation of onsite parking stalls to the satisfaction of the Village.

E. Loading Conditions.

- 1. Restaurants and Other Commercial Uses. Loading on the Property is allowed only between the hours of 7:00 A.M. to 5:00 P.M.
- 2. Residential. Residents moving in or out of the Property must reserve a loading dock usage time in advance. Residential move-ins and move-outs must occur in the loading dock on Eastman Street, and are permitted only between the hours of 7:00 A.M. to 7:00 P.M.
- 3. Trash. Trash must be loaded onto trucks within the loading area on the Property. Trash loading is permitted only between the hours of 7:00 A.M. to 5:00 P.M.
- 4. Loading Location. All loading and unloading for the commercial portion of the Proposed Development, move-ins and move-outs for residential tenants, and trash collection must occur on the Property and within the dedicated loading zone and may not be performed within the public right-of-way.

F. Traffic and Street Infrastructure Conditions.

1. Parking Garage Exit. The parking garage exit from an angled driveway exit on to Highland Avenue must be maintained as a 90 degree exit and intersection with Highland Avenue, with no or minimal flares, subject to review and approval by the Village.
2. Egress to Highland Avenue. Right turn egress from the parking garage to northbound Highland Avenue is prohibited, and the Applicant must install appropriate signage to the satisfaction of the Village prohibiting such turns. Should prohibited right turns be observed by the Village, the Applicant will implement a solution to correct the prohibited turns, such as, without limitation, video monitoring of parking garage movements and issuance of fines to drivers that violate the rule.
3. Circulation. If the Village determines that there is unsatisfactory traffic circulation and congestion within or around the Property, the Applicant must modify the site circulation and access as directed by the Village.
4. Intersection Improvements. The Applicant must complete the following intersection improvements:
 - a. At the intersection of St. James Street and Highland Avenue: Installation of a stop sign at the northbound approach.
 - b. At the intersection of Highland Avenue, Eastman Street, and the southernmost drive aisle connection from the property at 210-234 W. Northwest Highway where it intersects with Highland Avenue: Installation of stop signs at the eastbound and the westbound approaches, if the Village determines the installations are feasible.
5. Parkway Restoration. The Applicant must remove the blacktop and restore the parkway with grass and parkway trees immediately east of the Property in the location depicted in the map attached to and, by this reference, made a part of this Ordinance as Exhibit J, as and when directed by the Village.

G. Site Related Conditions.

1. Sidewalk. Prior to the issuance of a building permit for the Proposed Development, the Applicant must execute a public access sidewalk easement along the south side of the Property in a width that satisfies the Americans With Disability Act and other accessibility requirements, in a form acceptable to the Village.
2. Eastman Street Streetscape. The final streetscape design along Eastman Street must be consistent with Downtown Arlington Heights standards and the Village may modify the design at the time of building permit issuance, in their sole discretion (i.e., additional sidewalk width, revised tree grates, recessed building doors, *etc.*).

H. Building Related Conditions.

1. Design Approval. Prior to submittal of a building permit application for the Proposed Development, the Applicant must, in order to comply with the requirements of the Village's Design Commission motion passed on August 22, 2023, provide the Village the following for review and approval:
 - a. Detailing options for the cornice on the north elevation of the building.
 - b. Options for the shallow arches along the first-floor of the building, including a design changing the arches to straight lintels.
 - c. Options for the layout of the vertical brick piers on the building to align the upper stories with the ground floor below wherever possible, to further develop the authenticity of what appears to be an older warehouse building.
 - d. An appearance plan for walls on the east side of the building behind the existing adjacent AT&T building, to provide a finished appearance in the event that the AT&T building were to be demolished in the future.
2. Sound Attenuation. All building-mounted and site mechanical equipment (i.e., meters, panels, utility connections, fire department connections, transformers, utility pedestals, *etc.*) must be appropriately sited and screened from public view, as determined by the Village. To the fullest extent possible, these elements must be located within sound attenuation structures. Prior to issuance of a building permit, additional information and manufacturers' specifications on sound levels, attenuation, and capacity for additional sound attenuation around the units must be provided for Village review.
3. Utility Service Lines. All utility service lines for the Property must be underground.
4. Fire Department Connection. The Applicant must continue to work with the Village on, and refine the design of, the proposed Fire Department connection. The connection must be a low-profile design to the satisfaction of the Fire Chief. The connection cannot encroach into the public right of way.
5. Roof Top Unit Screening. The location of the northernmost roof top unit must be shifted as far south as feasible and screened with additional sound buffering panels as directed by the Village.
6. Northern Building Lighting. The Applicant must work with the Village on and refine the location of the proposed lights on the northern building elevation to ensure that they are located at low elevations and are angled towards the ground.

SECTION 5. ACKNOWLEDGEMENT OF POTENTIAL RESTAURANTS WITHIN THE PUD. The Village President and Board of Trustees acknowledge, at a preliminary conceptual level of review, that the Potential Restaurants may be appropriate within the Proposed Development. A restaurant may be established within the Proposed Development only after issuance of a special use permit or special

use waiver, and a restaurant will be subject to all applicable requirements of the Zoning Code and Village Code.

SECTION 6. RECORDATION; BINDING EFFECT. A copy of this Ordinance will be recorded on title to the Property with the Cook County Clerk's Recording Division. This Ordinance and the privileges, obligations, and provisions contained herein inure solely to the benefit of, and are binding upon the Applicant and each of its heirs, representatives, successors, and assigns.

SECTION 7. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, as applicable, the approvals granted in Sections 2 and 3 of this Ordinance may, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approvals granted in Sections 2 and 3 of this Ordinance unless they first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of revocation, the development and use of the Property will be governed solely by the regulations of the B-5 District, and the applicable provisions of the Village Code, as the same may, from time to time, be amended. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such enforcement action as may be appropriate under the circumstances.

SECTION 8. AMENDMENTS. Any amendments to the approvals granted in Sections 2 and 3 of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code.

SECTION 9. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance are to remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 10. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
 - 1. Passage by the Village President and Board of Trustees in the manner required by law; and
 - 2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of Exhibit K attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.

- B. In the event the Applicant does not file a fully executed copy of the Unconditional Agreement and Consent, as required by Section 10.A.2 of this Ordinance, within 30 days after the date of final passage of this Ordinance, the Village President and Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

AYES:

NAYS:

PASSED AND APPROVED THIS ____ day of _____, 2023

Village President

ATTEST:

Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

PARCEL 1:

LOTS 5, 6, 7 AND 8 IN BLOCK 9 IN TOWN OF DUNTON, COOK COUNTY, ILLINOIS, BEING THE WEST ½ OF THE SOUTHWEST ¼ OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

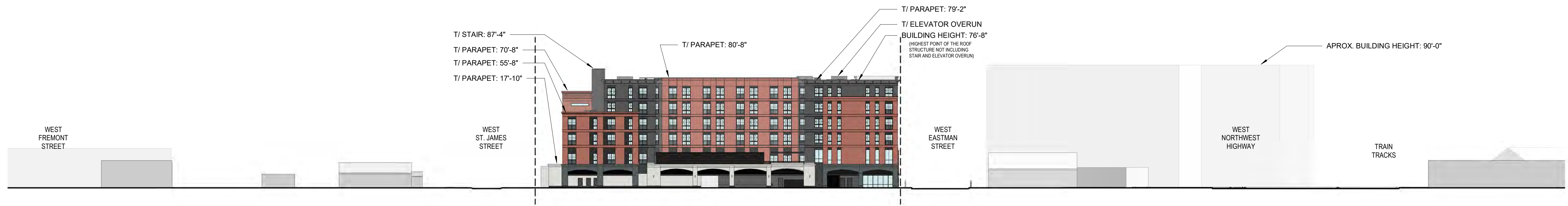
THE EAST 16.50 FEET OF LOT 1 AND THE EAST 16.50 FEET OF THAT PART OF LOT 11 LYING SOUTH OF AND ADJOINING THE SOUTH LINE OF SAID LOT 1 IN BLOCK 6, IN ATKINS ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE EAST 1.2 OF THE SOUTHEAST ¼ OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE CHICAGO AND NORTHWESTERN RAILROAD, IN COOK COUNTY, ILLINOIS.

Commonly known as: 116-120 W. Eastman Street, Arlington Heights, Illinois.

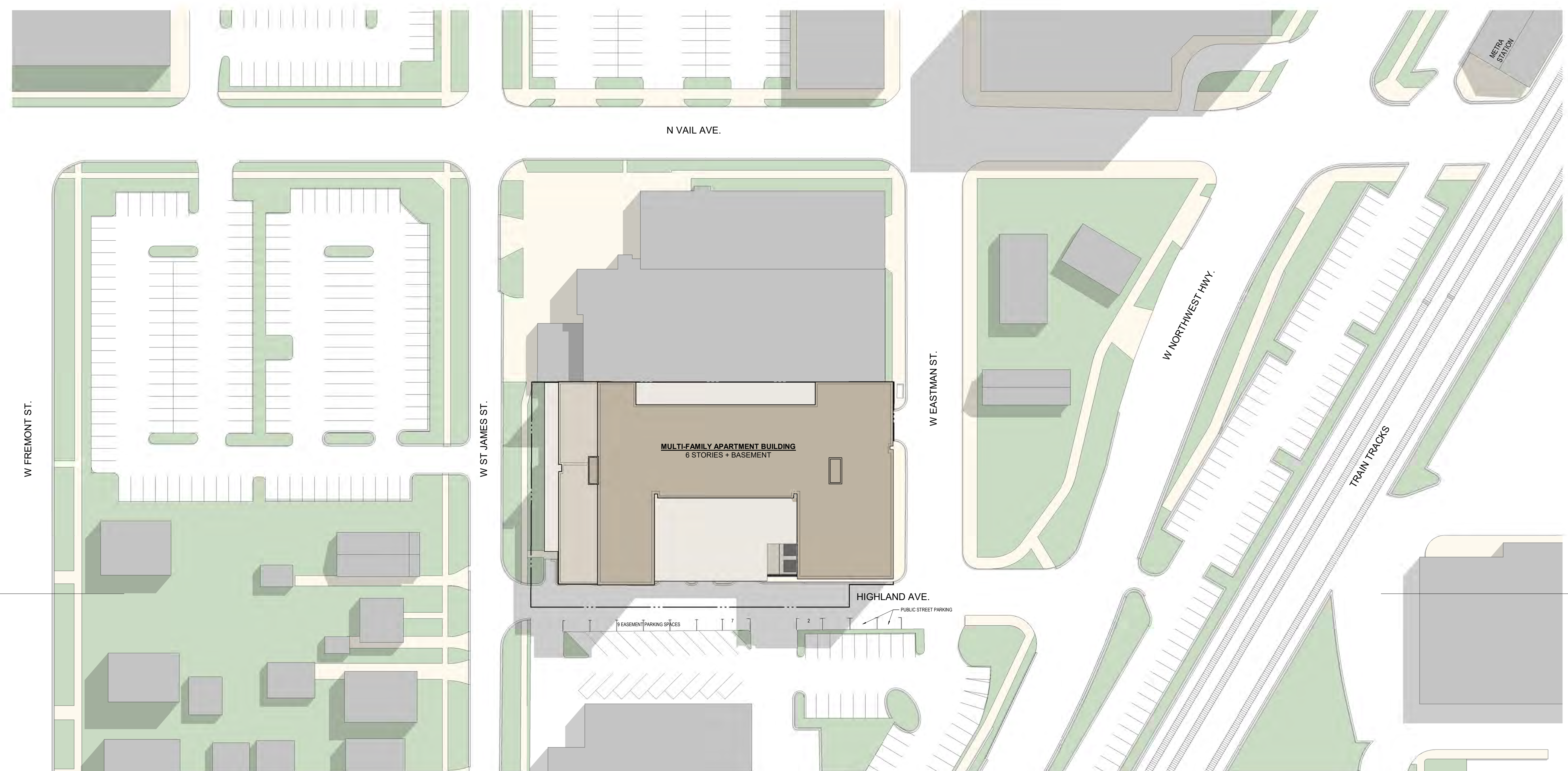
PINs: 03-29-316-001, 03-29-316-008

EXHIBIT B

ARCHIECTURAL PLANS



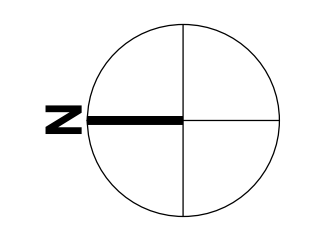
2
01 SITE CROSS SECTION
SCALE: 1" = 40'-0"



1
01 OVERALL SITE PLAN
SCALE: 1" = 40'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



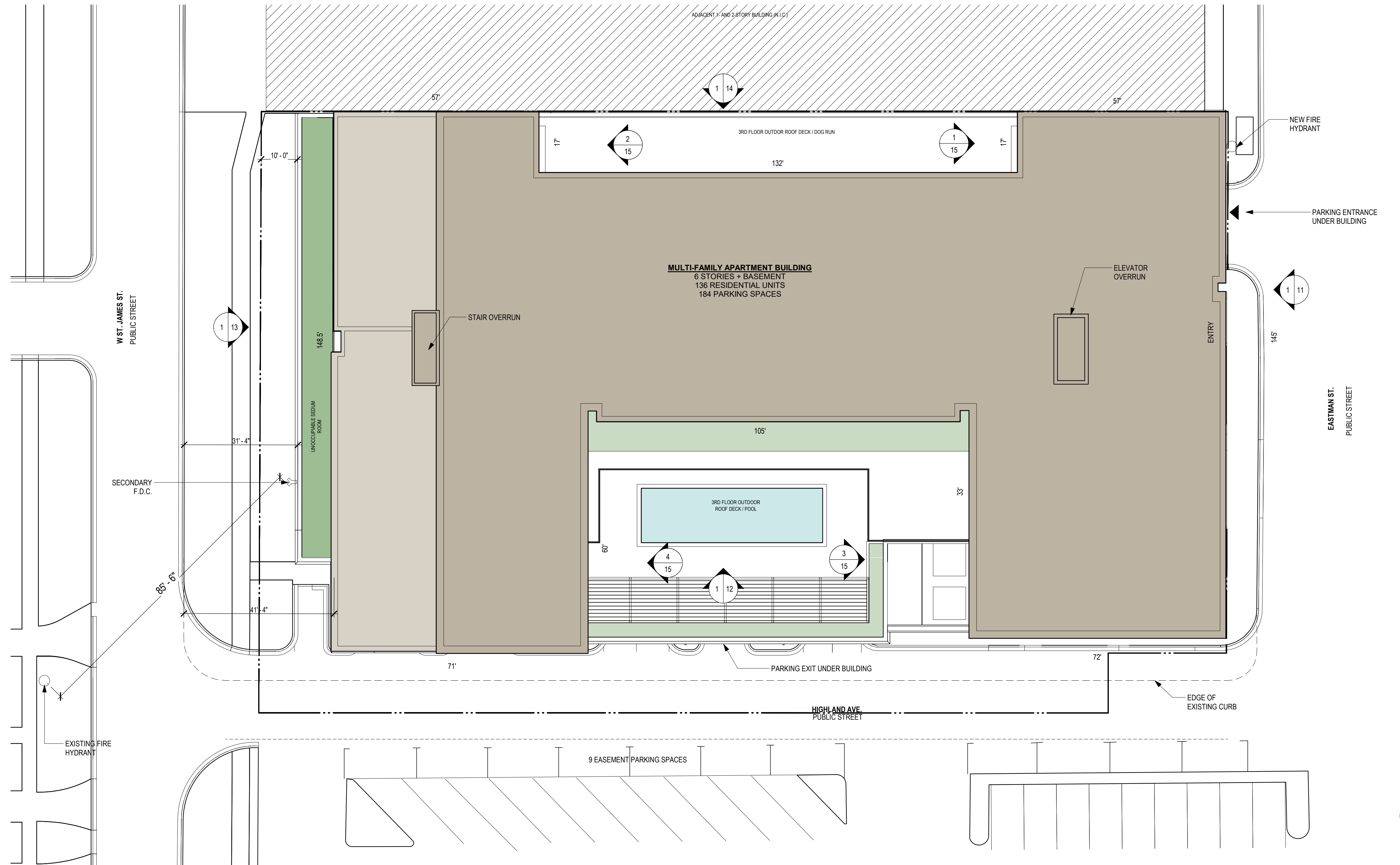
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PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



ZONING SUMMARY		
PROPOSED ZONING DISTRICT:	B-5	
ZONING DESCRIPTION:	43,984 SF	
SITE AREA:	ORDINANCE REQUIREMENT	PROPOSED
FAR:	N/A	
AREA / DWELLING UNIT:	300 sf of lot area / DU 400 sf of lot area / DU	
1 Bedroom		
2 Bedroom		
FRONT YARD:	Adjacent Residential Minimum: 5 FT. Adjacent Other Minimum: N/A	0'-0" / 0'-0"
SIDE YARD (NEXT TO R-ZONE):	Adjacent Residential Minimum: Setback of adjacent residential district. Adjacent Other Minimum: 5 ft. (Abutting street or alley)	0'-0" / 0'-0"
REAR YARD (NEXT TO R-ZONE):	Adjacent Residential Minimum: 25 FT. or 20% of lot depth, whichever is less. Adjacent Other Minimum: N/A	0'-0" / 0'-0"
HEIGHT (W/ GROUND FLOOR RETAIL):	90'-0"	92'-0" (PARAMPET 78'-0" STRUCTURE)
PARKING:	STUDIO & 1 BEDROOM UNITS: 1 space / unit 2-BED UNIT: 1.25 space / unit (1) 10'x30'x4'xH LOADING: 167	167
TOTAL RESIDENTIAL PARKING SPACES:	143	
RESTAURANT:	1 space / 200sf seating 8 req'd spaces	8-9 easement
TOTAL:	151	184

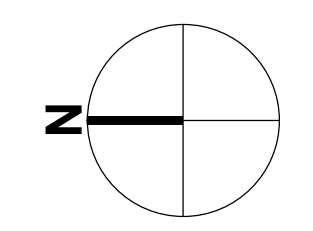
DEVELOPMENT SUMMARY			
BUILDING AREA			
	GROSS	NET (RESIDENTIAL)	PARKING
TOTAL:	35,669	-	34,238
LEVEL 01:	30,548	-	24,541
LEVEL 02:	26,521	14,192	
LEVEL 03:	26,521	19,558	
LEVEL 04:	26,521	19,558	
LEVEL 05:	26,521	19,558	
LEVEL 06:	22,443	17,395	
TOTAL:	196,044	90,861	58,779
PARKING			
LOWER LEVEL	RESIDENTIAL	COMMERCIAL	TOTAL
LEVEL 01	61	8	78
TOTAL PROVIDED:	167	17	184
TOTAL REQ'D:	143	8	151
BIKE PARKING			
LEVEL 01	RESIDENTIAL	COMMERCIAL	TOTAL
LEVEL 01	15	0	15
TOTAL PROVIDED:	15	0	15
TOTAL REQ'D:	15	0	15

UNIT MATRIX				
LEVEL	STUDIO	1-BED	2-BED	TOTALS
LEVEL 2	12	9	3	24
LEVEL 3	10	15	5	30
LEVEL 4	10	15	5	30
LEVEL 5	8	16	3	27
LEVEL 6	6	14	4	24
TOTALS	46	69	20	135
TOTAL BEDROOMS: 155 (IMPELVIOUS DESIGN: 158)				

1 SITE PLAN
02 SCALE: 1/16" = 1'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



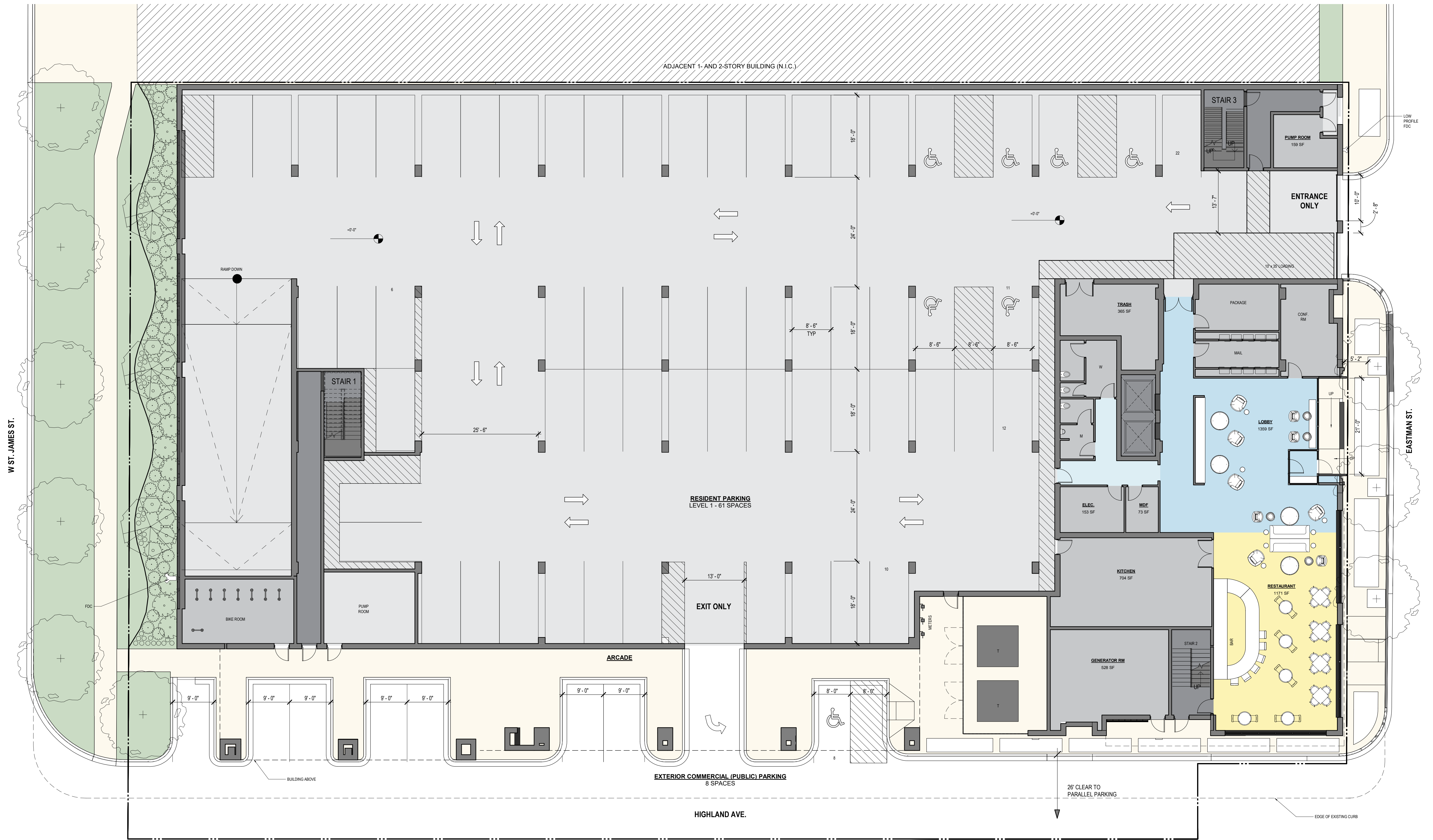
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PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

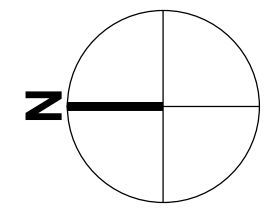
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



1 1ST FLOOR PLAN
SCALE: 1" = 10'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



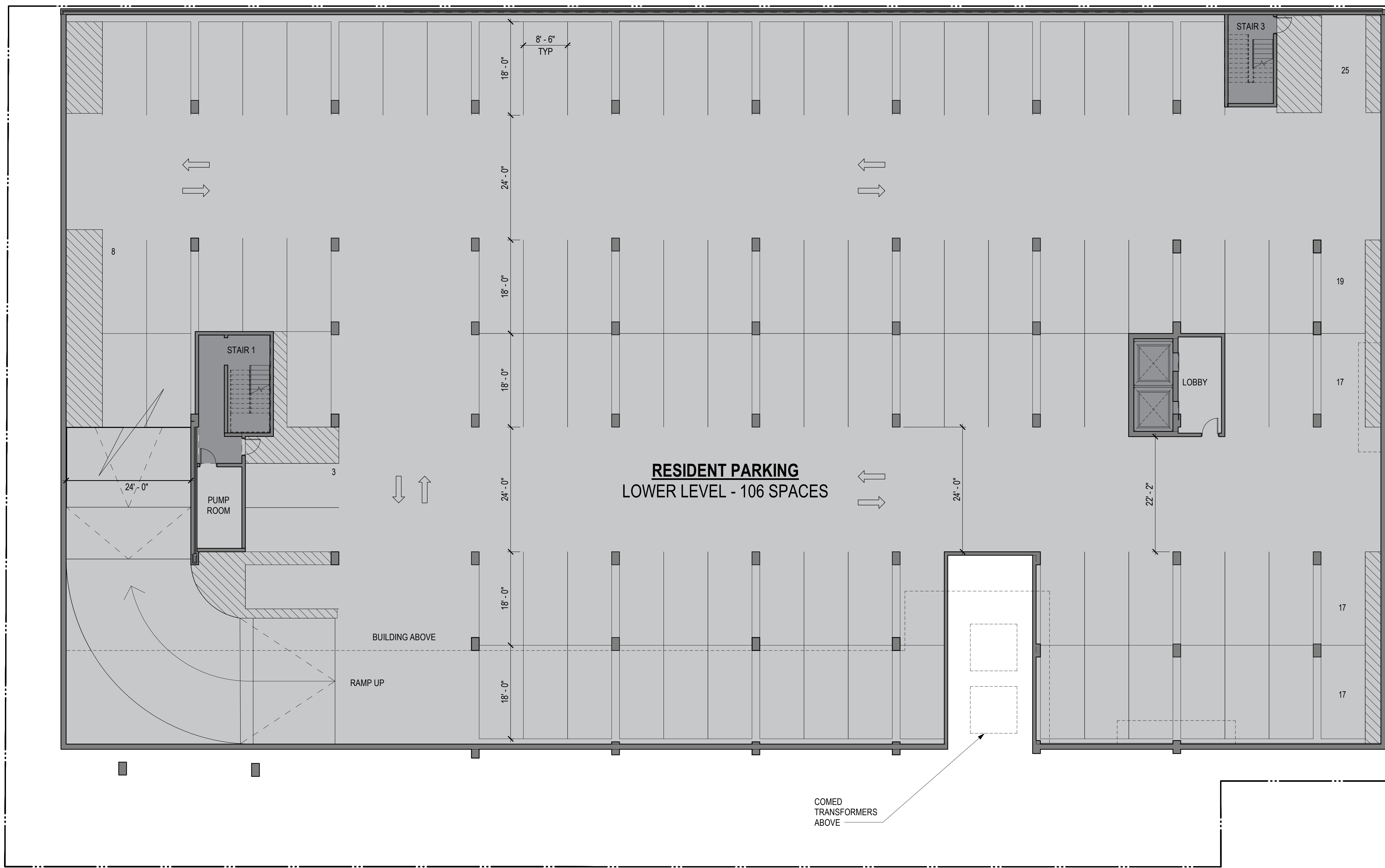
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PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

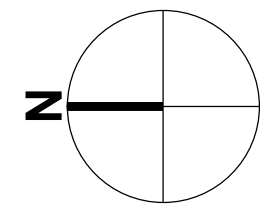
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



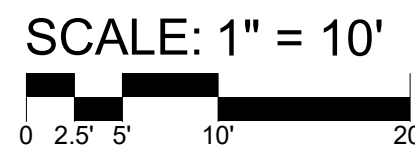
1 BASEMENT FLOOR PLAN
04 SCALE: 1" = 10'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

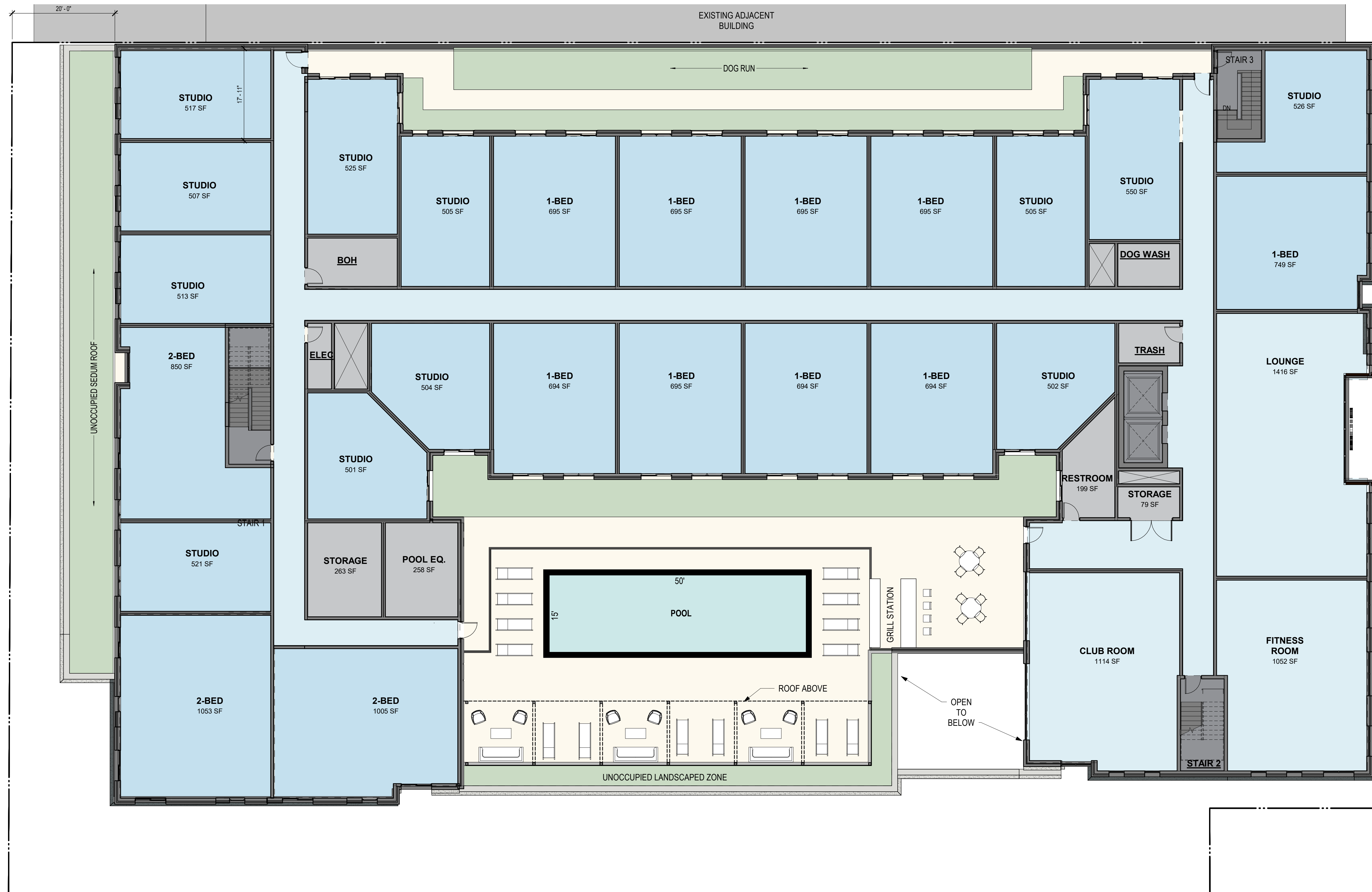


PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

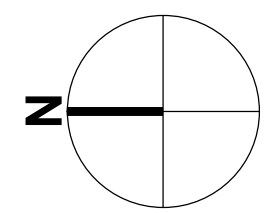


1 2ND FLOOR PLAN - 25 UNITS
05 SCALE: 1" = 10'-0"

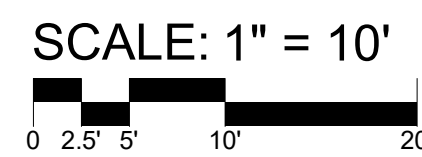
22 UNITS



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



PROJECT

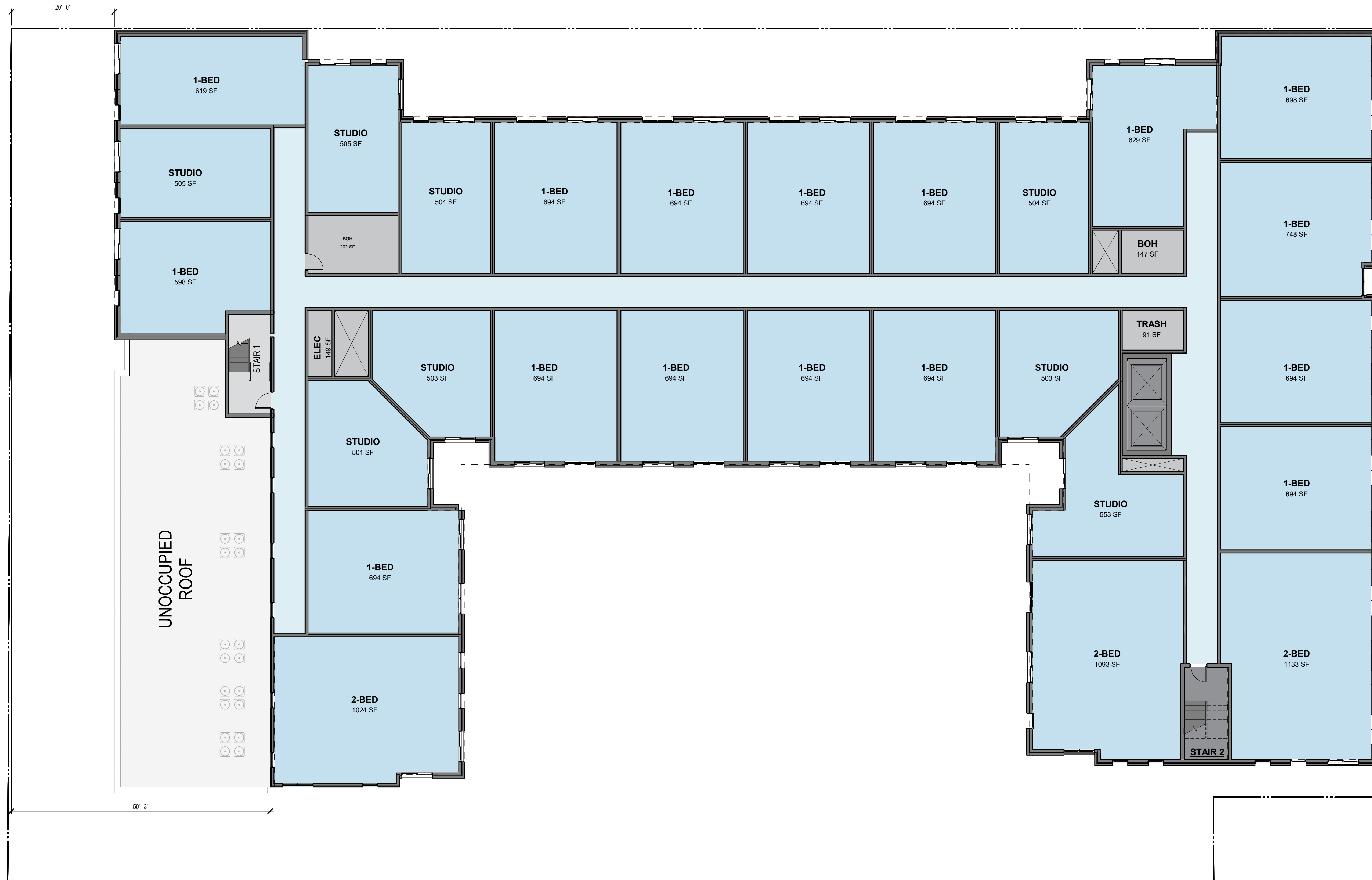


SCALE: 1" = 10'



