



# Village of Arlington Heights Building & Life Safety Department

## Interoffice Memorandum

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**To:** Jorge Torres, Director of Building & Life Safety  
**From:** Elliot Eldridge, Assistant Building Official, Building & Life Safety Department  
**Subject:** PC 23-011 (2201 N Chestnut Townhomes)  
**SDC:** Round 1  
**Date:** September 18, 2023

General Comments:

**After review of the submitted documents for round 1, and after review of the applicant's response letter to the "Preliminary Staff Development Committee Review" dated November 16, 2022, the Building & Life Safety Department have no additional comments prior to permit submittal.**

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. **23-011**  
 Petitioner: Plummer Capital, LLC Series A  
702 Thompson's Way  
Inverness, IL 60067  
 Owner: \*same as Petitioner\*  
 Contact Person: Kelle Bruckbauer - Tinaglia Architects  
 Address: 814 W. Northwest Highway  
Arlington Heights, IL 60004  
 Phone #: 847-253-0002  
 Fax #: n/a  
 Email: kqbruckbauer@tinaglia.com

P.I.N.# 03-18-401-020-0000 & 03-18-401-021-0000  
 Location: 315 W. Rand Road & 2201 N. Chestnut  
 Rezoning: Yes        Current: R-1 Proposed: B-2 & R-6  
 Subdivision: Yes  
 # of Lots: 2 Current: 2 Proposed: 2  
 PUD:        For:         
 Special Use: Yes        For: Minor Auto Repair on Lot 1  
 Land Use Variation:        For:         
 Land Use:        Current: Auto Repair & Single Family Home  
 Proposed: Auto Repair & Multifamily  
 Site Gross Area: 61,525.79 sq. ft. (1.41 acres)  
 # of Units Total: 5  
 1BR:        2BR:        3BR: 5 4BR:       

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: .....	YES	NO	COMMENTS
a. <b>Underground Utilities</b>			
Water .....	<u>      </u>	<u>X</u>	<u>      </u>
Sanitary Sewer .....	<u>      </u>	<u>X</u>	<u>      </u>
Storm Sewer .....	<u>      </u>	<u>X</u>	<u>      </u>
b. <b>Surface Improvement</b>			
Pavement .....	<u>X</u>	<u>      </u>	<u>      </u>
Curb & Gutter .....	<u>X</u>	<u>      </u>	<u>      </u>
Sidewalks .....	<u>X</u>	<u>      </u>	<u>      </u>
Street Lighting .....	<u>      </u>	<u>X</u>	<u>      </u>
c. <b>Easements</b>			
Utility & Drainage .....	<u>X</u>	<u>      </u>	<u>      </u>
Access .....	<u>      </u>	<u>X</u>	<u>      </u>

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC X
- b. IDOT X
- c. ARMY CORP
- d. IEPA
- e. CCHD

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS? .....	<u>X</u>	<u>      </u>	<u>      </u>
4. SITE PLAN ACCEPTABLE? .....	<u>      </u>	<u>X</u>	<u>      </u>
5. PRELIMINARY PLAT ACCEPTABLE? .....	<u>      </u>	<u>X</u>	<u>      </u>
6. TRAFFIC STUDY ACCEPTABLE? .....	<u>      </u>	<u>      </u>	<u>      </u>
7. STORM WATER DETENTION REQUIRED? .....	<u>X</u>	<u>      </u>	<u>      </u>
8. CONTRIBUTION ORDINANCE EXISTING? .....	<u>X</u>	<u>      </u>	<u>76-D4 (BOTH PMS)</u>
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....	<u>      </u>	<u>X</u>	<u>      </u>
10. WETLAND EXISTING? .....	<u>      </u>	<u>X</u>	<u>      </u>

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: HAEBER ENB.  
 DATE OF PLANS: 4/20/2023

Michael J. Ryan 9-25-23  
 Director VILLAGE ENGINEER Date

**PLAN COMMISSION PC #23-011**  
**2201 N Chestnut Townhomes**  
**315 W Rand Road & 2201 N Chestnut Ave**  
**Round 1**

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Since a subdivision is being proposed the plans must meet all subdivision requirements. Final engineering plans for all public improvements must be approved prior to the final plat of subdivision approval. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. An Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would be widening of Chestnut Ave with curb & gutter, pavement widening, and installing public sidewalk. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
13. Final engineering plans shall be georeferenced by using State Plane Coordinate System - Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
	Prime Meridian: Greenwich
	Angular Unit: Degree
14. The Final Plat of Subdivision must be reviewed and approved by Engineering prior to final Plan Commission approval. The original signed mylar Final Plat of Subdivision, containing all non-Village signatures, shall be submitted one week before the scheduled date of the final Plan Commission meeting. Village Code Section 29-209 also requires a digital copy of the plat to be provided on disk to the Village. The petitioner shall acknowledge that they accept this understanding.

