

Responses to all the Comments in Petitioner's Application

Building Department Form 1

1. Provide proposed occupant load.

Answer: 100 clients in the proposed area

2. Provide total square footage of existing & new expansion area.

Answer: The existing area is 12,933 SF; the new expansion area is 16,200 SF

3. Indicate location and number of exits.

Answer: Please see attached diagram I. (Room number with function and square foot, as well as the fire exit for future area)

Building Department Form 1A

From Fire Safety Plan Reviewer: 1. Plans are too incomplete to conduct a review. Show the existing facility and how the expansion will be incorporated.

Answer: Please see attached diagram II. (The fire exit for existing area)

Public Works Department Form 2

1. The owner will need to install new RPZ devices for fire protection and domestic consumption.

Answer: Yes, we will.

2. The owner will need to install a new compound water meter.

Answer: Yes, we will.

Engineering Department Form 3

No additional comments at this time.

Fire Department Form 4

No comments at this time.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Police Department Form 5

1. Character of use: The character of use is consistent with the area and is not a concern.
2. Are lighting requirements adequate? Lighting should be up to Village of Arlington Heights code.
3. Present traffic problem: There are no apparent traffic problems at this location.
4. Traffic accidents at particular location? This is not a problem area in relation to traffic accidents.
5. Traffic problems that may be created by the development. This development should not create any additional traffic problem.
6. General comments: Agent contact information must be provided to the Arlington Heights Police Department during all construction phases.

Answer: Had filled out the Emergency contact cards via the Village of Arlington Heights website.

Health Services Department Form 6

No comments at this time.

Planning & Community Development Department Form 7

7. The property at 145 E. Algonquin Road is zoned M-2, Limited Heavy Manufacturing District. A Land Use Variation for an 'Adult Day Care Center' in the M-2 district is required. The Chinese language lab is considered a commercial school and is a permitted use in the M-2 district. The In-home care service office is classified as a Business/Professional Office and is a permitted use within the M-2 district.

Answer: We are applying the Land Use Variation for Adult Day Care center.

8. What is the square footage of the space to be purchased by Xilin? It was previously indicated that it was 12,831 SF, but the traffic study indicates that it will be 16,200SF.

Answer: 12,831 SF is for existing area; 16,200 SF is for proposed purchasing.

9. How many clients/adults utilize the day care currently and what enrollment is expected after expansion?

Answer: 130 clients is the currently maximum number. We expect have 200 max after expansion.

10. Please confirm the total number of staff at this location – how many existing employees and how many additional staffs are proposed with the expansion.

Answer: 19 employees currently have. We will add 9 employees after expansion.

11. What areas will the expanded Adult Day Care occupy? Will the Day Care utilize the activity room during the day?

Answer: 12,832 SF is planned for Adult Day Care. Yes, the activity room will be used for Adult Day Care.

12. Will the Adult Day Care be open on Saturday and Sunday? What activities will take place on weekend?

Answer: There's no Adult Day Care on Saturday and Sunday. Chinese dance lessons, martial arts, etc. will be in the weekend.

13. Please provide a schedule of monthly activities. Where and when will the folk dancing, Chinese music instrument and martial art classes be hold?

Answer: There's no scheduled yet. The activities will utilize all the rooms, and only be hold in the weekend.

14. Will Xilin pursue a property tax exemption for this space?

Answer: Yes, we are applying for the tax exemption.

15. How long has the current tenant space been vacant for? The Land Use Variation justification states that it has been vacant for several years. Explain the type of marketing efforts used by the current property to re-tenant the building with a use that is allowed within the underlying zoning district.

Answer: The building has been vacant since 2007. *There's no serious buyer who interesting this building due to the slow economy.*

16. The floor plan is not dimensioned. Please provide a dimensioned plan.

Answer: Please see attached sheet I. (Room number with function and square foot, as well as the fire exit for future area)

17. How do clients/adults arrive at the day care? Are there any clients that drive? The parking study suggests that only the 9 additional employees – no clients will drive a vehicle to the site.