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

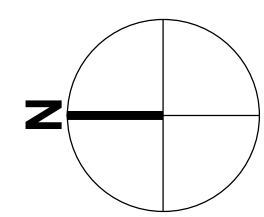


1 5TH FLOOR
07 SCALE: 1" = 10'-0"

27 UNITS



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600 W. Jackson, Suite 250
Chicago, IL 60661



SCALE: 1" = 10'
0 2.5' 5' 10' 20'

PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

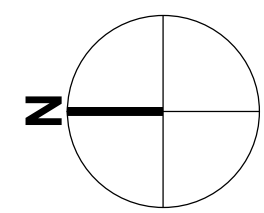


1 6TH FLOOR PLAN
08 SCALE: 1" = 10'-0"

24 UNITS



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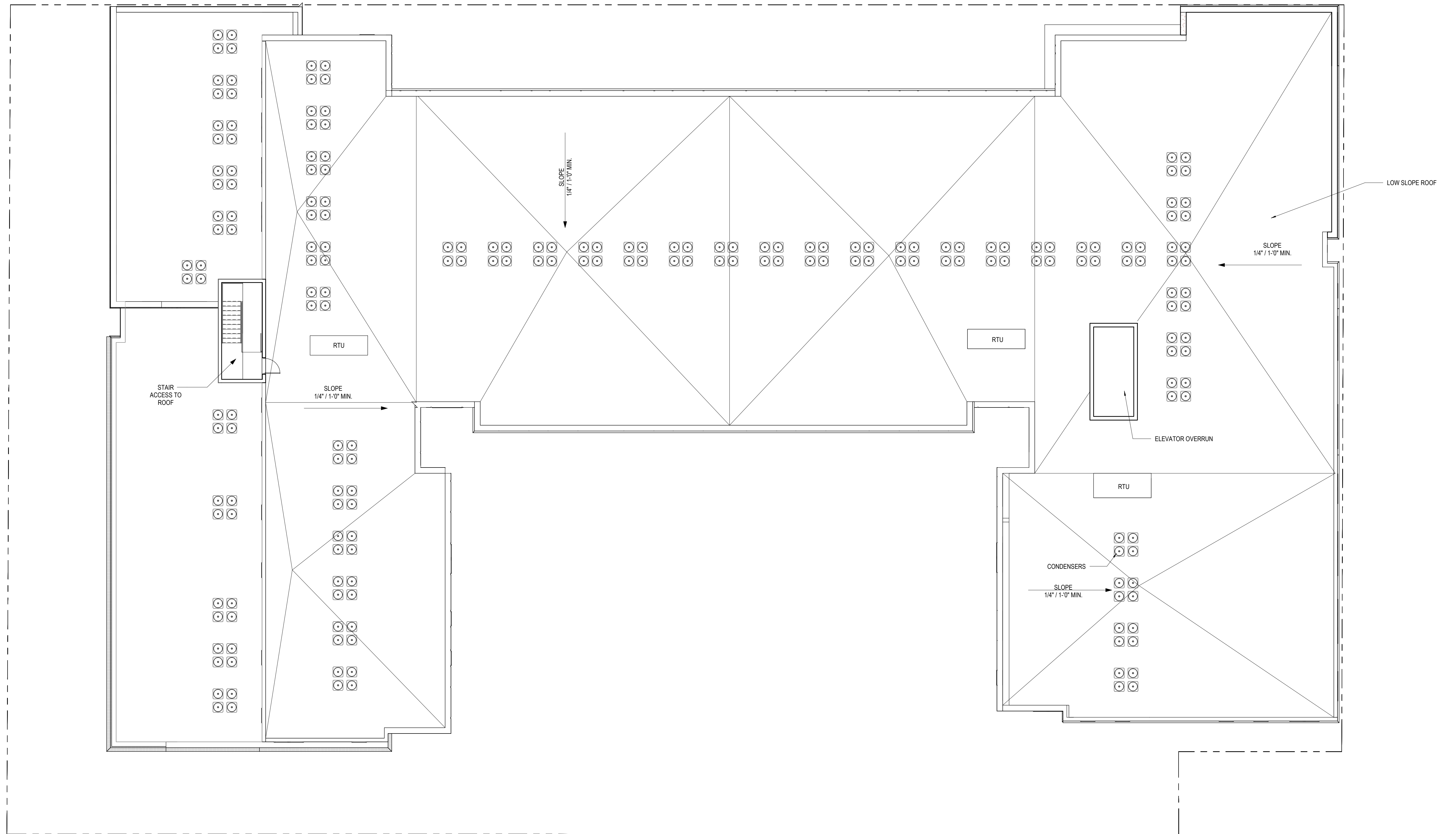
PROJECT

SCALE: 1" = 10'
0 2.5' 5' 10' 20'



ARLINGTON HEIGHTS MULTI-FAMILY

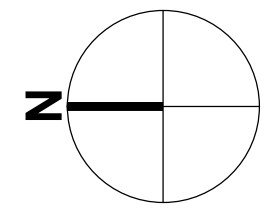
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



1 ROOF PLAN
09 SCALE: 1" = 10'-0"



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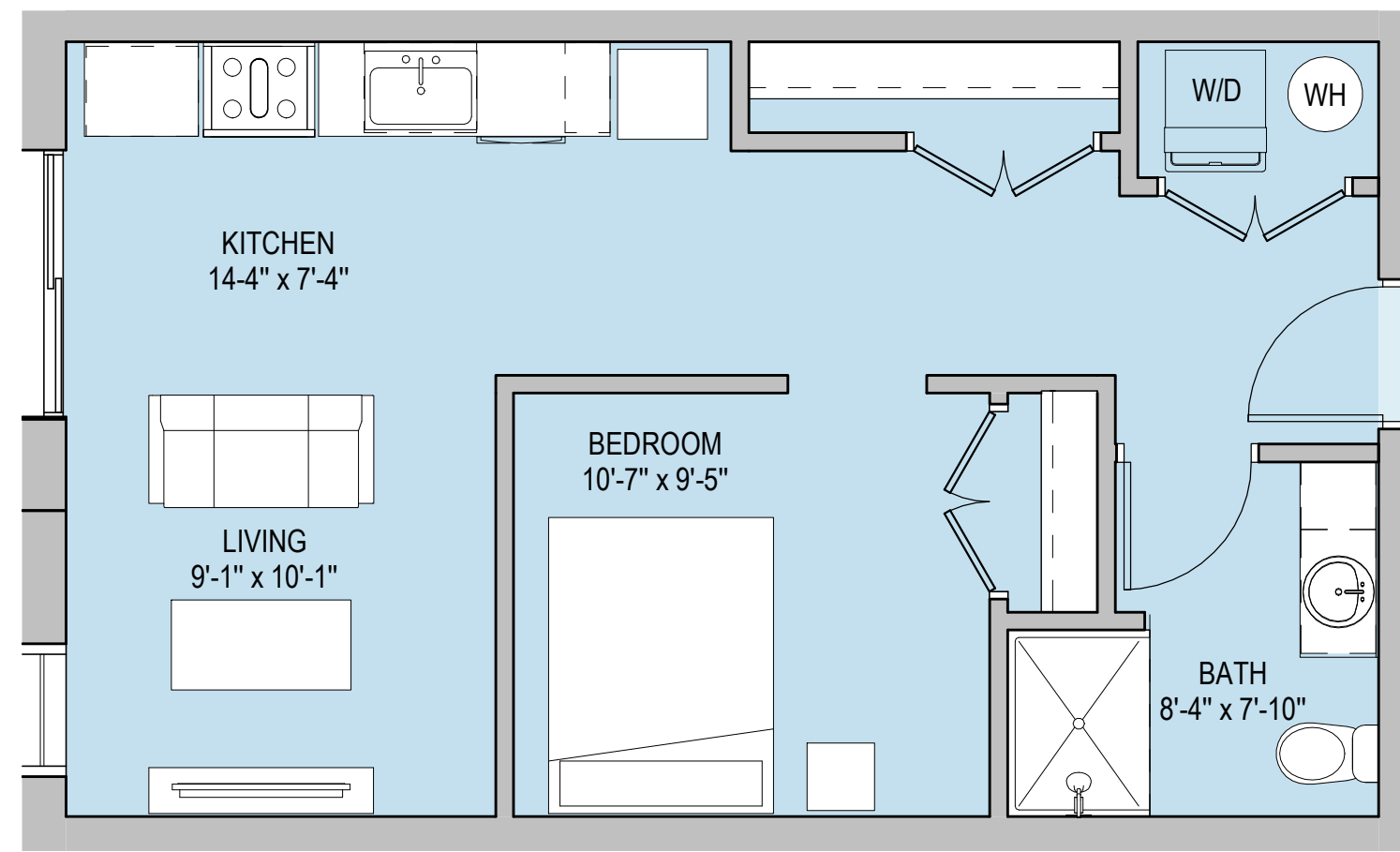
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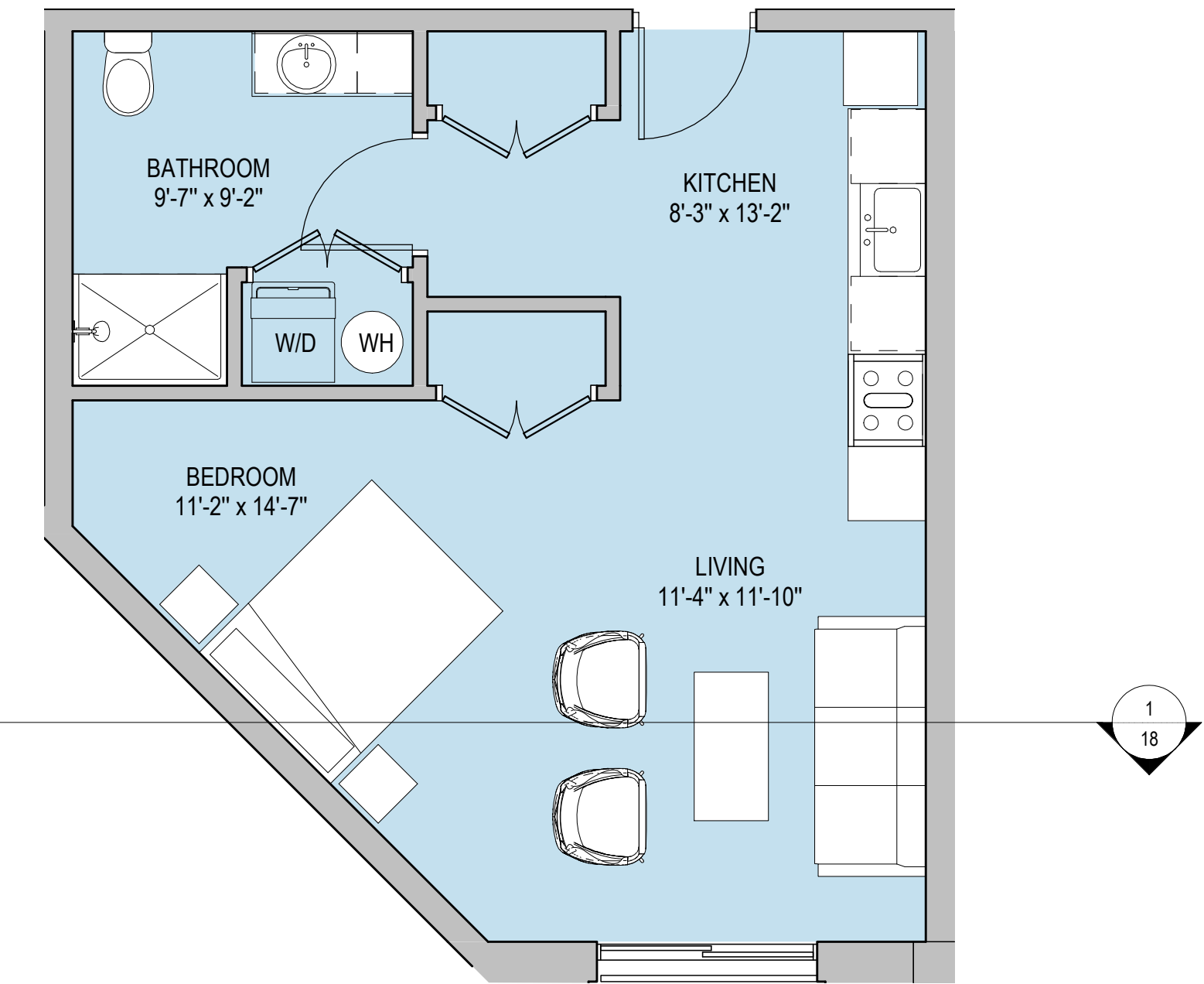


ARLINGTON HEIGHTS MULTI-FAMILY

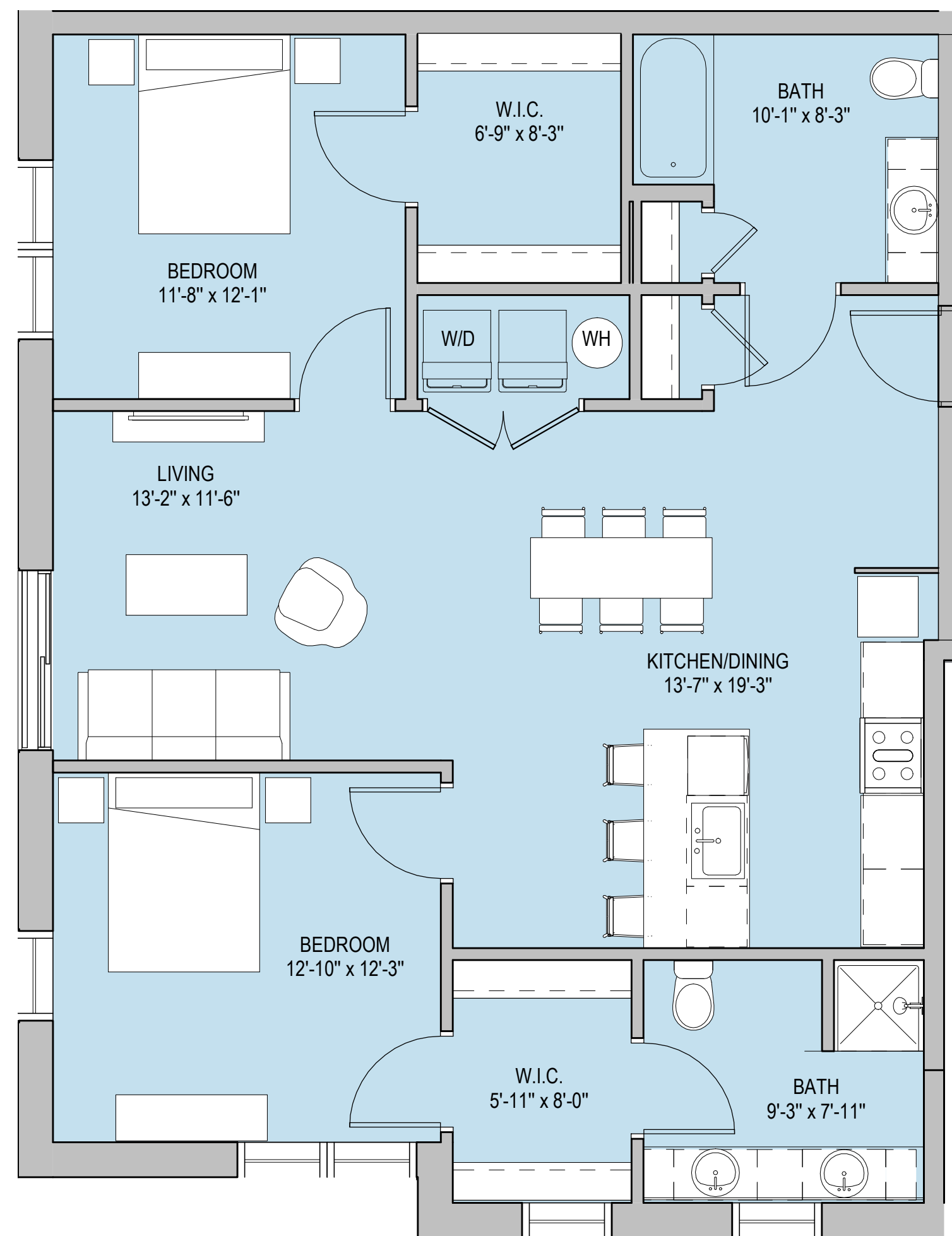
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



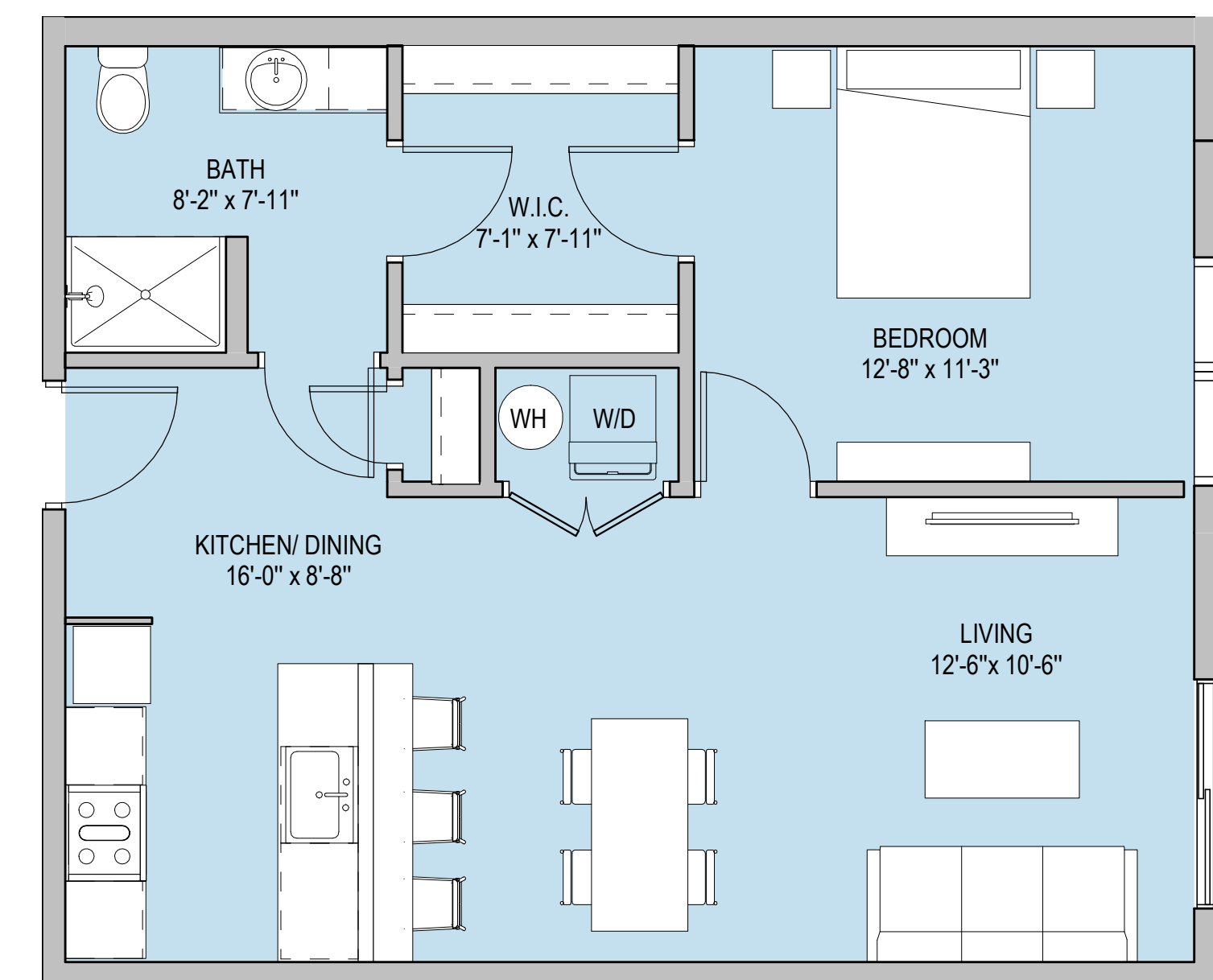
4
10 TYPICAL STUDIO UNIT PLAN
SCALE: 1/4" = 1'-0"



3
10 TYPICAL INTERIOR STUDIO
SCALE: 1/4" = 1'-0"



2
10 TYPICAL TWO BEDROOM UNIT PLAN
SCALE: 1/4" = 1'-0"



1
10 TYPICAL ONE BEDROOM UNIT PLAN
SCALE: 1/4" = 1'-0"

MATERIAL LIST

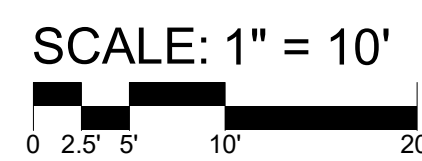
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Red Mortar	Solomon Colors, 44X Deep Red
Charcoal Brick	Endicott Brick, Norman Size - Color: 'Manganese Ironspot'
Charcoal Mortar	Spec Mix, SM8000 - Black
Gray Brick	Interstate Brick, Norman Size - Color: 'Platinum'
Gray Mortar	Spec Mix, SM330 - Burlywood
Stone Base	Shouldice - Architectural, color: Colby
Glass/Alum storefront	Black finish
Vinyl Windows	Black finish
Balcony Railings	Prefinished Alum. Railing - Black
Wall coping	Pre-finished Alum. Coping
Wall Louvers	Prefinished Alum. - Black
Red Stucco	Sto Stucco - Color to match Red Brick
Charcoal Gray Stucco	Sto Stucco - Charcoal Gray
Dark Gray Stucco	Sto Stucco - Black
Continuous Cast Stone Sill	Cast Stone - Color to match Red Brick



1 SOUTH ELEVATION
11 SCALE: 1" = 10'-0"



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ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

MATERIAL LIST

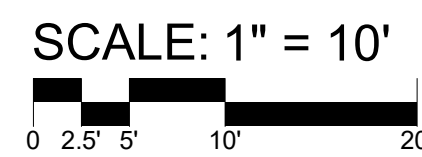
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Continuous Cast Stone Sill	Cast Stone - Color to match Red Brick



1
12 WEST ELEVATION
SCALE: 1" = 10'-0"



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ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
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11/28/23 Project #: 22008

MATERIAL LIST

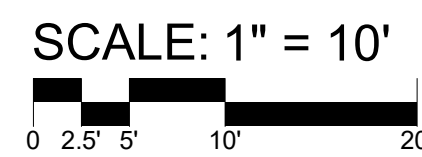
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Dark Gray Stucco	Sto Stucco - Black
Continuous Cast Stone Sill	Cast Stone - Color to match Red Brick



1 NORTH ELEVATION
13 SCALE: 1" = 10'-0"



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ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

MATERIAL LIST

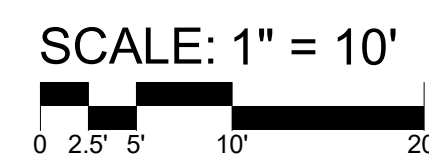
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Charcoal Brick	Endicott Brick, Norman Size - Color: 'Manganese Ironspot'
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Wall coping	Pre-finished Alum. Coping
Wall Louvers	Prefinished Alum. - Black
Red Stucco	Sto Stucco - Color to match Red Brick
Charcoal Gray Stucco	Sto Stucco - Charcoal Gray
Dark Gray Stucco	Sto Stucco - Black
Continuous Cast Stone Sill	Cast Stone - Color to match Red Brick



1 EAST ELEVATION
14 SCALE: 1" = 10'-0"



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ARLINGTON HEIGHTS MULTI-FAMILY

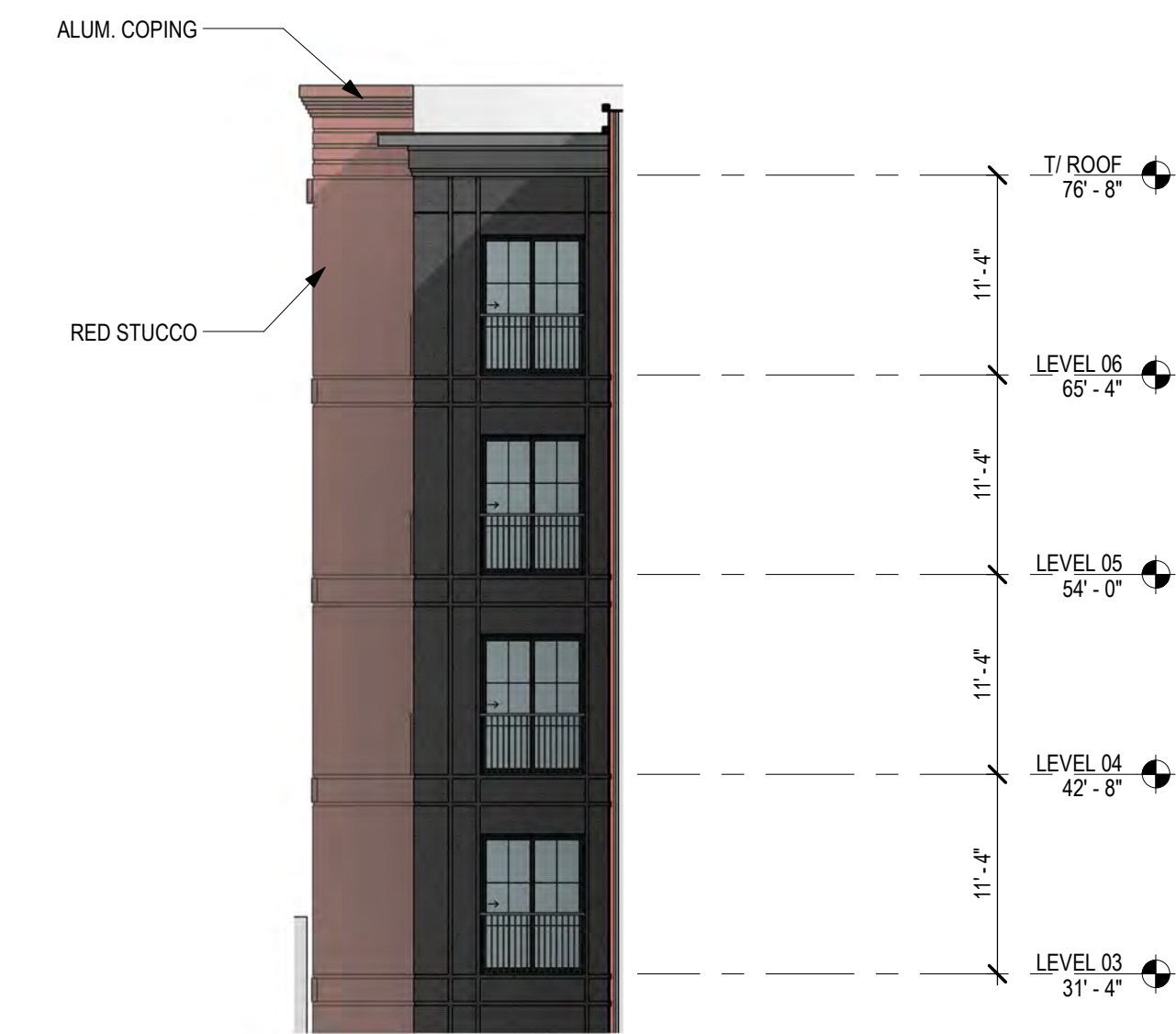
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

MATERIAL LIST

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Dark Gray Stucco	Sto Stucco - Black
Continuous Cast Stone Sill	Cast Stone - Color to match Red Brick



3 SOUTH COURTYARD EAST ELEVATION
SCALE: 1" = 10'-0"



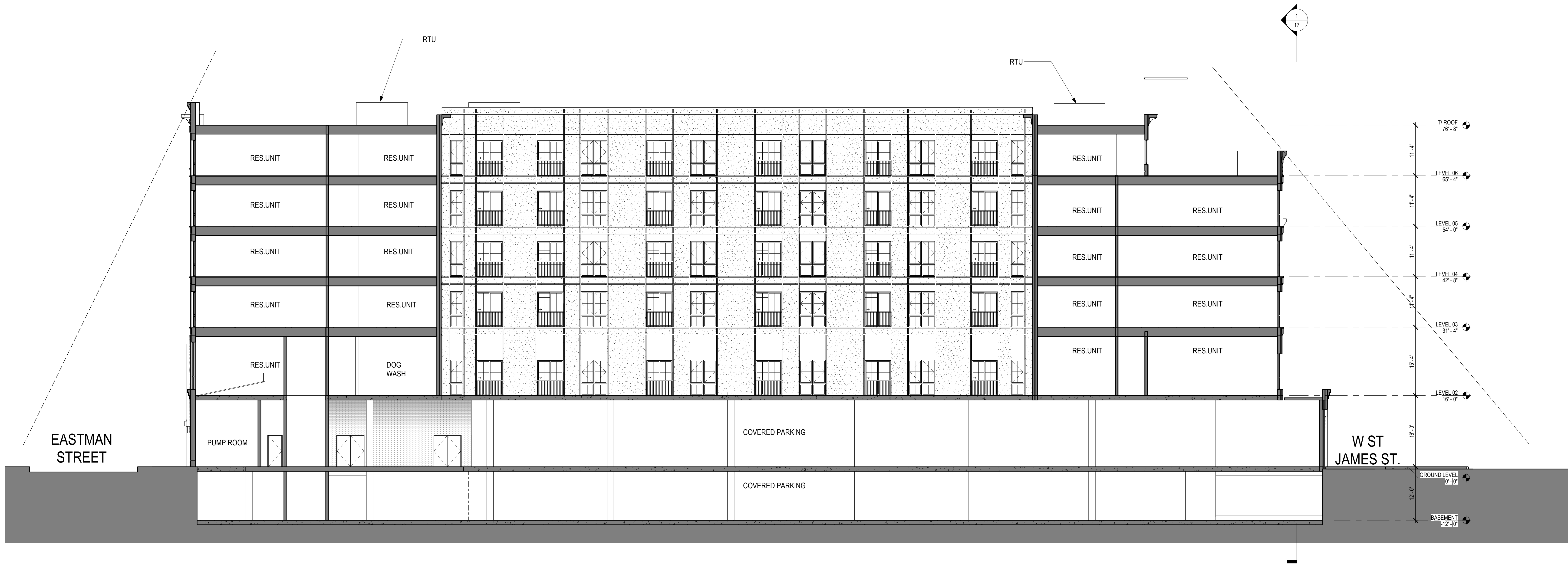
1 NORTH COURTYARD EAST ELEVATION
SCALE: 1" = 10'-0"



4 SOUTH COURTYARD WEST ELEVATION
SCALE: 1" = 10'-0"



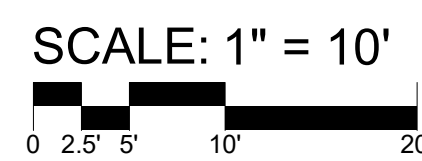
2 NORTH COURTYARD WEST ELEVATION
SCALE: 1" = 10'-0"



1 NORTH-SOUTH BUILDING SECTION
16 SCALE: 1" = 10'-0"



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ARLINGTON HEIGHTS MULTI-FAMILY

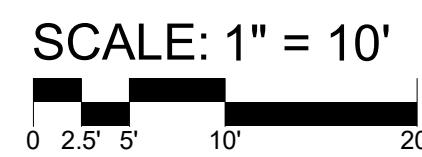
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



