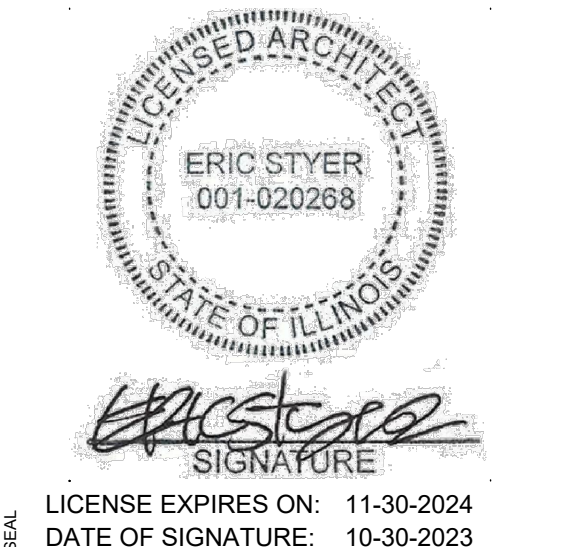




FORD PRO ARLINGTON HEIGHTS
FORD PRO ARLINGTON HEIGHTS
3456 NORTH RIDGE AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004



FOR PERMIT	Project Number: 23-140	Date: 10-30-2023
	Drawn By: DANM/SRC	Approved By: JW
	No. 184-006888	FOR PERMIT
		REV 1
		REV 2
		02-28-2024
		04-01-2024

FLOOR PLAN NORTH
A1-2A

KEYNOTES

- 01 AREA OF NEW CONCRETE
- 02 CHAIN LINK CAGE - VERIFY HEIGHT WITH CLIENT.
- 03 EQUIPMENT - BY OWNER
- 04 TYPICAL SERVICE BAY
- 05 NEW OPENING TO SOUTH SERVICE BAYS
- 06 EXISTING ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION
- 07 EXISTING COLUMN, TYPICAL
- 08 4" BOLLARD AT COLUMN

LEGEND

- EXISTING PARTITIONS & EXTERIOR WALLS
- NEW PARTITIONS
- EXISTING WALL W/ NEW FURRING

BLOCKING NOTES

- PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:
- ACCESSIBILITY REQUIREMENTS & GRAB BARS AT ALL RESTROOM LOCATIONS
 - RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS & BABY CHANGING TABLE
 - MILLWORK LOCATIONS - TO BE 6" STRIPS
 - CASEWORK AS REQUIRED BY THE MFR & FOR PROPER SUPPORT
 - MANAGER'S DESK SHELVES
 - LOCKERS

DIMENSION NOTES

- DIMENSIONS ARE TO FACE OF EXISTING STOREFRONT FRAME, FINISHED EXTERIOR WALL & FINISHED FACE OF DEMISING WALL
- ALL INTERIOR DIMENSIONS ORIGINATE FROM ESTABLISHED DATUM LINES. ESTABLISH DATUM LINES PRIOR TO LOCATING WALLS, DRAINS, FIXTURES, ETC.