Answer: By Xilin's vans. We did reserve 2 positions for private cars when we purchased the first half of building. The 2 positions are enough at this point.

18. Parking counts were conducted on two weekdays. Please provide counts for Saturday or explain why counts were not conducted on a weekend?

Answer: Currently, all the businesses are closed during the weekend. Xilin doesn't have activities during the weekend for now. The programs will be opened gradually after the expansion. We don't have measurement yet.

19. How many vehicles does Xilin own? What type? Where are they parked?

Answer: Xilin has 5 vans. They are parked in parking lot.

20. The parking study does not analyze the parking impacts associated with the other functions such as dance lessons, language lab, martial arts, etc. The additional demand due to these activities needs to be included in the parking calculations.

Answer: The language labs, which open in weekdays, will have 4 people at the most. Other activities are held in weekend and there're no more than 40 people on each day, which will not affect the traffic around the area.

21. The existing parking lot does not meet Code requirements as far as landscaping – landscaping islands are not present at the ends of all parking rows and every 20 spaces. This is considered nonconforming.

Answer: There're landscape islands on the Plat of Survey. Please see attached "Flat of survey", attachment III.

22. It appears that there is adequate parking on site.

23. Staff recommends that the petitioner and property owner evaluate the possibility of rezoning the property to the B-3 district and a Comprehensive Plan Amendment which may closer reflect the master plan, and the existing building configuration.

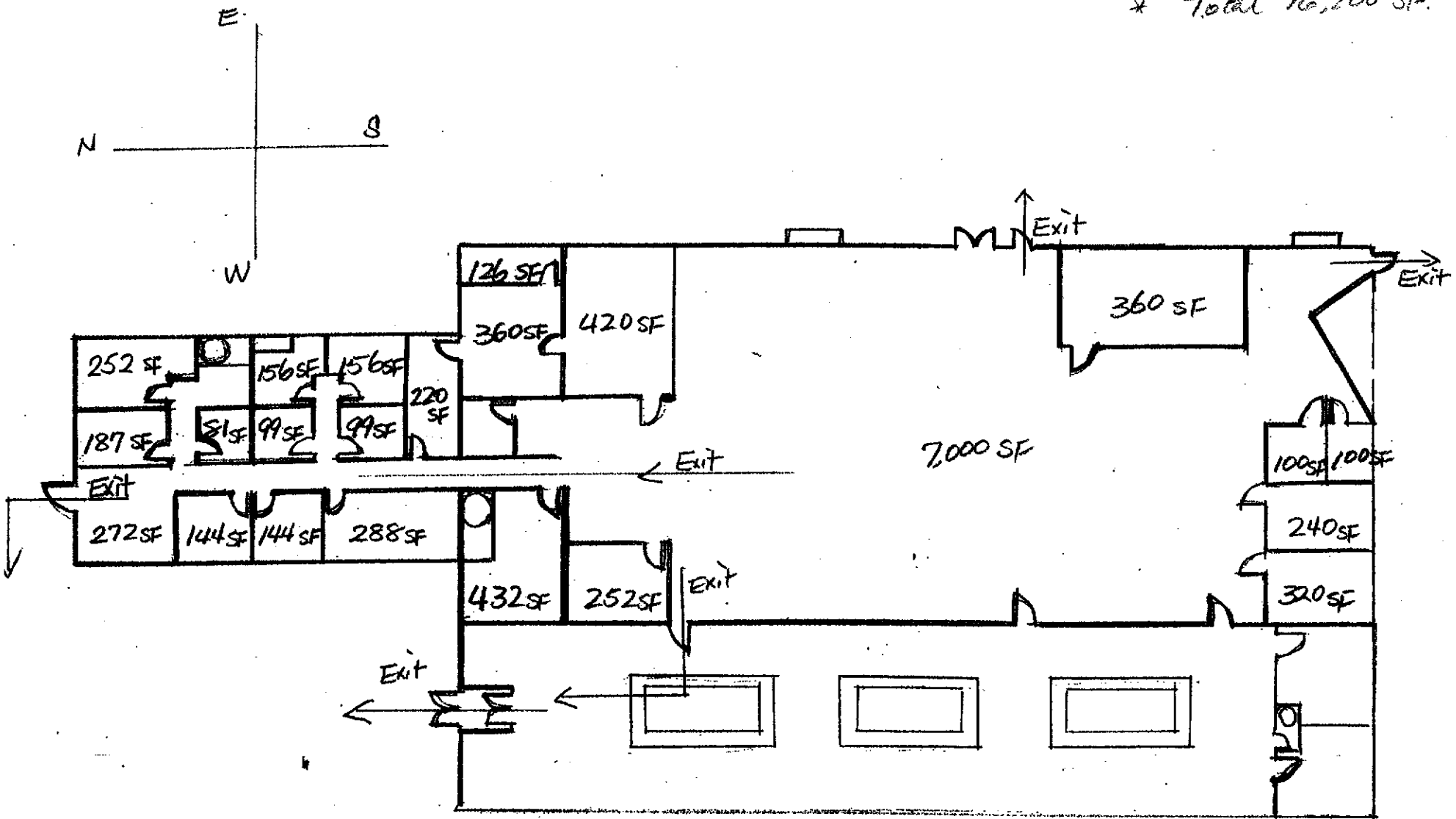
Answer: Yes, we will work with the building association.