1 EAST-WEST BUILDING SECTION
17 SCALE: 1" = 10'-0"

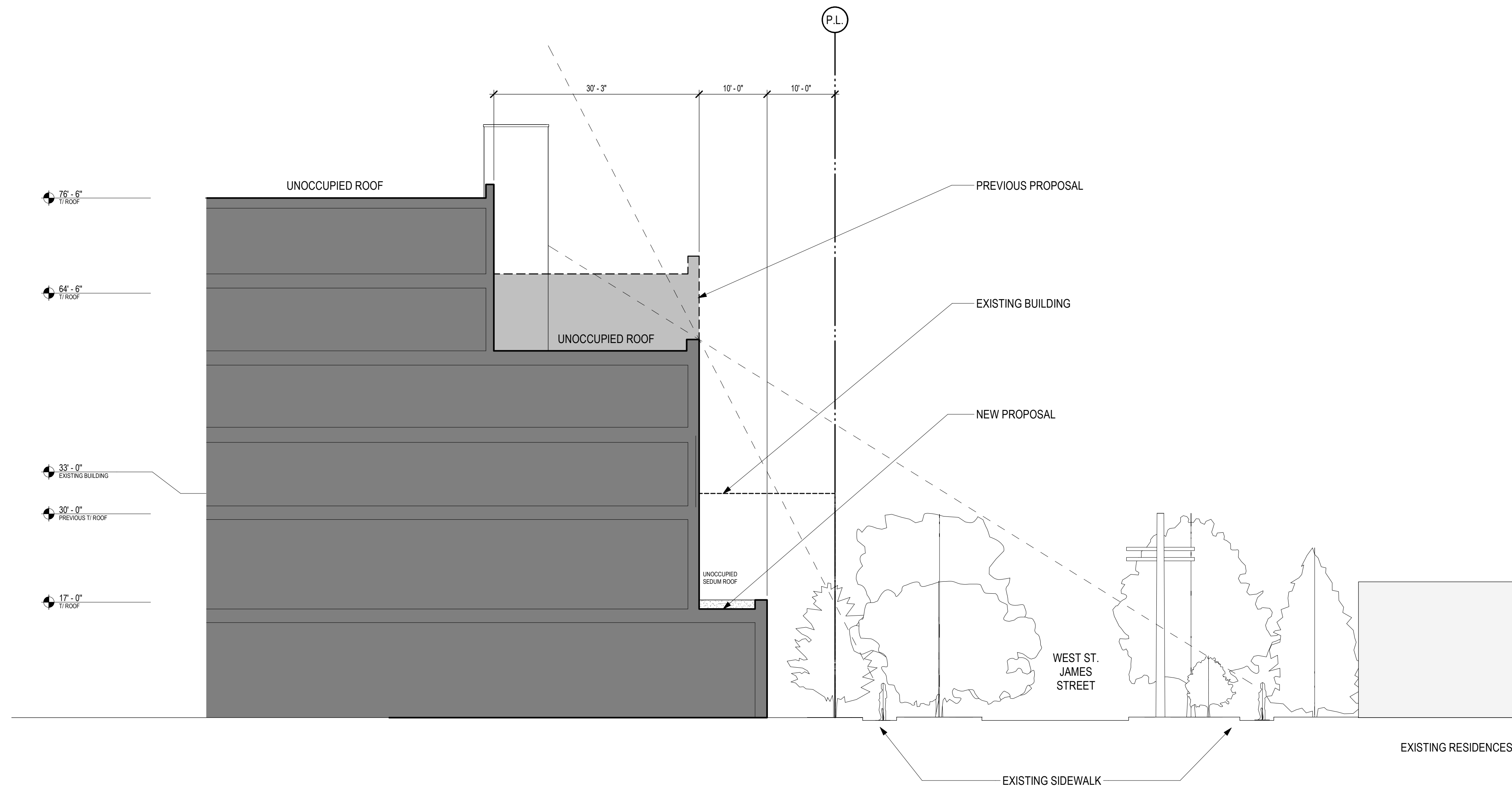


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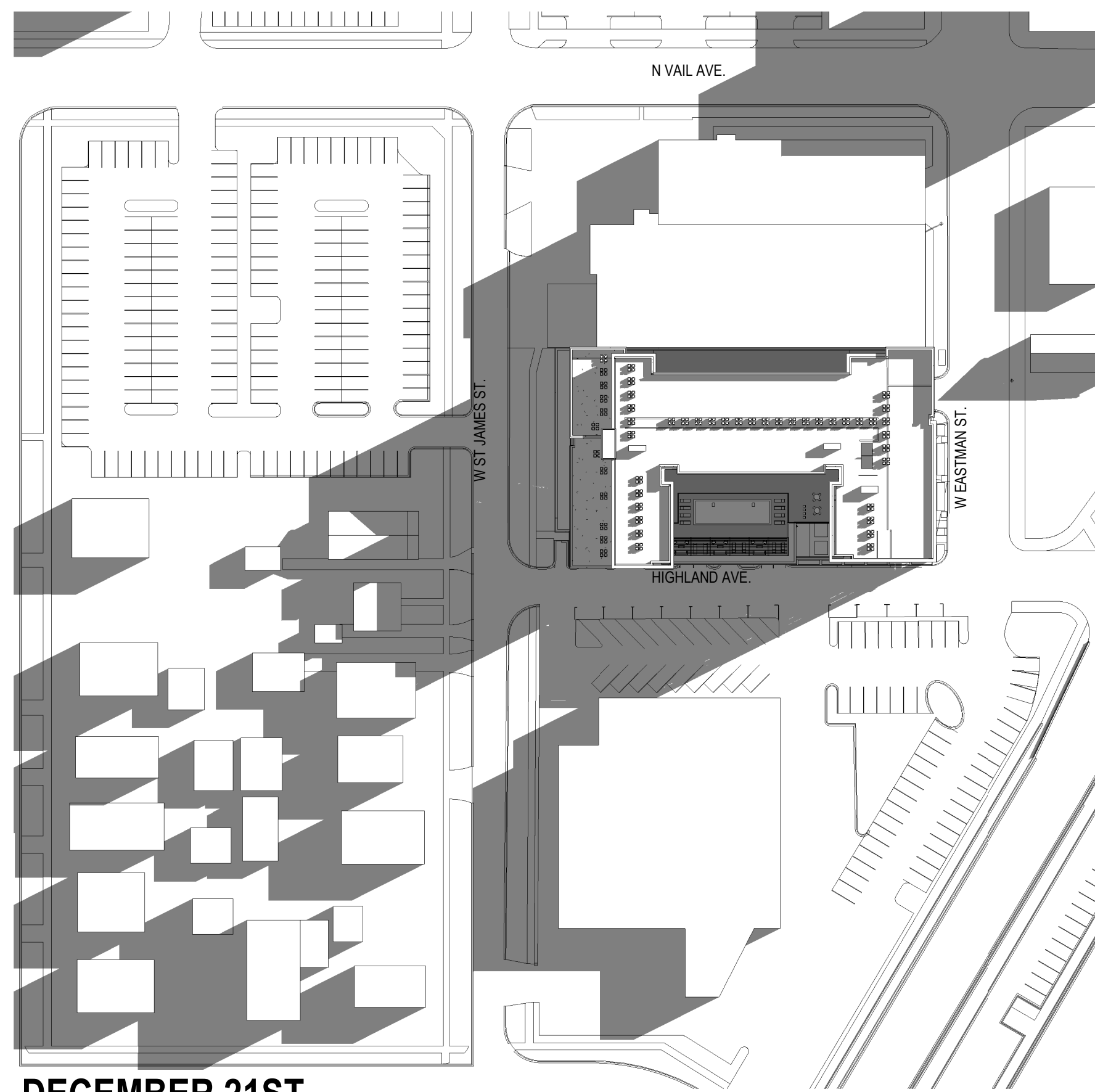


ARLINGTON HEIGHTS MULTI-FAMILY

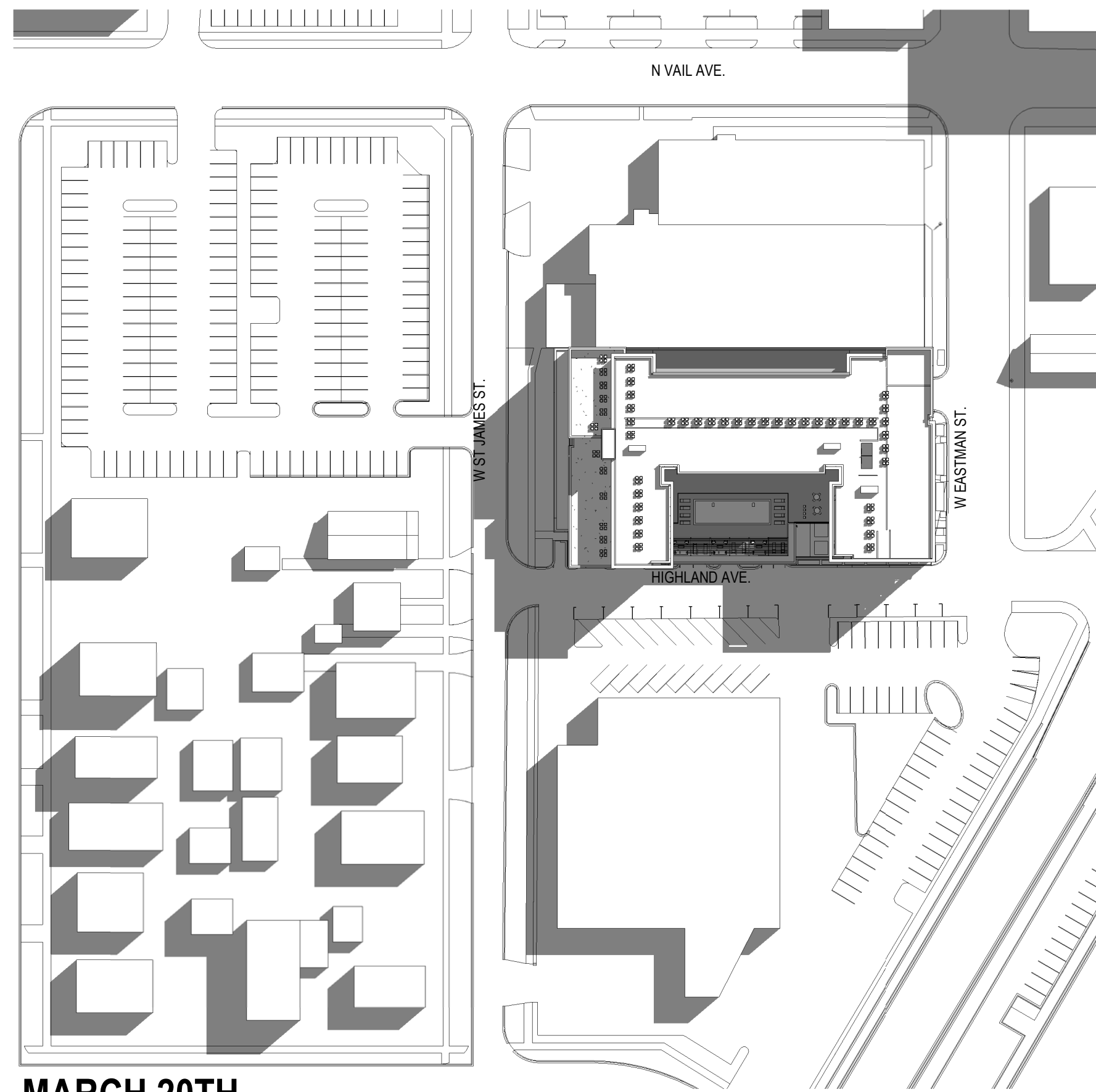
116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008



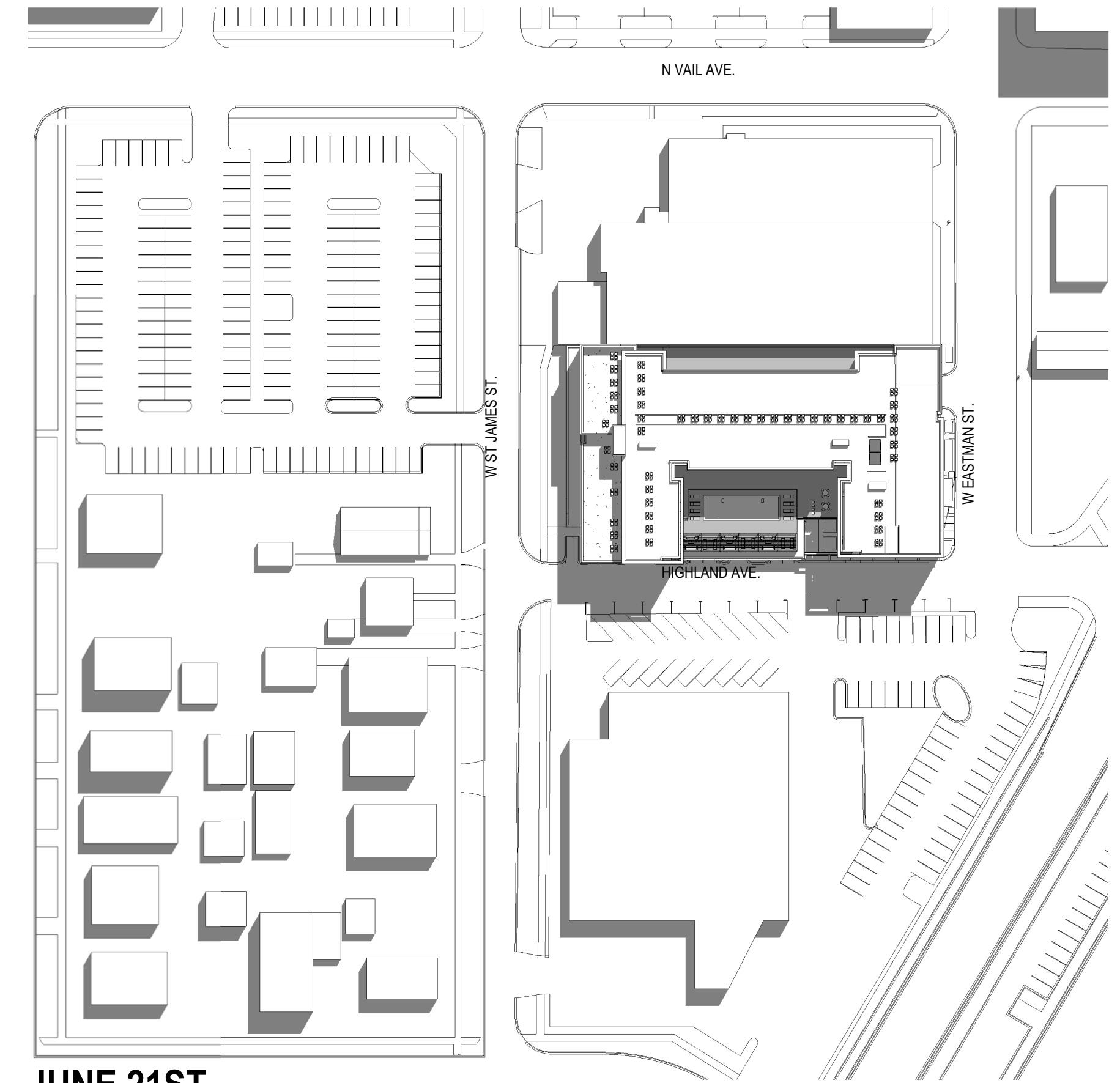
1 WEST ST. JAMES STREET SECTION
 18 SCALE: 1" = 10'-0"



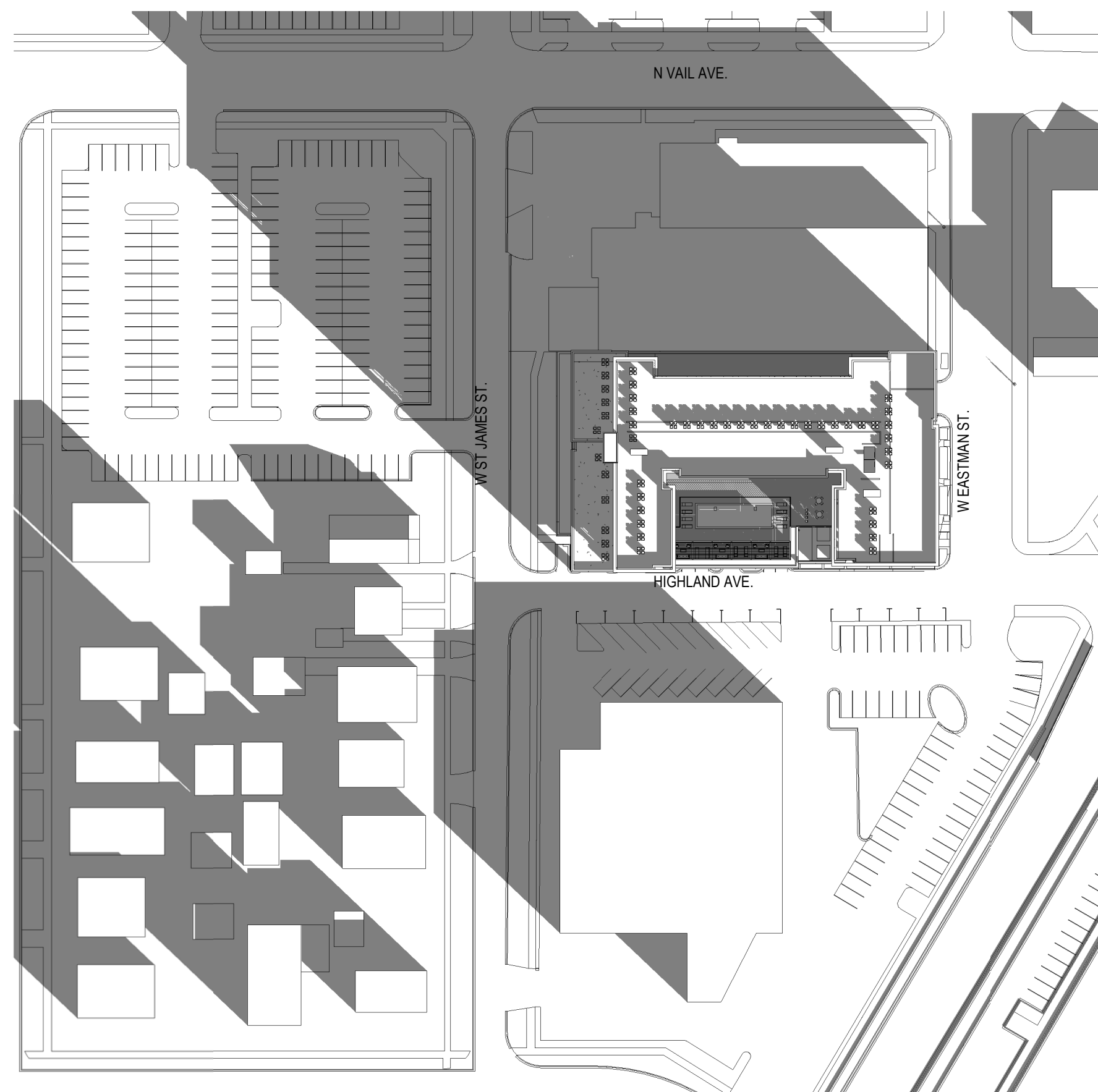
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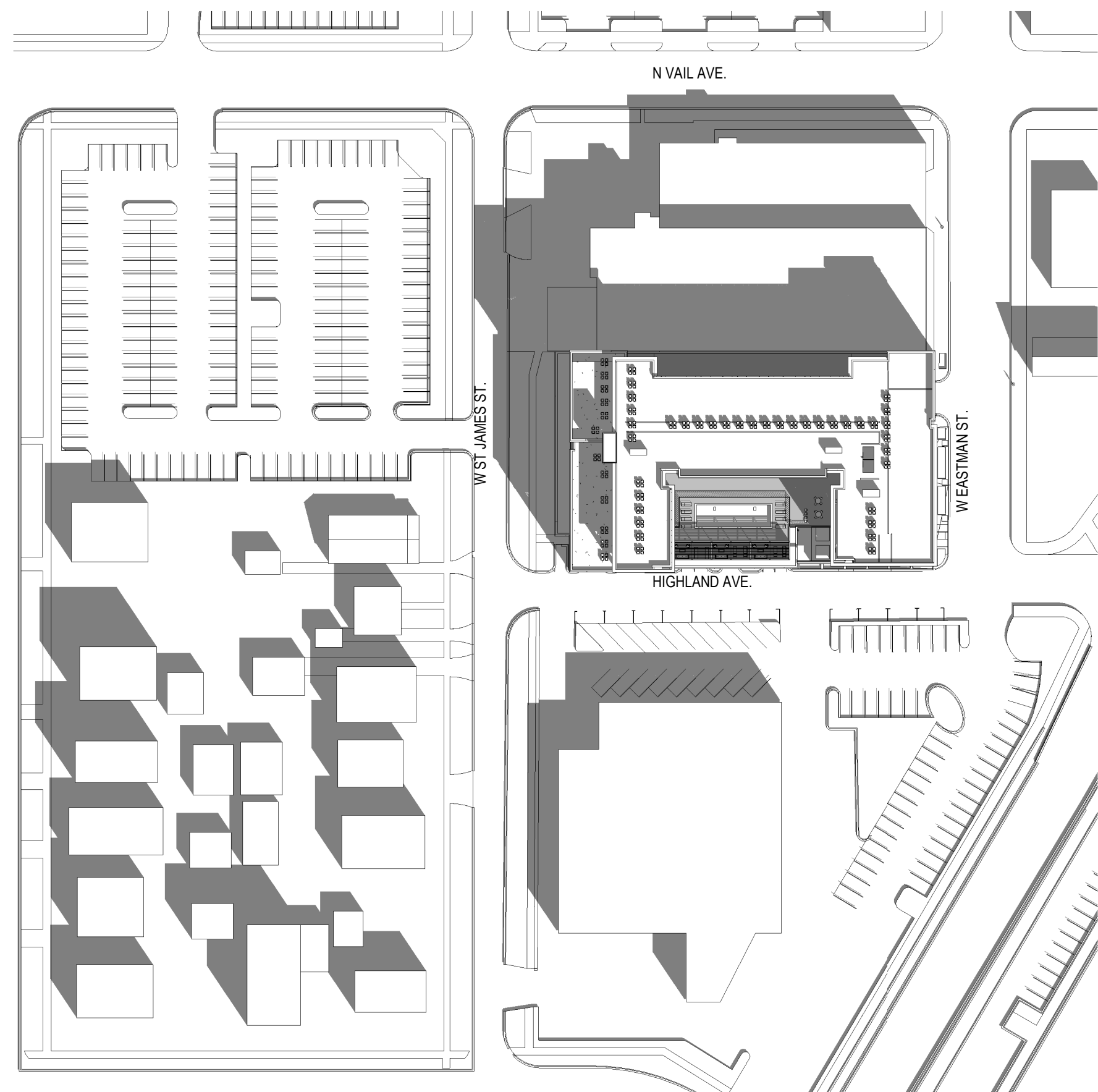
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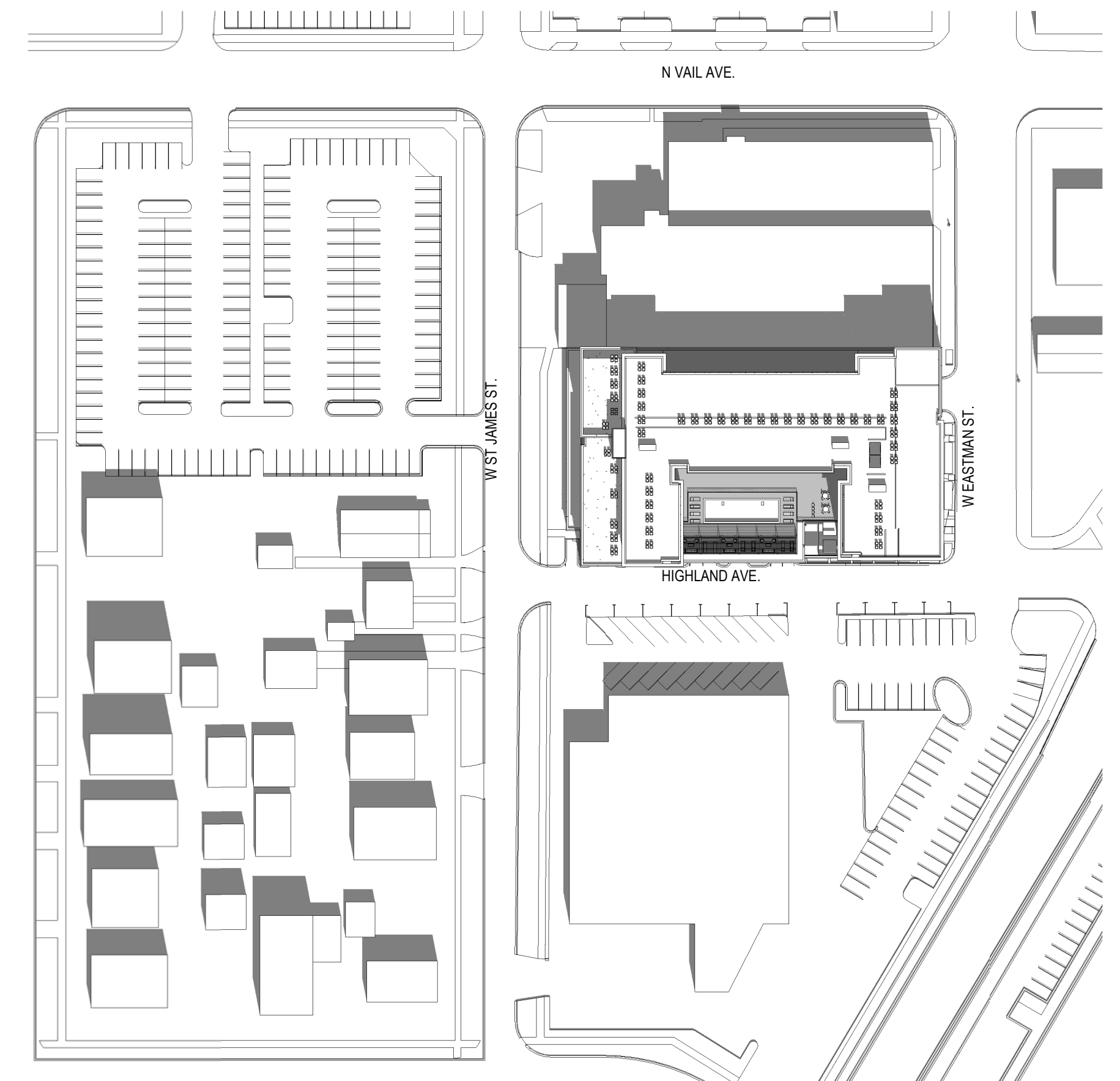
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10:00 AM



DECEMBER 21ST
3:00 PM



MARCH 20TH
3:00 PM

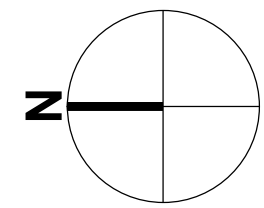


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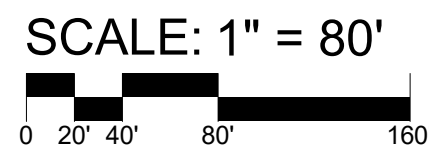
SUN STUDIES



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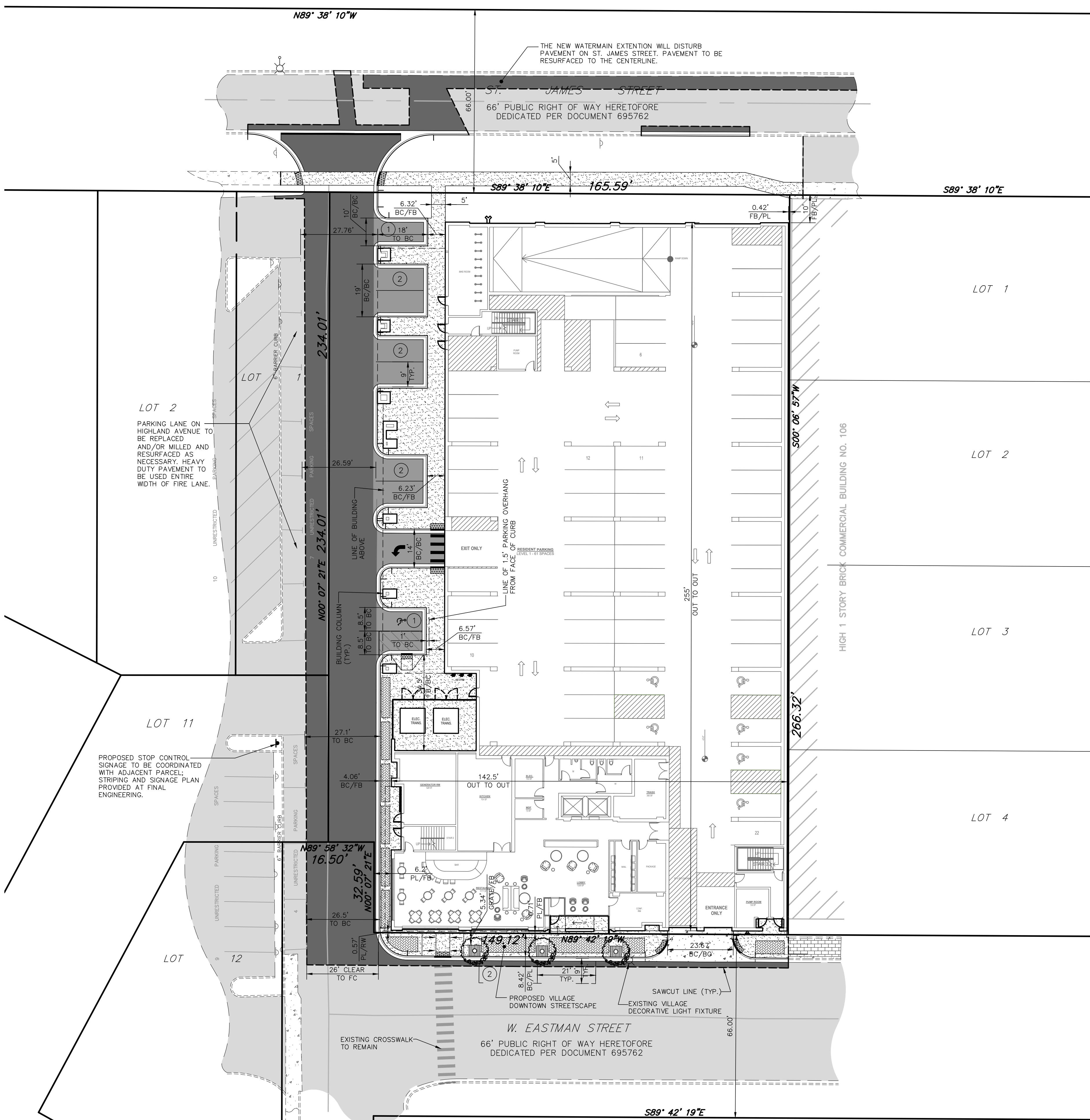
PROJECT



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
11/28/23 Project #: 22008

EXHIBIT C
ENGINEERING PLANS



SURFACE IMPROVEMENT LEGEND:

	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE
	NEW ASPHALT PAVEMENT
	NEW HEAVY-DUTY ASPHALT PAVEMENT
	NEW CONCRETE SIDEWALKS
	PROPOSED B6.12 CONCRETE CURB AND GUTTER
	PROPOSED REVERSE PITCH B6.12 CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING DEPRESSED CURB AND GUTTER

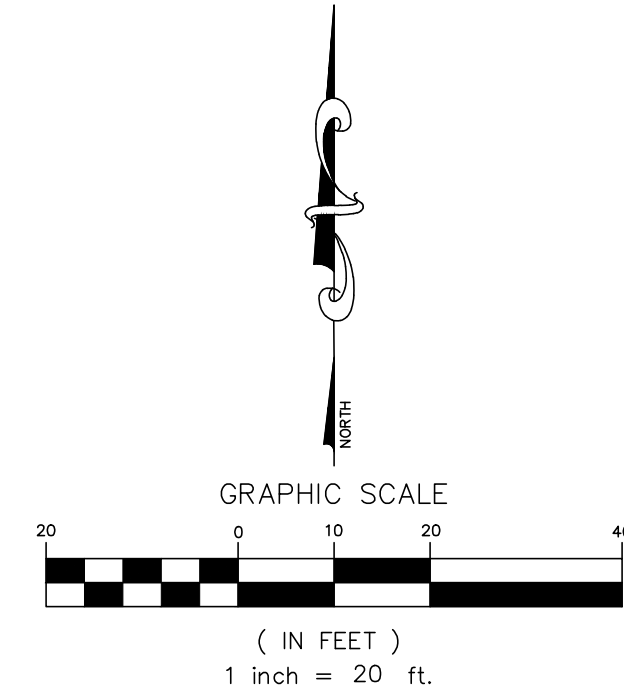
ABBREVIATIONS LEGEND:

EX	=	EXISTING
PR	=	PROPOSED
BC	=	BACK OF CURB
FC	=	FACE OF CURB
EP	=	EDGE OF PAVEMENT
PL	=	PROPERTY LINE
FB	=	FACE OF BUILDING
FW	=	FACE OF WALK (SIDEWALK)
ROW	=	RIGHT OF WAY
BC/BC	=	BACK OF CURB TO BACK OF CURB
SW	=	SIDEWALK
R	=	RADIUS
RW	=	RETAINING WALL
(TYP)	=	TYPICAL

SITE DATA:

TOTAL SITE SIZE	=	43,581 S.F. (1.0 AC)
EXISTING SITE CONDITIONS:		
EXISTING BUILDING/PAVT/SW	=	41,544 S.F.
EXISTING GREENSPACE	=	2,037 S.F.
EXISTING CONDITION IMPERVIOUS AREA	=	41,544 S.F.
PROPOSED SITE CONDITIONS:		
PROPOSED BUILDING/PAVT/SW	=	42,179 S.F.
PROPOSED GREENSPACE	=	1,402 S.F.
PROPOSED CONDITION IMPERVIOUS AREA	=	42,179 S.F.

- SITE GEOMETRIC AND PAVING NOTES:**
- SIDEWALK RAMPS WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
 - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE B6.12 CONCRETE CURB AND GUTTER.
 - ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR SITE) PLAT PREPARED BY GENTILE AND ASSOCIATES, INC. AND DATED APRIL 27, 2022.
 - BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 - ALL STRUCTURAL AND ARCHITECTURAL DESIGN DATA FOR THE MASONRY WALLED TRASH ENCLOSURES ARE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. REFER TO THE ARCHITECTURAL PLANS FOR ALL DETAILS PERTAINING TO SAME.
 - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PARKING STALLS (EXCEPT FOR HC) MARKING COLOR IS WHITE. ALL ON-SITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH IDOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - THE HEAVY-DUTY PAVEMENT SECTION SHALL MEET VILLAGE STANDARD & CONSIST OF: 2" SURFACE, 2 1/4" N-50 BINDER, 5" N-50 BINDER, & 4" CA-6 STONE SUBBASE.
 - CONCRETE DRIVEWAY APRONS TO BE 8" THICK.
 - THE PAVEMENT ON W. EASTMAN ST. SHALL BE MILLED AS NECESSARY TO MATCH EXISTING GRADE NEAR CURBLINE. LOCATION DETERMINED AT FINAL ENGINEERING.
 - THE BRICK PAVEMENT SECTION ALONG W. EASTMAN ST. SHALL MATCH THE DOWNTOWN STREETSCAPE.
 - WITH THE ADDITION OF A FUTURE PUBLIC SIDEWALK EASEMENT, A 5.0' ACCESSIBLE ROUTE TO BE PROVIDED ALONG THE EASTMAN STREET SIDEWALK IS PROVIDED.
 - COORDINATION WITH PLANNING AND ENGINEERING AT THE TIME OF FINAL DESIGN WILL DETERMINE VILLAGE PAVERS AT CERTAIN CROSSWALK LOCATIONS, ALONG WITH THE OPTION FOR A STRIPED LOADING ZONE (21' LONG PARKING STALL) ALONG EASTMAN STREET.