15. Detention is required meeting both the Village and Metropolitan Water Reclamation District (MWRD) detention requirements, including volume control.
  - a) The proposed detention/retention facility will be a private system and as such will not be the Village's responsibility to maintain.
  - b) If the facility is to include a basin, a basin requires a 1-foot freeboard with an overflow weir at the 6" line. The basin requires a 5' flat zone around the perimeter before the top of slope begins. Provide calculations for sizing the weir.
  - c) If the facility is to include a wet bottom basin, the basin shall be constructed with a minimum depth of six feet (6'). A safety ledge, five feet (5') wide, back pitched towards the shore three inches (3"), at three feet (3') below normal water level (NWL) must be provided. The side slopes leading down to the safety ledge must be 5:1 maximum. Provisions, such as a recirculation pump, must be made to keep the pond nuisance free.
  - d) An MWRD permit will be required.
  - e) A portion of the underground detention storage system is located under pavement, the system must be designed to AASHTO HS-25 loading standard.
  - f) If the retention/detention facility is to serve both properties or a portion of the detention facility is located on the Performance Auto site, a maintenance agreement between the properties is required.
  
16. Plan Commission approval will require preliminary engineering plans including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. The Village's allowable release rate is 0.18 cfs/Ac. Use  $C=0.50$  for pervious areas,  $C=0.95$  for impervious areas. Use updated Bulletin 70 rainfall data. Clearly show the overflow route for the site. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.
  - a) The Village is in receipt of the Preliminary Stormwater Report dated September 21, 2023 and received on September 25, 2023. Additional comments on the Preliminary Stormwater Report will be provided in Round 2.
  - b) A portion of the existing Performance Auto site sheet drains to Rand Road and is unrestricted, the entire parkway along Rand Road from Chestnut Ave to the east property line is paved, and the parking lot is paved up to the sidewalk along Rand Road. Although a portion of the paved parkway is shown to be striped, the striping does not prevent the paved area from being used to drive or park vehicles and vehicles have been observed to be partially blocking the sidewalk.
    - i. The pavement in the parkway should be removed.
    - ii. Install curb & gutter for the angled parking stalls adjacent to Rand Road, and install a landscaped median in lieu of a striped median. Evaluate the feasibility of installing bioswales in the landscaped medians to capture the runoff.
    - iii. Provide calculations for the existing and proposed conditions for the area that currently sheet drains to Rand Road. Provide additional storage for the townhome site to account for any unrestricted flow to Rand Road.
  
17. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval for all private utilities including the detention/retention facility, storm sewer, water service, and sanitary sewer service. Please contact the Village Engineer for an editable version of the OUMA.
  
18. A homeowner's association will be needed to address group maintenance.
  
19. Final subdivision approval will require final engineering plans.

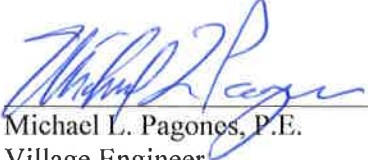
20. The petitioner's request for relieve from the requirement to submit a photometric plan for the site is noted. In lieu of a full photometric plan, provide the existing levels of lighting at the property line between lots 1 and 2 to verify the spillage onto lot 2 meets the Village's maximum allowable spillage.
21. Fire lanes, where required adjacent to buildings, must meet the pavement dimensions as directed by the Fire Department. Fire lanes require a heavy-duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-50 Binder, and 4" CA-6 Stone Subbase. Concrete driveway apron to be 8" thick.
22. The turning path of the Fire Department's responding vehicle in this case the tower truck for the proposed townhomes and the engine for the existing Performance Auto site.
  - a) An additional exhibit should be provided showing access to the townhome site from northbound Chestnut Ave. Exhibits shall be provided for both the townhome site and the Performance Auto site.
  - b) The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus and fire engine.
  - c) The current layout for the townhomes will required the fire truck to back out of the site. This must be approved by the Village's Fire Official.
23. The Performance Auto site is higher than the townhomes. Headlights from vehicles parking in the rear of the property could potentially shine into the adjacent townhomes.
24. The proposed entrance is to be constructed on the property line. The proposed curb is located less than 8 from the adjacent parking lot and less than 3 ft from the adjacent block wall. The adjacent parking lot is also approximately 2 ft higher.
  - a) Snow removal may be problematic during winter months.
  - b) Provide the following cross sections:
    - i. The entrance and the adjacent block wall
    - ii. The entrance and the adjacent parking lot
    - iii. The southern-most parking stall and the adjacent building to the west.
25. Two-way traffic requires a minimum width of 24 ft. If required by the Village's Fire Official, additional width may be required for the fire lane.
26. Provide an exhibit showing how a garbage truck will maneuver to access the garbage corral.
27. The Performance Auto site is non-compliant for the number of accessible parking stalls. Provide two accessible stalls.
28. Rand Road is under the jurisdiction of the Illinois Department of Transportation (IDOT). Any work within IDOT right-of-way will require a permit from IDOT.
29. The angled parking requires one-way traffic circulation.
  - a) Provide additional striping, evaluate if additional signage is needed.
  - b) The plan as proposed shows the northwest access point off of Rand Road as an entrance, and vehicles exiting through the southeast access point. IDOT may require right-in/right-out, or possibly the removal of one of the access points off of Rand Road.