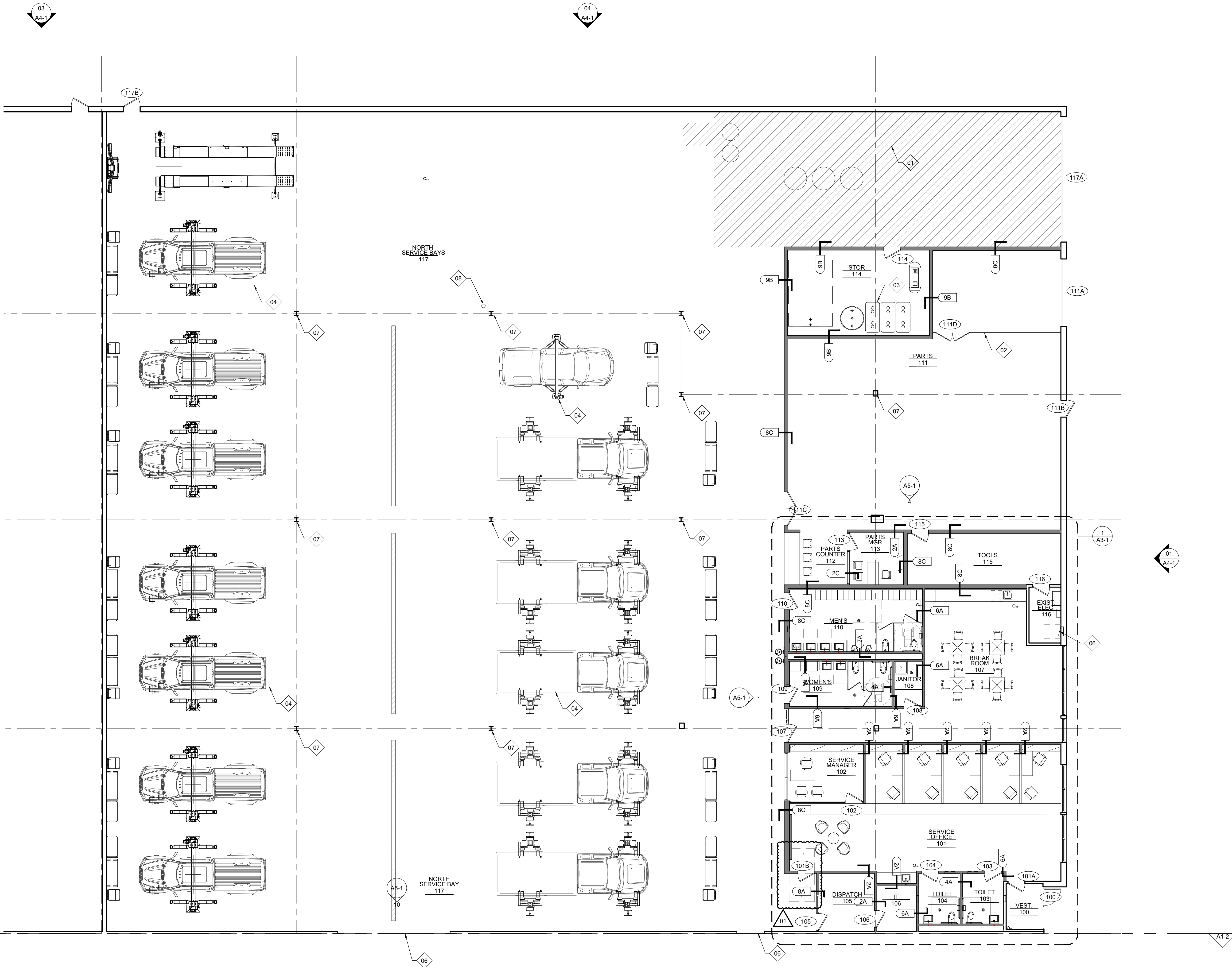
PLAN GENERAL NOTES

- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL FIRE RATED DOORS TO BE SELF-CLOSING.
- ALL INTERIOR FINISHES TO BE CLASS A WITH FLAME SPREAD RATING OF 0-25, U.O.N.
- SEE MECHANICAL DRAWINGS FOR LIGHT AND VENT SCHEDULES.
- DO NOT FASTEN STUDS OR GYPSUM BD. TO TOP RUNNER OF NON-BEARING GYP BD. PARTITIONS. CUT STUDS AND GYP BD. 1/2" MAX SHORT TO ALLOW FOR VERTICAL SLAB DEFLECTION.
- ALL DIMENSIONS TO BE FINISHED SURFACE UNO.
- GC TO COORDINATE ALL CEILING HEIGHTS WITH BUILDING SYSTEMS. OWNER TO APPROVE ALL CEILING HGTS. BEFORE INSTALLATION.
- THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
- CONTRACTOR IS REQUIRED TO HANG THE OWNERS INTERIOR SIGN PACKAGE.
- ALL GLAZED DOORS, ANY GLAZED PANEL ADJACENT TO ANY DOOR & ANY GLAZED PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.
 - EXPOSED BOTTOM EDGE LESS THAN 18" A.F.F.
 - EXPOSED TOP EDGE GREATER THAN 36" A.F.F.
 - ONE OR MORE WALKING SURFACE(S) WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING, SHALL ALL BE TEMPERED.

GC TO FIELD VERIFY ALL EXISTING DIMENSIONS & COLUMN LOCATIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED.

NOT FOR CONSTRUCTION



01 FLOOR PLAN
1/8" = 1'-0"



KEYNOTES

- 01 AREA OF NEW CONCRETE
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- 03 EQUIPMENT - BY OWNER
- 04 TYPICAL SERVICE BAY
- 05 NEW OPENING TO SOUTH SERVICE BAYS
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- NEW PARTITIONS
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PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:

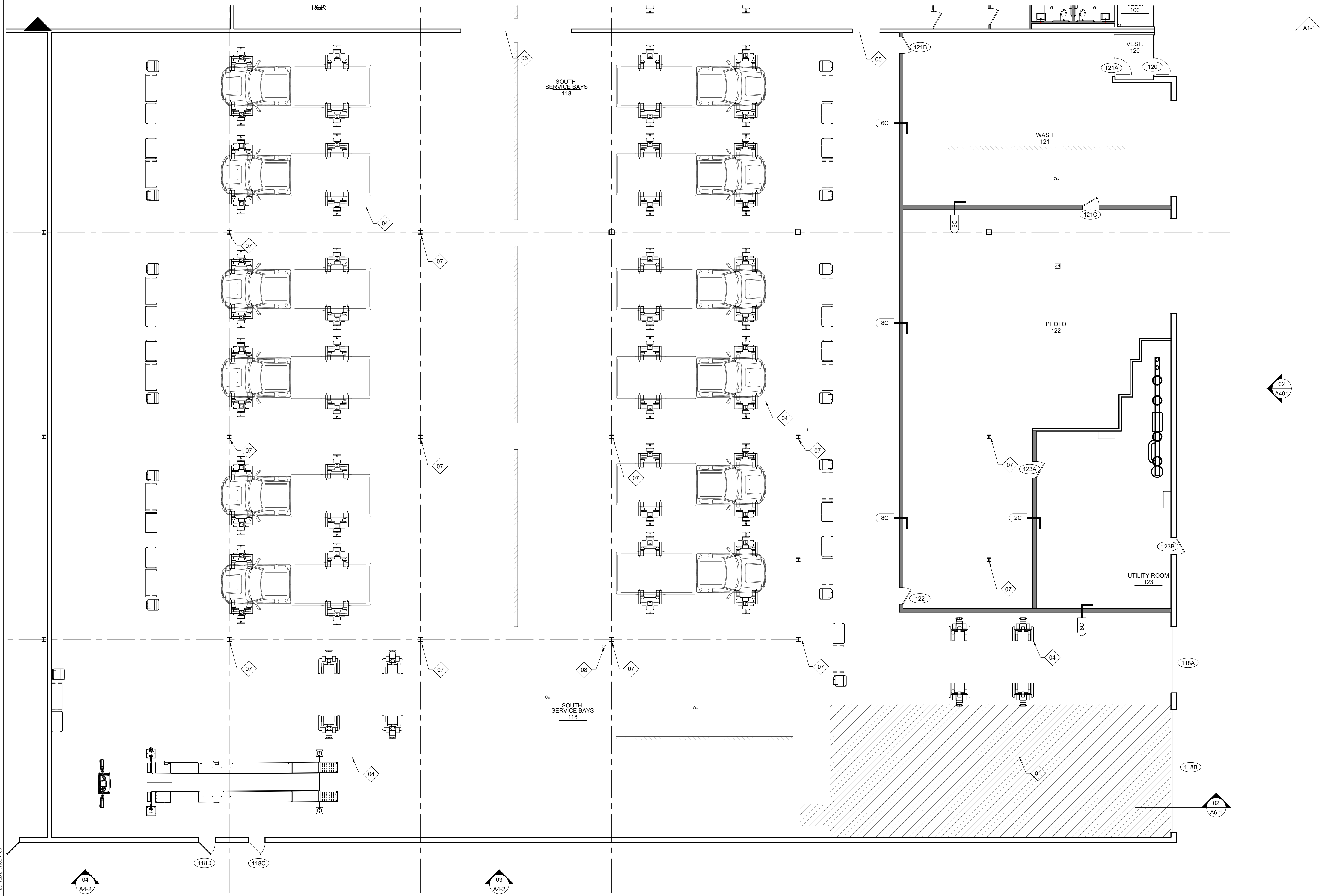
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7. GC TO COORDINATE ALL CEILING HEIGHTS WITH BUILDING SYSTEMS. OWNER TO APPROVE ALL CEILING HGTS. BEFORE INSTALLATION.
8. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
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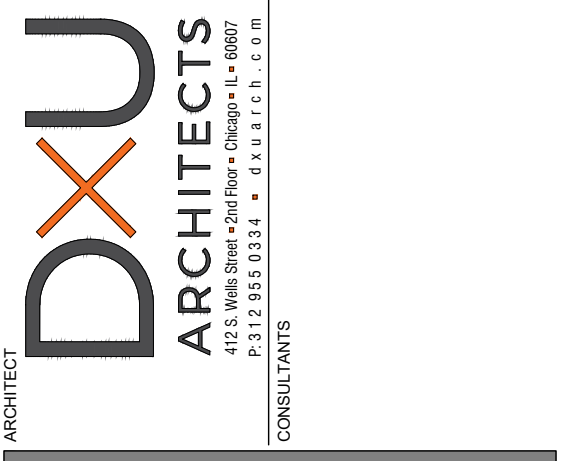
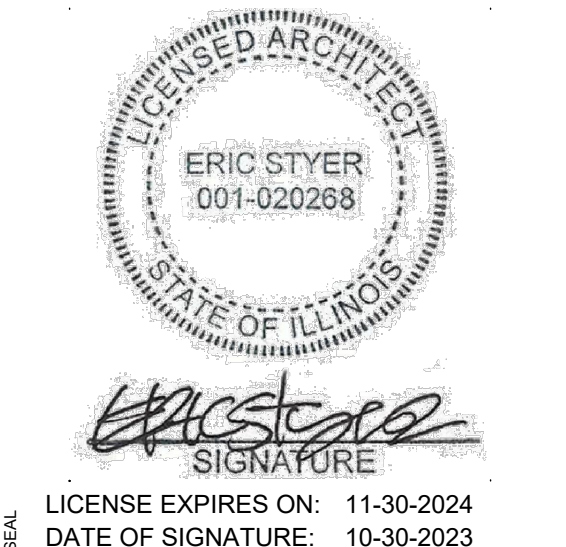


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NOT FOR CONSTRUCTION

CLIENT
FORD PRO ARLINGTON HEIGHTS
 PROJECT
FORD PRO ARLINGTON HEIGHTS
 3456 NORTH RIDGE AVENUE
 ARLINGTON HEIGHTS, ILLINOIS 60004



FOR PERMIT	
Project Number: 23-140	Issue Date: 10-30-2023
Drawn By: DANNA/SRC	Approved By: JW
No.	FOR PERMIT
	REV 1
	REV 2

SHEET TITLE & NUMBER
FLOOR PLAN SOUTH
A1-2B

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006868 EXPIRES: 4/30/2024

01 FLOOR PLAN
 1/8" = 1'-0"

KEYNOTES

- 01 AREA OF NEW CONCRETE
- 02 CHAIN LINK CAGE - VERIFY HEIGHT WITH CLIENT.
- 03 CENTER DOORS IN CAGE - VERIFY WITH CLIENT
- 04 EXISTING COLUMN ENCLOSURE TO REMAIN
- 05 EXISTING DEMISING WALL TO REMAIN
- 06 NEW OPENINGS

LEGEND

- EXISTING PARTITIONS & EXTERIOR WALLS
- NEW PARTITIONS
- EXISTING WALL W/ NEW FURRING

BLOCKING NOTES

- PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:
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CLIENT
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PROJECT
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 3456 NORTH RIDGE AVENUE
 ARLINGTON HEIGHTS, ILLINOIS 60004

NOT FOR CONSTRUCTION

GC TO FIELD VERIFY ALL EXISTING DIMENSIONS & COLUMN LOCATIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED.

