

BUILDING DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____
 Petitioner: Don Hansen, STR Partners LLC
350 W. Ontario Street, Suite 200
Chicago, IL 60654
 Owner: Arlington Heights School District 25
1200 South Dunton Avenue
Arlington Heights, IL 60005
 Contact Person: Don Hansen, STR Partners LLC
 Address: 350 W. Ontario Street, Suite 200
Chicago, IL 60654
 Phone #: 312-464-1444 ext. 168
 Fax #: 312-464-0785
 E-Mail: don@strpartners.com

P.I.N.# 03-20-306-039, -040, -041, -051, -069
 Location: 303 E. Olive St.
 Rezoning: _____ Current: _____ Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: For: School
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 7.6 Acres
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

DO EXISTING STRUCTURES, IF ANY, MEET MINIMUM REQUIREMENTS OF THE FOLLOWING:

- | | <u>YES</u> | <u>NO</u> | | |
|----|-------------------------------------|--------------------------|-------------|---------------|
| 1. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | VILLAGE | BUILDING CODE |
| 2. | <input type="checkbox"/> | <input type="checkbox"/> | PRESENT | ZONING USE |
| 3. | <input type="checkbox"/> | <input type="checkbox"/> | REQUESTED | ZONING USE |
| 4. | <input type="checkbox"/> | <input type="checkbox"/> | SUBDIVISION | REQUIRED |
| 5. | <input type="checkbox"/> | <input type="checkbox"/> | SIGN | CODE |

6. GENERAL COMMENTS:

NO COMMENTS

RECEIVED

JUL 31 2015

Deb Pierce
Director PLAN REVIEWER

8-12-15
Date

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

BUILDING DEPARTMENT

1A

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INSPECTIONAL SERVICES

INSPECTIONAL SERVICES
 - MAINTAIN PROPER
 TURNING RADIUS FOR
 EMERGENCY EQUIPMENT.
 - OK P.D.
 e/s/s

Director _____

Date _____

RECEIVED

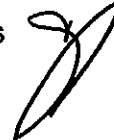
AUG 27 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Village of Arlington Heights
Public Works Department

Memorandum

To: Latika Bhide, Development Planner
From: Cris Papierniak, Assistant Director of Public Works
Date: August 27, 2015
Subject: 303 E Olive St., P.C. #15-015 Round 1



With regard to the proposed Special Use Permit and Variations, I have the following comments:

1. The existing water meter needs to be changed out to an 8" x 3" Fire Meter to cover both fire and domestic flows.
2. There is currently an old backflow device (4" fire). It needs to be changed to a larger size to protect the fire service and domestic service. It needs to be an RPZ.
3. Is the additional detention provided by the extra proposed depth within the detention basin enough to offset the required detention for the proposed new construction?
4. What is the reasoning behind the 24" RCP exiting the restrictor structure and discharging to a 15" PVC line?
5. The woven mesh covering the restrictor is too easily clogged. A grate or similar product should be fabricated.
6. Inspect the condition of sidewalks prior to improvements and replace any damaged squares due to construction.
7. A new stop bar and stop sign needs to be added to Haddow intersection.

Thank you for the opportunity to comment on this permit application.

C: file

LF

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 1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED:	YES	NO	COMMENTS
a. Underground Utilities			
Water		<input checked="" type="checkbox"/>	
Sanitary Sewer		<input checked="" type="checkbox"/>	
Storm Sewer		<input checked="" type="checkbox"/>	
b. Surface Improvement			
Pavement		<input checked="" type="checkbox"/>	
Curb & Gutter		<input checked="" type="checkbox"/>	
Sidewalks		<input checked="" type="checkbox"/>	
Street Lighting		<input checked="" type="checkbox"/>	
c. Easements			
Utility & Drainage		<input checked="" type="checkbox"/>	
Access		<input checked="" type="checkbox"/>	

RECEIVED

AUG 25 2015

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC
- b. IDOT
- c. ARMY CORP
- d. IEPA
- e. CCHD