Planning & Community Development Department Form 7A

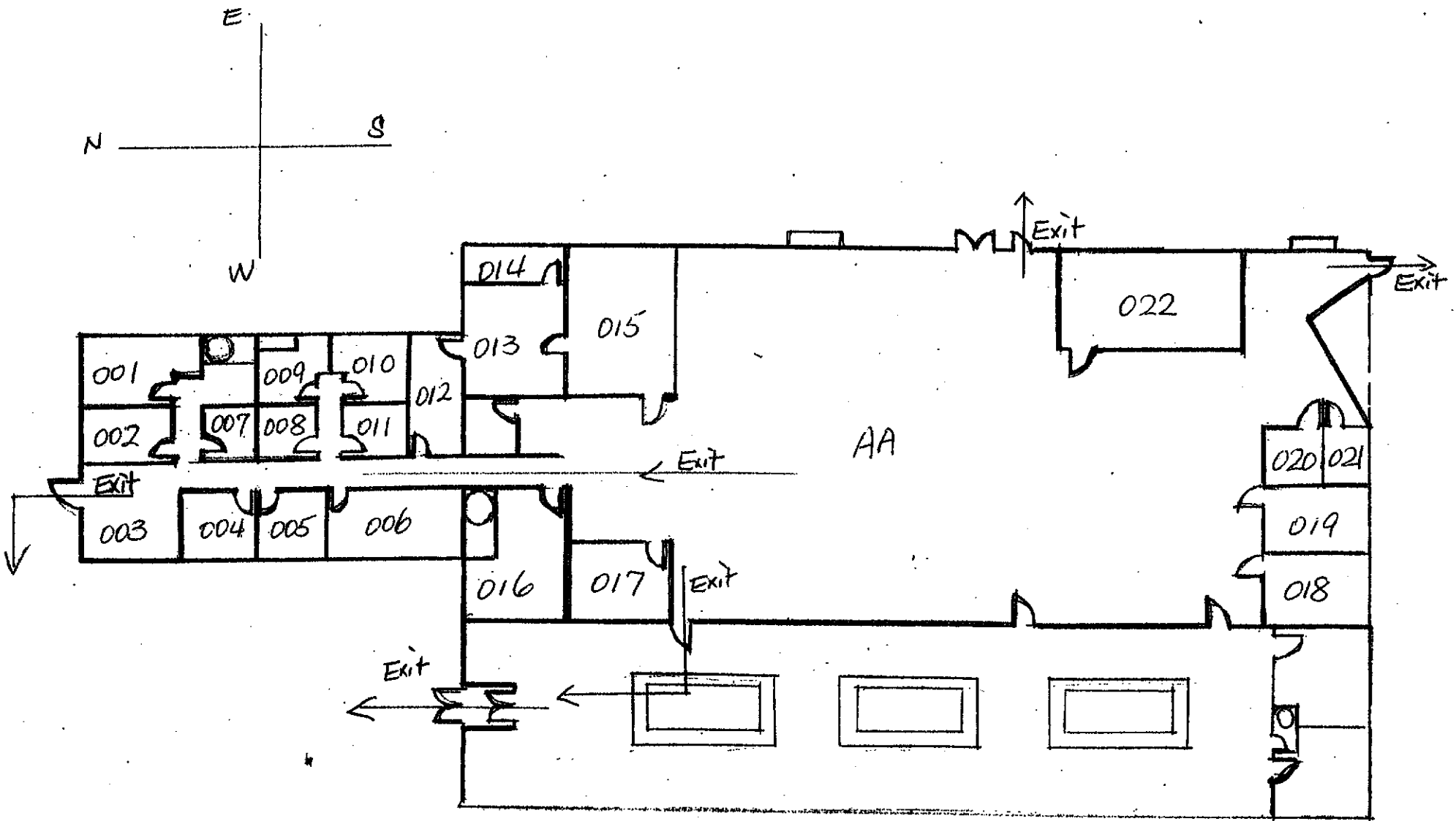
No comments

Attachment I

- * Evacuation map
- * Total 16,200 SF.



145 E. Algonquin Rd