ERIC STYER
 001-020268
 ARCHITECT
 STATE OF ILLINOIS
 SIGNATURE
 LICENSE EXPIRES ON: 11-30-2024
 DATE OF SIGNATURE: 10-30-2023

ARCHITECT
DXU ARCHITECTS
 4712 West Belmont Avenue • Chicago, IL 60641
 CONSULTANTS

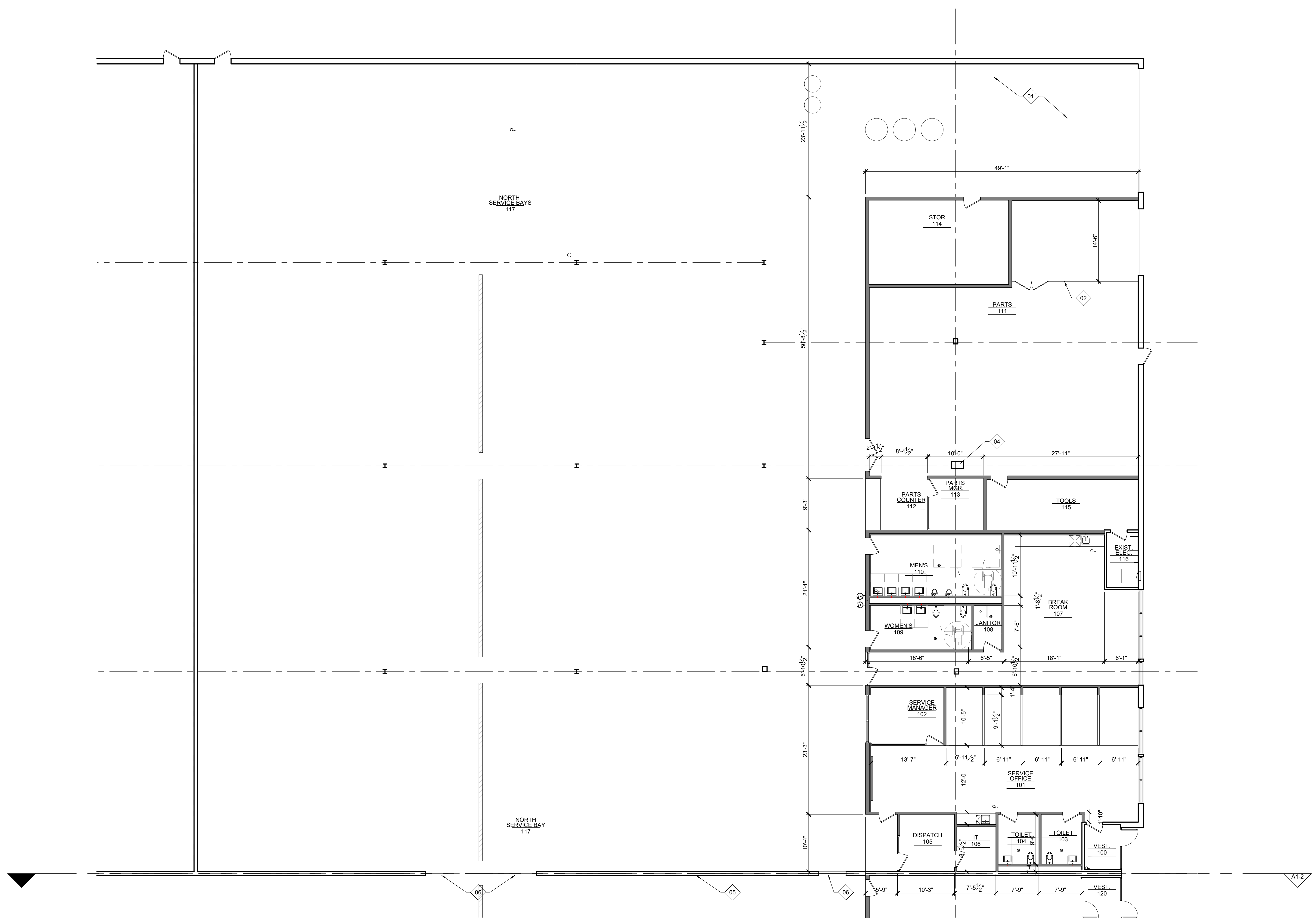
FOR PERMIT	
Project Number: 23-140	Date: 10-30-2023
Drawn By: DANNA/SRC	Approved By: JW
No.	FOR PERMIT
REV 1	02-28-2024
REV 2	04-01-2024