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS?		<input checked="" type="checkbox"/>	
4. SITE PLAN ACCEPTABLE?		<input checked="" type="checkbox"/>	
5. PRELIMINARY PLAT ACCEPTABLE?			N/A
6. TRAFFIC STUDY ACCEPTABLE?		<input checked="" type="checkbox"/>	
7. STORM WATER DETENTION REQUIRED?	<input checked="" type="checkbox"/>		
8. CONTRIBUTION ORDINANCE EXISTING?	<input checked="" type="checkbox"/>		53-833
9. FLOOD PLAIN OR FLOODWAY EXISTING?		<input checked="" type="checkbox"/>	
10. WETLAND EXISTING?		<input checked="" type="checkbox"/>	

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: EEA, LTD.
 DATE OF PLANS: 7-23-15

James J. Mallon 8/24/15
 Director Date

PLAN COMMISSION PC #15-015
Olive-Mary Stitt Elementary School
303 E. Olive Street
Special Use Permit & Variations
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

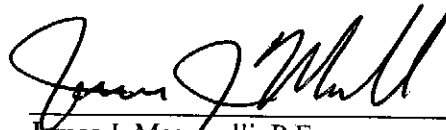
13. The proposed detention facility will be the responsibility of Arlington Heights School District 25 to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. A sample document is attached. An editable Word document can be provided.
14. The stormwater calculations provided by Eriksson Engineering are acceptable. The proposed stormwater detention provided volume of 1.467 acre-feet will cover 83% of the total Village-required volume of the entire property. According to the report, the storage volume under existing conditions was negligible.
15. There is an existing Contribution Ordinance #53-833 for water, sanitary, and storm sewers on Douglas Avenue between Olive Street and Oakton Street. Although the following PIN numbers are specified in the ordinance: 03-20-306-040, -041, & -069, there are no existing or proposed connections to any of the aforementioned utilities. The contribution ordinance is not applicable at this time.
16. When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.
17. Discussions with the Fire Department concluded that their response operations precluded the need for an exhibit showing the turning path of a vehicle through the parking lot.

18. Consider including additional bicycle racks in development plan to encourage alternate modes of transportation for employees, students, and visitors.
19. Sheet C-2.1: The existing driveway that doubles as the south leg of the Olive Street/Belmont Avenue intersection is shown to be removed and eliminated. Any public street signage that must be changed as a result of this work must be included in the plans.
20. Sheet C-2.2: With the elimination of the western driveway at Belmont Avenue, all traffic will now exit through the existing east driveway. The east driveway currently has one outbound lane. Will this be restricted to right-turn-out-only? Perhaps only during pick-up and drop-off times? Has consideration been made to create two outbound lanes: left and right/through?
21. Sheets C-2.1 and C-2.2: Include existing and proposed pavement markings and signage on either the Site Geometry Plans or a separate plan sheet.
22. Sheet C-3.1: The sanitary sewer connection shown for the west addition is not acceptable. As was previously communicated, portions of the existing sanitary sewer within the public easement are not public but privately maintained. The nearest public sanitary manhole is immediately northeast of the Clarendon Street cul-de-sac behind the sidewalk. On the drawing, the manhole is labeled as an existing sanitary manhole, Rim=691.73, 8" Inv=685.07.
23. Sheet C-3.1: Provide conflict elevations for where the new sanitary sewer from the east building addition crosses the existing 10" public water main in the vacated Belmont Avenue corridor. Similarly, provide conflict elevations for the proposed storm sewer where it crosses the existing utilities. The existing sanitary service is shown to connect to the storm relief sewer...is this shown correctly?
24. Sheet C-4.1: The grade at the south corner of the new gym drops off steeper than 5:1 along the property line and any runoff from the slope will be directed to the neighbor's lot. Review this area for re-grading.
25. Sheet C-4.2: The detention basin is shown with 4:1 slopes. Minimum Village requirement is 5:1.
26. Sheet C-5.1: The construction access driveway for the west addition is shown off Olive Street just east of the Arlington Heights Road intersection. Because of the close proximity to the intersection, it is imperative that flaggers are used at all times when this access drive is in use. Note this requirement on the plans.
27. Sheet C-5.1: The construction access driveway is shown going across the public sidewalk. It appears to maintain an even 7% grade. Either the grades are adjusted to keep the public sidewalk open and ADA accessible or the sidewalk is closed and a walking detour route is implemented. Show signage details of a walking detour, if necessary.
28. Sheet CX-7.1: This exhibit shows the turning path of a passenger car. Also provide an exhibit showing the garbage truck, since the garbage corral is located off the southwest corner of the parking lot. Also provide and exhibit