VILLAGE OF ARLINGTON HEIGHTS SIDEWALK REQUIREMENTS

REINFORCEMENT
No welded wire fabric is allowed to be placed in any sidewalk in the Village right-of-way or any sidewalk to be maintained by the Village. Where sidewalks cross over a utility conduit, two #4 reinforcing bars shall be placed mid-depth within sidewalk and extend to a minimum of 3 feet beyond either side of the utility crossing.

FORMS
Side forms shall be lumber with a nominal thickness of 2 inches and a depth equal to the sidewalk thickness specified or of steel with equal rigidity. 2x4 forms will not be allowed. Side forms shall be held vertically in place by stakes or bracing, with the top edge of the form level to grade. The forms shall be tightly braced with all prior to placing concrete.

FORM REMOVAL AND BACKFILL
Unless otherwise approved by the Director of Engineering, all forms shall remain unbraced for a minimum of 24 hours after the concrete has been placed, and be removed within 48 hours. Upon the removal of the forms, the Contractor shall have seven calendar days to backfill between the side of the sidewalk and the ground using top soil. The Contractor is responsible for maintaining proper backfills until soil has been placed.

EXPANSION JOINTS
Expansion joints shall consist of preformed joint filler, 1/2 inch thick. The top of the expansion joint shall be placed 1/4 inch below the surface of the sidewalk, and extend to the full depth of the walk. Expansion joints shall be spaced a minimum of 50 feet and shall also be placed between the sidewalk and all structures, such as light structures, manholes, etc., which extend through the sidewalk.

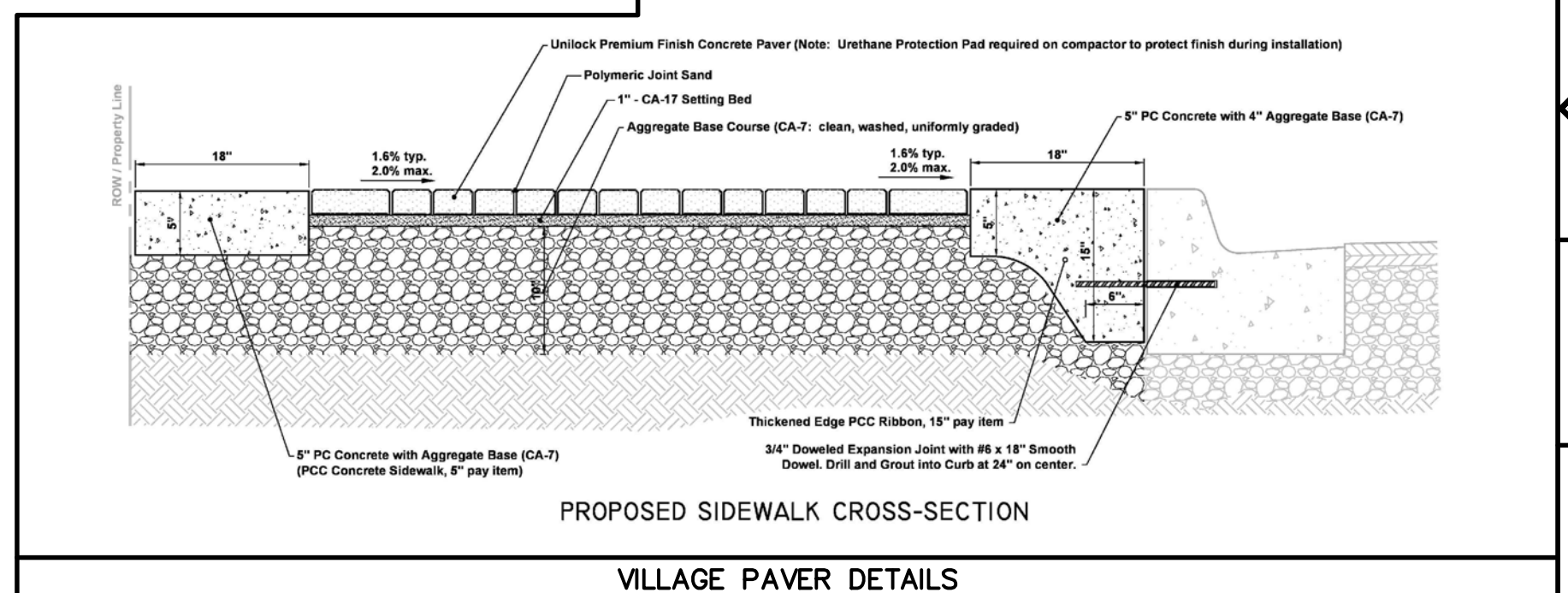
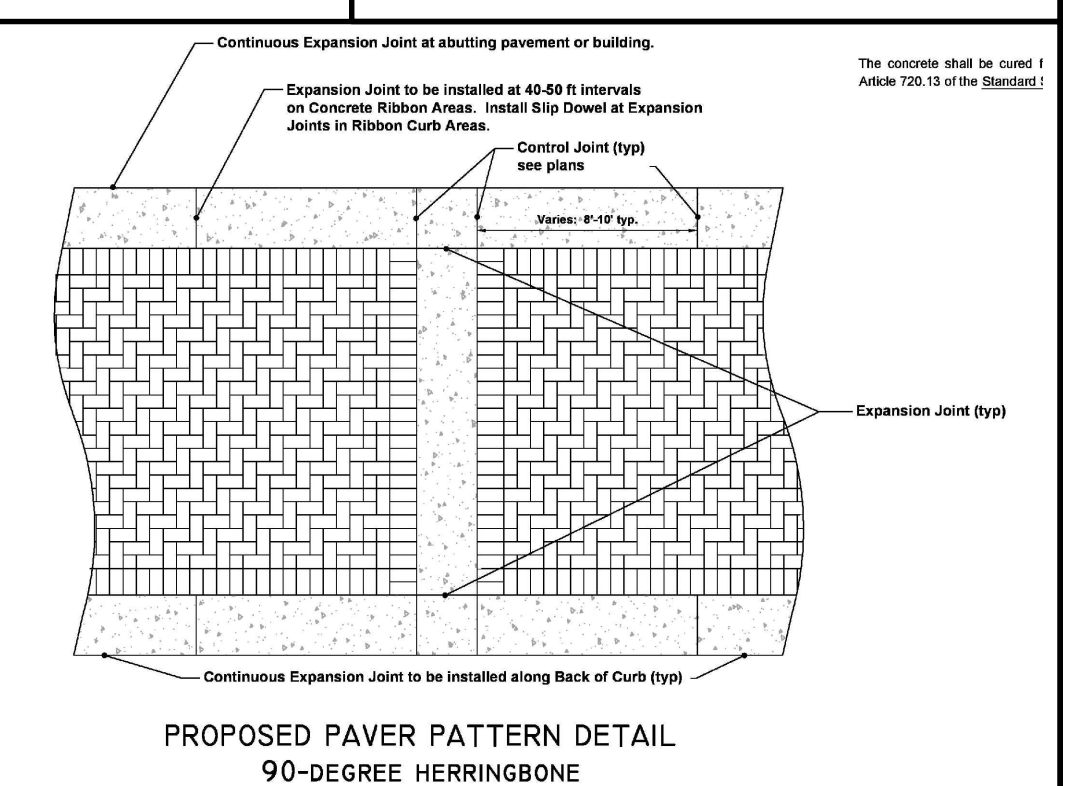
Where the sidewalk is constructed adjacent to pavement or curb having expansion joints, the expansion joints in the sidewalk shall be placed opposite the existing expansion joints or nearby as practicable. Expansion joints shall also be placed where the sidewalk abuts existing sidewalks, sidewalks, concrete driveway pavement and sidewalks, and between sidewalk and curb where the sidewalk abuts a curb.

Slip Drivets are to be installed at all expansion joint locations with concrete ribbon areas.

PLACING, FINISHING, PROTECTION AND CURING
The concrete sidewalk shall be placed and finished in accordance with Article 624.06 of the Standard Specifications for Road and Bridge Construction.

All exposed concrete surfaces shall be protected against damage by salt or other material used. The Contractor shall be responsible for protecting the concrete against vandalism until the concrete is set and cured.

The concrete shall be cured for a minimum period of three days after placement as specified in Article 726.13 of the Standard Specifications for Road and Bridge Construction.



EASTMAN STREET APARTMENTS
116-120 W. EASTMAN STREET, ARLINGTON HEIGHTS, IL
PRELIMINARY SITE DEVELOPMENT PLAN

975 E. 22nd St, Suite 400
Wheaton, IL 60189
630.480.7889
www.rwg-engineering.com

RWG Engineering, LLC
Civil Engineering • Real Estate Consulting • Project Management

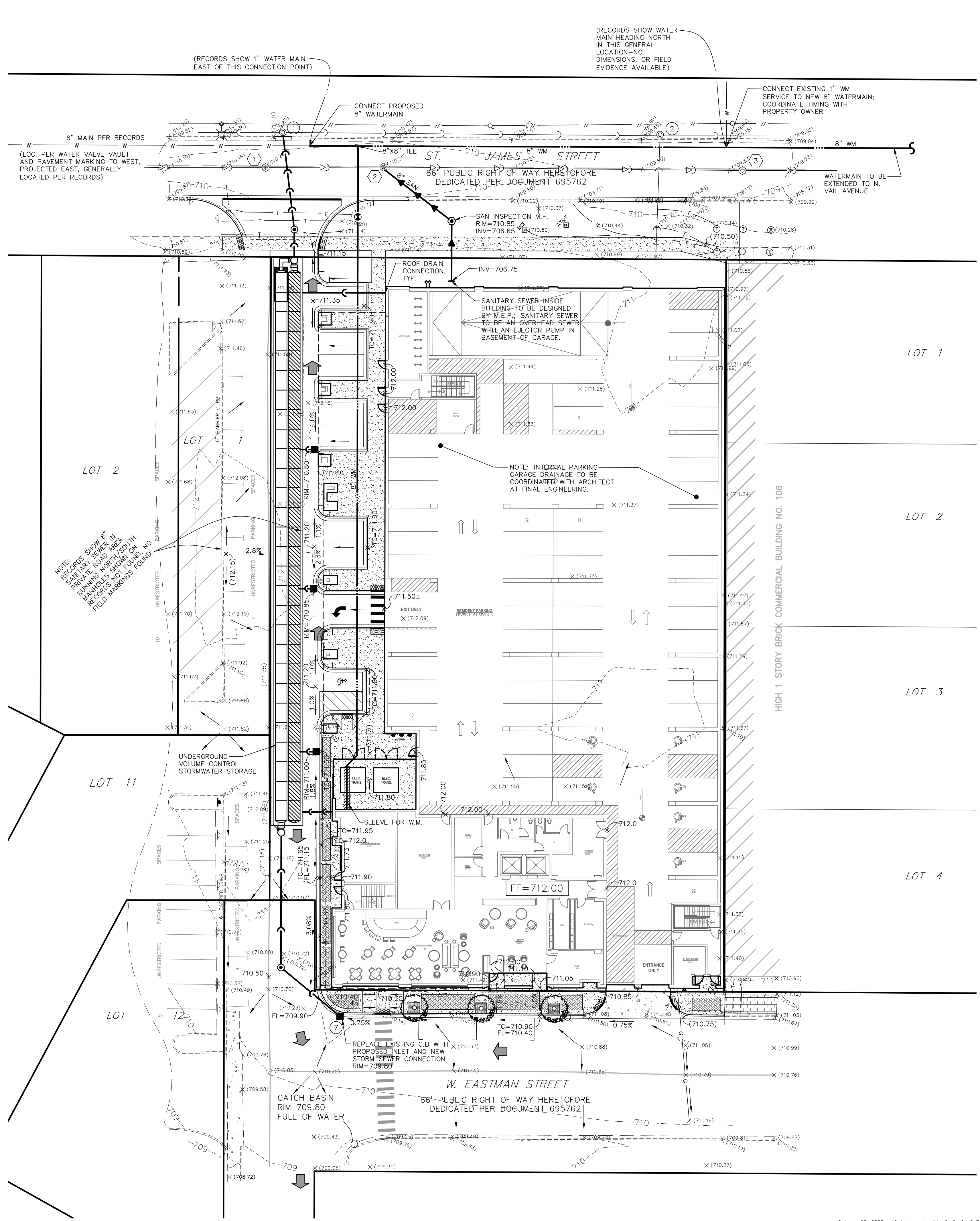
PROJECT NO. 68512022
DATE 07/31/23
SCALE 1"=20'
PROJ. MGR. MRM
PROJ. ASSOC. RWG
DRAWN BY TLM

SHEET 1 OF 2

October 27, 2023 1:15:25 p.m. AcadVer: 24.2a (LMS Tech)
Drawing: S:\68512022 - EASTMAN STREET APARTMENTS\300_ENGINEERING\310_CADD\PRELIM\685_BASE_PRELIM.DWG

DRAWN BY: TLM
REVISIONS:
1. 08/31/23 PER VILLAGE REVIEW #1
2. 10/27/23 PER VILLAGE REVIEW #2
DATE: 10/27/23

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VOLUME CONTROL STORAGE SUMMARY

VOLUME CONTROL STORAGE REQUIRED= 0.0807 AC-FT
 VOLUME CONTROL STORAGE PROVIDED= 0.0837 AC-FT
 STORM TECH SYSTEM= 3647 CF
 VV Total STORM TECH= 0.0837 AC-FT
 SEASONAL HIGH GROUND WATER LEVEL= (±) 10' DEEP ON TSC SOIL BORINGS DATED APRIL 25, 2022.

ABBREVIATIONS LEGEND (IN ADDITION TO TITLE SHEET LEGEND)

- EX = EXISTING
- PR = PROPOSED
- BC = BACK OF CURB
- FC = FACE OF CURB
- EP = EDGE OF PAVEMENT
- PL = PROPERTY LINE
- FB = FACE OF BUILDING
- EC = EDGE OF CONCRETE
- RT = RETAINING WALL
- ROW = RIGHT OF WAY
- BC/BC = BACK OF CURB TO BACK OF CURB
- RW = SIDEWALK
- SW = RADIUS
- (TYP) = TYPICAL
- DW = DEMISING WALL

EXISTING UTILITY STRUCTURE SCHEDULE

SANITARY SEWER STRUCTURES

1. SANITARY MANHOLE RIM 710.26 18" VCP W INV 700.77 18" RCP E INV 700.77	2. SANITARY MANHOLE RIM 710.35 18" VCP W INV 700.58 18" VCP E INV 700.53 18" RCP SE INV 701.36 PROP. INV=±706.00
3. SANITARY MANHOLE RIM 709.52 18" VCP E INV 700.39 8" RCP NE INV 704.17 8" RCP SE INV 704.12	

STORM SEWER STRUCTURES

1. STORM MANHOLE RIM 710.34 24" RCP W INV 696.39 24" RCP E INV 696.24 PROP. INV=±706.00	2. STORM MANHOLE RIM 709.65 24" RCP W INV 695.52 24" RCP E INV 695.35
3. CATCH BASIN RIM 710.64 10" RCP SE INV 706.79	4. STORM MANHOLE RIM 710.88 10" RCP NW INV 705.73 12" RCP W INV 705.73 15" RCP N INV 699.00 15" RCP S INV 699.18
5. STORM MANHOLE RIM 711.42 15" RCP N INV 700.03 12" PVC S INV 704.60	6. CATCH BASIN RIM 710.50 12" PVC N INV 701.15 6" PVC S INV 706.20
7. CATCH BASIN RIM 709.80 6" PVC N INV 707.75	

- 2. SANITARY STRUCTURE NUMBER
- 11. STORM STRUCTURE NUMBER
- 5. WATERMAIN STRUCTURE NUMBER

- NOTES:**
- EXISTING WATER SERVICES SHALL BE ABANDON AT THE MAIN.
 - THE EXISTING SANITARY SERVICE FOR 116 W. EASTMAN SHALL BE ABANDON.
 - THE PAVEMENT REPAIR ON ST. JAMES STREET FOR UTILITY CONNECTIONS SHALL BE FULL DEPTH AND A MINIMUM OF 5.0' WIDE.

PRELIMINARY PLAN NOTES:

- THESE PLANS ARE PRELIMINARY, FOR REVIEW ONLY, AND NOT FOR CONSTRUCTION. THE FINAL PLANS SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING MANUALS: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS; THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS; THE RECOMMENDED STANDARDS FOR SEWAGE WORKS; THE VILLAGE OF ARLINGTON HEIGHTS ORDINANCES, CODES AND DETAILS; AND THE MANUALS, CODES AND ORDINANCES REFERENCED IN THE FOLLOWING NOTES.
- THE TOPOGRAPHIC AND EXISTING UTILITY INFORMATION SHOWN HEREIN WAS PROVIDED BY GENTLE AND ASSOCIATES, INC. PLAN OF SURVEY, DATED APRIL 27, 2022.
- THE SITE PLAN SHOWN HEREIN WAS PROVIDED BY OKW ARCHITECTS. THE PLAN SHALL BE GEOMETRICALLY VERIFIED AND ADJUSTED DURING PREPARATION OF FINAL PLAN.
- ADDITIONAL SOIL EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE PROVIDED PER LOCAL ORDINANCE AND PER THE "ILLINOIS URBAN MANUAL" AT TIME OF FINAL ENGINEERING DESIGN.
- SIDEWALKS SHALL BE P.C.C. AND SHALL EXTEND THROUGH DRIVEWAY APRONS, RAMPS AT INTERSECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE "ILLINOIS ACCESSIBILITY CODE".
- PUBLIC AND PRIVATE STREETS SHALL BE P.C.C. CURB AND GUTTER WITH FLEXIBLE PAVEMENT MATERIAL.
- PAVEMENT MARKING SHALL BE RETRO-REFLECTIVE PLANT POLYMER FILM; PARKING STRIPING SHALL BE PAINT.
- PRELIMINARY STORM WATER VOLUME CONTROL HAS BEEN CALCULATED IN ACCORDANCE WITH MWRD WMO.
- SANITARY SEWER SYSTEM SHALL BE DESIGNED IN ACCORDANCE TO MWRD'S SEWER PERMIT ORDINANCE; SANITARY SEWER MAIN SHALL BE 8 INCHES IN DIAMETER AND MATERIAL SHALL BE PVC SDR 26. SANITARY SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER.
- STORM SEWER 10" IN DIAMETER OR LESS SHALL BE PVC SDR 26 OR DIP CLASS 52. STORM SEWER 12 INCHES IN DIAMETER OR LARGER SHALL BE RCP CLASS III, ASTM C-76. STORM INLET LOCATIONS MAY BE ADJUSTED DURING FINAL ENGINEERING DESIGN.
- WATER MAIN SHALL BE 8 INCHES IN DIAMETER DIP CLASS 52 UNLESS OTHERWISE NOTED.
- APARTMENT BUILDINGS SHALL HAVE INDIVIDUAL WATER, SANITARY & STORM SERVICES, AND DOWNSPOUTS SHALL CONNECT TO STORM SEWER.
- EASEMENTS SHALL BE PROVIDED FOR PUBLIC UTILITIES WHICH ARE OUTSIDE DEDICATED PUBLIC RIGHT-OF-WAYS. FINAL LOCATION SHALL BE SHOWN ON FINAL PLAN AND PLANS.
- UTILITY SIZES AND LOCATIONS SHOWN HEREIN ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE UPON FINAL ENGINEERING DESIGN.
- EXISTING UTILITIES AND PAVEMENTS REMAINING ON SITE SHALL BE REMOVED.
- ALL EXISTING TREES ON SITE SHALL BE REMOVED. A LANDSCAPE PLAN WILL BE PROVIDED BY OTHERS.
- STORM WATER DETENTION SHALL BE PROVIDED AS A FEE-IN-LIEU OF MEETING VILLAGE OF ARLINGTON HEIGHTS REQUIREMENTS.

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
PRECAST FLARED END SECTION	⊙	⊙
CONCRETE HEADWALL	⊙	⊙
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
CONSTRUCT WATER MAIN UNDER SEWER	—	—
GRANULAR TRENCH BACKFILL	—	—
STREET LIGHT	—	—
ELECTRICAL CABLE	—	—
2" CONDUIT ENCASEMENT	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	X(710.00)	X(750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
SLOPE BANK	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, WIRE OR SILT	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

REVISIONS

DATE	PER VILLAGE REVIEW #1	PER VILLAGE REVIEW #2
1. 08/21/23		
2. 10/27/23		

DATE _____

DRAWN BY TLM

TLM

EASTMAN STREET APARTMENTS
 116-120 W. EASTMAN STREET, ARLINGTON HEIGHTS, IL
 PRELIMINARY ENGINEERING PLAN

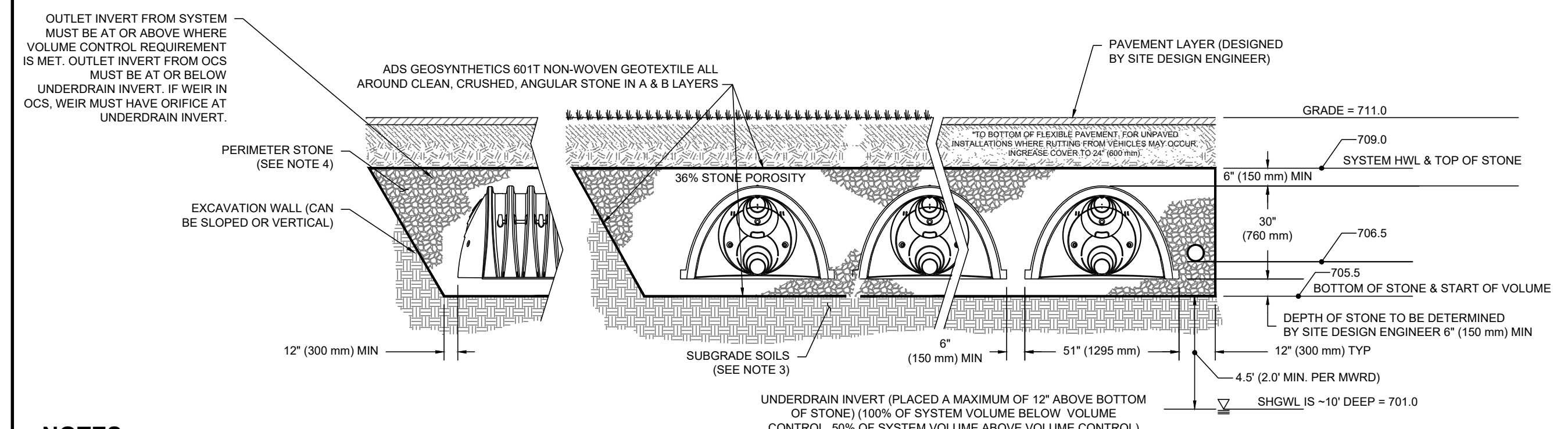
975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO. 68512022
 DATE 07/31/23
 SCALE 1"=20'
 PROJ. MGR. MSM
 PROJ. ASSOC. RWG
 DRAWN BY TLM

SHEET
 2 OF 2

VOLUME CONTROL STORAGE SYSTEM



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS-FT²/IN. THE ASC IS DEFINED IN SECTION 8.2.8 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

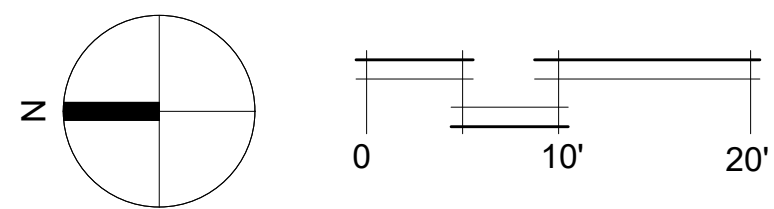
StormTech®
 Chamber System
 888-892-2694 | WWW.STORMTECH.COM

EXHIBIT D
LANDSCAPE PLANS



OVERALL LANDSCAPE PLAN

SCALE: 1" = 10'-0"



**PROPOSED MULTI-FAMILY
APARTMENT BUILDING**

Kathryn Talty
landscape architecture

Winnetka, Illinois 60093
847.612.1514
www.kmtaltdesign.com



no.	revision	description	initial	date
1	ISSUED FOR REVIEW	ISSUED FOR REVIEW	KMT	01-11-23
2	PER VILLAGE COMMENTS	PER VILLAGE COMMENTS	KMT	04-04-23
3	PER VILLAGE COMMENTS	PER VILLAGE COMMENTS	KMT	05-15-23
4	ISSUED FOR REVIEW	ISSUED FOR REVIEW	KMT	07-28-23
5	ISSUED FOR REVIEW	ISSUED FOR REVIEW	KMT	10-27-23

**ARLINGTON HEIGHTS
MULTI-FAMILY**
116 W EASTMAN ST
ARLINGTON HEIGHTS, IL

**PRELIMINARY LANDSCAPE PLAN
LANDSCAPE REQUIREMENTS**

date: 01-10-23
drawn: DW
checked: KMT

job no.
23010

sheet no.
L 1.1

Master Plant List table with columns: Symbol, Quantity, Botanical Name, Common Name, Size, Origin, Notes. Includes sections for Shade Trees, Ornamental Trees, Evergreen Shrubs, Deciduous Shrubs, and Groundcover.

GENERAL CONSTRUCTION NOTES

- 1. REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
2. BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE.
3. FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.

LANDSCAPE MAINTENANCE SPECIFICATIONS

LANDSCAPE MAINTENANCE SPECIFICATIONS
The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the project landscaping.

STANDARDS
All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.
All work shall be performed in a manner that maintains the original intent of the landscape design.

APPROVALS
Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative.

SOIL TESTING
The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results table with columns: Landscape Trees & Shrubs, Turf. Lists parameters like pH Range, Organic Matter, Magnesium, Phosphorus, Potassium, Soluble salts.

For unusual soil conditions, the following optional tests are recommended with levels not to exceed: Boron, Manganese, Potassium (K2O), Sodium.

WORKMANSHIP
During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the owner.

TURF

GENERAL CLEAN UP
Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

MOWING
Turf grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be maintained at a height of 2" to 3" in spring and fall.

EDGING
Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing.

FERTILIZING
Seasonally stepped fertilizer shall be applied in areas based on the existing turf species.

LAWN WEED CONTROL: HERBICIDES
Selection and proper use of herbicides shall be the landscape contractor's responsibility.

INSECT & DISEASE CONTROL FOR TURF
The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

PRUNING
All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes.

- 1. Prune plants that flower before the end of June (spring blooming) immediately after flowering.
2. Prune plants that flower in July - September (summer or autumn blooming) in winter or spring before new growth begins.
3. Delay pruning plants grown for ornamental flora, such as Cotoneasters and Viburnums.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as needed.

SPRING CLEANUP
Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter.

FERTILIZING
For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree.

The current recommendation is based on the rate of 1000 square feet of area under the tree to be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet.

Shrubs and groundcover shall be top-dressed with compost 1" deep or fertilized once in March with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area.

TREES, SHRUBS, & GROUND COVER (CONT.)

MULCHING
Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas.

WEEDING
All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER
The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning or physical removal of damaged plant parts will be performed as part of the contract.

NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is Insects that feed on Trees and Shrubs by Johnson and Lyon, Comstock Publishing Associates.

TRASH REMOVAL
The maintenance contractor shall remove trash from all shrub and groundcover beds with each visit.

LEAF REMOVAL
All fallen leaves shall be removed from the site in November and once in December.

WINTER CLEAN-UP
The project shall receive a general clean-up once during each of the winter months, i.e., January, February, and March.

- Clean-up includes:
- Cleaning curbs and parking areas
- Removing all trash and unwanted debris
- Turning mulch where necessary
- Inspection of grounds

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

- Perennialization of Bulbs:
1. After flowering, cut off spent flower heads.
2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded.
3. Allow leaves of other bulbs to yellow naturally and then cut off at base.

Flower Rotation:
1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner and install new plants if included in contract.

Perennials:
1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.

- 1. Clean construction debris from within landscape island areas (i.e. concrete, rocks, rubble, building materials, etc.) prior to installing island and plant material.
2. Facelift/soil leveling subgrade to a minimum 2" depth.
3. Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.

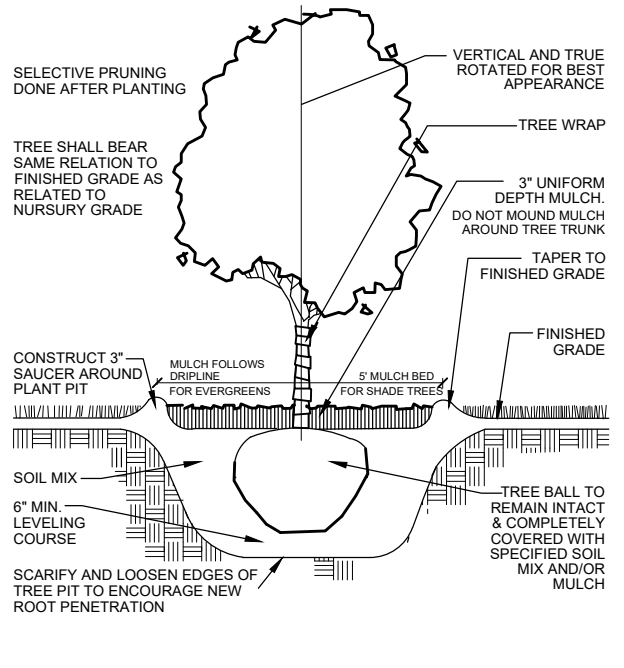
SUMMARY OF MAINTENANCE

- 1. Soil analysis performed annually to determine pH. If pH does not fall within specified range, adjust according to soil test recommendations.
2. Maintain proper fertility and pH levels of the soil to provide an environment conducive to turf vitality for turf grasses.
3. Mow turf on a regular basis and as season and weather dictates.

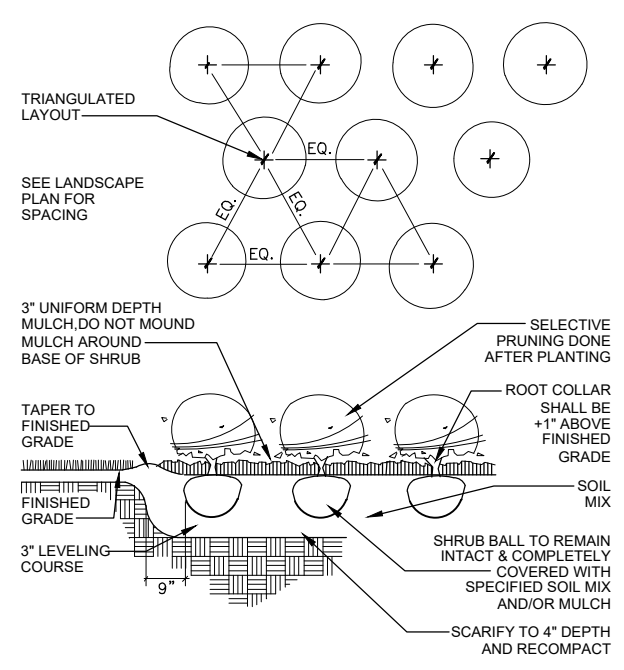
TREE, GROUND COVER AND SHRUB BED MAINTENANCE
1. Prune shrubs, trees and groundcover to encourage healthy growth and create a natural appearance.

- 1. Remove all man-made debris, blow edges.
2. Inspect grounds on a monthly basis and schedule inspection with Unit Operator.