SHEET TITLE & NUMBER
DIMENSION PLAN NORTH

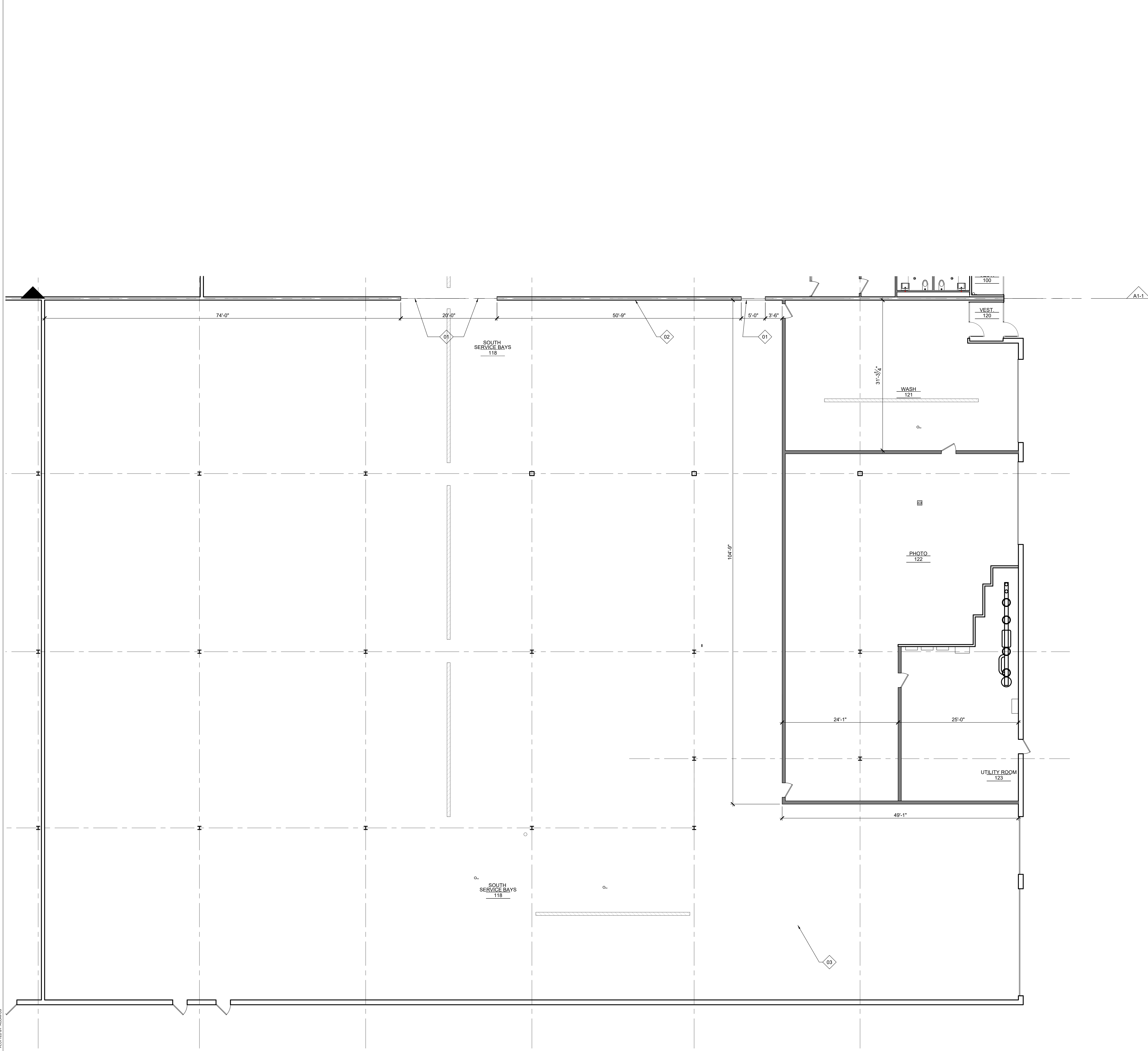
A1-3A

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006888 EXPIRES: 4/30/2024

© DXU 2024



01 FLOOR PLAN
1/8" = 1'-0"



KEYNOTES

- 01 NEW OPENING
- 02 EXISTING DEMISING WALL TO REMAIN
- 03 AREA OF NEW CONCRETE

LEGEND

- EXISTING PARTITIONS & EXTERIOR WALLS
- NEW PARTITIONS
- EXISTING WALL W/ NEW FURRING

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NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED.

MUNICIPAL APPROVAL STAMP



FORD PRO ARLINGTON HEIGHTS
FORD PRO ARLINGTON HEIGHTS
 3456 NORTH RIDGE AVENUE
 ARLINGTON HEIGHTS, ILLINOIS 60004

NOT FOR CONSTRUCTION



Eric Styer
 SIGNATURE
 LICENSE EXPIRES ON: 11-30-2024
 DATE OF SIGNATURE: 10-30-2023



FOR PERMIT	
Project Number: 23-140	Drawn By: DANM/SRC
No.	Date
FOR PERMIT	10-30-2023
REV 1	02-28-2024
REV 2	04-01-2024
Approved By: JW	Date
	10-30-2023

SHEET TITLE & NUMBER

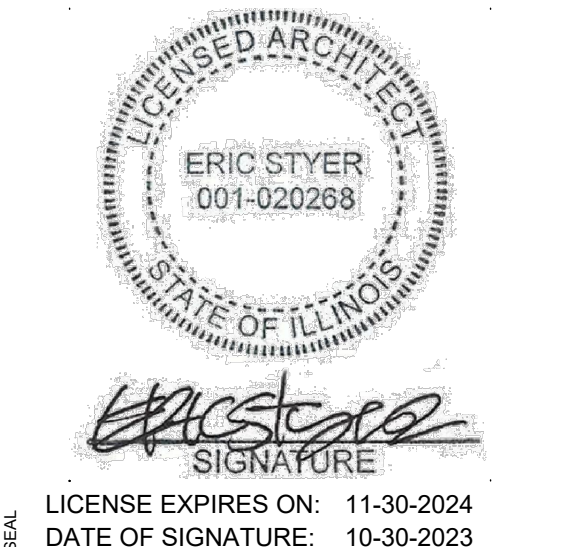
DIMENSION PLAN SOUTH

A1-3B

01 FLOOR PLAN
 1/8" = 1'-0"



CLIENT
FORD PRO ARLINGTON HEIGHTS
 PROJECT
FORD PRO ARLINGTON HEIGHTS
 3456 NORTH RIDGE AVENUE
 ARLINGTON HEIGHTS, ILLINOIS 60004