30. The pavement widening of Chestnut Ave shall meet the Village's current standard cross section: 2" N50 surface, 5 1/4" N50 Binder, 8" subbase granular material, type B, and 4" subbase granular material, type B extending to the proposed curb & gutter.
31. The pavement overlay of Chestnut Ave shall be 2" N50 surface.
32. The existing sanitary manhole south of the Performance Auto access at Chestnut Ave is located in the parkway. The proposed modifications place the structure partially in the curb and in the pavement. Adjust the curb such that the structure is completely within the pavement.
33. The plans show a storm connection to an existing manhole south of the development. The condition of the manhole shall be verified.
34. The sanitary sewer service shall be a minimum of 6 inches in diameter. If the service line is larger than 6 inches, a manhole shall be constructed at the point of its connection with the sewer main.
35. Dimension the separation of the water service and sanitary sewer service. The services shall be separated by a minimum of 10 ft.
36. For the water service to the building, provide a master meter in a vault or meter room.
37. Payment due for Contribution Ordinance 76-04:

03-18-401-020 \$1,915.20  
 03-18-401-021 \$1,008.00

Preliminary Plat of Subdivision:

38. The plat was reviewed against the attached Preliminary Plat of Subdivision Checklist. Items #1,2,4, and 6 are complete. Use the checklist to complete the rest of the items.
  - a) Provide the name of whom prepared the Preliminary Plat.
  - b) The easements are proposed, not existing. Update the legend accordingly.
  - c) Dimension the easements.
  - d) Dimension the setback lines.
  - e) Provide dimensions and bearings for the public sidewalk easement.
  - f) Provide the names and addresses of the owners of the land proposed to be subdivide, and all owners of land immediately adjoining the land proposed to be subdivided.
  - g) Provide the legal description.
39. For the Final Plat of Subdivision, use the attached Final Plat of Subdivision Checklist. The elementary school district is Consolidated Community School District #25, Township High School District #214, Harper Community College District #512. Add the utility signature blocks.

  
 Michael L. Pagonis, P.E.      9/25/23  
 Village Engineer      Date

Attachments:

AHFD Tower 133 Turning Performance Analysis (1 page)  
AHFD Engine 114 Turning Performance Analysis (1 page)  
Preliminary Plat of Subdivision Checklist (1 page)  
Final Plat of Subdivision Checklist (3 pages)  
Contacts for Plat Signatures (1 page)  
Sample Utility Signature Blocks (1 page)

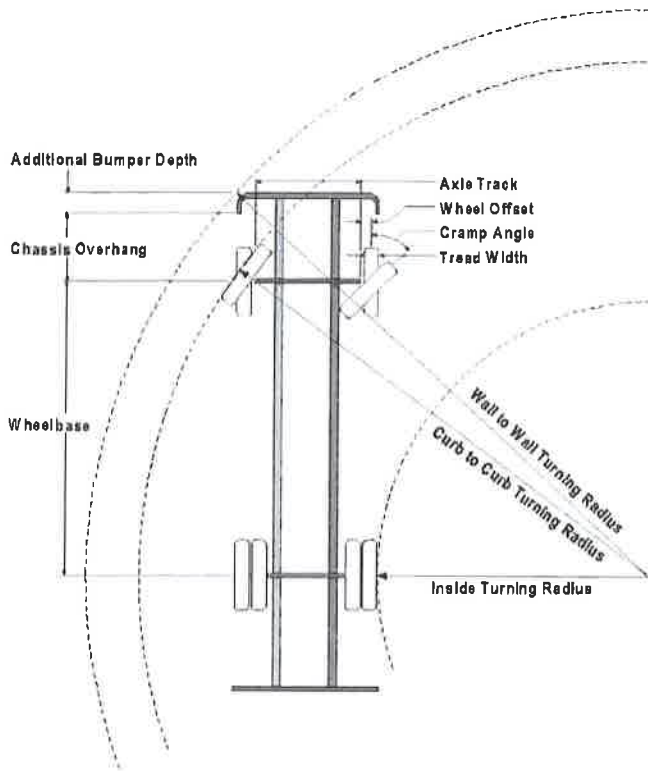


# Turning Performance Analysis

05/22/2018

**Bid Number:** 307  
**Department:** Arlington Heights, IL

**Chassis:** Dash CF Chassis, PAP, PUC (Big Block)  
**Body:** Aerial, Platform 100', PUC, Alum Body



**Parameters:**

*Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.3 in.
Tread Width:	17.8 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	22 in.
Front Overhang:	136.1 in.
Wheelbase:	267.5 in.