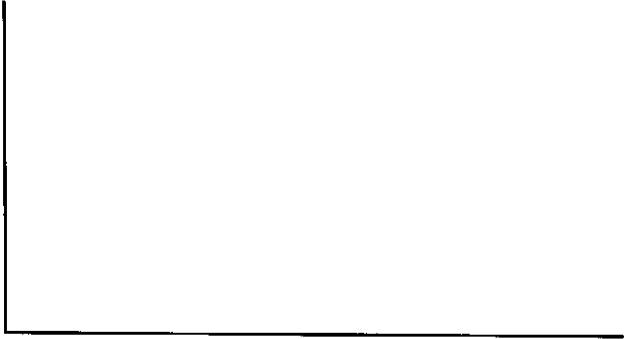
Traffic:

29. Based upon the projections of new students anticipated for the school, the vehicular trip generation values have been provided. However there are no modifications to the number of pedestrian crossings for this projected increase in the number of students.

30. Is the bus loading operation proposed to be modified or changed? Busses loading/unloading along Olive Street have the potential to back up traffic along Olive Street to Arlington Heights Road.
31. Are the current crosswalk locations to remain the same, or are any changes planned?
32. All references in the traffic report to Harwood Avenue should be changed to Haddow Avenue.
33. Based upon the existing traffic count data and the number of violations of the No Left Turn sign from the exit driveway, what provisions are being made to the geometry at the proposed easterly entrance and exit to force right turns out of the newly designed parking lot?
34. Is all existing site lighting to remain?
35. Please show the ITE projected trip generated vehicle trip values in addition to the higher trip rate values generated from the traffic count data based upon this size school with this many employees for comparison.
36. Change Table 4 column labeled "Total" to "Future" for clarity.
37. The drop-off and pick-up south of this school along the Pine and Belmont Avenue cul-de-sacs generates recurring complaints to the Village about the congestion, and the frustration of the residents living in this area to have to deal with this issue. Further definition about alternatives to manage this situation should be provided.
38. Please provide a review of accident data at the intersections adjacent to the school.

 8/29/15
James J. Massarelli, P.E. Date
Director of Engineering

Attachment:
Sample Onsite Utility Maintenance Agreement (4 pages)



ONSITE UTILITY MAINTENANCE AGREEMENT

WHEREAS, Arlington Heights School District 25, an Illinois limited liability company, or its affiliates, ("RESPONSIBLE ENTITY") is the legal title holder of the following described real estate commonly referred to as Olive-Mary Stitt Elementary School at 303 E. Olive Street, Arlington Heights, Illinois, 60004, containing 7.590 acres, more or less, situated in the Village of Arlington Heights, Illinois and legally described as follows: (the "PROPERTY"):

**** Insert legal description, or attach as Exhibit A ****

PIN Numbers: _____

WHEREAS, Arlington Heights School District 25, desires to develop the PROPERTY;
and

WHEREAS, it is necessary to service said parcel with **sanitary sewers, storm sewers and stormwater management facilities**; and

WHEREAS, the **sanitary sewers, storm sewers and stormwater management facilities** servicing the property are not located within public rights-of-way or dedicated easements; and

WHEREAS, the Village of Arlington Heights ("VILLAGE") does not maintain **sanitary sewers, storm sewers and stormwater management facilities** on privately owned property; therefore