FOR PERMIT	
Project Number: 23-140	Date: 10-30-2023
Drawn By: DANM/SRC	Approved By: JW
No. Issue	FOR PERMIT
REV 1	02-28-2024
REV 2	04-01-2024

SHEET TITLE & NUMBER
FINISH PLAN NORTH
A1-4A
 ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006888 EXPIRES: 4/30/2024

- KEYNOTES**
- 01 PAINT STRIPING - OWNER TO VERIFY LAYOUT AND COLOR
 - 02 NOT IN USE
 - 03 DOORS TO BE PAINTED TO MATCH ADJACENT FACADE COLOR
 - 04 EXISTING PANELING TO BE PAINTED TO MATCH ADJACENT WALL COLOR OR SEE EXTERIOR ELEVATIONS ON SHEET A4-1
 - 05 MATERIAL TRANSITION LINE
 - 06 MONOLITH SIGNAGE CLADDING - BY SIGNAGE VENDOR

GENERAL NOTES

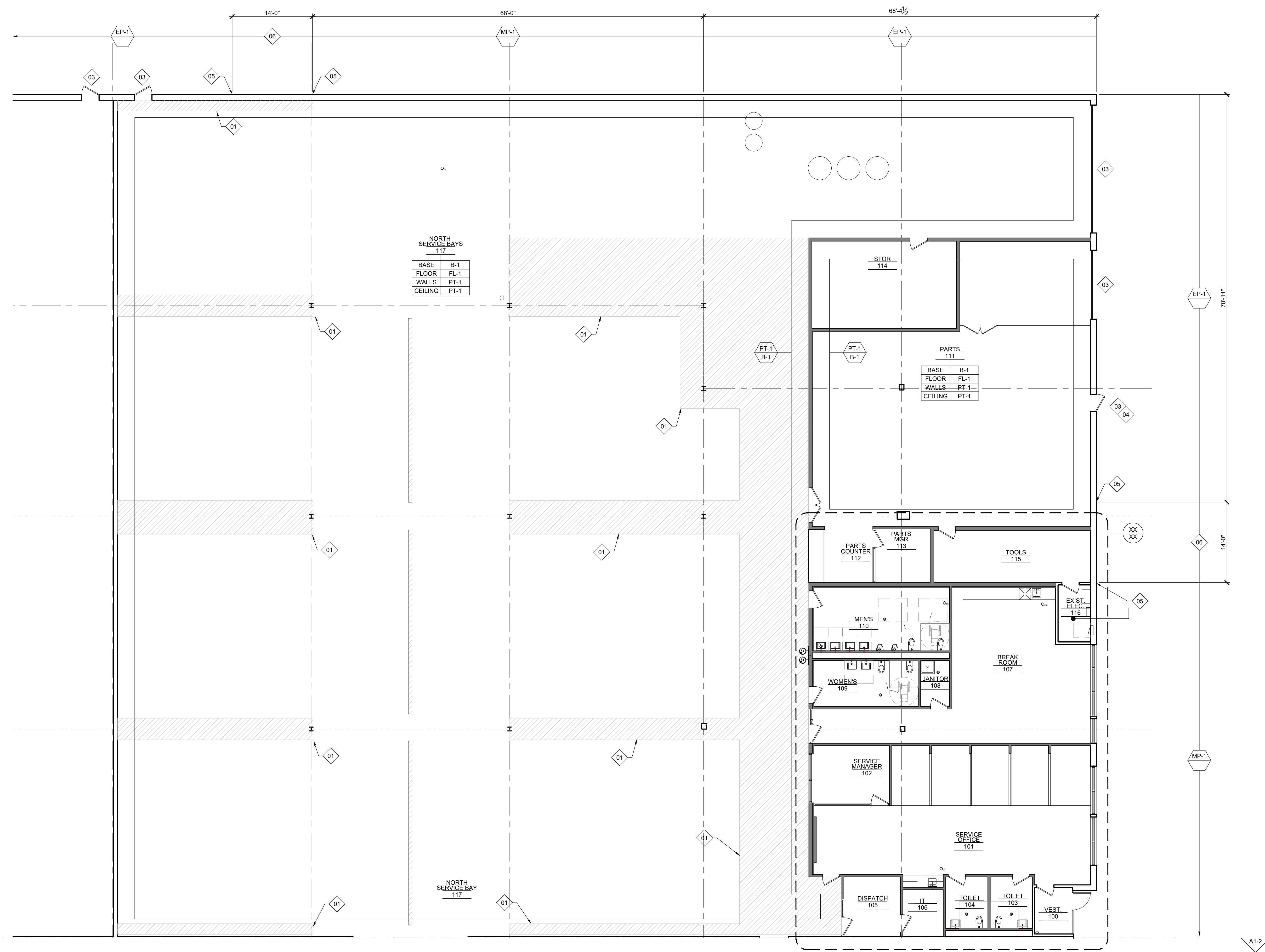
1. REFER TO INTERIOR ELEVATIONS, SHEETS A5-1 & A5-2, FOR EXTENT OF MILLWORK & WAINSCOT
2. REFER TO DETAIL SHEETS, A7-1 & A7-2, FOR MILLWORK & WAINSCOT DETAILS.