**Calculated Turning Radii:**

Inside Turn:	25 ft. 3 in.
Curb to curb:	41 ft. 3 in.
Wall to wall:	48 ft. 2 in.

Category	Option	Description
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0078245	Tires, Front, Michelin, XZY3 (wb), 445/65R22.50, 20 ply
Bumpers	0550017	Bumper, 22" Extended, Arrow XT
Aerial Devices	0657391	Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 400lb Tip Load Allowance

**Notes:**

\*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

**Definitions:**

Inside CrampAngle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.



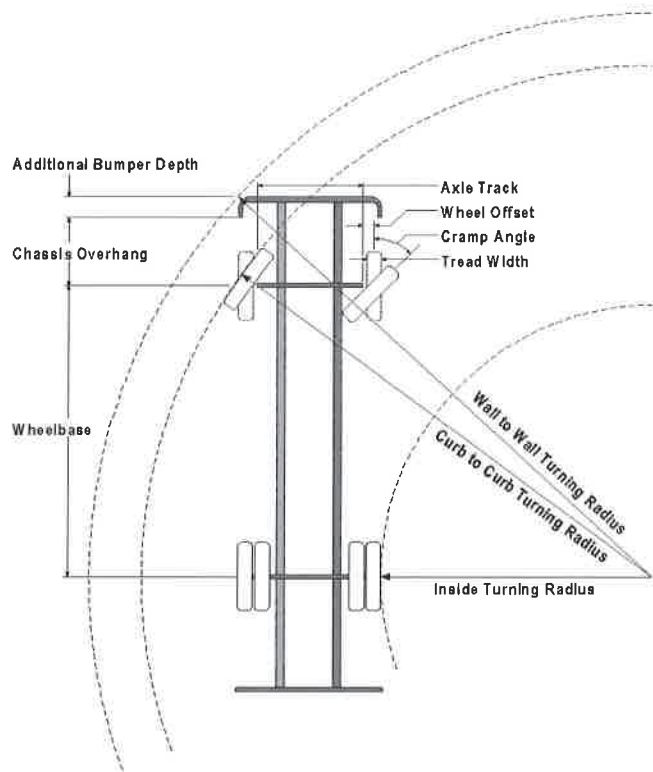


# Turning Performance Analysis

01/13/2019

**Bid Number:** 624  
**Department:** Arlington Heights, IL

**Chassis:** Velocity Chassis (Big Block), 2010  
**Body:** Pumper, Medium, Aluminum, 2nd Gen



### Parameters:

*Inside Cramp Angle:	45°
Axle Track:	81.92 in.
Wheel Offset:	4.68 in.
Tread Width:	17.7 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	26 in.
Front Overhang:	104 in.
Wheelbase:	201.5 in.

### Calculated Turning Radii:

Inside Turn:	15 ft. 6 in.
Curb to curb:	30 ft. 0 in.
Wall to wall:	35 ft. 5 in.

Category	Option	Description
Axle, Front, Custom	0648752	Axle, Front, Dana, D2200, 22,800 lb
Wheels, Front	0019611	Wheels, Front, Alcoa, 22.50" x 12.25", Aluminum, Hub Pilot
Tires, Front	0521238	Tires, Front, Michelin, XFE (wb), 425/65R22.50, 20 ply
Bumpers	0600986	Bumper, 26" Extended, Under Slung, Painted, Xlays/Trays, 12" H, Imp/Vel

### Notes:

\*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

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**Definitions:**

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Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
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Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
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Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