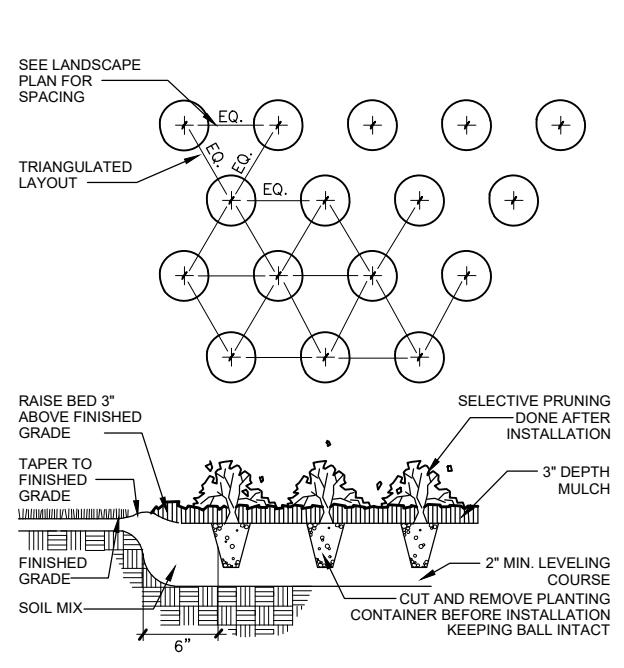
GENERAL MAINTENANCE



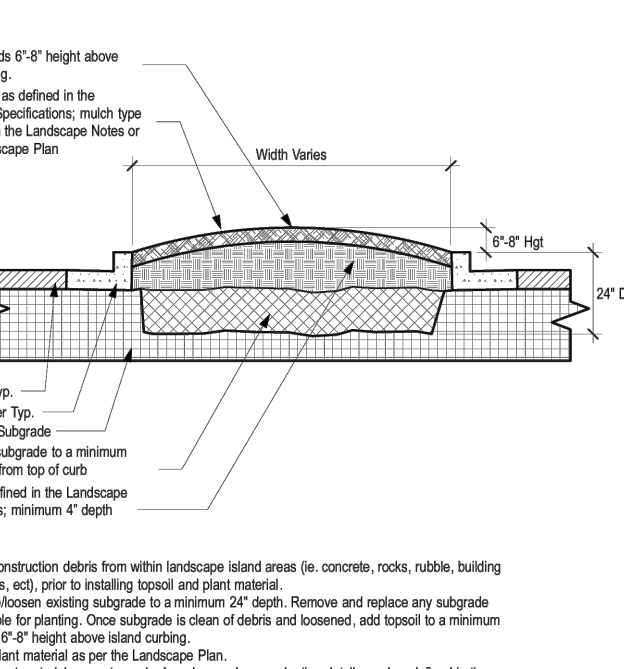
1 TREE PLANTING DETAIL L2.1 SCALE: NO SCALE



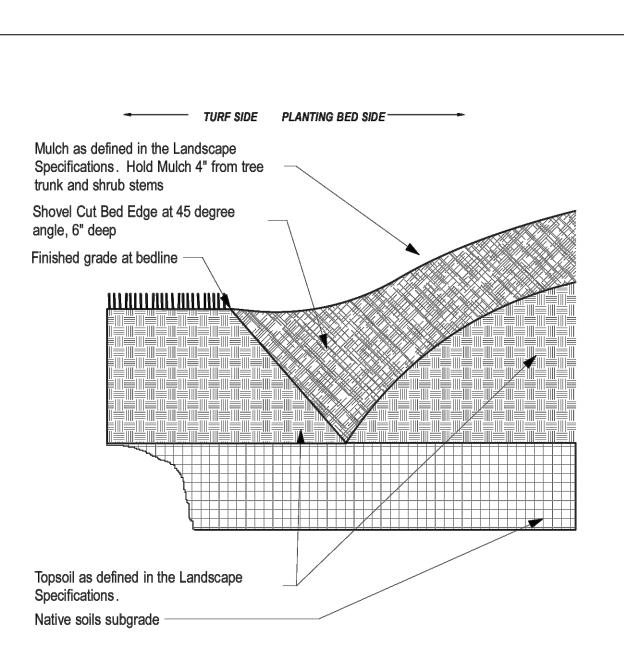
2 SHRUB PLANTING DETAIL L2.1 SCALE: NO SCALE



3 GROUND COVER DETAIL L2.1 SCALE: NO SCALE



4 PARKING LOT ISLAND L2.1 SCALE:



5 SPAED PLANTING BED EDGE L2.1 SCALE:

Kathryn Talty landscape architecture logo and contact information: Winnetka, Illinois 60093, 847.612.1514, www.krmtaltdesign.com

Revision table with columns: no., revision, description, initial, date. Shows multiple revisions for issued for review and peer village comments.

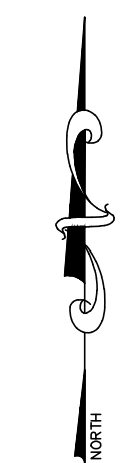
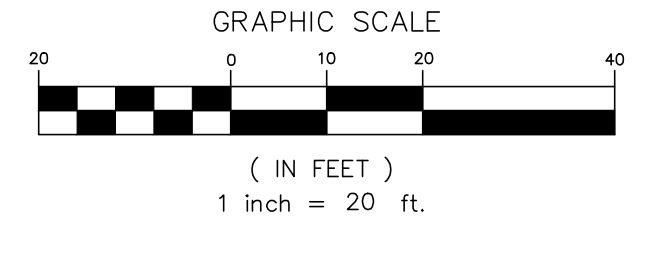
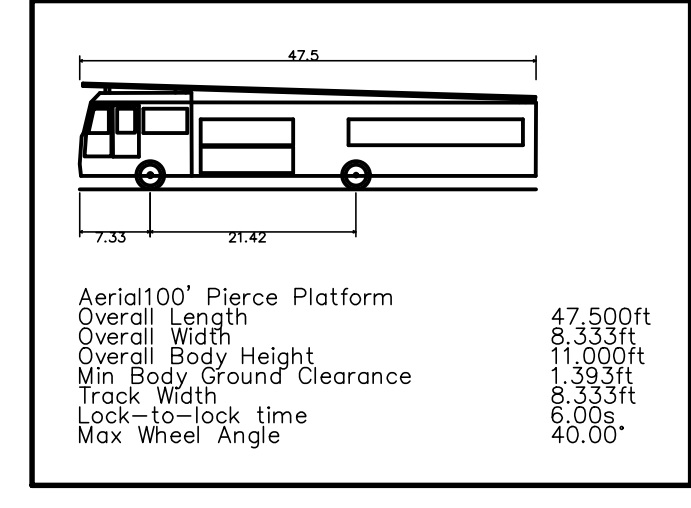
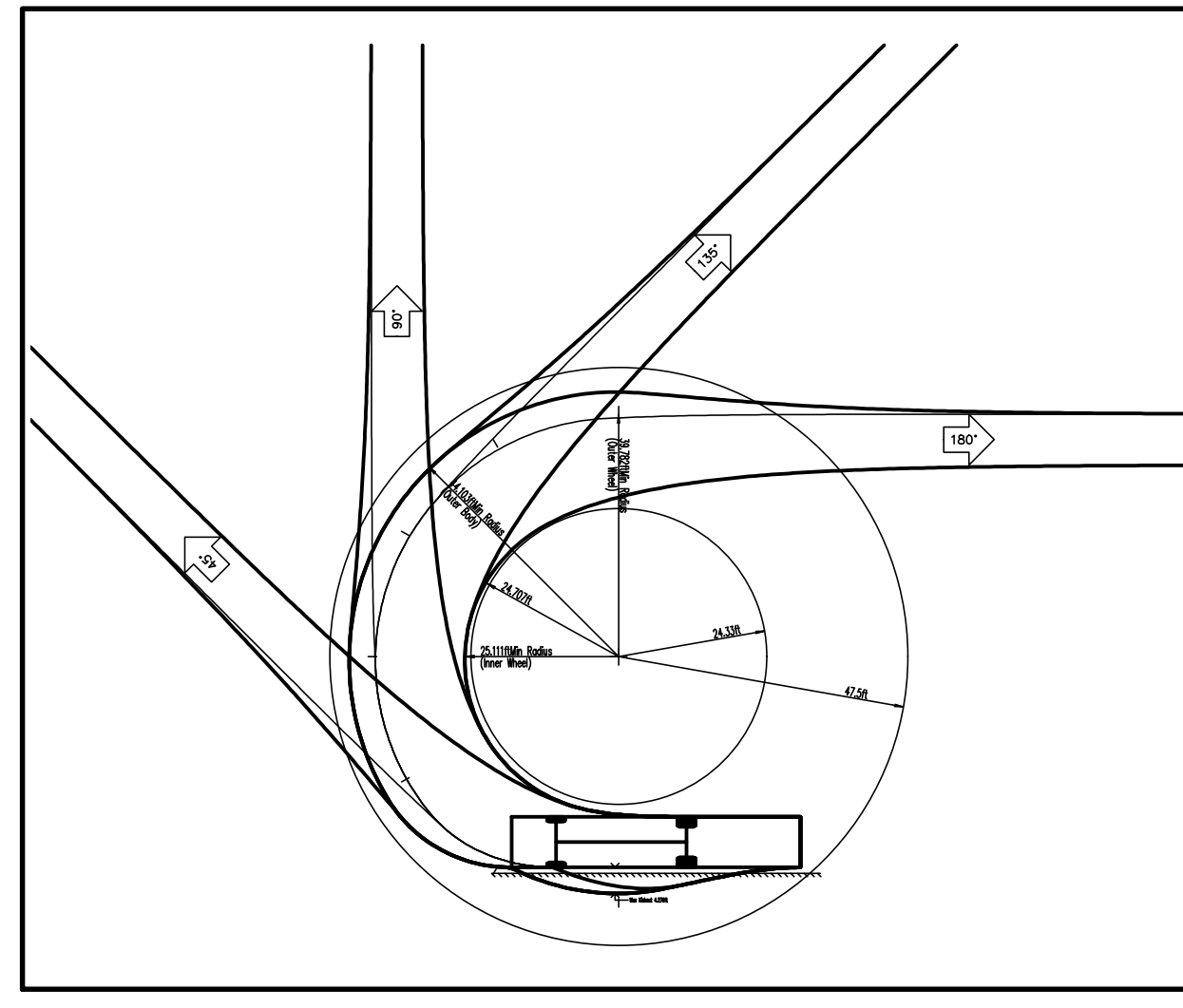
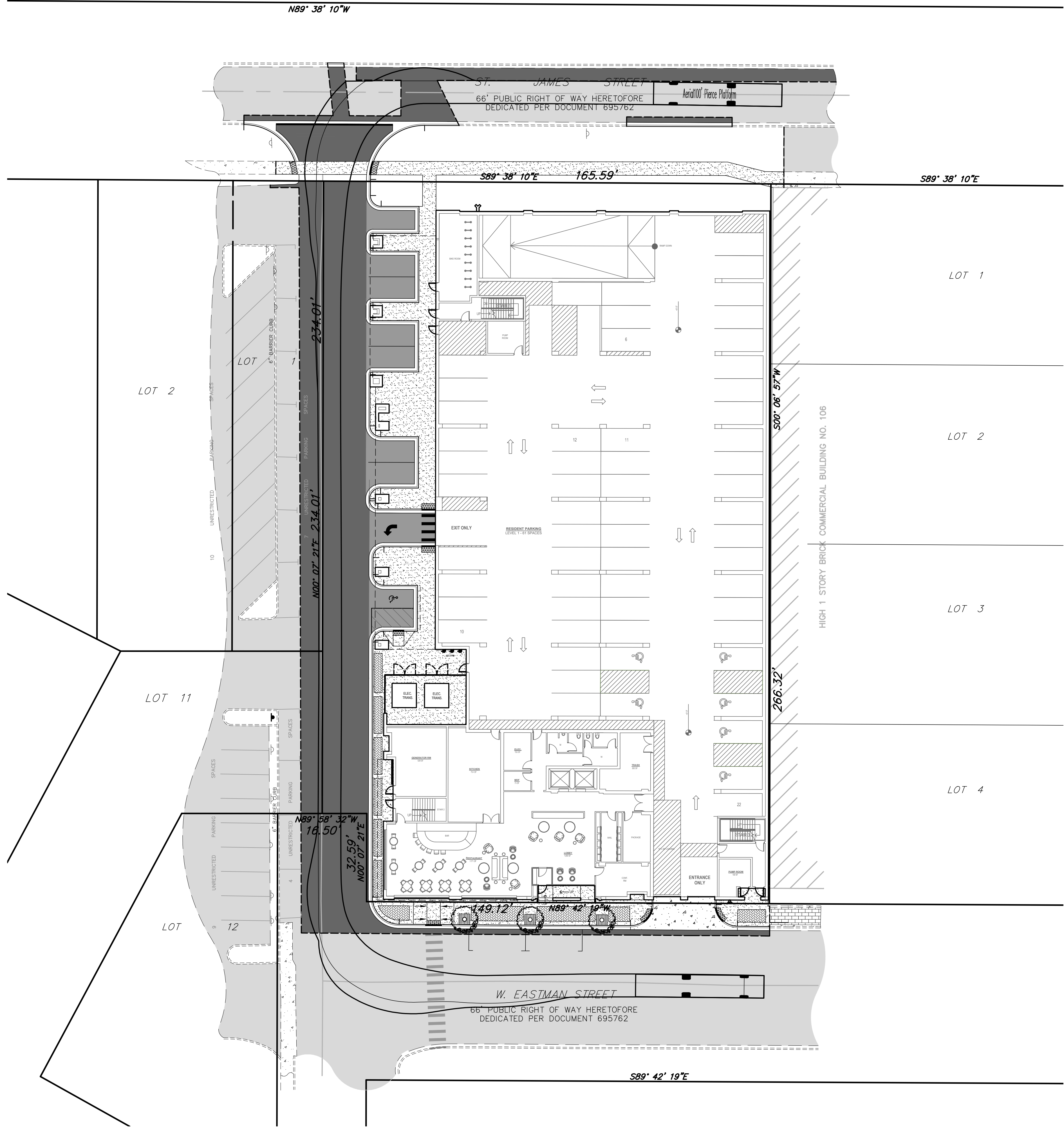
ARLINGTON HEIGHTS MULTI-FAMILY 116 EASTMAN ST ARLINGTON HEIGHTS, ILLINOIS

LANDSCAPE NOTES MASTER PLANT LIST PLANTING SPECIFICATIONS DETAILS

Project information table with fields: date (01-10-23), job no. (23010), sheet no. (L 2.1), checked (KMT).

EXHIBIT E

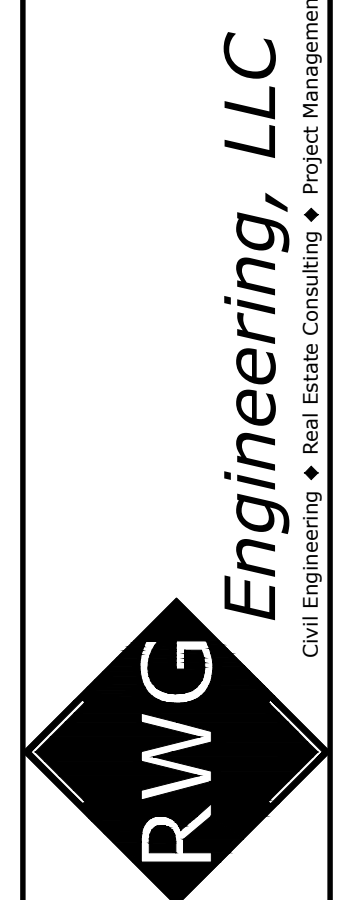
FIRE TRUCK TURNING PLANS



DATE	REVISIONS	DRAWN BY
08/23/23	PER VILLAGE REVIEW #1	TLM
10/27/23	PER VILLAGE REVIEW #2	TLM

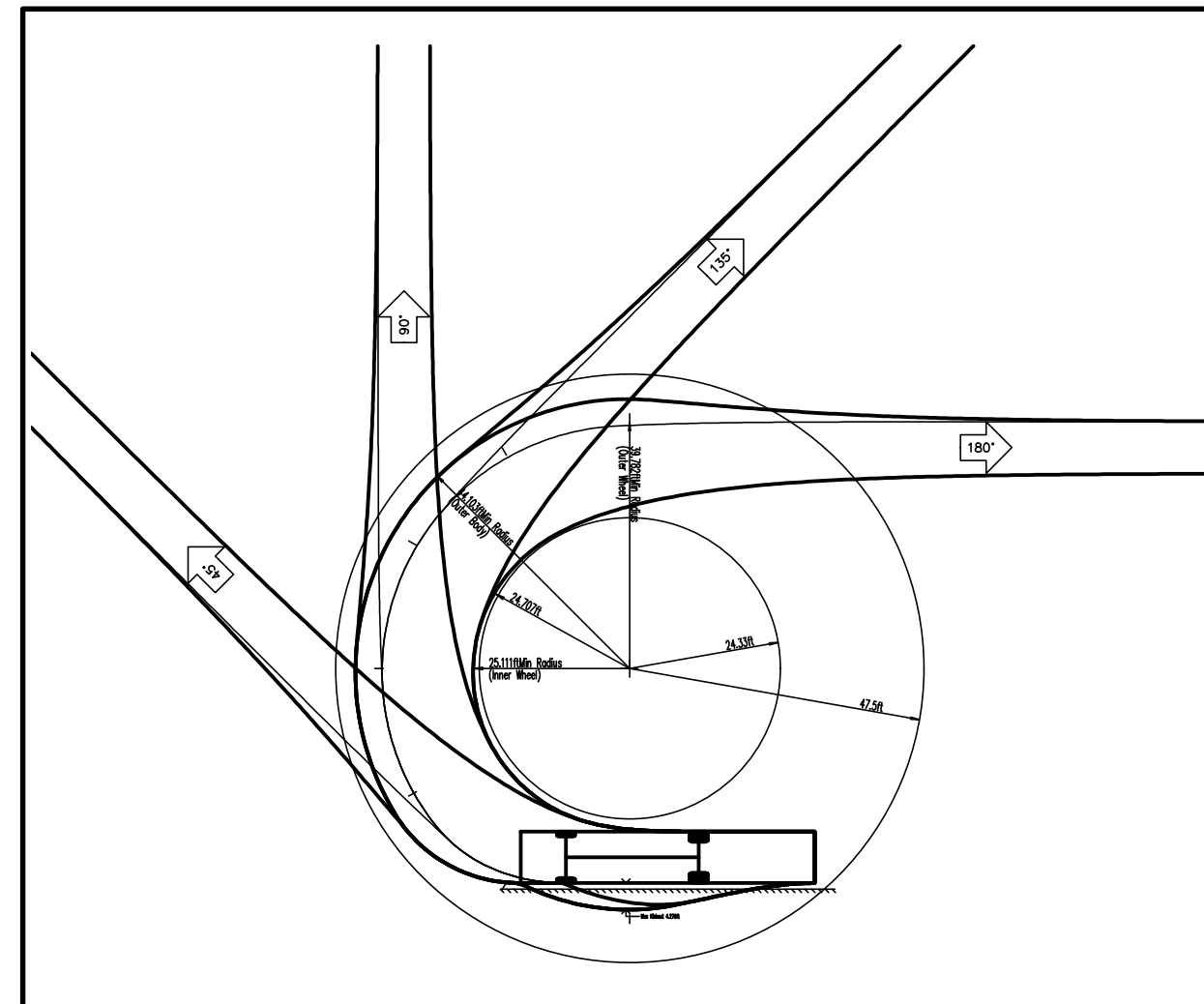
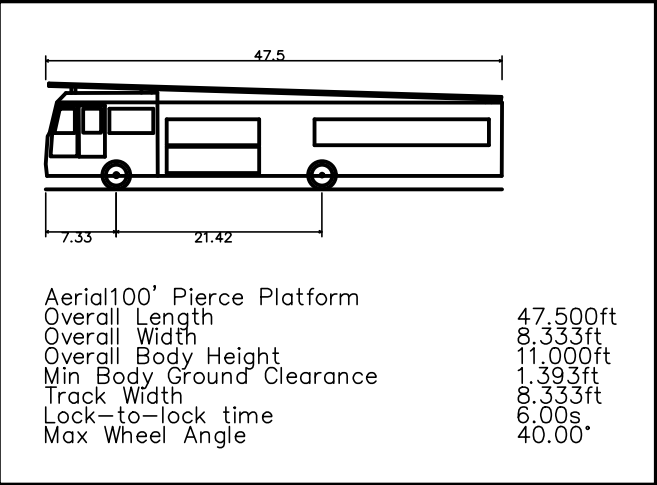
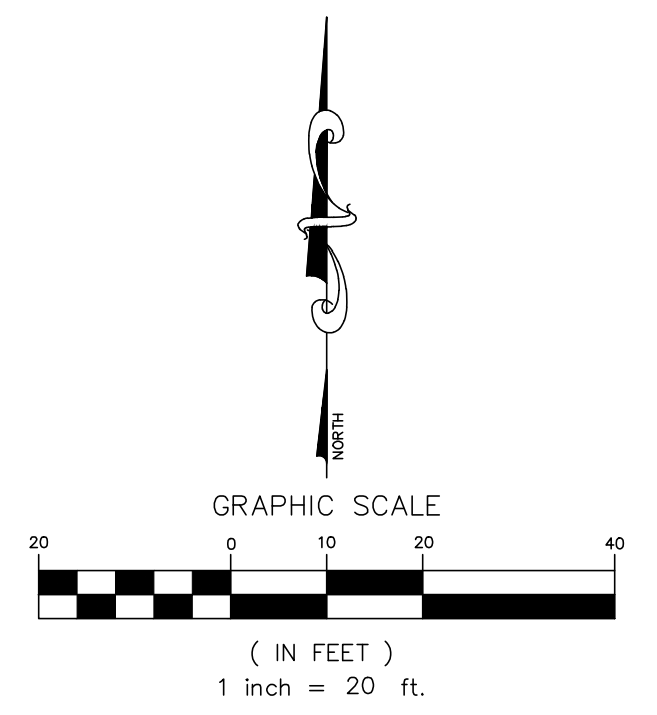
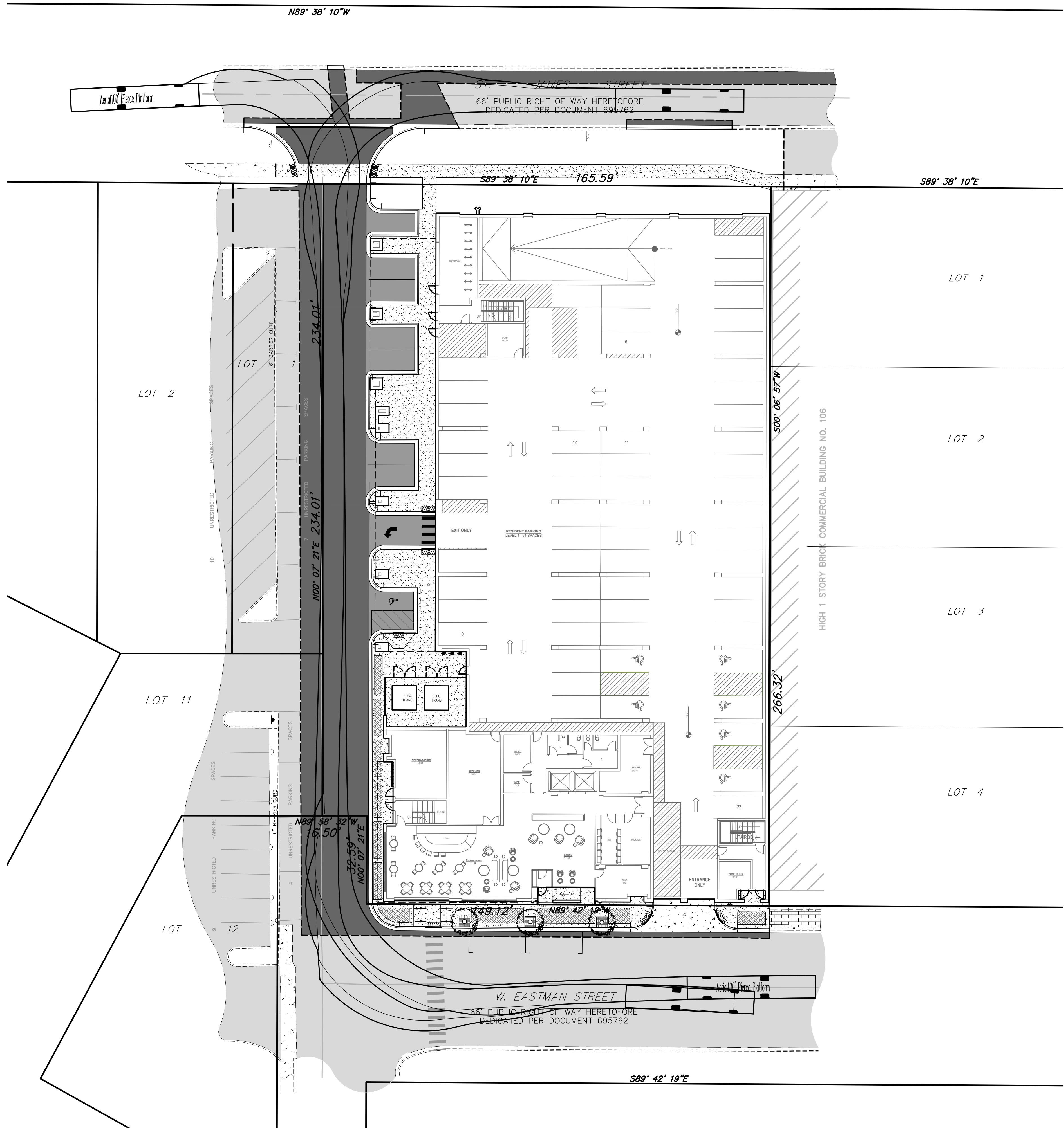
EASTMAN STREET APARTMENTS
 116-120 W. EASTMAN STREET, ARLINGTON HEIGHTS, IL
FIRE TRUCK MANEUVERING PLAN

975 E. 22nd St, Suite 400
 Winneton, IL 60189
 630.480.7889
 www.rwg-engineering.com



PROJECT NO. 68512022
 DATE 07/31/23
 SCALE 1"=20'
 PROJ. MGR. MSM
 PROJ. ASSOC. RWG
 DRAWN BY TLM

SHEET
1 OF 2



DATE	REVISIONS	DRAWN BY
08/31/23	PER VILLAGE REVIEW #1	TLM
10/27/23	PER VILLAGE REVIEW #2	TLM

EASTMAN STREET APARTMENTS
116-120 W. EASTMAN STREET, ARLINGTON HEIGHTS, IL
FIRE TRUCK MANEUVERING PLAN

975 E. 22nd St, Suite 400
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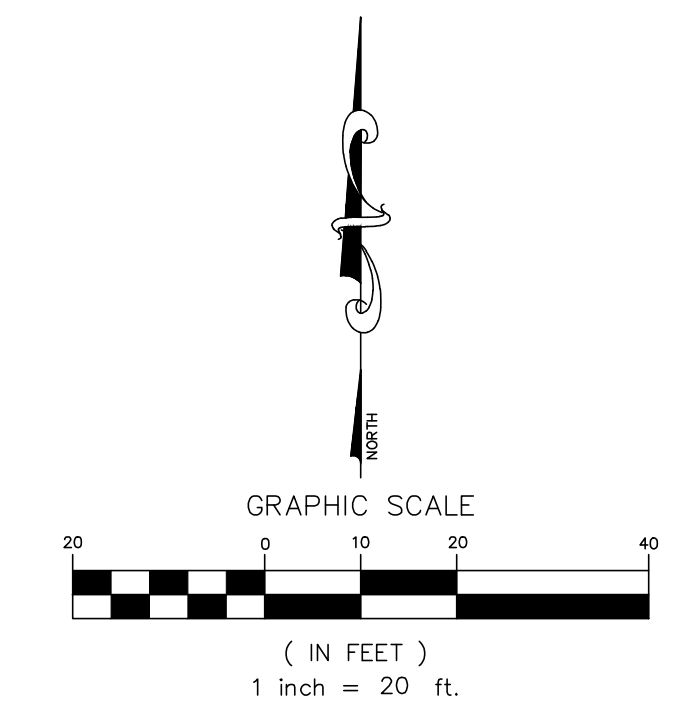
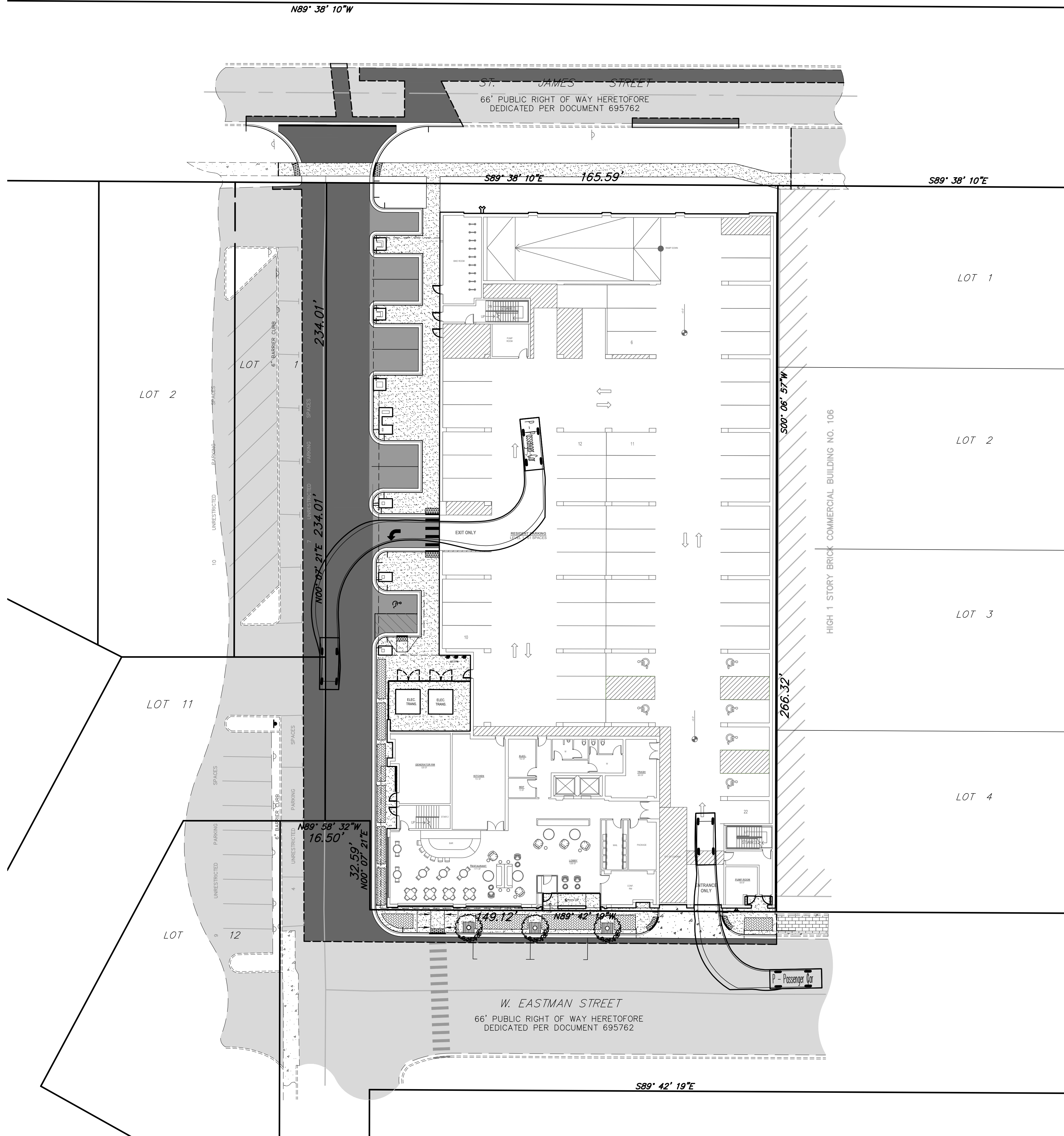
RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO. 68512022
 DATE 07/31/23
 SCALE 1"=20'
 PROJ. MGR. MSM
 PROJ. ASSOC. RWG
 DRAWN BY TLM

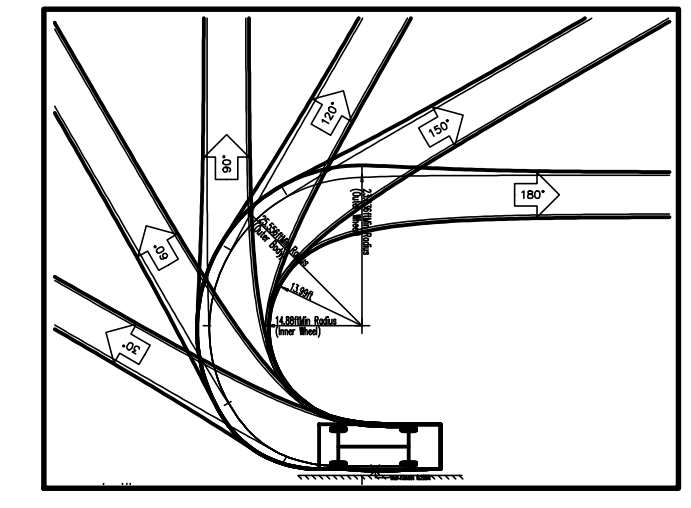
SHEET
2 OF 2

EXHIBIT F

VECHILE TURNING PLANS



	P - Passenger Car	19,000ft
	Overall Length	7,000ft
	Overall Width	4,300ft
	Min. Body Height	1.15ft
	Track Width	6,000ft
	Lock-to-lock time	4.00s
	Max Steering Angle (Virtual)	31.60°



DATE	REVISIONS	DRAWN BY
08/23/23	PER VILLAGE REVIEW #1	TLM
10/27/23	PER VILLAGE REVIEW #2	TLM

EASTMAN STREET APARTMENTS
116-120 W. EASTMAN STREET, ARLINGTON HEIGHTS, IL
PASSENGER CAR MANEUVERING PLAN

975 E. 22nd St, Suite 400
Winneton, IL 60189
630.480.7889
www.rwg-engineering.com



PROJECT NO. 68512022
DATE 07/31/23
SCALE 1"=20'
PROJ. MGR. MSM
PROJ. ASSOC. RWG
DRAWN BY TLM

SHEET
1 OF 1

EXHIBIT G
RENDERINGS

VIEW FROM NORTHWEST HWY



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

01

VIEW FROM ST. JAMES ST.



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

VIEW FROM ST. JAMES ST.



Height: 79'-0"
Setback: 50'-3"

Height: 55'-8"
Setback: 20'-0"

Height: 70'-8"
Setback: 20'-0"

Height: 17'-4"
Setback: 10'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

VIEW FROM ST. JAMES ST.

PREVIOUS DESIGN OUTLINE



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

VIEW FROM HIGHLAND AVE.



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

05

VIEW FROM POOL DECK



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

EASTMAN AVE. ENTRANCE



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

VISIBILITY FROM FREMONT ST.