FINISH NOTES

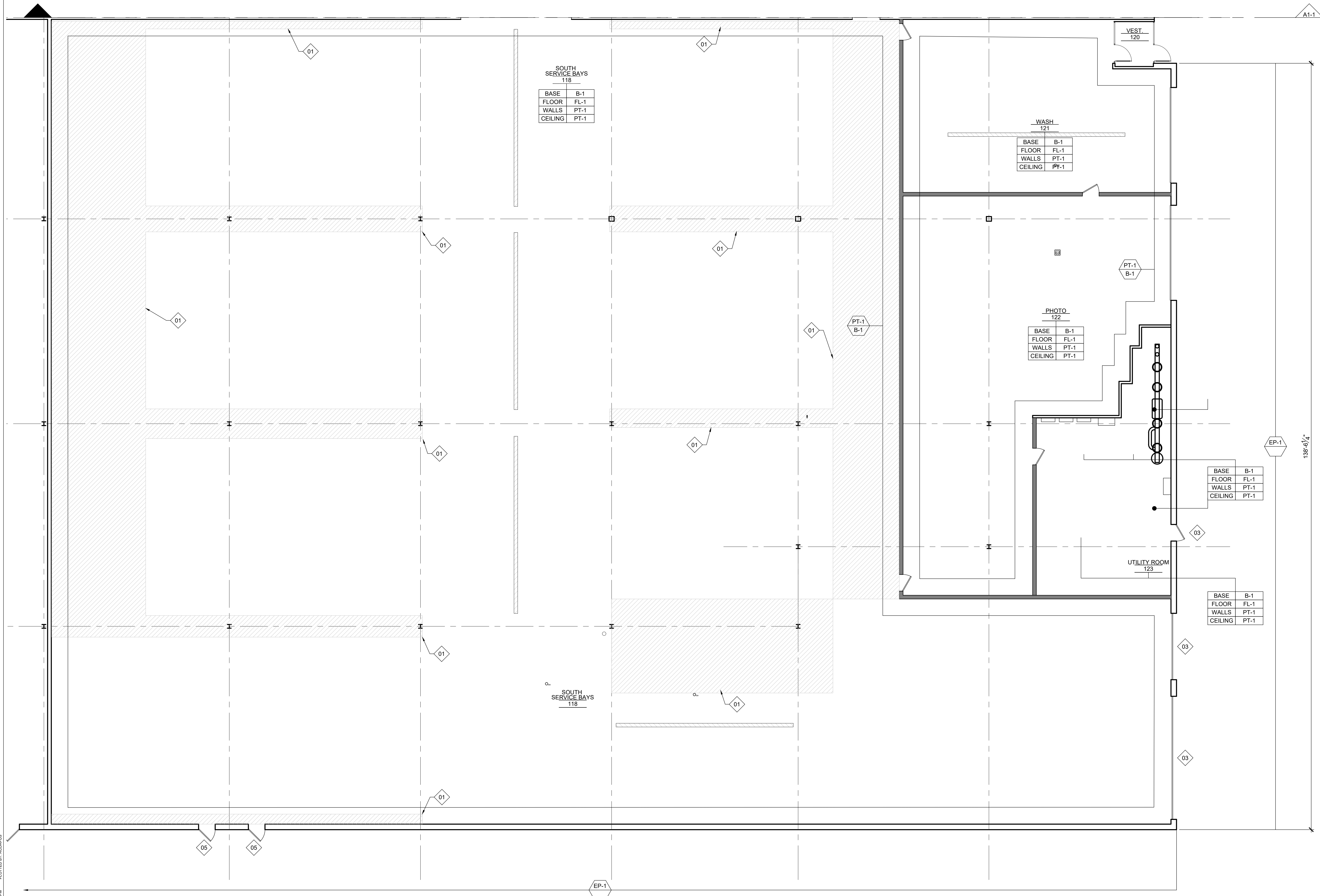
1. FOR DOOR FINISH SEE DOOR SCHEDULE ON SHEET A8-1.
2. GC TO SUPPLY AND INSTALL ALL TILE. GC TO ORDER ALL TILE. GC TO SUPPLY MORTAR, ADHESIVE, CORNERS AND GROUT. GC TO INSPECT ALL TILES AND REJECT DAMAGED OR SUBSTANDARD TILES PRIOR TO INSTALLATION.
3. CABINETRY TO BE SET AFTER TILE INSTALLATION.
4. PROVIDE GROUT JOINT OF 3/16" MAX. DEVIATION OF TILE AND GROUT LINE OF 1/4" PER 4'.
5. FOR ALL TILE AND/OR VINYL BASE INSTALLATIONS AT CASEWORK MECHANICALLY SAND AND SCARIFY WOOD SUBSTRATE TO COMPLETELY REMOVE ALL FINISH.
6. ALL TILE TO BE INSTALLED PER TILE COUNCIL OF AMERICA STANDARDS.
7. EXPOSED EDGES OF TILE, TITLE WAINSCOT, TO BE BULLNOSE. NO OUTSIDE GROUT CORNERS OR RAW TILE EDGES ARE ALLOWED.
8. GC TO SUPPLY STAINLESS STEEL OUTSIDE CORNERS, CG-1, TO TILE WAINSCOT IN ALL PUBLIC AREAS. REFER TO FINISH SCHEDULE FOR OUTSIDE CORNER SPEC.
9. GC TO SUPPLY STAINLESS STEEL OUTSIDE CORNERS, CG-2, FROM TILE BASE TO CEILING, I/J/O, IN ALL PRIVATE AREAS. REFER TO FINISH SCHEDULE FOR OUTSIDE CORNER SPEC.
10. REMOVAL OF EXCESS GROUT WILL BE DONE WITH WATER. THE USE OF SULFURIC OR MURIATIC ACID IS PROHIBITED. IF THESE ACIDS ARE USED, THE INSTALLER WILL BE REQUIRED TO REMOVE THE ACID AND RESTORE THE GROUT AT THEIR EXPENSE.
11. REFER TO INTERIOR ELEVATIONS FOR MORE FINISH INFO.
12. REFER TO FINISH SCHEDULE ON SHEET A8-2.
13. TILE BASE AND THRESHOLD GROUT JOINTS TO ALIGN WITH TILE FLOOR GROUT JOINTS.
14. ALL DRYWALL JOINTS LARGER THAN 1/4" TO BE TAPED & MORTARED. ALL CHANGES IN PLANE TO BE TAPED WITH DRYWALL MESH JOINT TAPE. 2 COATS MORTAR - COAT 1: WITH MESH TAPE, COAT 2: FINISH COAT, SAND SMOOTH.
15. ALL SANDED GROUT FLOOR TILE INSTALLATIONS ARE TO BE SEALED WITH A PENETRATING SEALER - AQUA MIX SEALERS CHOICE OR APPROVED EQUAL.
16. ALL EXPOSED DUCTWORK AND MECHANICAL UNITS TO BE PAINTED TO MATCH CEILING.