## Preliminary Plat of Subdivision Checklist

### Municipal Code Section 29-201(b)(1 – 13)

1. The name of the proposed subdivision.
2. A north-point indication, scale, date of preparation of the Preliminary plat, and by whom prepared.
3. A legal description of land proposed to be subdivided, by section, township and range, and other terms as used in describing land on the records of the Recorder of Deeds or Registrar of Titles, Cook County, Illinois.
4. Sufficient information to locate accurately the proposed subdivision in relation to its general neighborhood, by means of references to streets, railroad lines, recorded plats, etc. If the foregoing references cannot be made, then a vicinity plat showing the location of the proposed subdivision, drawn to a smaller scale, shall accompany the Preliminary plat.
5. The description and location of all survey monuments, existing and to be erected, in the area of the proposed subdivision.
6. The boundary lines of the proposed subdivision, drawn to accurate scale and bearing, and a statement of the total area encompassed by the boundary lines.
7. The location and dimensions of streets, easements, improvements and utilities within and immediately contiguous to the proposed subdivision, as well as the location and dimensions of major features such as railroad lines, airports, water courses, lakes and exceptional topography.
8. The location, dimensions and layout of proposed streets, alleys, and sidewalks of the proposed subdivision.
9. The layout, number, dimensions and area of each lot of the proposed subdivision.
10. The location, dimensions and layout of all parcels of land intended to be dedicated for public use, such as parks and other open spaces, or reserved for the use of all subdivision property owners, together with an indication of the nature of each such use within the proposed subdivision.
11. The location, dimensions and layout of all public utility easements in the proposed subdivision.
12. The location and dimensions of all building setback lines in the proposed subdivision.
13. The names and last known addresses of the owners of the land proposed to be subdivided, the subdivider and all owners of land immediately adjoining the land proposed to be subdivided.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com) .

**Final Plat of Subdivision Checklist**  
**Municipal Code Section 29-209(a – t)**

- a. The date of preparation of the final plat and by whom prepared.
- b. The boundary of the plat, based on accurate traverse, with angles and lineal dimensions.
- c. All permanent survey monuments, markers and bench marks.
- d. Exact location, width and name of all streets within and adjoining the plat, and the exact location and widths of all cross walkways.
- e. True angles and distances to the nearest established street lines or official monuments, not less than three.
- f. Municipal, township, county and section lines accurately tied to the lines of the subdivision by distances and angles.
- g. Radii, internal angles, points and curvatures, tangent bearings and lengths of all arcs.
- h. All easements for rights of way established for public use and utilities.
- i. All lot numbers and lines, with accurate dimensions given in hundredths of feet.
- j. Accurate outlines and legal descriptions of all areas dedicated or reserved for public use, with the proposed uses indicated thereon; and all areas to be reserved by deed covenant for the common use of all property owners; together with the proposed uses indicated thereon.
- k. The text of protective covenants, approved by the Plan Commission, relating to the proposed subdivision.
- l. An endorsement by the County Clerk in the form acceptable to Cook County, that there are no delinquent, forfeited, foreclosed or purchased general taxes, or unpaid current general taxes, against the land proposed to be subdivided.
- m. A summary of all restrictions applicable to any part of such subdivision concerning building restrictions, use restrictions, building setback lines and similar matters.
- n. A deed of dedication in the form set forth in Section 29-217(a):  
The Final plat shall contain a deed of dedication substantially as follows:

"We, the undersigned, (Names), owners of the real estate shown and described herein, do hereby lay off, plat and subdivide said real estate in accordance with the within plat. This subdivision shall be known and designated as (Name), an addition to the Village of Arlington Heights, Cook County. All streets and alleys and public open spaces shown and not heretofore dedicated are hereby dedicated to the public. Front and side yard building setback lines are established as shown on this plat, between which lines and the property lines of the streets, there shall be erected or maintained no building or structure. There are strips of ground, (Number) feet in width, as shown on this plat and marked 'Easement' reserved for the use of public utilities for the installation of water and sewer mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. No permanent or other structures are to be erected or maintained upon

these strips of land, but owners of lots in this subdivision shall take their titles subject to the rights of the public utilities, and to the rights of the owners of other lots in this subdivision.

(Additional dedications and protective covenants, or private restrictions, would be inserted here upon the subdivider's initiative or the recommendation of the Plan Commission or Village Board; important provisions are those specifying the use to be made of the property and, in the case of residential use, the minimum habitable floor area.)

The foregoing covenants (or restrictions), are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 20\_\_\_\_ [25 year period is suggested], at which time said covenants (or restrictions) shall be automatically extended for successive periods of ten years unless indicated otherwise by negative vote of a majority of the then owners of the building sites covered by these covenants (or restrictions), in whole or in part, which said vote will be evidenced by a petition in writing signed by the owners and duly recorded. Invalidation of any one of the foregoing covenants (or restrictions) by judgment or court order shall in no way affect any of the other various covenants (or restrictions), which shall remain in full force and effect.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected or maintained in violation, is hereby dedicated to the public, and reserved to the several owners of the several lots in this subdivision and to their heirs and assigns.

WITNESS our hands and seals this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS.

Before me the undersigned Notary Public, in and for the County and State aforesaid, personally appeared (Names), and each separately and severally acknowledged the execution of the foregoing instrument as his or her voluntary act and deed, for the purposes therein expressed.