Arlington Heights, IL 60005



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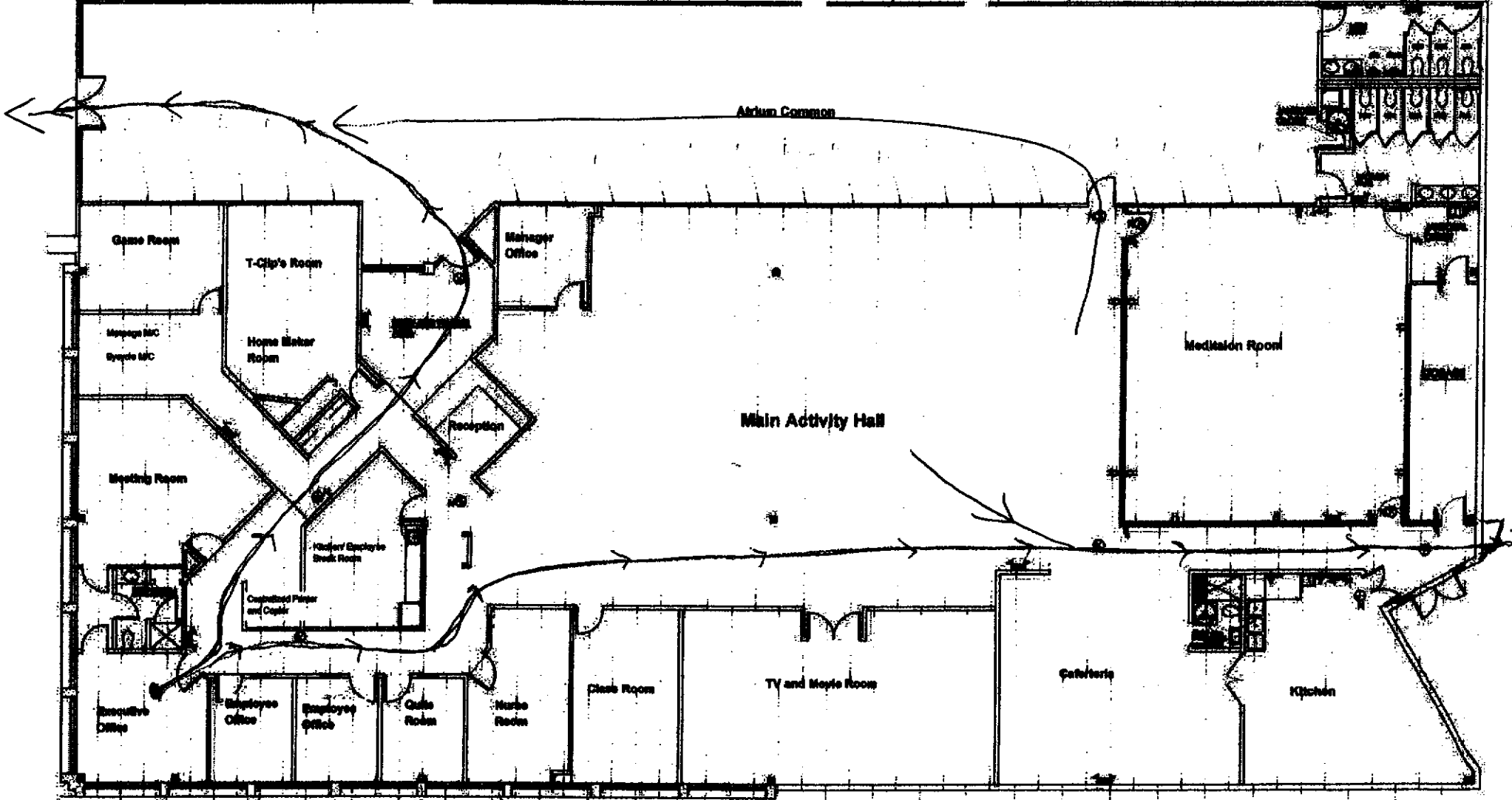
Building Layout and Occupancy Analysis