LEGEND

- NEW PARTITIONS, REFER TO A2-11
- EXISTING PARTITIONS & EXTERIOR WALLS
- EXISTING WALL W/ NEW FURRING
- WALL FINISHES
- WATERPROOF MEMBRANE, SEE FINISH SCHEDULE FOR SPEC & DETAILS
- OUTSIDE CORNER GUARD
- WALL TYPE ELEVATION
- WALL FINISH DESIGN
- BASE DESIGNATION



01 FLOOR PLAN
 1/8" = 1'-0"

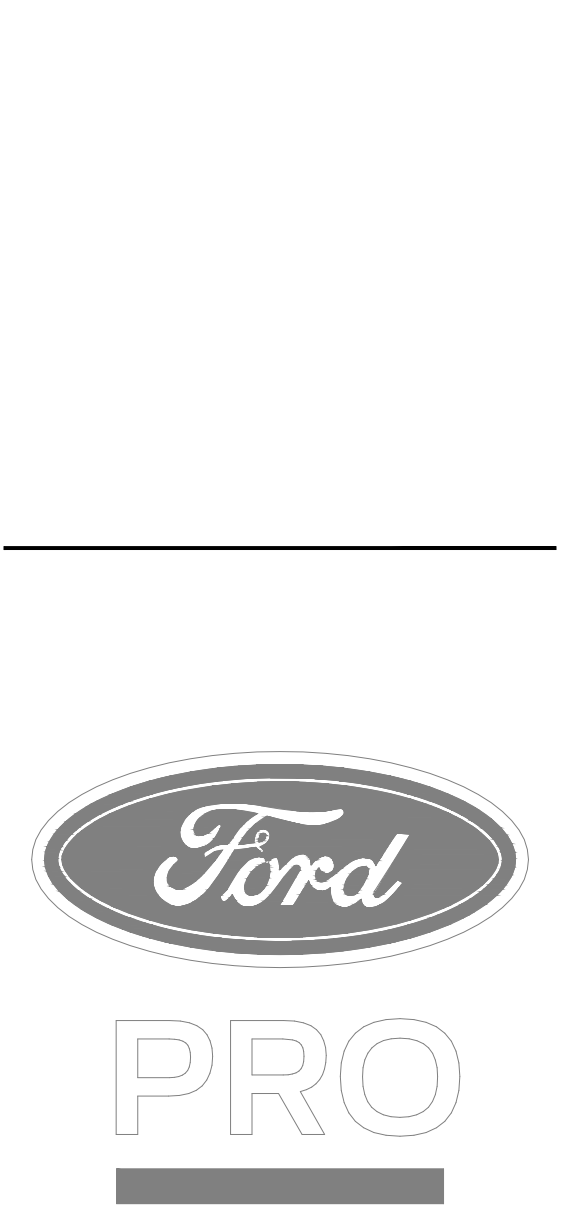


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 - OUTSIDE CORNER GUARD
 - WALL TYPE ELEVATION
 - WALL FINISH DESIGN
 - BASE DESIGNATION



NOT FOR CONSTRUCTION
 CLIENT: FORD PRO ARLINGTON HEIGHTS
 PROJECT: FORD PRO ARLINGTON HEIGHTS
 3456 NORTH RIDGE AVENUE
 ARLINGTON HEIGHTS, ILLINOIS 60004

LICENSED ARCHITECT
 ERIC STYER
 001-020268
 STATE OF ILLINOIS
 ARCHITECT'S SIGNATURE
 LICENSE EXPIRES ON: 11-30-2024
 DATE OF SIGNATURE: 10-30-2023

DXU ARCHITECTS
 4712 West Belmont Avenue • Chicago, IL 60641
 CONSULTANTS

FOR PERMIT

Project Number: 23-140	Issue Date: 10-30-2023
Drawn By: DANNA/SRC	Approved By: JW
No. FOR PERMIT	Date: 02-28-2024
REV 1	Date: 04-01-2024
REV 2	

SHEET TITLE & NUMBER
FINISH PLAN SOUTH
A1-4B
 ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006888 EXPIRES: 4/30/2024
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01 FLOOR PLAN
 1/8" = 1'-0"