LATE FALL - LEAFLESS TREES



SUMMER MONTHS - NO VISIBILITY



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



ARLINGTON HEIGHTS MULTI-FAMILY

116 EASTMAN STREET
ARLINGTON HEIGHTS, ILLINOIS 60004
NOVEMBER 28, 2023 Project #: 22008

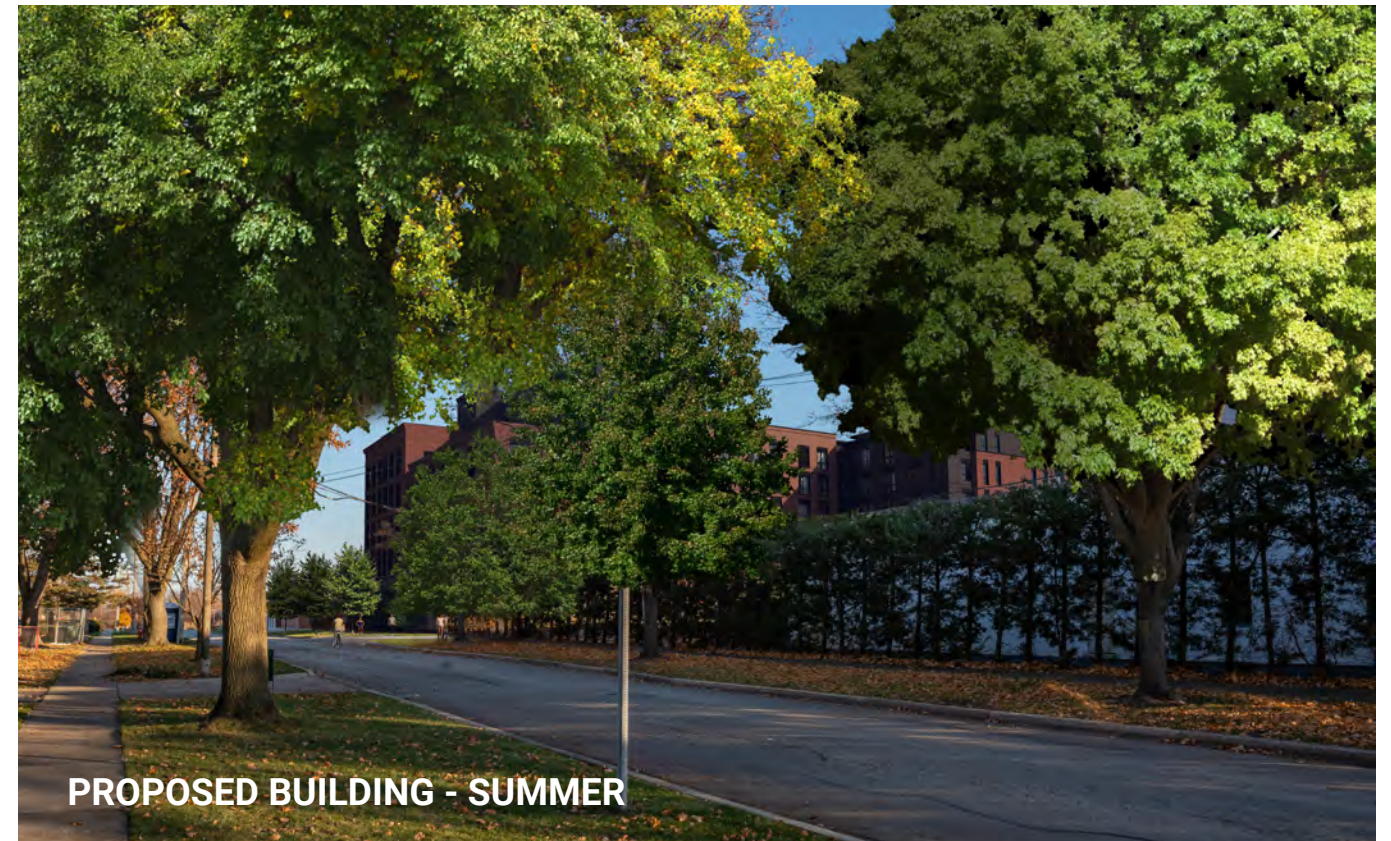
VISIBILITY FROM ST. JAMES ST.



EXISTING BUILDING - FALL



PROPOSED BUILDING - FALL



PROPOSED BUILDING - SUMMER

EXHIBIT H

PARKING LOT PHOTOMETRIC PLANS

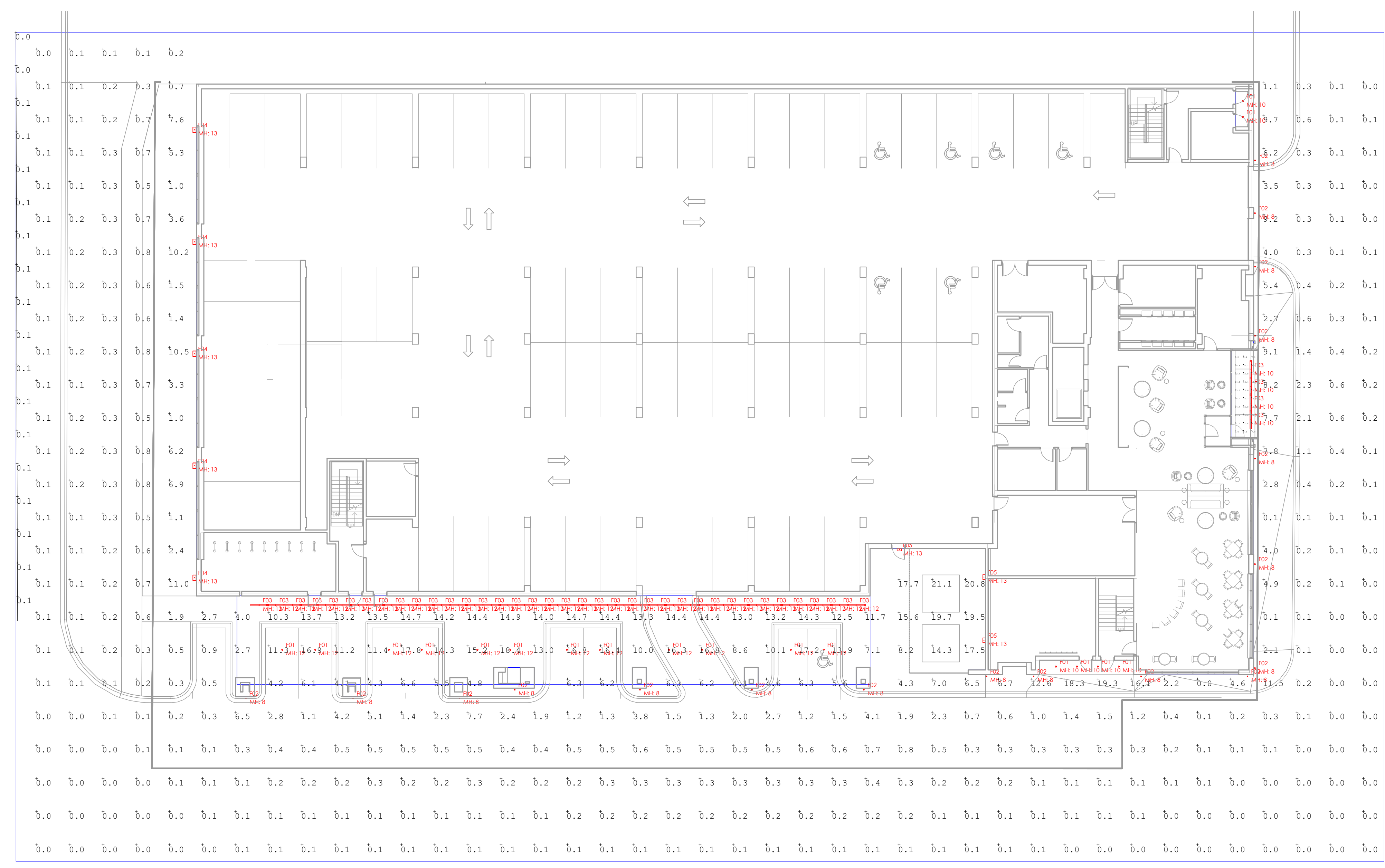


NOTES	
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.	
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.	
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.	
RENDER IMAGES ARE NOT TO SCALE AND PROVIDED SOLELY TO ILLUSTRATE CONTRAST	

Luminaire Schedule								
Symbol	Qty	Tag	Manufacturer	Label	Arrangement	Total Lamp Lumens	LLF	Description
	18	F01	LEDRA BRANDS	NU4-RD-SW-20LM-30K-80-HET60-WH-WH	Single	N.A.	0.900	NU4-RD-SW-20LM-30K-80-HET60-WH-WH
	18	F02	Insight Lighting	SSM_MO_40k_55	Single	N.A.	0.450	SSM_MO_40k_55°_WM_UNV_DIM
	41	F03	Focal Point, LLC	FSM4LWLS-AS-275LF-35K-1C-UNV-	Single	N.A.	0.900	FSM4LWLS-AS-275LF-35K-1C-UNV-XXX-XX-XX-WH-4FT
	5	F04	BEACON - HOL - CURRENT	RFL3-90L-50-4K7-M-UNV-K-FINISH	Single	N.A.	0.900	RFL3-90L-50-4K7-M-UNV-K-FINISH
	3	F05	BEACON - HOL - CURRENT	TRP2-D-50-4K7-FT	Single	N.A.	0.900	TRP2-D-50-4K7-FT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Asphalt_Planar	Illuminance	Fc	2.56	21.1	0.0	N.A.	N.A.
Pedestrian Ramp	Illuminance	Fc	N.A.	N.A.	N.A.	N.A.	N.A.
RESIDENTIAL PROP LINE	Illuminance	Fc	0.09	0.1	0.0	N.A.	N.A.

LIGHTING SCHEDULE AND SUMMARY: NTS



SITE ILLUMINATION CALC - 1/16" = 1'-0"

DRAWN BY:
ERIC SISCO
eric.sisco@pg-enlighten.com
913.488.3072

PG CONTACT:
BRADY SCHENKEL
brady.schenkel@pg-enlighten.com
260.519.0867

REV1	REV2	REV3
1	2	3

REVISIONS

PROJECT NAME:
ARLINGTON HEIGHTS MULTI-FAMILY

CLIENT NAME:
OKW Architects

LIGHT FIXTURE SCHEDULE

REFER TO PRODUCT SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION - **SPECIFIER TO CONFIRM PRODUCT NUMBERS**

TYPE	DESCRIPTION	MANUFACTURER	PRODUCT NUMBER	WATTS	DIMMING TYPE	NOTES	CONTACT PERSON
F01	4" Recessed Round	Alphabet EcoNU 4" RD	NU4-RD-SW-20LM-4K-80-HET60-WH-WH-IC -UNV-DIM10 https://alphabetlighting.com/home/product/nu4rd/	16	0-10V		BRADY SCHENKEL brady.schenkel@pg-enlighten.com 260-519-0867
F02	Sconce	Insight Lighting Scope Medium Sconce	SSM-DN-LO-NA-NA-4k-55°-WM-UNV-DIM- TBL https://insightlighting.com/products/scope-medium-sconce-w/	10	0-10V	FINSISH - Per Arch	BRADY SCHENKEL brady.schenkel@pg-enlighten.com 260-519-0867
F03	4" Wet surface Asymetric Linear	Focal Point Seem 4	FSM4LWLS-AS-275LF-4K-1C-UNV-LD1-SM-WH- LENGTH https://www.focalpointlights.com/products/surface-mount-suspended-linear/seem-4-led-direct-suspend	2.4 / FT	0-10V	LENGTH - Per drawings	BRADY SCHENKEL brady.schenkel@pg-enlighten.com 260-519-0867
F04	Area Flood	BEACON - HOL - CURRENT RFL3 Ratio Floodlight	RFL3-90L-50-4K7-M-UNV-K- BLT https://www.currentlighting.com/outdoor-lighting/rfl2-ratio-floodlight/3236081	50	0-10V	FINSISH - Per Arch	BRADY SCHENKEL brady.schenkel@pg-enlighten.com 260-519-0867
F05	Wall Area Flood	BEACON - HOL - CURRENT TRP2 GeoPak	TRP2-D-50-4K7-FT-UNV- BL https://www.currentlighting.com/outdoor-lighting/trp2-geopak/2518916#documents	50	0-10V	FINSISH - Per Arch	BRADY SCHENKEL brady.schenkel@pg-enlighten.com 260-519-0867

GENERAL NOTES

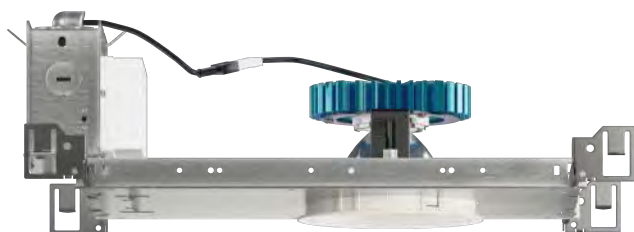
CONTRACTOR TO VERIFY QUANTITIES & LENGTH AND VERIFY FIELD AND SPECIFIED INFORMATION AS REQUIRED
 SCHEDULE IS PROVIDED FOR REFERENCE ONLY – SEE ISSUED CONTRACT DRAWING SET FOR FINAL INFORMATION
 ALL MOUNTING LOCATIONS AND CONDITIONS PER ARCHITECTURAL SET
 CATALOG NUMBERS IN **RED** TO BE CONFIRMED BY PURCHASER AND MAY ALTER PRICING OR LEAD TIMES
 INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE FROM MANUFACTURERS



alphabet

NU4

4" Round Downlight Standard White



Trim



Trimless



Trimless Millwork

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

30° - 70° BEAM (Note: Specifications are subject to change without notice)		
14mm COB PERFORMANCE DATA		
LED LIGHT ENGINE	NOMINAL DELIVERED LUMENS	SYSTEM WATTAGE
10LM	800LM @30K/80CRI	9W
15LM	1200LM @30K/80CRI	14W
20LM	1600LM @30K/80CRI	16W
25LM	2000LM @30K/80CRI	20W
30LM	2400LM @30K/80CRI	24W
35LM	2620LM @30K/80CRI	28W
40LM	3000LM @30K/80CRI	32W
10LM	670LM @30K/90/CRI	9W
15LM	1010LM @30K/90/CRI	14W
20LM	1350LM @30K/90/CRI	16W
25LM	1700LM @30K/90/CRI	20W
30LM	2020LM @30K/90/CRI	24W
35LM	2210LM @30K/90/CRI	28W
40LM	2500LM @30K/90/CRI	32W
Notes	Delivered lumens based on WH70 optic with no lens, (see page 2)	

10° BEAM (Note: Specifications are subject to change without notice)		
9mm COB PERFORMANCE DATA		
LED LIGHT ENGINE	NOMINAL DELIVERED LUMENS	SYSTEM WATTAGE
10LM	740LM @30K/80CRI	9W
15LM	1145LM @30K/80CRI	14W
20LM	1525LM @30K/80CRI	16W
25LM	1900LM @30K/80CRI	20W
30LM	2285LM @30K/80CRI	24W
10LM	620LM @30K/90/CRI	9W
15LM	960LM @30K/90/CRI	14W
20LM	1280LM @30K/90/CRI	16W
25LM	1605LM @30K/90/CRI	20W
30LM	1900LM @30K/90/CRI	24W
Notes	Delivered lumens based on S10 optic with no lens, (see page 2)	



FEATURES

- Thermally optimized for LED longevity
- 3/4" bezel regress with 1/16" micro flange
- 10° - 70° optical beam control
- UGR < 15
- Multiple mounting, glare control options, trims, and finishes available

DIMMING AND CONTROLS

- eldoLED flicker free 0-10V dimming to 0% and 1%
- eldoLED flicker free DALI dimming to 0% and 1%
- DMX dim to zero
- Lutron Hi-lumen 2-Wire (Triac and Eco System) dimming
- Leading & trailing edge (Triac/ELV) dimming to 1%
- Casambi bluetooth dimming to 0.1%
- NLight control interface dimming to 0%

CONSTRUCTION

- Lexan™ (PC) highly resistant to impact and heat (240°F)
- Optimal material for wireless BLE signal connectivity
- Shatter proof acrylic bezel lens
- Electrocoated 16-gauge cold-rolled steel construction
- Accommodates ceiling thickness from 1/8" to 1-5/8"

LED

- 90 CRI: SDCM = 2-step MacAdam Ellipse, Lumen Maintenance: L₇₀ > 66,000 hrs
- 80 CRI: SDCM = 2-step MacAdam Ellipse, Lumen Maintenance: L₇₀ > 66,000 hrs

LISTING

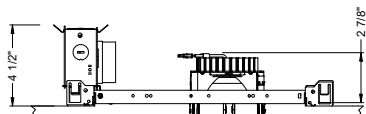
- ULus Listed to UL1598 & UL2108; cUL Listed to CSA C22.2 #250.0
- IP65 with lens - Suitable for wet locations with lens - Suitable for damp locations without lens
- Non-conductive, dead-front construction (shower approved)
- Made in the USA - meets the requirements of the Buy American provision within the ARRA
- NSF/ANSI-2 with lens (Non-Food and Splash Zones)
- 5 Year Limited warranty

ELECTRICAL

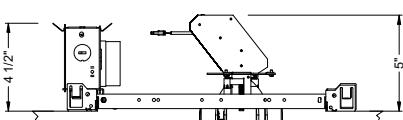
- 120V-277V, 120 only Triac / ELV
- Power factory ≥ 0.9
- 2kV driver input surge protection
- Remote and Integral (ITS) emergency test switch
- 7W, 10W (T20 CEC) and 12W EM 90min battery
- Max. ambient installation temperature 95°F (35°C)

FIXTURE HEIGHT

10LM-30LM LOW LUMENS



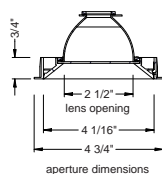
40LM HIGH LUMENS



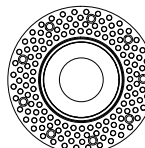
TRIMMED



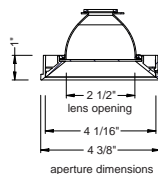
ceiling cutout
4-3/8" diameter
ceiling thickness
1/8" to 1-5/8"



TRIMLESS



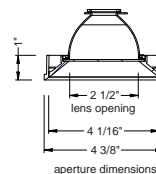
ceiling cutout
4-1/2" diameter
ceiling thickness
3/8" to 1-3/4"



MILLWORK



ceiling cutout
4-3/8" diameter
ceiling thickness
1/2" to 1-3/4"



alphabet

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

30°- 70° BEAM ORDERING CODE

SERIES	NU4	NU4
TYPE	RD	round downlight
	RDT	round downlight trimless
	RDTMW	round downlight trimless millwork
LED	SW	standard white
DELIVERED LUMENS	10LM	800 lm
	15LM	1200 lm
	20LM	1600 lm
	25LM	2000 lm
	30LM	2400 lm
	35LM	2800 lm
	40LM	3000 lm
Standard Configuration: 3000K 80CRI WH70		
Calculated Delivered Lumens = [Delivered Lumen Value] x [CCT Multiplier] x [Reflector Multiplier]		
CCT	27K	2700K
	30K	3000K
	35K	3500K
	40K	4000K
CRI	80	80 CRI
	90	90 CRI
OPTIC & LM MULTIPLIER SEE PAGE 4	HE40	40° high efficiency diffused lens (0.96)
	HE60	60° high efficiency diffused lens (0.96)
	HE70	70° high efficiency diffused lens (0.92)
	HET30	30° high efficiency textured lens, similar to Solite™ (0.97)
	HET40	40° high efficiency textured lens, similar to Solite™ (0.87)
	HET60	60° high efficiency textured lens, similar to Solite™ (0.92)
	HET70	70° high efficiency textured lens, similar to Solite™ (0.97)
	SS30	30° semi-specular with clear lens (0.90)
	SS40	40° semi-specular with clear lens (0.82)
	SS60	60° semi-specular with clear lens (0.94)
	D40	40° diffused with clear lens (0.86)
	D50	50° diffused with clear lens (0.90)
	D60	60° diffused with clear lens (0.90)
WH70	70° brilliant white with clear lens (1.00)	
10° narrow beam angle, see page 3 for details.		
ACCESSORY SEE PAGE 4	HCL ¹	honeycomb louver
	Attached to bezel	
BEZEL LENS SEE PAGE 4	NL ^{2,3}	no lens (1.00)
TRIM COLOR SEE PAGE 4	BK	black
	WH	white
	MC	matte chrome
	BZ	bronze
	WT	wheat
Not applicable to trimless option. Do not include in trimless ordering code.		
BEZEL COLOR SEE PAGE 4	BK	black (0.98)
	WH	white (1.00)
	MC	matte chrome (0.99)
	BZ	bronze (0.98)
	WT	wheat (0.99)

30°- 70° BEAM ORDERING CODE

MOUNTING OPTIONS SEE PAGE 7, 8	NC	new construction with ceiling fitting plate
	IC ⁴	insulation contact housing
	ICAT ⁴	insulation contact/airtight housing
	CP ⁴	chicago plenum housing
	RET	retrofit, no ceiling fitting plate
VOLTAGE	I20	120V
	UNV	120V-277V
DIMMING	DIM10	eldoLED flicker free 0-10V dimming to 1%
	DIM10Z	eldoLED flicker free 0-10V dimming to 0%
	DALI	eldoLED flicker free DALI dimming to 1%
	DALIZ	eldoLED flicker free DALI dimming to 0%
	DMXZ	DMX dim to zero
	LTE ⁵	Lutron Hi-lume 2-Wire (Triac) dimming to 1%
	LUT	Lutron Hi-lume Ecosystem dimming to 1%, Soft-on & Fade-to-Black
	LUTP ⁶	Lutron Hi-lume Premier Ecosystem dimming to 0.1%, Soft-on & Fade-to-Black
	ELV ⁵	leading & trailing edge (Triac/ELV) dimming to 1%
	NLT	nLight control interface: standard Cat-5/RJ45 connection (female), dimming to 0%
CAS	Casambi Bluetooth control with flicker free 0.1% dimming	
ELECTRICAL OPTIONS	EM7 ⁷	emergency battery backup, 90 minutes at 7W to LED
	EM12 ^{7,8}	emergency battery backup, 90 minutes at 12W to LED
	EM10CA20 ⁷	remote emergency battery backup, 90 minutes at 10W to LED, CA title 20

ADDITIONAL MOUNTING INFO

New Construction Bar Hangers (included)	Mounting Length: 14-3/4" to 26"
Extension Kit p/n: K20266 (ordered separately, 1 per fixture)	Extends a pair of Bar Hangers Total Mounting Length: 29" to 48"

YOUR COMPLETED ORDERING CODE

Follow the steps to specify your fixture, example:
NU4 - RD - SW - 20LM - 35K - 90 - D40 - NL - WH - WH - NC - UNV - DIM10 - EM7

NOTES

- HCL not available with lens. Multiplier: Delivered Lumens (0.78) / Beam Spread (0.80).
- NL option does not meet requirement for AT/DF/WET/NSF listings.
- NL option available for SS30/SS40/SS60/D40/D50/D60/WH70.
- IC/ICAT/CP not available in 35LM/40LM.
- ELV/LTE (120V) not available 10LM.
- LUTP not available in 25LM/30LM/40LM.
- For integrated test switch add "ITS" after emergency backup code, i.e. EM12ITS. Test switch is mounted in the bezel of the fixture.
- EM12 not available in 10LM.

*EldoLED uses logarithmic dimming curve as standard. For linear dimming curve, add "LIN" after dimming code, i.e. DIM10LIN.

alphabet

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

10° BEAM ORDERING CODE		
SERIES	NU4	NU4
TYPE	RD RDT RDTMW	round downlight round downlight trimless round downlight trimless millwork
LED	SW	standard white
DELIVERED LUMENS	10LM 15LM 20LM 25LM 30LM	740 lm 1145 lm 1525 lm 1900 lm 2285 lm
Standard Configuration: 3000K 80CRI S10 Calculated Delivered Lumens = [Delivered Lumen Value] x [CCT Multiplier] x [Reflector Multiplier]		
CCT	27K 30K 35K 40K	2700K 3000K 3500K 4000K
CRI	80 90	80 CRI 90 CRI
OPTIC & LM MULTIPLIER SEE PAGE 4	S10	10° specular with clear lens (1.00)
ACCESSORY SEE PAGE 4	HCL¹	honeycomb louver Attached to bezel
BEZEL LENS SEE PAGE 4	NL²	no lens (1.00)
TRIM COLOR SEE PAGE 4	BK WH MC BZ WT	black white matte chrome bronze wheat
Not applicable to trimless option. Do not include in trimless ordering code.		
BEZEL COLOR SEE PAGE 4	BK WH MC BZ WT	black (0.98) white (1.00) matte chrome (0.99) bronze (0.98) wheat (0.99)

10° BEAM ORDERING CODE		
MOUNTING OPTIONS SEE PAGE 7, 8	NC IC³ ICAT³ CP³ RET	new construction with ceiling fitting plate insulation contact housing insulation contact/airtight housing chicago plenum housing retrofit, no ceiling fitting plate
VOLTAGE	I20 UNV	120V 120V-277V
DIMMING	DIM10 DIM10Z DALI DALIZ DMXZ LTE⁴ LUT LUTP⁵ ELV1⁴ NLT CAS	eldoLED flicker free 0-10V dimming to 1% eldoLED flicker free 0-10V dimming to 0% eldoLED flicker free DALI dimming to 1% eldoLED flicker free DALI dimming to 0% DMX dim to zero Lutron Hi-lume 2-Wire (Triac) dimming to 1% Lutron Hi-lume Ecosystem dimming to 1%, Soft-on & Fade-to-Black Lutron Hi-lume Premier Ecosystem dimming to 0.1%, Soft-on & Fade-to-Black leading & trailing edge (Triac/ELV) dimming to 1% nLight control interface: standard Cat-5/RJ45 connection (female), dimming to 0% Casambi Bluetooth control with flicker free 1% dimming
ELECTRICAL OPTIONS	EM7⁶ EM12^{6,7} EM10CA20⁷	emergency battery backup, 90 minutes at 7W to LED emergency battery backup, 90 minutes at 12W to LED emergency battery backup, 90 minutes at 10W to LED, CA title 20

ADDITIONAL MOUNTING INFO	
New Construction Bar Hangers (included)	Mounting Length: 14-3/4" to 26"
Extension Kit p/n: K20266 (ordered separately, 1 per fixture)	Extends a pair of Bar Hangers Total Mounting Length: 29" to 48"

YOUR COMPLETED ORDERING CODE
Follow the steps to specify your fixture, example: NU4 - RD - SW - 20LM - 35K - 90 - S10 - NL - WH - WH - NC - UNV - DIM10 - EM7

NOTES

- HCL not available with lens. Multiplier: Delivered Lumens (0.78) / Beam Spread (0.80).
- NL option does not meet requirement for AT/DF/WET/NSF listings.
- IC/ICAT/CP not available in 25LM/30LM.
- ELV1/LTE (120V) not available 10LM.
- LUTP not available in 25LM/30LM.
- For integrated test switch add "ITS" after emergency backup code, i.e. EM12ITS. Test switch is mounted in the bezel of the fixture.
- EM12 not available in 10LM.

*EldoLED uses logarithmic dimming curve as standard. For linear dimming curve, add "LIN" after dimming code, i.e. DIM10LIN.

alphabet

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

TRIM OPTIONS

TRIM/BEZEL COLORS



OPTICAL OPTIONS

- UGR calculation based on CIE 117-1995; room size: 4H X 8H, reflectance: 70/50/20;
- UGR calculation based on 15LM fixtures, unless otherwise noted.

ACCESSORY Honeycomb Louver



OPTIC	BEAM ANGLE	UGR
S10	10	5
SS30	24.5	5
SS40	35.7	5
SS60	47.2	5
D40	33.4	5
D50	38.2	5
D60	49	5

HE

High Efficiency Diffused Lens



OPTIC	BEAM ANGLE	UGR
HE40	45.7	21.2
HE60	59.5	21.8
HE70	75.8	23.1

CL

Clear Lens



OPTIC	BEAM ANGLE	UGR
S10	12.6	14.7
SS30	30.6	14.9
SS40	44.6	16.6
SS60	59	16.8
D40	41.8	16.2
D50	47.8	17
D60	61.2	17.7

HET

High Efficiency Textured Lens



OPTIC	BEAM ANGLE	UGR
HET30	30	14.3
HET40	36.2	15.4
HET60	55.5	19.2
HET70	69.3	24.2

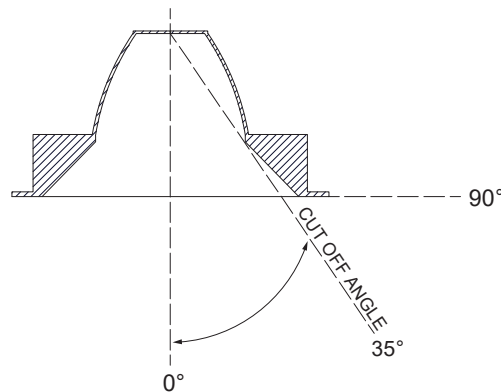
GLARE CONTROL

CUT-OFF ANGLE

Visual comfort is achieved with a lower cut-off angle due to improved glare control. The smaller the cut-off angle, the easier it is on the eye.

Alphabet downlights have been thoughtfully engineered to eliminate glare while still delivering functional illumination.

- Cutoff angle of CL is 35 degrees;



PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

PHOTOMETRIC DATA

15LM CCT MULTIPLIERS		
	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91
FC Formula = CBCP / Distance ²		

SS30
31° SEMI-SPECULAR WITH CLEAR LENS

WATTS: 12.7	LPW: 87.3
LUMENS: 1109	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	2640
5	2424
15	1349
25	676
35	222
45	32

HE40
45° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 12.7	LPW: 92.2
LUMENS: 1171	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	1551
5	1496
15	1122
25	661
35	333
45	153

HE60
59° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 12.7	LPW: 92.5
LUMENS: 1174	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	1108
5	1089
15	946
25	689
35	401
45	185

HE70
76° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 12.7	LPW: 89.5
LUMENS: 1137	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	682
5	675
15	621
25	516
35	381
45	249

30LM CCT MULTIPLIERS		
	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91
FC Formula = CBCP / Distance ²		

SS30
31° SEMI-SPECULAR WITH CLEAR LENS

WATTS: 26.5	LPW: 82.1
LUMENS: 2175	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	5175
5	4754
15	2646
25	1325
35	436
45	63

HE40
45° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 26.5	LPW: 86.6
LUMENS: 2296	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	3042
5	2934
15	2201
25	1295
35	653.3
45	299

HE60
59° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 26.5	LPW: 86.9
LUMENS: 2303	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	2172
5	2136
15	1854
25	1351
35	787
45	362

HE70
76° HIGH EFFICIENCY DIFFUSED LENS

WATTS: 26.5	LPW: 84.1
LUMENS: 2229	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	1338
5	1324
15	1218
25	1013
35	747
45	488

alphabet

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

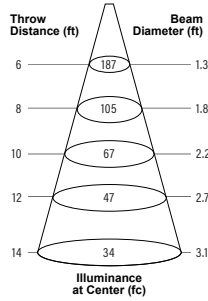
PHOTOMETRIC DATA

10LM CCT MULTIPLIERS

	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91

FC Formula = CBCP / Distance²

S10 12.5° SPECULAR WITH CLEAR LENS



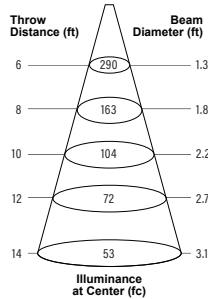
WATTS: 8.2	LPW: 90.1
LUMENS: 739	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	6747
5	4317
15	446
25	338
35	169
45	9

15LM CCT MULTIPLIERS

	80CRI	90CRI
2700K	0.96	0.81
3000K	1	0.85
3500K	1.03	0.88
4000K	1.06	0.91

FC Formula = CBCP / Distance²

S10 12.5° SPECULAR WITH CLEAR LENS



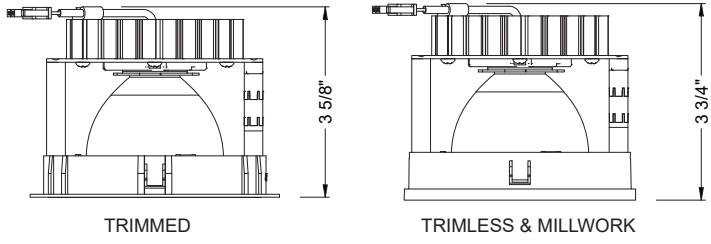
WATTS: 12.2	LPW: 93.7
LUMENS: 1143	CCT: 3000K
INTENSITY	
DEGREE	CANDELA
0	10439
5	6680
15	690
25	523
35	261
45	14

PROJECT INFORMATION		
JOB NAME	TYPE	
ORDERING CODE		

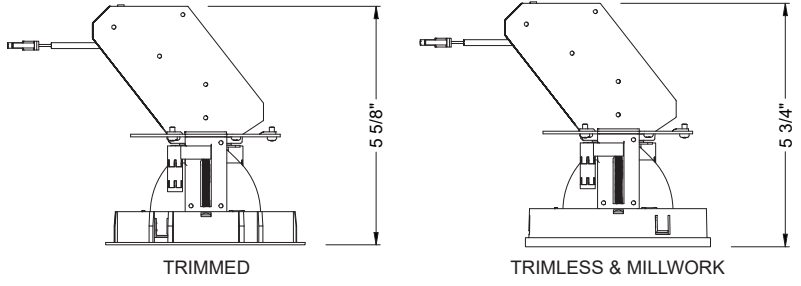
MOUNTING OPTIONS

FIXTURE HEIGHT

10LM-30LM CONFIGURATION

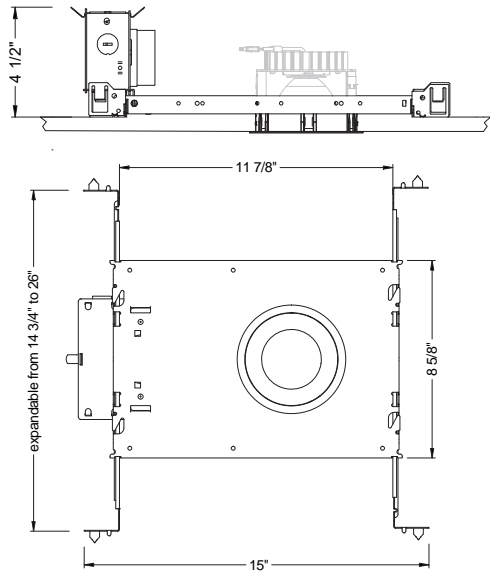


40LM CONFIGURATION

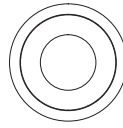


NC - NEW CONSTRUCTION

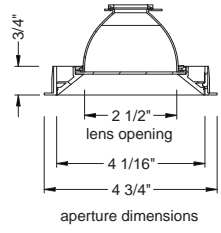
TRIM



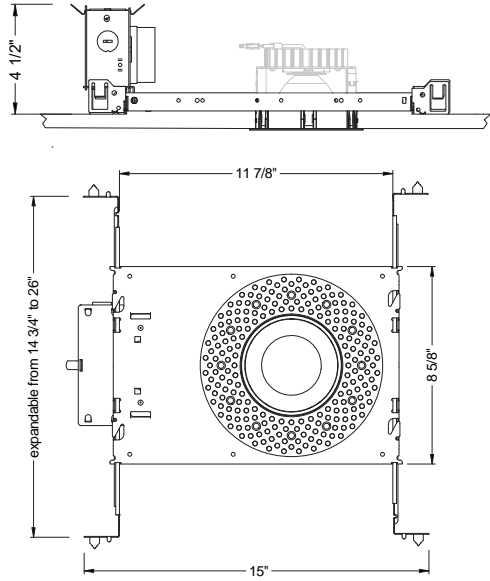
TRIM



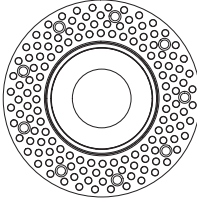
ceiling cutout
4-3/8" diameter
ceiling thickness
1/8" to 1-5/8"