WITNESS my hand and notarial seal this \_\_\_\_ day of 20 \_\_\_\_.

\_\_\_\_\_  
Notary Public"

- o. A blank certificate of approval in the form set forth in Section 29-217(b). The Final plat shall contain a certificate of approval as follows:

"Under the authority provided by 65 ILCS 5/11-12 as amended by the State Legislature of the State of Illinois and Ordinance adopted by the Village Board of the Village of Arlington Heights, Illinois, this plat was given approval by the Village of Arlington Heights AND MUST BE RECORDED WITHIN SIX MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD, OTHERWISE IT IS NULL AND VOID.

APPROVED by the Plan Commission at a meeting held \_\_\_\_\_

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

APPROVED by the Village Board of Trustees at a meeting held \_\_\_\_\_

\_\_\_\_\_  
President

\_\_\_\_\_  
Village Clerk

APPROVED by the Village Collector  
\_\_\_\_\_

APPROVED by the Village Engineer  
\_\_\_\_\_”

- p. A certification by a registered surveyor in the form set forth in Section 29-217(c). The Final plat shall contain a certificate signed by an Illinois Registered Land Surveyor in substantially the following form:

“I, (Name), hereby certify that I am an Illinois Registered Land Surveyor in compliance with the laws of the State of Illinois, and that this plat correctly represents a survey completed by me on (Date); that all monuments and markers shown thereon actually exist, and that I have accurately shown the materials that they are made of.

\_\_\_\_\_  
Signature

(SURVEYOR'S SEAL)

Illinois Land Surveyor  
No. \_\_\_\_\_”

- q. A notarized statement from the owner indicating the school district in which each tract, parcel, lot or block lies.
- r. A certificate in the form as required by the Illinois Department of Transportation or Cook County Highway Department, respectively, when any new street or new driveway will access one of these Department's streets.
- s. The parcel index numbers of all lots contained within the plat shall be included on the plat of subdivision.
- t. A block stating "Send Tax Bill To: (Name/Address)." The actual name and address shall be provided by the developer.
- u. Provide a location to identify the address of each new lot.

The Village of Arlington Heights Municipal Code can be accessed over the internet at [www.vah.com](http://www.vah.com) .

## Contacts for Plat Signatures

Ted Wyman  
Comcast Cable  
Right-of-Way Engineer  
688 Industrial Drive  
Elmhurst, IL 60126  
Phone: (224) 229-5850 office (847) 652-6074 cell  
Fax: (630) 359-5482  
[Ted\\_Wyman@comcast.com](mailto:Ted_Wyman@comcast.com)

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# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

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### DEPARTMENT PLAN REVIEW SUMMARY

#### 2201 N Chestnut Townhomes

#### Round 1 Review Comments

09/22/2023

**1. Character of use:**

The character of use is consistent with the area. It will be necessary to limit access to the grounds, to discourage loitering. The addition of trespass signs is recommended.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights Code. Special attention should be given to those outside common areas- ie courtyard and parking lot. Landscaping must not create hiding locations and should provide for natural surveillance.

**3. Present traffic problems?**

There are no traffic problems at this location.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

This development should not create any additional traffic problems.

**6. General comments:**

**Address visibility:**

-Include signage for "No Trespassing," "No Loitering" and/or "No Solicitation."

-For each individual dwelling within the complex, there should be a prominent address number which is easily visible to approaching motor vehicles, pedestrians, and first responders.

**Parking Lot and exterior courtyards:**

-Parking could become an issue if a larger percentage of residents, than expected have vehicles. Emergency telephones should be installed in the parking area for added safety.

-Plantings higher than 3 feet should not be placed within 10 to 15 feet of entrances to prevent hiding spots, and mature trees should be pruned to 8 feet.

-Lighting is an important aspect of CPTED. Lighting increases the amount and quality of natural surveillance. If people cannot see the activity, they cannot report the activity. Lighting can also deter those intending to conduct criminal/nuisance activity. Exterior lighting should to be activated by sensor, timer or motion depending on the need and location.

-The height of parking lot light fixtures makes a difference in the ability of pedestrians to see past the shadows caused by the cars and other obstructions naturally occurring in parking lots. Typical light poles are 30 to 45 feet high and cast a wide swath of lighting, but they create deep shadows between cars. Pedestrian-level lighting in the 12- to-14-foot range casts light that will go through the glass of cars and reflect off the cars; that can dramatically reduce shadows and dark spots.

-CCTV is an essential part of CPTED and is highly recommended for the parking lot area. Signage indicating the use of video surveillance and monitoring is also highly recommended in conjunction with CCTV.