1. It is hereby AGREED by the RESPONSIBLE ENTITY, its successors and assigns that at no expense to the VILLAGE, the RESPONSIBLE ENTITY, its successors and assigns shall:

- a. Maintain all sanitary sewers and appurtenances thereunto appertaining located upon said premises, all as shown on the Final Engineering Plans prepared by Eriksson Engineering Associates, Ltd. dated 7/23/2015, and approved by the VILLAGE, or any amended plans as agreed to and approved by both parties, copies which are on file with the Engineering Department of the VILLAGE.
- b. Maintain all storm sewers and appurtenances, including detention basins, located upon said premises.
- c. Maintain the utilities as itemized above in accordance with the latest edition of the Village of Arlington Heights Municipal Code.
- d. Maintain all private roadways, parking areas, and pavement lighting facilities located on said premises as shown on said Final Engineering Plans in accordance with the latest edition of the Village of Arlington Heights Municipal Code.

2. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the **sanitary sewers, storm sewers and stormwater management facilities** in accordance with the requirements of the VILLAGE, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

3. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the aforementioned **sanitary sewers, storm sewers and stormwater management facilities** in accordance with the requirements of the VILLAGE, or should they allow a public nuisance to exist, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

For: Village of Arlington Heights,
an Illinois municipal corporation

Name: _____

Signature: _____

Title: _____

State of Illinois)
) SS
County of Cook)

I, _____, a Notary in and for said County, in the State

aforesaid, CERTIFY that _____ personally known to me to be the same person whose name is subscribed on the foregoing instrument appeared before me this day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their free and voluntary act, and as the voluntary act of the **Village of Arlington Heights, an Illinois municipal corporation**, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this _____ day of _____, 20__.

Notary Public



Arlington Heights Fire Department Plan Review Sheet

P. C. Number 15-015

Project Name

Olive-Mary Stitt Elementary School

Project Location

303 E. Olive St.

Planning Department Contact

Latika Bhide

General Comments

No comments at this time.

**NOTE: PLAN IS CONCEPTUAL ONLY
SUBJECT TO DETAILED PLAN REVIEW**

Date August 13, 2015

Reviewed By:

LT. Andrew Larson

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1. GENERAL COMMENTS:

No comments,

Jeff Bohner ^{JB} 8/14/15
 Environmental Health Officer Date

James McCalister 8/14/15
 Director Date

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YES NO

1. _____ COMPLIES WITH COMPREHENSIVE PLAN?
2. _____ COMPLIES WITH THOROUGHFARE PLAN?
3. _____ VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.)
4. _____ VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.)
5. _____ SUBDIVISION REQUIRED?
6. _____ SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.)

Comments:

PLEASE SEE ATTACHED.

RECEIVED

JUL 31 2015

8/14/15

Date

Planning Department Comments, Olive-Mary Stitt Elementary School (PL15-015, 303 E. Olive Street, Round 1)