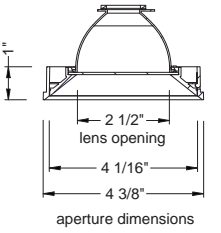
TRIMLESS



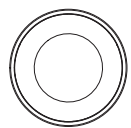
TRIMLESS



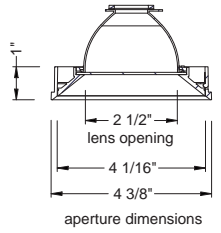
ceiling cutout
4-1/2" diameter
ceiling thickness
3/8" to 1-3/4"



TRIMLESS/MILLWORK



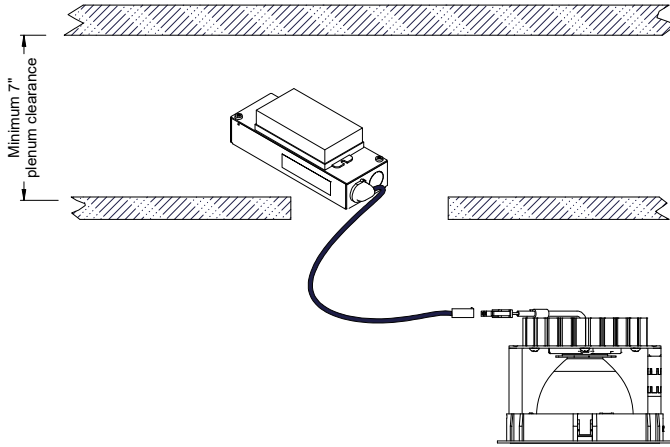
ceiling cutout
4-3/8" diameter
ceiling thickness
1/2" to 1-3/4"



PROJECT INFORMATION		
JOB NAME	TYPE	
ORDERING CODE		

MOUNTING OPTIONS (CONTINUED)

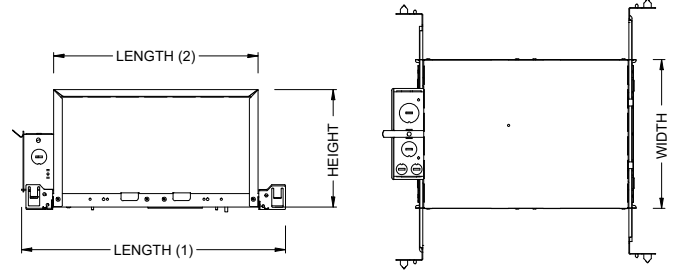
RET - RETRO TRIM/TRIMLESS



RATINGS / CERTIFICATIONS	NC	RET	IC	CP
TYPE NON-IC	✓	✓		
TYPE IC			✓	✓
CHICAGO PLENUM (CCEA)				✓
SUITABLE FOR AIR HANDLING PLENUMS	✓	✓	✓	✓
REDUCED AIRFLOW (WITH LENS) ASTM E283	✓	✓	✓	✓

CEILING THICKNESS	
FIXTURE TYPE	MOUNTING TYPE
	STANDARD CEILING THICKNESS
TRIM	1/8" to 1-5/8"
TRIMLESS	3/8" to 1-3/4"
MILLWORK (TRIMLESS)	1/2" to 1-3/4"

IC - INSULATION CONTACT HOUSING ICAT - INSULATION CONTACT / AIR TIGHT CP - CHICAGO PLENUM



BOX SIZE	L1	L2	W	H
A	15 - 7/16"	11 - 3/4"	8 - 1/2"	6 - 3/4"
B	18 - 1/4"	14 - 7/8"	12 - 1/8"	11 - 1/4"

BOX TYPE / LUMEN OUTPUT - NARROW BEAM (10°)					
LUMEN OUTPUT	BOX - A		BOX - B		
	IC	CP	IC	ICAT	CP
10LM	✓	✓			
15LM	✓	✓			
20LM			✓	✓	✓
25LM					
30LM					

BOX TYPE / LUMEN OUTPUT - STANDARD BEAMS (30° - 70°)					
LUMEN OUTPUT	BOX - A		BOX - B		
	IC	CP	IC	ICAT	CP
10LM	✓	✓			
15LM	✓	✓			
20LM	✓	✓			
25LM	✓	✓			
30LM			✓	✓	✓
35LM					
40LM					

PROJECT INFORMATION		
JOB NAME		TYPE
ORDERING CODE		

BATTERY OPTIONS

EMERGENCY BATTERY

IOTA's ILB Battery Backups are UL Listed LED emergency drivers that allow the same LED fixture to be used for both normal and emergency operation. In the event of a power failure, the ILB switches to the emergency mode and operates the existing fixture for 90 minutes. The unit contains a battery, charger, and converter circuit in a single can. The Constant Power design of the ILB maintains the output wattage to the LED array even as the system voltage diminishes. UL 924 Listed for U.S. and Canada. UL 1310 Certified, Output Class 2 Compliant. Includes single-piece TBTS test switch and charge indicator accessory kit. For use with switched and unswitched fixtures, and includes Two-wire universal AC input. Meets or exceeds all National Electric Code and Life Safety Code Emergency Lighting Requirements. Rated for use in Plenum, Damp Location, Recessed Type IC, and Enclosed and Gasketed Luminaires.

REMOTE TEST SWITCH

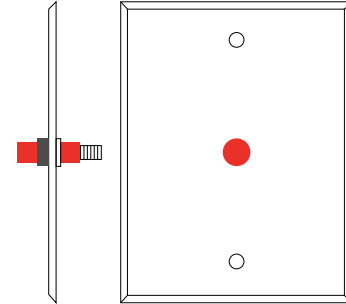
The Remote Test Switch may be mounted adjacent to the LED Fixture by others.

EMERGENCY BATTERY ACCESS

Above ceiling access is required for service. An access panel in the ceiling (or other form of access) adjacent to the installation location of the Emergency Battery is required.

REMOTE LOCATION

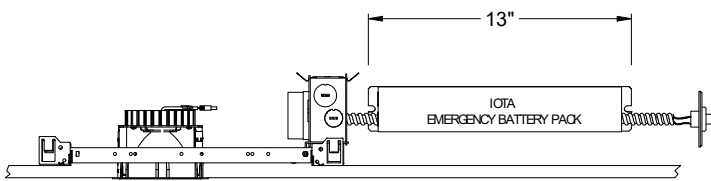
Maximum remote mounting distance of the emergency driver shall be 50 feet. Remote location wiring provided by others. Follow all Local and National Electric/ Building Codes.



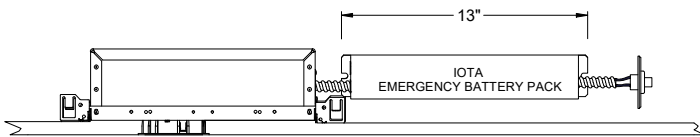
Remote Test Switch

EM MODE OUTPUT (DELIVERED LUMENS)			
LUMEN ORDERING CODE	EM7	EM10	EM12
ALL OPTIONS (10LM TO 30LM)	560LM	1000LM	1200LM
Notes: Based on 30K, 80CRI			

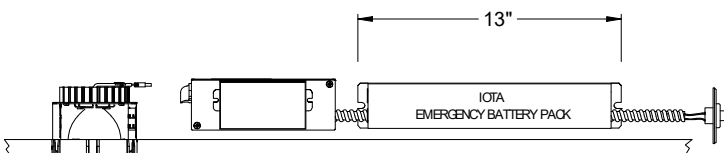
NC - NEW CONSTRUCTION WITH EM BATTERY (REMOTE TEST SWITCH)



IC / ICAT / CP - INSULATION CONTACT HOUSING WITH EM BATTERY (REMOTE TEST SWITCH)

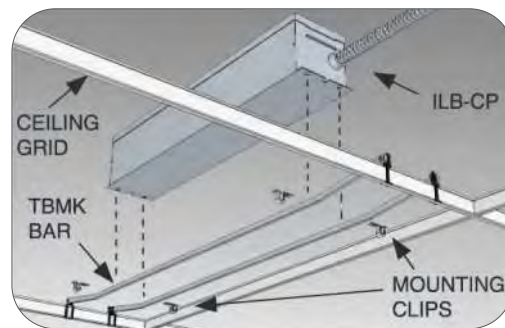


RET - RETROFIT WITH EM BATTERY (REMOTE TEST SWITCH)



Accessory

76066 Optional T-Grid Mounting Kit²



2. Can be used with any of the Emergency Battery Backups. Must be ordered as a separate line item.

PROJECT:	TYPE:	CATALOG #:	SSM - - - - - WM - - - - -
----------	-------	------------	----------------------------

PROFILE

WATTAGE	LO (10.0W), MO (20.0W)
OPTICS	20°, 30°, 55°, ASYMMETRIC
CCT	2700K, 3000K, 3500K, 4000K (82 CRI)
CRI	82+ CRI
PERFORMANCE	UP TO 12457 PEAK CANDELA (20.0W)
VOLTAGE	120V OR 277V
POWER	INTEGRATED POWER SUPPLY
DIMMING	0-10V (DIMS DOWN TO 1%), DMX DIMMING
DIMENSIONS	10.00" X 3.00", 16.00" X 3.00"
HOUSING	EXTRUDED ALUMINUM HOUSING
LENS	TEMPERED GLASS
FINISH	HIGH DURABILITY POWDER COATING
WARRANTY	5-YEAR LIMITED
OPERATING TEMP	-30° C TO 50° C
LUMEN MAINTENANCE	84,000 HOURS
CERTIFICATION	ETL/cETL WET LOCATION, IP66, 3G MEETS ADA REQUIREMENTS



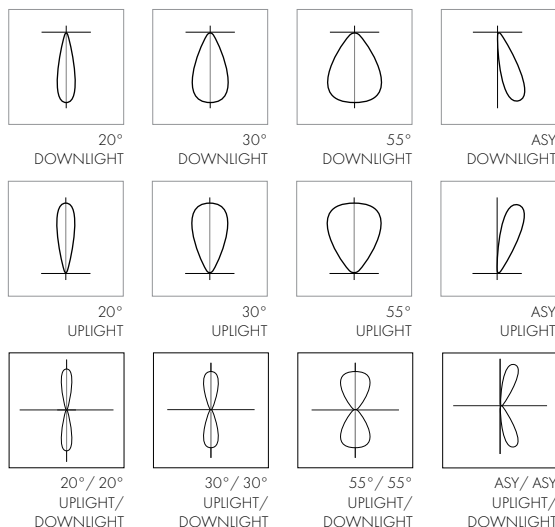
FIXTURES SHOWN:

SSM-UD-MO-40K-30-UNV-DIM-WM-TBL

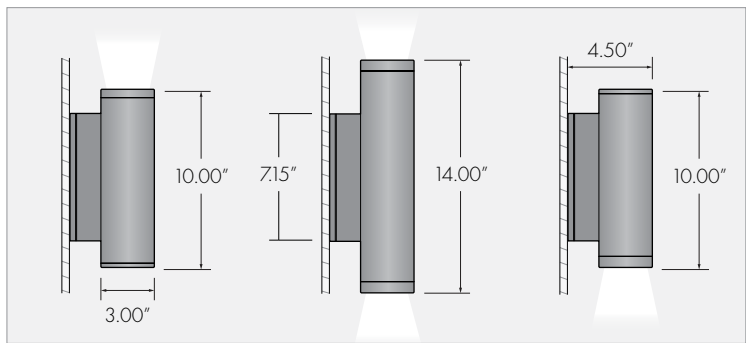
STANDARD FINISHES



OPTICS NOT ALL AVAILABLE OPTICS SHOWN




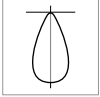
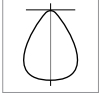
PROFILE



PROJECT:	TYPE:	CATALOG #:	SSM - - - - - WM - - - - -
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PERFORMANCE

PERFORMANCE DATA

OPTIC	CCT	SINGLE DIRECTION LOW OUTPUT (10 W)			SINGLE DIRECTION MEDIUM OUTPUT (20 W)		
		DELIVERED LUMENS	LUMINARE EFFICACY	PEAK CANDELA	DELIVERED LUMENS	LUMINARE EFFICACY	PEAK CANDELA
20° 	4000K	1106 LM	99.6 LM/W	6755	2001 LM	104.3 LM/W	12457
30° 	4000K	1094 LM	98.5 LM/W	3132	1936 LM	101.0 LM/W	7961
55° 	4000K	1034 LM	93.2 LM/W	1290	1871 LM	97.7 LM/W	2379

WIRING

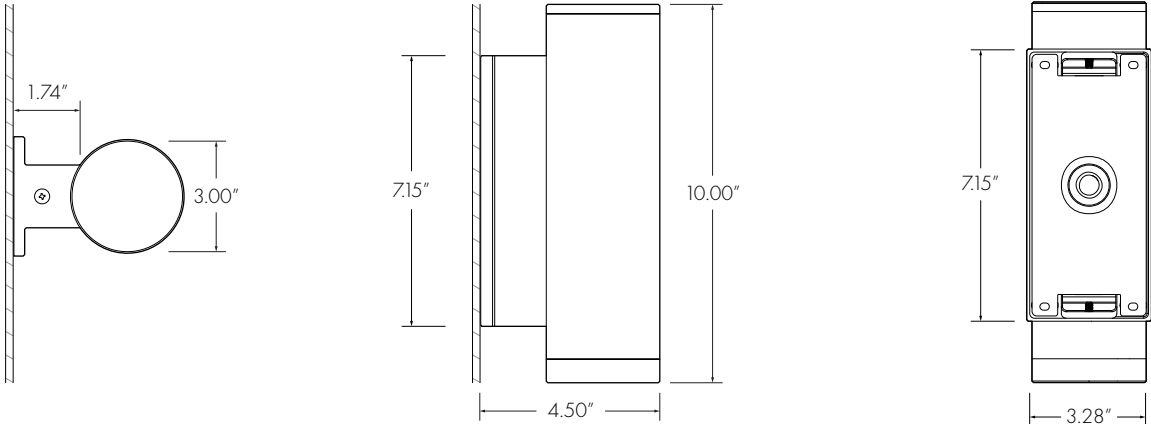
FIXTURES PER 10 AMP CIRCUIT (FULL LOAD)

FIXTURE	SINGLE DIRECTION LO		SINGLE DIRECTION MO		UPLIGHT & DOWNLIGHT LO		UPLIGHT & DOWNLIGHT MO	
	120V	277V	120V	277V	120V	277V	120V	277V
VOLTAGE	120	277	60	138	60	138	30	69

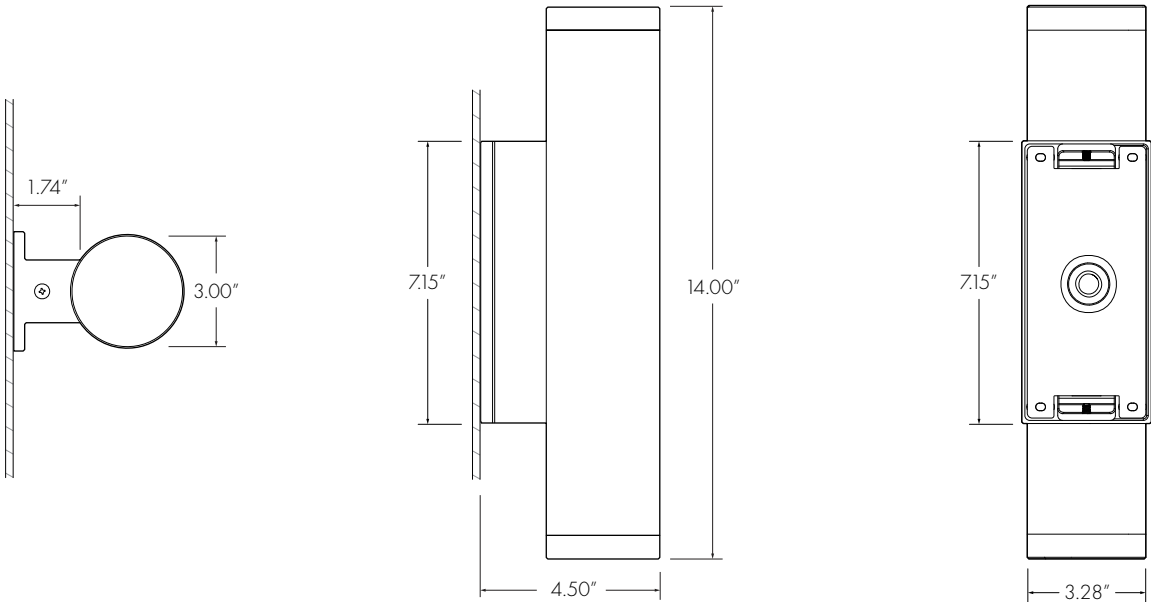
PROJECT:	TYPE:	CATALOG #: SSM - - - - -WM - - - - -
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FIXTURE DIMENSIONS

WM - WALL MOUNT (SINGLE DIRECTION)



WM - WALL MOUNT (UP AND DOWN)



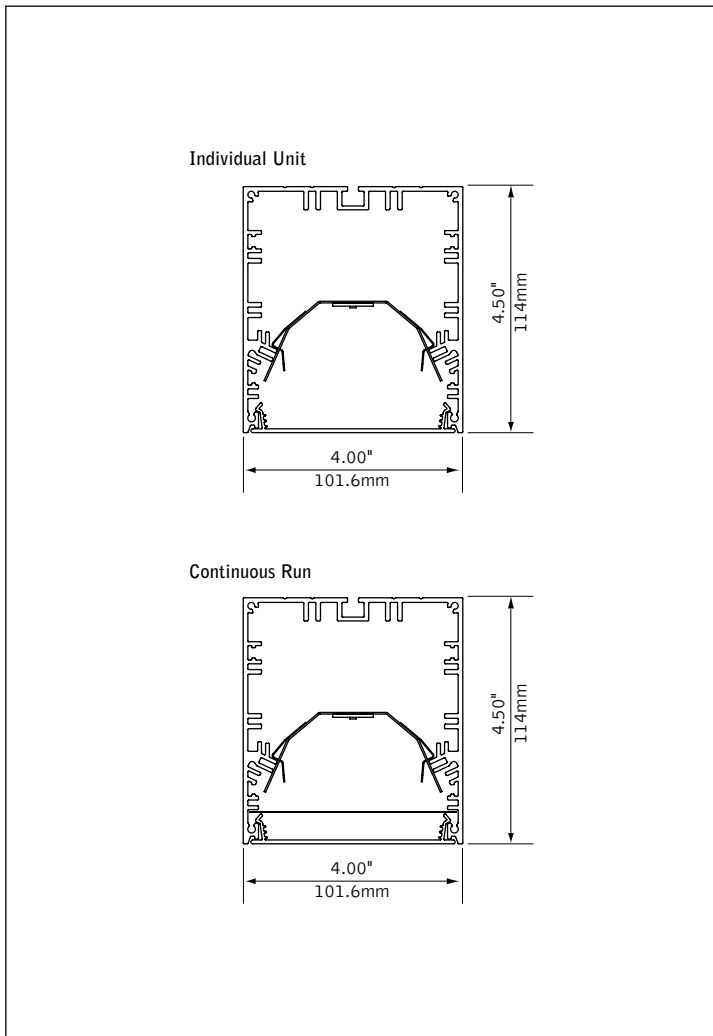
Seem® 4

LED - SURFACE MOUNT | WET LOCATION



recessed companion

DIMENSIONAL DATA



FEATURES

Narrow extruded aluminum 4" linear direct LED.

Individual units and continuous runs in 1' increments.

Available in flush, asymmetric, asymmetric room fill or batwing, lens.

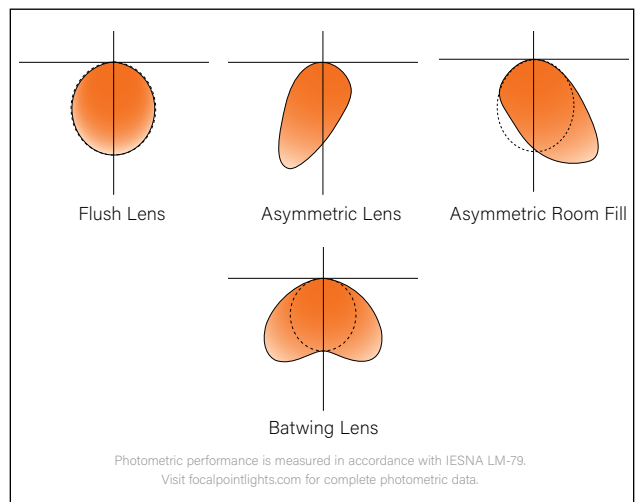
Frosted acrylic lens provides uninterrupted illumination, without pixels or shadows.

LED position and lens material optimized to provide the perfect blend of high performance and visual comfort.

Choice of output levels to meet a wide variety of application needs.

Tunable White: Supports human activity, well-being, and preferences with a light quality that evolves throughout the day.

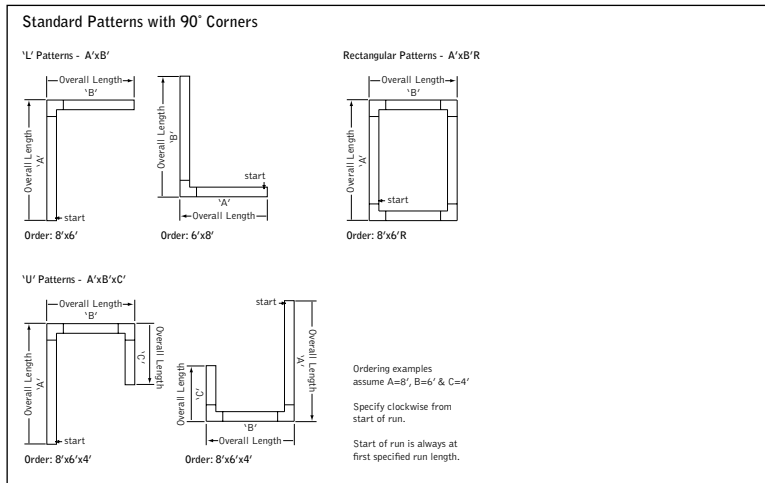
PERFORMANCE



fixture:

project:

DETAILS



4' PERFORMANCE CHART

Lumen Output	Nominal Lumens	Tested System Watts	LPW			
			BW	FL	AS	AF
275LF	1100	9.5	110	106	114	114
375LF	1500	12.5	119	114	123	123
625LF	2500	21.4	119	113	122	122
875LF	3500	30.4	118	113	122	122
1000LF	4000	35.0	117	112	121	121
1125LF	4500	39.6	116	111	119	119
1250LF	5000	43.5	115	110	119	118

Based on 3500K, 80 CRI, 4' lengths. Lumen multiplier: 90+ CRI = 0.87. Lumen output may vary +/- 5%. Actual wattage may vary +/- 5%.

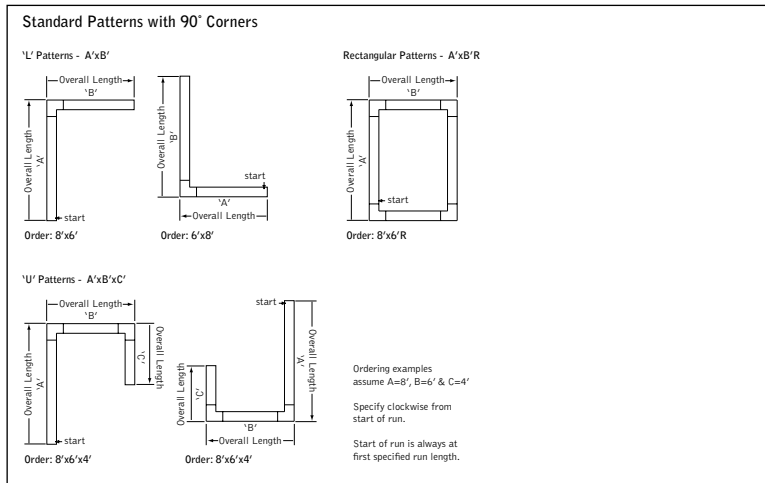
STANDARD WHITE

Luminaire Series	FSM4LWLS
Seem 4 LED Wet Location	FSM4LWLS
Shielding	
Asymmetric Lens*	AS
Asymmetric Room Fill*	AF
Batwing Lens*	BW
Flush Satin Lens	FL
(*individual units only)	
Lumen Output	
275 Lumens per foot (LD1 & L11 only)	275LF
375 Lumens per foot (LD1 & L11 only)	375LF
625 Lumens per foot (3' minimum with LH1)	625LF
875 Lumens per foot	875LF
1000 Lumens per foot	1000LF
1125 Lumens per foot	1125LF
1250 Lumens per foot	1250LF
Color Temperature	
3000K, 80+ CRI	30K
3500K, 80+ CRI	35K
4000K, 80+ CRI	40K
Circuits & Zones	
1 Circuit, non-emergency	1C
Consult Ordering Guide on page 3 for multiple circuiting and zoning options	_C_Z_DL
Voltage	UNV
120/277 UNV Volt	UNV
Control System & Dimming Level	
0-10V - 10% Dimming	LD1
0-10V - 1% Dimming	L11
Lutron Hi-Lume EcoSystem (LDE1) - 1% Dimming (3' minimum length)	LH1
Mounting	SM
Surface Mount	SM
Factory Options	
(See page 4 for ordering details for DC, EC, EM & ECD.)	
Daylight Circuit	_DC
Emergency Circuit	_EC
Emergency Battery Pack†	_EM
Emergency Control Device†	_ECD
†(4' minimum. 120/277 Volt only. EM or ECD not available at corners.)	
Outdoor Rated (LD1 only. Not available with EM.)	OD
Finish	WH
Matte White Housing	WH
Luminaire Length	
Specify luminaire/row length in 1' increments (2' minimum length.)	X'
Pattern Options	
(3' minimum length)	
'L' pattern	A' x B'
'U' pattern	A' x B' x C'
Rectangular pattern	A' x B'R

fixture:

project:

DETAILS



TW 4' PERFORMANCE CHART

Lumen Output	Nominal Lumens	Tested System Watts	LPW	
			BW	FL
275LF	1100	13.30	87.3	83.2
375LF	1500	17.34	90.8	86.5
625LF	2500	27.84	94.0	89.5
875LF	3500	37.22	98.9	94.2
1000LF	4000	42.39	99.2	94.4
1125LF	4500	50.27	93.9	89.4

Based on 2700K, 80CRI, 4' lengths. Lumen output may vary +/- 5%. Actual wattage may vary +/- 5%.

Lumen Multipliers

CRI	Multiplier
80+	1.00
90+	0.89

Wattage Multipliers

CCT	Multiplier
2700K	1.00
3000K	0.92
3500K	0.88
4000K	0.86
5000K	0.85
5700K	0.87
6500K	0.90



TUNABLE WHITE

Luminaire Series FSM4LWLS
Seem 4 LED Wet Location

Shielding
Batwing Lens BW
(individual units only)

Flush Satin Lens FL

Lumen Output
275 Lumens per foot 275LF
(3' min. with DITW, 4' min. with LT1)
375 Lumens per foot 375LF
(3' min. with LT1)

625 Lumens per foot 625LF
875 Lumens per foot 875LF
1000 Lumens per foot 1000LF
1125 Lumens per foot 1125LF

Color Temperature
Tunable White: 2700-6500K, 80+ CRI 2765T
Tunable White: 2700-6500K, 90+ CRI 92765T

Circuits & Zones
1 Circuit, non-emergency 1C
Consult Ordering Guide on page 3 for multiple circuiting and zoning options _C_Z_DL

Voltage UNV
120/277 UNV Volt UNV

Control System & Dimming Level
Lutron T-Series - 1% Dimming LT1
DALI - 1% Dimming D1TW
(DT6 control. Requires two addresses, one for intensity & one for CCT tuning. Consult factory for DT8.)

Mounting SM
Surface Mount SM

Factory Options
(See page 4 for ordering details for DC, EC, EM & ECD.)
Daylight Circuit _DC
Emergency Circuit _EC
Emergency Battery Pack† _EM
Emergency Control Device† _ECD
†(Consult factory)

Finish WH
Matte White Housing WH

Luminaire Length
Specify luminaire/row length in 1' increments (2' minimum length.) X'

Pattern Options
(3' minimum length)
'L' pattern A' x B'
'U' pattern A' x B' x C'
Rectangular pattern A' x B'R

SPECIFICATIONS

LED System

Proprietary linear LED module incorporates premium LEDs on a robust platform to achieve excellent thermal management. LEDs are placed to promote a uniform appearance. Available in 2700K, 3000K, 3500K or 4000K with CRI>80 or CRI>90, 3 SDCM or Tunable White (2700K-6500K), CRI>80, >90. LED modules and drivers are replaceable from below.

Construction

One piece extruded aluminum housing. Die cast aluminum end caps. 2' unit weight: 10 lbs., 3' unit weight: 14 lbs., 4' unit weight: 18 lbs., 5' unit weight: 22 lbs.

Optic

Reflectors fabricated of 22 Ga. steel finished in High Reflectance White powder coat. Extruded acrylic lens .085" thick with satin finish, up to 8' continuous.

Electrical

Luminaires are pre-wired with factory installed branch circuit wiring and over-molded quick connects. Standard 120-277V constant current driver includes 0-10V analog dimming. Dimming range 100% to 10%. Power factor > .9.

Emergency

Output - 10 watts for 90 minutes. Maximum mounting height: 19.2ft.

Labels

UL and cUL Listed. Suitable for Dry, Damp or Wet Locations, indoor use only. Specify Outdoor rated (OD) for outdoor covered ceiling applications. Outdoor rating not available with Tunable White.

Finish

Polyester powder coat applied over a multi-stage pre-treatment. Canopy and cord white as standard.

Lumen Maintenance

Reported: L70 > 61,000 hours	Calculated: L70 at > 480,000 hours
L90 > 61,000 hours	L90 at > 128,000 hours

(Derived from EPA TM-21 calculator. Based on typical conditions, consult factory for additional data.)

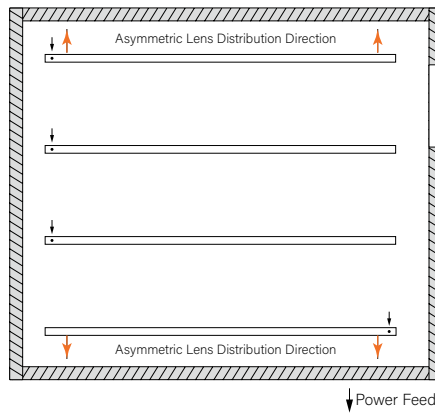
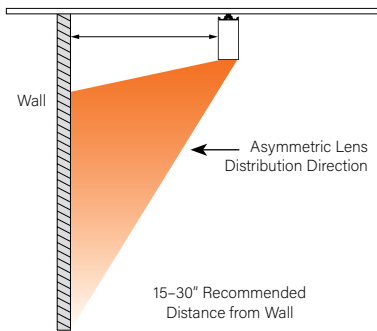
Reliability

At Focal Point, our products are designed to stand the test of time. Each luminaire is engineered using superior components, manufactured with the utmost care and rigorously tested. Contact us for reliability data.

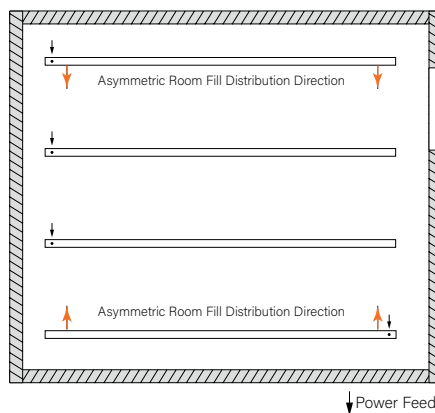
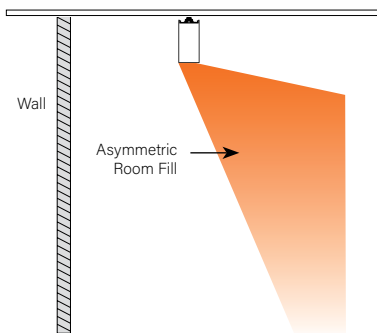
Warranty

LED System rated for operation in ambient environments up to 25°C. 5-year limited warranty. Fixture with Outdoor rated (OD) option must be installed in a covered ceiling and is warranted for operation in ambient environments between -20°C to +40°C.

DIRECT ASYMMETRIC
Standard Application Example



DIRECT ASYMMETRIC ROOM FILL
Standard Application Example



Ordering Guide

Linear Circuitry, Zones & Factory Options



HOW TO USE THIS GUIDE

Fill out the worksheet on the following page to specify your requirements for circuitry, zones, and factory options.