Room #	Function	Size in SF	Max People	Max Employee	Opt Hours
001	In-home Care Svce Office	21x12=252	4	4	M-F, 7am-7pm
002	Transportation Service Office	17x11=187	2	2	M-F, 7am-7pm
003	Reception	17x16=272	0		M-F, 7am-7pm
004	Director/Manager Office	12x12=144	1	1	M-F, 7am-7pm
005	Director/Manager Office	12x12=144	1	1	M-F, 7am-7pm
006	Internal Training/Meeting Room	24x12=288	0		M-F, 7am-7pm
007	Language Lab	9x9=81	1		M-F, 7am-7pm
008	Language Lab	11x9=99	1		M-F, 7am-7pm
009	Language Lab	13x12=156	1		M-F, 7am-7pm
010	Language Lab	13x12=156	1		M-F, 7am-7pm
011	Language Lab	11x9=99	1		M-F, 7am-7pm
012	Internal Training/Meeting Room	22x10=220	0		M-F, 7am-7pm
013	Computer Room	20x18=360	1	1	M-F, 7am-7pm
014	Patch Panel Room	18x7=126	0		M-F, 7am-7pm
015	Library II	28x15=420	4		M-F, 7am-7pm
016	Kichen/Rest	24x18=432	0		M-F, 7am-7pm
017	Library I	18x14=252	5	1	M-F, 7am-7pm
018	Nurse Room	20x16=320	2	1	M-F, 7am-7pm
019	Quiet (rest) Room	20x12=240	3		M-F, 7am-7pm
020	Hot Floor Therapy Room	10x10=100	6		M-F, 7am-7pm
021	Hot Floor Therapy Room	10x10=100	6		M-F, 7am-7pm
022	Art Room	24x15=360	10		M-F, 7am-7pm
AA	Activity Room	100x70=7000	40		S, S, 9am-5pm, M-F, 7pm-10pm
		Total weekdays:	50	11	
		Total weekends:	40		