7. The property at 303 E. Olive Street is zoned R-3. Elementary Schools require the approval of a special use in the R-3 district. Since there is no existing Special Use approved for the school, therefore, since the school is proposing expansion at this time, a Special Use Permit must be approved.
8. The following variations are necessary:
 - a. Chapter 28, Section 11.4, Schedule of Parking Requirements from the requirement to provide 167 parking spaces to allow 81 spaces, a variation of 86 spaces.
Based on the parking data provided by the applicant, and due to this being an existing location for the school, staff supports the variation requested. Staff agrees that the parking will meet the needs of the current and projected staff and visitor parking demand.
 - b. Chapter 28, Section 5.1-3.6 Required Minimum Yards from the required 16.5 feet side yard setback to allow 16 feet for the existing building.
Staff supports the variation as it is for the existing building.
 - c. Chapter 28, Section 5.1-3.6 Required Minimum Yards from the required from the required 16.5 feet exterior side setback to allow 12 feet for the existing building.
Staff supports the variation as it is for the existing building.
9. The Village's Comprehensive Plan designates the property as 'Schools' which is consistent with the use. The area where the parking area is located is designated as 'Parks' in the Comprehensive Plan.
10. The side along Arlington Heights Road (narrowest side) is considered the front. The sides along Olive Street and Douglas Avenue are considered Exterior Side. The south property line is considered as Side. A side yard of 10% of the lot width – 16.5 feet is required. It appears that the existing building is 16 feet from the south property line. Please confirm. Staff supports the variation as this is an existing building. A minimum exterior side setback of 10% of the lot width – 16.5 feet is required. It appears that the existing building is 12 feet from the property line along Olive Street. Staff supports the variation as this is an existing building.
11. The maximum allowable Floor Area Ratio is 50%. Please confirm that this requirement is met.
12. The maximum allowable building Lot coverage for lots greater than 6,600 SF is 35%. Please confirm that this requirement is met.
13. There is no requirement for maximum impervious surface coverage for other uses in the R-3 district.
14. For the R-3 district, a maximum building heights of 25 feet and 2 ½ stories is permitted. The addition has a maximum height of 24'-8" and meets the height requirement for the R-3 district.
15. The existing parking lot does not meet the landscape requirements of Chapter 28, Section 6.15 Landscaping (there are no landscaping islands at the end of every row and every 20 spaces and no landscape screen along Olive Street) and is considered non-conforming. No action is required at this time.
16. The total code required parking for this site for Future Floor Plan will be calculated as:

Use	Size	Parking Ratio	Required Parking
Elementary School	31 classrooms 68 staff	Two spaces per each employee plus one space per classroom (2 x 68 + 1 x 31)	167 spaces

Total Required			167 spaces
Total Provided			81 spaces (includes 32 spaces in the OEFC lot)
Surplus / (Deficit)			(86 spaces)

17. The Traffic Study (Page 6) references Douglas Avenue at Belmont Avenue. Both streets run north-south and do not intersect. Is the traffic study referencing Douglas Avenue at Olive Street?
18. Is the parking agreement with Orchard Evangelical Free Church perpetual? Please provide a copy of the agreement.

Olive-Mary Stitt Elementary School
303 E. Olive Street
PC 15-015
August 19, 2015

Tree Preservation

- 1) Pursuant to Chapter 28, Section 6.15-5.4, all replacement trees shall have a minimum trunk size of four inches in diameter as measured six inches above grade. Increase the size of the proposed shade trees to 4" caliper in order to meet the code requirement.

Landscape Issues

- 2) The ends of all parking rows must include a landscape island, which contains a 4" caliper shade tree (Chapter 28, section 6.16-1.2b). Provide shade trees at the east and west end of the parking row along East Olive Lane.
- 3) Per Chapter 28, section 6.15-1.2a, a three foot high screen must be provided in order to screen paved areas that are adjacent to a public way or a street or a residential district. Please provide 3' high shrubs along East Olive Street in order to screen the parking area.
- 4) Consider incorporating evergreen trees on the south elevation and the southwest elevation of the proposed gymnasium in order to soften the building mass adjacent to the residential district.

Olive-Mary Stitt Elementary School
303 E. Olive Street
PC 15-015
August 13, 2015

Tree Preservation

- 1) Pursuant to Chapter 28, Section 6.15-5.4, all replacement trees shall have a minimum trunk size of four inches in diameter as measured six inches above grade. Increase the size of the proposed shade trees to 4" caliper in order to meet the code requirement.

Landscape Issues

- 2) The ends of all parking rows must include a landscape island, which contains a 4" caliper shade tree (Chapter 28, section 6.16-1.2b). Provide shade trees at the east and west end of the parking row along East Olive Lane.
- 3) Per Chapter 28, section 6.15-1.2a, a three foot high screen must be provided in order to screen paved areas that are adjacent to a public way or a street or a residential district. Please provide 3' high shrubs along East Olive Street in order to screen the parking area.