### **Trash enclosure:**

-Will this complex have a communal trash enclosure for residents of the complex? If yes, the ability to lock the trash enclosures is recommended to discourage foraging. Additionally, the trash enclosure provides a place of concealment for criminal activity if trash areas are not properly secured.

-Should be monitored 24/7 by CCTV and contain clearly visible signage indicating the use of security cameras.

### **Territorial Reinforcement:**

-Clear boundaries between public and private areas achieved by using physical elements such as fences, pavement treatment, art, signs, good maintenance and/or landscaping is recommended. These are ways to express ownership and delineate this property from others. It also makes identifying intruders much easier by having well defined spaces.

-Barrier fencing or similar is recommended alongside the north side of the property, adjacent to 315 W Rand Rd. Fencing should be used to create territorial reinforcement and define Townhome property as separate from 315 W Rand Rd. If utilizing fencing, should be tall enough to discourage fence hopping. Fencing should act as a barrier while not creating an opportunity for concealment. This is achieved by using fencing with adequate space between the posts to increase sight lines.

### **Catalytic Converter Theft Deterrent Recommendations**

-Implement CCTV and lighting improvements recommended above to improve natural surveillance and reduce concealment opportunities for criminal activity.

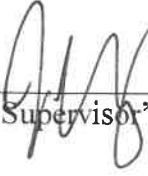
### **Emergency Contact Information:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

A.O. # 330

Alexandra Ovington, Crime Prevention Officer  
Community Services Bureau

Approved by:

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Supervisor's Signature

# Planning & Community Development Dept. Review

December 8, 2023



## REVIEW ROUND 1

Project: 2201 N Chestnut Townhomes  
2201 N Chestnut Ave, 315 W. Rand Rd.

Case Number: PC 23-011

### **General:**

7. The following zoning approvals have been requested as based on the plans. Please verify:
- Preliminary Plat of Subdivision to subdivide the property into two lots (Final Plat of Subdivision approval to come at a future date).
  - Rezoning of Lot 2 lot from the R-1 District to the R-6 District and Lot 1 from the R-1 District to the B-2 District.
  - Amendment to Comprehensive Plan to classify Lot 1 as Commercial and Lot 2 as Moderate Density Multi-Family
  - Special Use Permit to allow Minor Auto Repair on Lot 1
  - Variation to Chapter 28 of the Municipal Code, Section 5.1-6.4a.1, to allow a 19.9' front yard setback (west) for Lot 2 where code requires a minimum setback of 25'.
  - Variation to Chapter 28 of the Municipal Code, Section 5.1-6.4a.2, to allow a 17' side yard setback (north/northeast) for Lot 2 where code requires a minimum setback of 21.3'.
  - Variation to Chapter 28 of the Municipal Code, Section 5.1-11.3a., to allow a 6.8' front yard setback (west) for Lot 1 where code requires a minimum setback of 25'.
  - Variation to Chapter 28 of the Municipal Code, Section 5.1-11.3b, to allow a 20' side yard setback (southwest) where code requires a minimum setback of approximately 21.3'.
  - Variation to Chapter 28 of the Municipal Code, Section 10.2-8, to allow a 22' wide drive aisle where code requires a 24' wide minimum width.
  - Variation to Chapter 28 of the Municipal Code, Section 10.2-12.2, to waive the requirement to provide a photometric plan.
  - Variation to Chapter 28 of the Municipal Code, Section 6.12-1.3, to waive the requirement to provide a traffic and parking study.
  - Variation to Chapter 28 of the Municipal Code, Section 6.15-1.2b, to waive the requirement for certain landscape islands on Lot 1.

Additional variations may be required depending upon your response to certain comments and review of the revised plans.

8. Will the townhome building or site feature any sustainable/green design elements? Please update the project narrative to include information on any sustainable/green design elements.
9. The justification for variations document shall be revised to address the specific standards of approval as outlined in the code. Each requested variation shall include a separate response to the standards for approval as outlined below. Please include a response to the newly identified variations above:
- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
  - The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
  - The proposed variation is in harmony with the spirit and intent of this Chapter; and

- The variance requested is the minimum variance necessary to allow reasonable use of the property.

10. No Plat of Survey was included within the submission. Please provide a Plat of Survey and a legal description for the subject property in Microsoft Word format.
11. Please ensure that all plans and/or studies to be resubmitted as a result of the Round 1 Department review comments include a revision date.
12. The resubmittal shall be provided within a flash drive/USB, which shall include the response to these comments along with all revised plan sets and documents. In addition, one full sized hard copy of all revised plan sets and documents must also be provided.