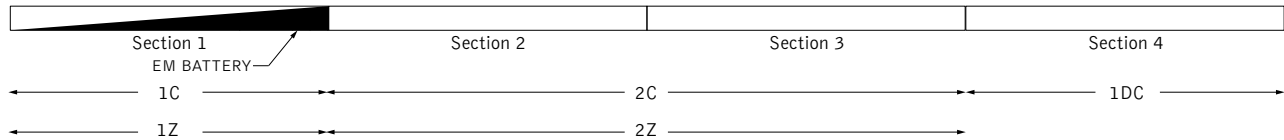
Refer to the run chart for standard run configurations, consult factory for custom configurations.

Complete the Totals / Ordering Codes at the bottom of the worksheet and add to your ordering logic on the cut sheet.

Submit the worksheet along with your order.

TOTAL RUN LENGTH: <u>32ft</u>		JOB NAME: _____			FIXTURE TYPE: _____			
HOUSING SECTION	SECTION LENGTH	SHARED ELECTRICAL FEED, NORMAL POWER			FACTORY OPTIONS			
		SWITCHING CIRCUIT	DIMMING ZONE	DAYLIGHT ZONE	SEPARATE ELECTRICAL FEEDS			EM
DAYLIGHT CIRCUIT	EMERGENCY CIRCUIT				ECD	EM		
1	8	1C	1Z					1EM
2	8	2C	2Z					
3	8	2C	2Z					
4	8				1DC			
Totals / Ordering Codes		2C	2Z		1DC			1EM

ORDERING: FSM4L-FL-625LF-35K- **2C2Z** -UNV-LD1-G2- **1DC-1EM** -WH-32ft



KEY	
C = Switching Circuit Switched Hot / Shared Neutral	DC = Daylight Circuit Switched Hot / Separate Neutral
Z = Dimming Zone Dimming Control Wires	EC = Emergency Circuit Switched Hot / Separate Neutral
DL = Daylight Zone Daylight Dimming Control Wires	EM = Emergency Battery Unswitched Hot / Shared Neutral
	ECD = Emergency Control Device Unswitched Hot / Separate Neutral

DEFAULTS

- Zones and Factory Options illuminate entire sections from 4' to 8' in length.
- One shared or isolated circuit and zone required per housing section.
- Limit of one EM or ECD per housing section.
- Additional electrical feed required for applications greater than three shared circuits and zones.
- Each DC, EC and ECD require an additional electrical feed.
- ECD not available in the same housing section as EC.
- Longer lead times and additional pricing may apply for custom run configurations.

CUSTOM LENGTHS

- If partial illumination of emergency or daylight section is required, indicate in ordering guide and add "partial illumination" in Order Notes. Drawing required.
- Engineering validation required, longer lead times may apply.

Ordering Guide Worksheet

Linear Circuitry, Zones & Factory Options



TOTAL RUN LENGTH: _____		JOB NAME: _____			FIXTURE TYPE: _____			
HOUSING SECTION	SECTION LENGTH	SHARED ELECTRICAL FEED, NORMAL POWER			FACTORY OPTIONS			EM
		SWITCHING CIRCUIT	DIMMING ZONE	DAYLIGHT ZONE	SEPARATE ELECTRICAL FEEDS			
DAYLIGHT CIRCUIT	EMERGENCY CIRCUIT				ECD			
1								
2								
3								
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19								
20								
Totals / Ordering Codes								

WORKSHEET

Combine to create Circuits & Zones ordering code

Enter as individual Factory Options

RUN CHART

Run length (ft)	Housing Configuration Section Lengths	Run length (ft)	Housing Configuration Section Lengths	Run length (ft)	Housing Configuration Section Lengths	Run length (ft)	Housing Configuration Section Lengths
9	5 + 4	21	8 + 8 + 5	33	8 + 8 + 8 + 5 + 4	45	8 + 8 + 8 + 8 + 8 + 5
10	6 + 4	22	8 + 8 + 6	34	8 + 8 + 8 + 6 + 4	46	8 + 8 + 8 + 8 + 8 + 6
11	7 + 4	23	8 + 8 + 7	35	8 + 8 + 8 + 7 + 4	47	8 + 8 + 8 + 8 + 8 + 7
12	8 + 4	24	8 + 8 + 8	36	8 + 8 + 8 + 8 + 4	48	8 + 8 + 8 + 8 + 8 + 8
13	8 + 5	25	8 + 8 + 5 + 4	37	8 + 8 + 8 + 8 + 5		
14	8 + 6	26	8 + 8 + 6 + 4	38	8 + 8 + 8 + 8 + 6		
15	8 + 7	27	8 + 8 + 7 + 4	39	8 + 8 + 8 + 8 + 7		
16	8 + 8	28	8 + 8 + 8 + 4	40	8 + 8 + 8 + 8 + 8		
17	8 + 5 + 4	29	8 + 8 + 8 + 5	41	8 + 8 + 8 + 8 + 5 + 4		
18	8 + 6 + 4	30	8 + 8 + 8 + 6	42	8 + 8 + 8 + 8 + 6 + 4		
19	8 + 7 + 4	31	8 + 8 + 8 + 7	43	8 + 8 + 8 + 8 + 7 + 4		
20	8 + 8 + 4	32	8 + 8 + 8 + 8	44	8 + 8 + 8 + 8 + 8 + 4		

Standard run configurations, consult factory for custom configurations.

Ratio Flood

COMPACT

RATIO

FEATURES

- Compact LED flood with a variety of NEMA distributions for lighting applications such as: safety/security, accent, flag pole, columns or signs
- Part of the Ratio flood series, this luminaire was designed in cohesion with the site/area products to provide a sleek and timeless look
- Features a dense optical array, providing reduced pixelation and increased visual comfort without compromising performance



[RFL2](#)

[RFL3](#)



SPECIFICATIONS

CONSTRUCTION

- Corrosion resistant, rugged die-cast aluminum housing with powder coat paint finish
- High impact UV stabilized acrylic outer lens protects LEDs and allows for cleaning and debris removal
- Internal venting fins create optimal heat dissipation and allow all water to drain from the face of the luminaire
- Lens hardware is internal to the fixture allowing for uniform pressure on the gasket for an optimal water tight seal

OPTICS

- 44 or 90 midpower LEDs
- Stock Versions: 4000K and 5000K CCT
- Variety of NEMA distributions: - N (2x2), M (4x4) and W (6x6) - Stock version Wide (6x6) only
- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance

INSTALLATION

- Traditional ½" x 14 NPS threaded adjustable knuckle mounting
- Easy maintenance access to electrical components with removal of 4 screws from back of fixture housing
- Trunnion mount available (sold separately)

ELECTRICAL

- 120–277V operation, 50/60Hz
- Driver IP66 and RoHS compliant driver
- 10kV surge protector optional
- 0–10V dimming driver standard, continuous dimming option to have leads pulled out for easy connection
- Drivers have 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls

CERTIFICATIONS

- Fixture is IP66 rated
- Listed to UL1598 for use in wet locations
- This product qualifies as a “designated country construction material” per FAR 52.225-11 Buy American–Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3245–6823
Wattage Range	26–52
Efficacy Range (LPW)	126–142
Weights lbs. (kg)	3.7–5.5 (6.12–10.8)

Ratio Flood

COMPACT

STOCK ORDERING INFORMATION

Catalog Number	Mounting	Distribution	Wattage	Voltage	CCT	Lumens	LPW	Weight lbs. (KG)	Finish
RFL2-25-4K	Knuckle	Wide	26	120–277V	4000K	3327	127	3.7 (1.68)	Bronze
RFL2-25-5K	Knuckle	Wide	26	120–277V	5000K	3245	124	3.7 (1.68)	Bronze
RFL2-25-4K-PC	Knuckle	Wide	26	120–277V	4000K	3327	127	3.7 (1.68)	Bronze
RFL2-25-5K-PC	Knuckle	Wide	26	120–277V	5000K	3245	124	3.7 (1.68)	Bronze
RFL3-40-4K	Knuckle	Wide	34	120–277V	4000K	4551	134	5.5 (2.50)	Bronze
RFL3-40-5K	Knuckle	Wide	34	120–277V	5000K	4439	131	5.5 (2.50)	Bronze
RFL3-40-4K-PC	Knuckle	Wide	34	120–277V	4000K	4551	134	5.5 (2.50)	Bronze
RFL3-40-5K-PC	Knuckle	Wide	34	120–277V	5000K	4439	131	5.5 (2.50)	Bronze
RFL3-50-4K	Knuckle	Wide	52	120–277V	4000K	6823	131	5.5 (2.50)	Bronze
RFL3-50-5K	Knuckle	Wide	52	120–277V	5000K	6654	128	5.5 (2.50)	Bronze
RFL3-50-4K-PC	Knuckle	Wide	52	120–277V	4000K	6823	131	5.5 (2.50)	Bronze
RFL3-50-5K-PC	Knuckle	Wide	52	120–277V	5000K	6654	128	5.5 (2.50)	Bronze

ORDERING GUIDE

Example: RFL2–44L–25–4K7–M–UNV–K–DBT–CD–SP

CATALOG # _____

Model	Nominal Lumens	CCT/CRI	Distribution	UNV Voltage	K Mounting	Color
RFL2 Ratio Flood Size 2	44L–25 44 LED–3000lm 90L–40 90 LED–5000lm	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI	N Narrow, 2x2 M Medium Flood, 4x4 W Wide Flood, 6x6	UNV Universal 120–277	K Knuckle	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Brone Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured
RFL3 Ratio Flood Size 3	90L–50 90 LED–7000lm	5K7 5000K, 70 CRI				Color Option CC Custom Color

Control Options	Options
CD Continuous Dimmable	SP ¹ Surge Protector, 10kA Surge Protector
PC ¹ Button Photcontrol	

¹ SP and PC cannot be in the same fixture due to space constraints

ACCESSORIES AND REPLACEMENT PARTS (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> TRN–XX ¹	Trunnion adapter for ½" threaded knuckle mount

¹ Specify finish color to match fixture, e.g. DBT - Dark Bronze Matte



TRN-XX

Ratio Flood

COMPACT

PERFORMANCE DATA

Series	Nominal Watts	Dist. Type	NEMA	Field Angle H° X V°	5K (5000K nominal, 70 CRI)			4K (4000K nominal, 70 CRI)			3K (3000K nominal, 70 CRI)		
					Lumens	LPW ¹	Max Beam Candlepower	Lumens	LPW ¹	Max Beam Candlepower	Lumens	LPW ¹	Max Beam Candlepower
RFL2	25	N	2 x 2	20 x 20	3308	129	56009	3391	132	57425	3285	128	55632
		M	4 x 4	57 x 57	3124	121	7180	3203	124	7588	3103	120	7426
		W	6 x 6	105 x 105	3245	124	1848	3327	127	1895	3223	123	1836
RFL3	40	N	2 x 2	20 x 20	4525	136	76622	4639	139	69924	4494	135	76107
		M	4 x 4	57 x 57	4273	127	10228	4382	130	10486	4245	126	10159
		W	6 x 6	105 x 105	4439	131	2528	4551	134	2592	4409	130	2511
	50	N	2 x 2	20 x 20	6784	133	114868	6956	136	117772	6739	132	114095
		M	4 x 4	57 x 57	6408	125	17055	6569	128	17486	6364	124	16940
		W	6 x 6	105 x 105	6654	128	3791	6823	131	3886	6610	127	3765

¹ Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

ELECTRICAL DATA

# LEDs	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (W)
RFL2	25	120	0.22	26.0
		208	0.13	
		240	0.11	
		277	0.09	
RFL3	40	120	0.28	33.8
		208	0.16	
		240	0.14	
		277	0.12	
	50	120	0.43	51.7
208		0.25		
240		0.22		
		277	0.19	

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					Calculated L70 (Hours)
	0	25,000	50,000	TM-21-11 60,000 ¹	100,000	
25°C / 77°F	1.00	0.96	0.94	0.91	0.83	> 191,000
40°C / 104°F	0.99	0.95	0.93	0.93	0.81	> 173,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

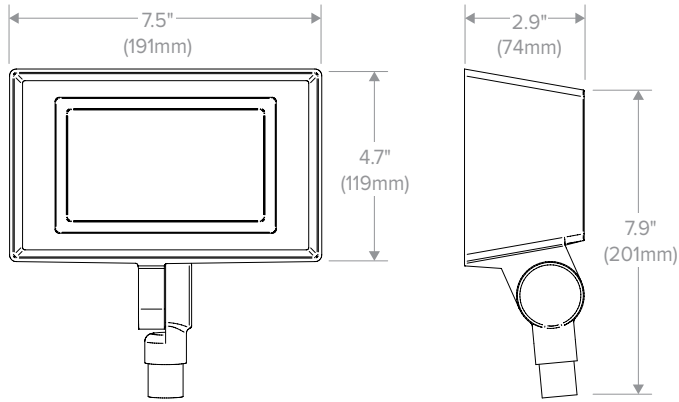
Use these factors to determine relative lumen output for average ambient temperatures from 0–40°C (32–104°F)

Ratio Flood

COMPACT

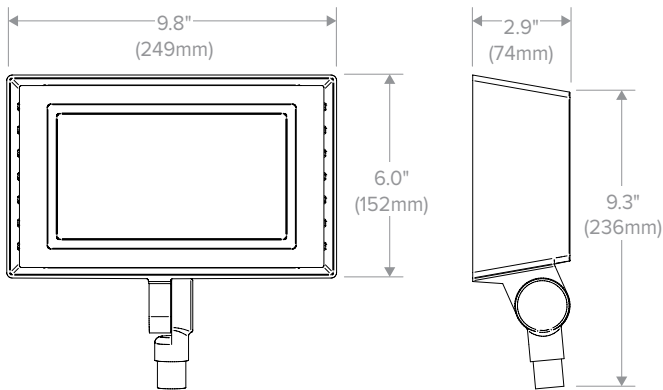
DIMENSIONS

RFL2



RFL2 EPA(Front/Side)
0.34ft² / 0.17ft²

RFL3



RFL3 EPA(Front/Side)
0.97ft² / 0.20ft²

ADDITIONAL INFORMATION

SHIPPING INFORMATION

Catalog Number	G.W (kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RFL2	3.7lbs (1.68kg)	20.7 (52.7)	15.1 (38.4)	6.9 (17.6)
RFL3	5.5lbs (2.50kg)	25 (63.5)	15.1 (38.4)	6.9 (17.6)

GEOPAK SERIES SIZE 2 LED

Architectural Wallpack
TRP2/RD12 Low Glare



Cat.#

Job

Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Applications:

Medium sized architectural wallpacks in two stylish shapes accentuate building architecture and provide excellent illumination and uniformity

Construction:

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color options

LED/Optics:

- Precision crafted optics and reflectors provide up to 150 LPW and zero pixelation over the lens for maximum visual comfort
- Wide Throw and Forward Throw distributions available
- 3000K - 70 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal

Electrical:

- Optional Dual Drivers & Dual Power Feeds for 50 and 70 watt versions
- 120-277, 347 and 480 voltage, 50/60Hz
- Power factor ≥ 90%
- THD (Total Harmonic Distortion) <20%
- Ambient operating temperature -40°C to 40°C

Installation/Mounting:

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance.
- Black box accessory available for surface conduit application

Options/Controls:

- Drivers are 0-10V dimming standard
- Universal button photocontrol for dusk to dawn energy savings
- Occupancy sensor options available for complete on/off and dimming control

Secondary Distribution:

- Optional secondary distributions provide approximately 5% uplight for lighting building facades and/or providing direct/indirect lighting for under canopy applications
- Available in three distribution including Wall Graze, Spot/Column and Canopy

Listings:

- IP65 rated housing
- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Zero uplight (U0), dark sky, neighbor friendly (excludes uplight versions)
- Drivers IP66 and RoHS compliant

Warranty:

For more information visit:
<http://www.hubbelloutdoor.com/resources/warranty/>

PRODUCT IMAGE(S)

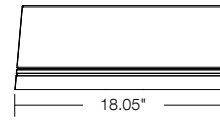


Trapezoid

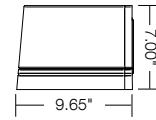


Radius

DIMENSIONS



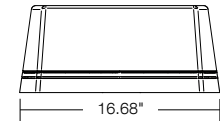
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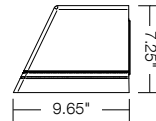
9.65"

7.00"

RD12
Weight:
16 lbs (7.3 kg)



16.68"



9.65"

7.25"

TRP2
Weight:
16 lbs (7.3 kg)

CERTIFICATIONS/LISTINGS



*3000K and warmer CCTs only

SHIPPING INFORMATION

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RD12	18 (8.2)	20.5 (52)	9.5 (24)	12 (30)
TRP2	16 (7.3)	18.5 (47)	9.5 (24)	11.5 (29)

ORDERING INFORMATION ORDERING EXAMPLE: TRP2-D-30-3K7-FT-UNV-UG-GT-PC

FAMILY	LEDS - WATTAGE	DISTRIBUTION	VOLTAGE	FINISH	CONTROL OPTIONS	OPTIONS
TRP2 Trapezoid	D-20 20w Low Glare Diffuse	FT Forward Throw Diffused	UNV 120-277V	BL Black Textured	PC Button Photocontrol	SF ³ Single Fuse & Fuse Holder
RD12 Radius	D-30 30w Low Glare Diffuse	WT Wide Throw Diffused	120 120V	DB Dark Bronze Textured	SCP ^{4,5} Programmable occupancy sensor, factory default is 10% light output	DF ³ Double Fuse & Fuse Holder
	D-50 50w Low Glare Diffuse		208 208V	GT Graphite Textured	SCO ⁴ Sensor Control, On/Off	2DR ⁶ Dual Drivers
	D-70 70w Low Glare Diffuse		240 240V	GYS Light Gray Smooth	SPEC SCP/SCO MOUNT HEIGHT	2PF ⁶ Dual Power Feeds
	CCT		277 277V	PS Platinum Silver Smooth	-8F Up to 8ft mount height	
	3K7 3000K, 70CRI		UHV ¹ 347/480V	WH White Textured	-20F Up to 20ft mount height	
	4K7 4000K, 70CRI		347 ¹ 347V	CC Custom Color		
	5K7 5000K, 70CRI		480 ¹ 480V			

SECONDARY DISTRIBUTION

BLANK	Downlight Only
UG ²	Uplight Wall Graze
UC ²	Uplight Canopy
US ²	Uplight Spot/Column

¹ 70 watt version only, not available with PC, SCP or SCO sensors

² Not available with SF, DF, 2DR or 2PF electrical options

³ Must specify voltage

⁴ PCU option not applicable, included in sensor

⁵ Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings

⁶ Not available with 20w, 30w or uplight versions



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Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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TRP2/RD12/QSP2 LG-SPEC
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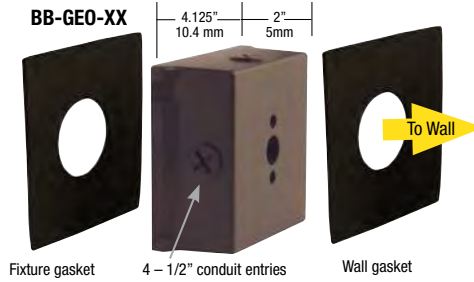
ACCESSORIES - Order separately

Catalog Number	Description
SCP-REMOTE*	Remote control for SCP option. Order at least one per project to program and control dimming settings
BB-GEO-XX	Black box with 4 - 1/2" threaded conduit holes, specify finish by replacing "XX" with finish selection, eg. Dark Bronze "DB"

* Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings.
 ** When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.
 + If needed, an additional Bridge Node can be ordered.



BB-GEO-XX – Mounted to luminaire



INPUT POWER CONSUMPTION

# OF LEDS	VERSION	INPUT VOLTAGE (V)	CURRENT (Amps)	SYSTEM POWER (w)
180	Downlight Only	120	0.18	21
		277	0.08	21
		120	0.28	33
		277	0.12	33
		120	0.41	49
		277	0.18	49
		120	0.52	62
		277	0.22	62
		347	0.18	62
		480	0.13	62
	With Uplight	120	0.18	22
		277	0.08	22
		120	0.29	35
		277	0.13	35
		120	0.43	52
		277	0.19	52
		120	0.55	66
		277	0.24	66
		347	0.19	66
		480	0.14	66

PERFORMANCE DATA - LOW GLARE

SECONDARY DISTRIBUTION	NOMINAL WATTS	SYSTEM WATTS	MAIN DISTR. TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G
None	D-20	21.0	FT	3,082	147	1	0	1	3,067	146	1	0	1	2,883	137	1	0	1
			WT	3,195	152	1	0	0	3,179	151	1	0	0	2,988	142	1	0	0
	D-30	33.4	FT	4,995	150	1	0	1	4,970	149	1	0	1	4,672	140	1	0	1
			WT	5,178	155	1	0	1	5,152	154	1	0	1	4,843	145	1	0	1
	D-50	48.7	FT	7,094	146	1	0	1	7,058	145	1	0	1	6,635	136	1	0	1
			WT	7,353	151	1	0	1	7,316	150	1	0	1	6,877	141	1	0	1
	D-70	61.8	FT	8,669	140	1	0	1	8,626	140	1	0	1	8,108	131	1	0	1
			WT	8,986	145	1	0	1	8,941	145	1	0	1	8,405	136	1	0	1
UC (Canopy)	D-20	22.3	FT	2,991	134	1	3	1	2,976	133	1	3	1	2,798	125	1	3	1
			WT	3,325	149	1	3	0	3,309	148	1	3	0	3,110	139	1	3	0
	D-30	35.5	FT	4,847	137	1	3	1	4,823	136	1	3	1	4,534	128	1	3	1
			WT	5,389	152	1	3	1	5,362	151	1	3	1	5,040	142	1	3	1
	D-50	51.7	FT	6,884	133	1	3	1	6,850	132	1	3	1	6,439	125	1	3	1
			WT	7,653	148	1	3	1	7,615	147	1	3	1	7,158	138	1	3	1
	D-70	65.7	FT	8,413	128	1	3	1	8,371	127	1	3	1	7,869	120	1	3	1
			WT	9,353	142	1	3	1	9,306	142	1	3	1	8,748	133	1	3	1
UG (Wall Graze)	D-20	22.3	FT	2,966	133	1	3	1	2,952	132	1	3	1	2,774	124	1	3	1
			WT	3,302	148	1	3	0	3,286	147	1	3	0	3,089	139	1	3	0
	D-30	35.5	FT	4,808	135	1	3	1	4,784	135	1	3	1	4,497	127	1	3	1
			WT	5,352	151	1	3	1	5,325	150	1	3	1	5,006	141	1	3	1
	D-50	51.7	FT	6,827	132	1	3	1	6,793	131	1	3	1	6,386	124	1	3	1
			WT	7,600	147	1	3	1	7,562	146	1	3	1	7,109	137	1	3	1
	D-70	65.7	FT	8,344	127	1	3	1	8,302	126	1	3	1	7,804	119	1	3	1
			WT	9,288	141	1	3	1	9,242	141	1	3	1	8,687	132	1	3	1
US (Spot/ Column)	D-20	22.3	FT	3,156	142	1	3	1	3,140	141	1	3	1	2,952	132	1	3	1
			WT	3,316	149	1	3	0	3,300	148	1	3	0	3,102	139	1	3	0
	D-30	35.5	FT	5,114	144	1	3	1	5,089	143	1	3	1	4,784	135	1	3	1
			WT	5,375	151	1	3	1	5,348	151	1	3	1	5,027	142	1	3	1
	D-50	51.7	FT	7,263	140	1	3	1	7,227	140	1	3	1	6,793	131	1	3	1
			WT	7,633	148	1	3	1	7,595	147	1	3	1	7,140	138	1	3	1
	D-70	65.7	FT	8,876	135	1	3	1	8,832	134	1	3	1	8,302	126	1	3	1
			WT	9,328	142	1	3	1	9,282	141	1	3	1	8,725	133	1	3	1



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TRP2/RD12/QSP2 L6-SPEC

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LOW - GLARE



Designed for optimal visual comfort and maximum performance, the low glare versions provide excellent illumination and uniformity with zero LED pixelation.

UPLIGHT



Optional uplight distributions provide accent lighting for columns, canopies or building facades

The wall graze also creates a 50/50 appearance on the wall while still providing general illumination on the ground

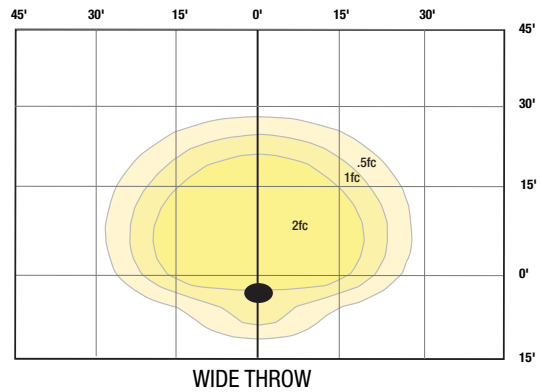
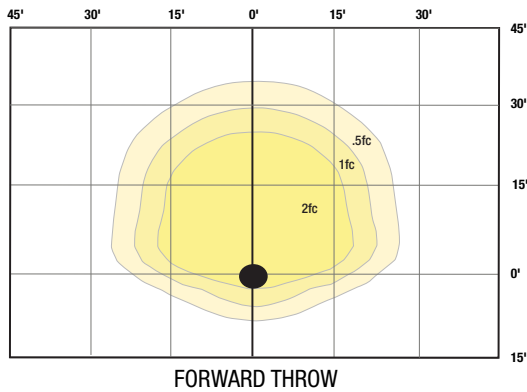
CONTROL OPTIONS



Programmable occupancy sensor offers greater control and energy savings with adjustable delay and dimming levels (Factory default is 10%).

PHOTOMETRICS

Mounting Height 15ft



UPLIGHT GRAZE

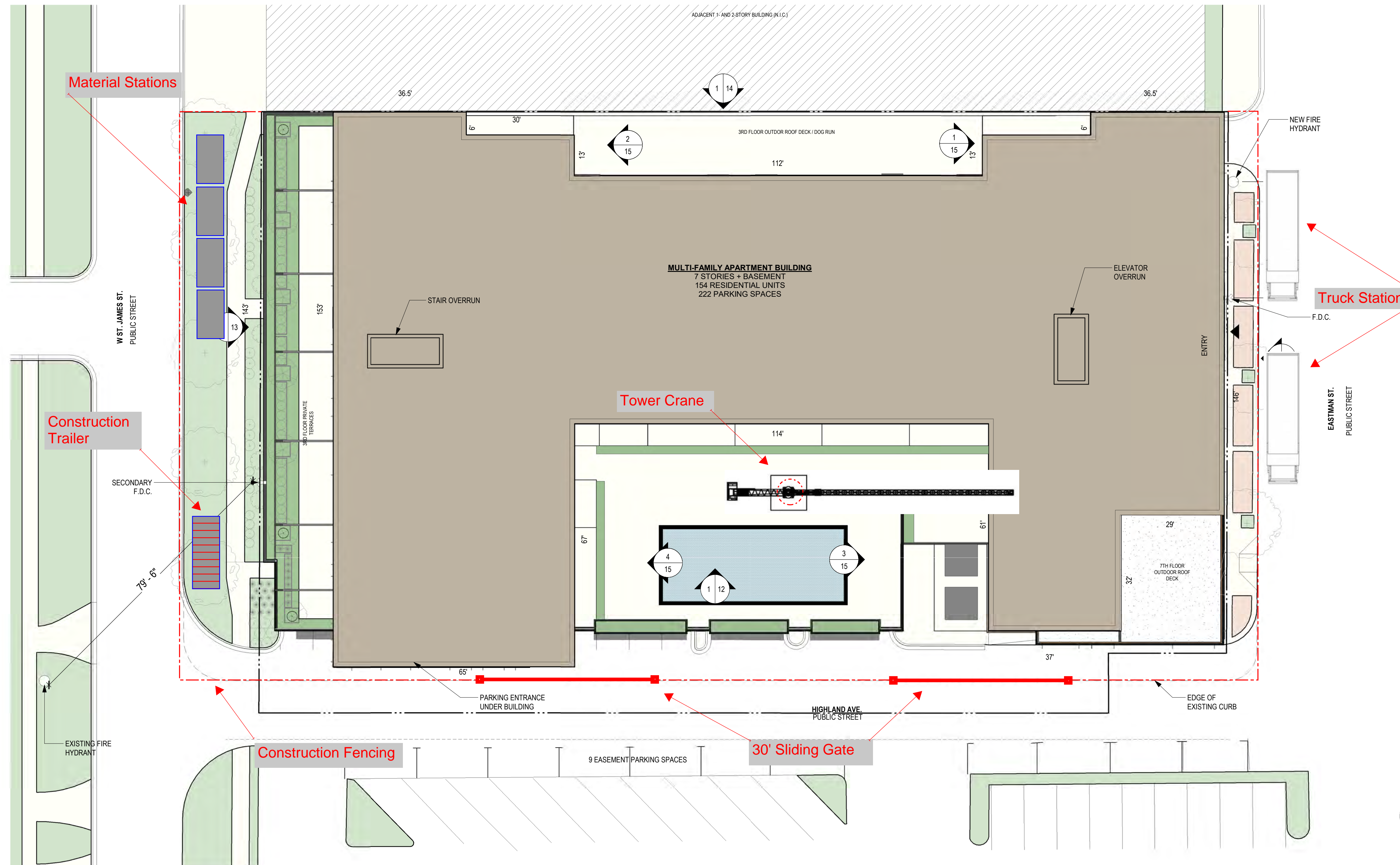


UPLIGHT SPOT/COLUMN



EXHIBIT I

CONSTRUCTION STAGING PLAN



ZONING SUMMARY		
PROPOSED ZONING DISTRICT:	B-5	
ZONING DESCRIPTION:	43,984 SF	
SITE AREA:	ORDINANCE REQUIREMENT	PROPOSED
FAR	N/A	
AREA / DWELLING UNIT:		
1 Bedroom	300 sf lot area / DU	
2 Bedroom	400 sf lot area / DU	
FRONT YARD	Adjacent Residential Minimum: 5 FT.	0'-0"
	Adjacent Other Minimum: N/A	0'-0"
SIDE YARD (NEXT TO R-ZONE)	Adjacent Residential Minimum: Setback of adjacent residential district. Adjacent Other Minimum: 5 ft. Abutting street or alley	0'-0"
REAR YARD (NEXT TO R-ZONE)	Adjacent Residential Minimum: 25 ft or 20% of lot depth, whichever is less. Adjacent Other Minimum: N/A	0'-0"
HEIGHT (W/ GROUND FLOOR RETAIL)	60'-0"	84'-0"
PARKING		
STUDIO & 1 BEDROOM UNITS	1 space / unit	
2-3 BR UNIT LOADING	1.25 space / unit (1) 10'x30'x4'xH	
TOTAL RESIDENTIAL PARKING SPACES	154	
RESTAURANT	1 space / 200sf seating	
	7 'x4' spaces	
TOTAL:	161	224

DEVELOPMENT SUMMARY			
BUILDING AREA			
	GROSS	NET (RESIDENTIAL)	PARKING
TOTAL:	6,321	-	-
LEVEL 01:	32,785	-	26,475
LEVEL 02:	36,500	5,118	29,810
LEVEL 03:	26,422	19,234	-
LEVEL 04:	26,422	23,264	-
LEVEL 05:	26,422	23,264	-
LEVEL 06:	26,422	23,264	-
LEVEL 07:	25,352	19,988	-
TOTAL:	207,827	114,652	56,345
PARKING			
LOWER LEVEL	RESIDENTIAL	COMMERCIAL	TOTAL
LEVEL 01	97	0	97
LEVEL 02	77 (1+18 TANDER)	0	95
TOTAL PROVIDED	201	0	224
TOTAL REQ'D	154	7	161
BIKE PARKING			
LEVEL 01	RESIDENTIAL	COMMERCIAL	TOTAL
TOTAL PROVIDED	15	0	15
TOTAL REQ'D	15	0	15

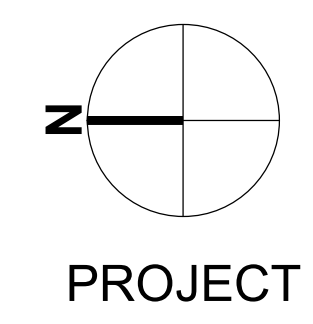
UNIT MATRIX					
	STUDIO	1-BED	1-B+DEN	2-BED	TOTALS
LEVEL 2	1	5	1	-	7
LEVEL 3	6	14	6	1	27
LEVEL 4	4	15	7	4	30
LEVEL 5	4	15	7	4	30
LEVEL 6	4	15	7	4	30
LEVEL 7	3	13	6	2	26
TOTALS	22	77	38	15	150

AVERAGE UNIT SIZE	
STUDIO	925 SQ. FT.
1-BED	753 SQ. FT.
2-BED	1083 SQ. FT.

1 SITE PLAN
02 SCALE: 1/16" = 1'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



SCALE: 1/16" = 1'-0"
0' 4' 8' 16' 32'



ARLINGTON HEIGHTS MULTI-FAMILY

116 W EASTMAN STREET
ARLINGTON HEIGHTS, IL 60004
04/17/2023 Project #: 22008

EXHIBIT J

PARKWAY RESTORATION MAP

Exhibit J – Parkway Restoration Area



Parkway to be restored in this area



EXHIBIT K

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Arlington Heights, Illinois (“*Village*”):

WHEREAS, MYLO Residential Arlington Heights Property LLC (“*Applicant*”) is the owner of record of that certain property located in the B-5 Downtown District (“*B-5 District*”), commonly known as 116-120 W. Eastman Street (“*Property*”); and

WHEREAS, the Applicant desires to construct a 135-unit multi-family development on the Property with space for a restaurant or other commercial use (“*Proposed Development*”); and

WHEREAS, Ordinance No. 2023-_____, adopted by the Village President and Board of Trustees on _____, 2023 (“*Ordinance*”), approves a planned use development and grants variations for the Proposed Development; and

WHEREAS, Section 10 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to, accepts, consents to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village’s granting of the planned development permit and the variations for the Property or its adoption of the Ordinance, and that the Village’s approvals do not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.
4. The Applicant hereby agrees to hold harmless and indemnify the Village, the Village’s corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village’s adoption of the Ordinance granting the planned development permit and the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2023

ATTEST:

MYLO RESIDENTIAL ARLINGTON HEIGHTS
PROPERTY LLC

By: _____

By: _____

Its: _____

Its: _____