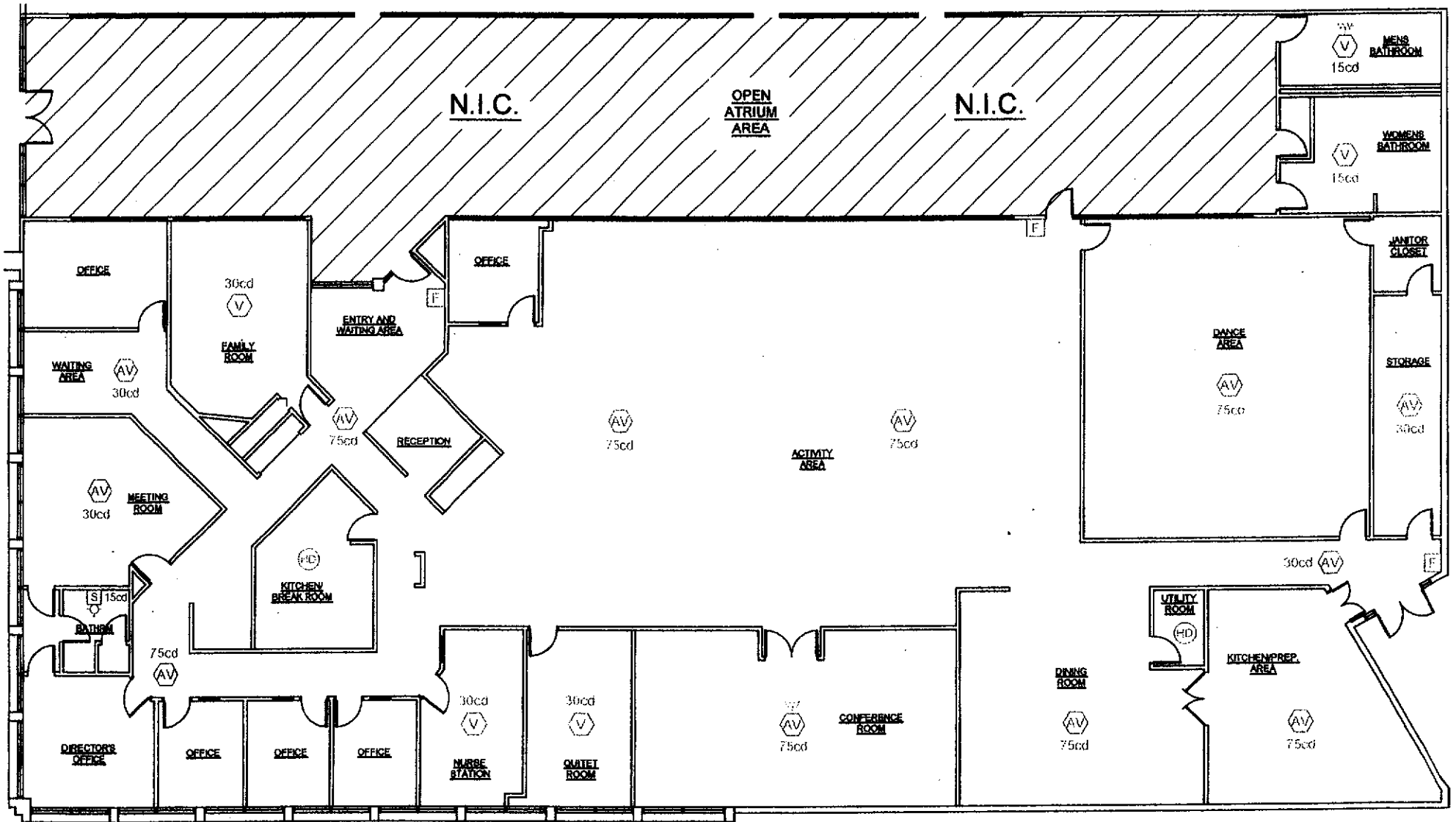
Attachment II

145 E Algonquin Rd.
Arlington Heights, IL 60005
Fire Exit

Evacuation Plan



145 E. ALGONQUIN ROAD
ARLINGTON HEIGHTS, IL 60005



FIRE ALARM PLAN