**Townhome Use/Auto Repair Use:**

13. You're encouraged to organize and hold a neighborhood meeting well in advance of any Plan Commission hearing on the project.
14. The townhome building is proposed on one lot. Please confirm that it each townhome unit is not intended to be located on their own separate platted lot.
15. Chapter 29 of the Municipal Code requires the submission of a draft of the Declarations that will govern the townhomes. Please be aware that this document will be required at time of Final Plat of Subdivision application.
16. Impact Fee's will be required at time of building permit for the residential portion of the development, in accordance with Village Policy. Linkage Fee's will be required at time of building permit for the residential portion as per the Inclusionary Housing Ordinance.
17. The existing auto-repair use will need to be sensitive to the proposed townhomes on Lot 2. Any zoning approval of the auto-repair SUP will be conditional upon the owner/operator on Lot 1 to work with the Village to address any noise or odor issues to the satisfaction of the Village. Inoperable motor vehicle storage on Lot 1 shall be prohibited, and the automobiles shall not be stored on Lot 1 beyond the time reasonable to complete repairs, which shall be to the discretion of the Village. Exterior work on vehicles shall be prohibited.
18. Please be aware that outdoor storage of parts or equipment (tires, etc.) shall be prohibited. Please confirm that no outdoor storage shall occur on Lot 1 and any exterior storage will occur within the fenced enclosure area at the southeast of the building.

**Streetscape/Landscaping:**

19. The parkway along Rand Road must be restored in its entirety. The area proposed to remain as striped asphalt shall be removed and restored as parkway. Additionally, the landscape island at the northwest of the area must be incorporated into the parking lot.
20. Please explore shifting the driveway location on Lot 2 slightly further north to allow for a larger landscape area between the subject property and the single-family home to the south, which area could accommodate evergreen trees for year-round screening.

**Arlington Performance Site:**

21. Please reach out to IDOT to determine what access restrictions may be required and provide an update on said correspondence.
22. What is the long-term plan for the billboard and its removal?
23. The neighboring property to the southeast has been designed to provide for future cross access. Any approval of the proposed subdivision shall require, upon the request of the Village, for Lot 1 to implement a reciprocal cross access agreement with the property to the southeast. Said easement would only be required if/when the billboard is removed or Lot 1 is redeveloped, whichever shall come first.

24. The Arlington Performance site requires two ADA compliant parking stalls.
25. Please provide a detail for the proposed fence separating Lot 1 and Lot 2 (height, materials, etc.), along with the proposed dumpster enclosures on Lot 1 and Lot 2 (height, materials, etc.).
26. Provide a detail for the proposed retaining walls.
27. Please evaluate the ability for the fence proposed at the rear of Lot 1 (at the northeast of the 6 newly proposed parking stalls). The retaining wall is not shown on the landscape plan and the fence is not shown on the engineering plans.

**Townhome Site:**

28. Will all mechanical equipment for Lot 2 be located in "Meter Room"? Please indicate the location of any proposed ground mounted mechanical equipment (generator, HVAC equipment, utility pedestals/meters, transformer, etc.) on the site plan and provide landscape screening where applicable.
29. Given a variation has been requested to waive the photometric study, please indicate the location of any free-standing exterior or building mounted lights on Lot 2, along with a catalog cut sheet/specifications. Please indicate the location of the existing exterior lights on Lot 1.

**Plat of Subdivision:**

30. Final Plat of Subdivision approval shall come at a future Plan Commission meeting, to be determined when final engineering and final plat documents have been provided.
31. Chapter 29, Section 29-201.b.4 requires a location map be included on the Preliminary Plat of Subdivision.
32. Chapter 29, Section 29-201.b.12 requires the building setback lines for each lot be shown on the Plat of Subdivision.

Prepared by:



Chestnut Townhomes

2201 N. Chestnut

PC 23-011

December 8, 2023

### **Tree Preservation**

1. Please provide a tree survey that includes the size, species, condition and disposition for each tree.

### **Landscape Comments**

1. Along Rand Road, restore the parkway with turf and parkway trees. Please provide three additional shade trees where asphalt is shown.
2. Provide a landscape island that includes a shade tree on the west end of the parking row that is located along Rand Road.
3. Please provide a detail of the proposed fence shown on the site plan between the commercial and the proposed townhomes. Per code, the fence must be solid and six feet high.
4. Please indicate quantities and sizes on the planting plan. The trees at the ends of the parking row must be four-inch caliper in size.
5. Provide foundation plantings on the south elevation of the townhomes.
6. Please evaluate the placement of the drive aisle for the townhomes. It is recommended that the drive be placed further from the single-family residence to allow for a dense layered buffer that consists of evergreens.
7. Landscape screening must be provided for any utility/mechanical areas. Any new utility/mechanical boxes must be placed where they are not visible and screened.