

# MEMORANDUM

**TO:** Sam Hubbard, Planning & Community Development  
**FROM:** Deb Pierce, Plan Reviewer, Building Services  
**DATE:** 3/23/16  
**RE:** 840 E Kensington Rd – Special Use Permit for Day Care  
**P.C. #:** 16- 007 – Round #1

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I have reviewed the Round 1 submittal for the address referenced above and offer the following comments:

1. This building will be reviewed as an I-4(Day Care Facility) per the 2009 International Building Code,(I.B.C.) and the 2009 International Fire Code.
2. Full compliance with the 2000 NFPA-101, Life Safety Code, Chapter 16 is required per the Illinois State Fire Marshal's Office.

**RECEIVED**  
MAR 24 2016  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. \_\_\_\_\_  
 Petitioner: Kensington School \_\_\_\_\_  
 743 McClintok Dr. \_\_\_\_\_  
 Burr Ridge, IL 60527 \_\_\_\_\_  
 Owner: PB and JV LLC. Parkway Bank \_\_\_\_\_  
 \_\_\_\_\_  
 Contact Person: Charles Marlas \_\_\_\_\_  
 Address: 743 McClintock Dr. \_\_\_\_\_  
 Burr Ridge, IL 60527 \_\_\_\_\_  
 Phone #: 630.990.8000 \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_


P.I.N.# 03-29-411-018  
 Location: 840 E. Kensington Rd  
 Rezoning: \_\_\_\_\_ Current: B2 Proposed: B2  
 Subdivision: \_\_\_\_\_  
 # of Lots: 1 Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 PUD: \_\_\_\_\_ For: \_\_\_\_\_  
 Special Use:  For: Day Care Center  
 Land Use Variation: \_\_\_\_\_ For: \_\_\_\_\_  
 \_\_\_\_\_  
 Land Use: \_\_\_\_\_ Current: Vacant  
 Proposed: Day Care  
 Site Gross Area: 87,237 sq. ft.  
 # of Units Total: \_\_\_\_\_  
 1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

The MOST SIGNIFICANT CONCERN I would have @ this point would BE ACCESS BY F.D. APPARATUS (TURN LANES, etc) I am confident they will inform you of this as well.

**RECEIVED**  
 MAR 22 2013  
 PLANNING & COMMUNITY  
 DEVELOPMENT DEPARTMENT

  
 Director \_\_\_\_\_ Date 3/22/16

## Memorandum

To: Sam Hubbard, Planning and Community Development  
From: Cris Papierniak, Assistant Director of Public Works  
Date: April 6, 2016  
Subject: 840 E. Kensington P.C #16-007, Round 1

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With regard to the proposed Special Use Permit, I have the following comments:

1. The proposed sanitary sewer connection is to a privately maintained sanitary sewer, and as such is not allowed. The resubmitted plans must show a connection to a public utility.
2. The proposed water connection is on a private line. The resubmitted plans must reflect a pressure connection within a 60" vault originating on a public water main.
3. All roof drains should collect to one line (loop) and have a single discharge to a manhole, not individual cores into the 72" line.
4. The trees proposed for planting over existing sewers must be moved to other locations that don't present a root hazard for maintenance in the future.
5. All methods of construction and materials must conform to the most recent version of "A Manual of Practice for the Design of Public & Private Improvements" as published by the Village of Arlington Heights Engineering Department.
6. A 6" compound meter will be required for this building.
7. Separate RPZ's must be installed on the fire and domestic lines within the building. The size will be determined after the architectural plans have been submitted.
8. Tie proposed downspouts to existing catch basins, not direct core into 72".
9. Why are crab trees proposed on Kensington?

Thank you for the opportunity to comment on this permit application.

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1. PUBLIC IMPROVEMENTS

REQUIRED: .....	YES	NO	COMMENTS
a. Underground Utilities			
Water .....		<input checked="" type="checkbox"/>	
Sanitary Sewer .....		<input checked="" type="checkbox"/>	
Storm Sewer .....		<input checked="" type="checkbox"/>	
b. Surface Improvement			
Pavement .....		<input checked="" type="checkbox"/>	
Curb & Gutter .....		<input checked="" type="checkbox"/>	
Sidewalks .....		<input checked="" type="checkbox"/>	
Street Lighting .....		<input checked="" type="checkbox"/>	
c. Easements			
Utility & Drainage .....		<input checked="" type="checkbox"/>	
Access .....		<input checked="" type="checkbox"/>	

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC
- b. IDOT \_\_\_\_\_
- c. ARMY CORP \_\_\_\_\_
- d. IEPA \_\_\_\_\_
- e. CCHD \_\_\_\_\_

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS? .....		<input checked="" type="checkbox"/>	
4. SITE PLAN ACCEPTABLE? .....		<input checked="" type="checkbox"/>	<u>SEE ADDITIONAL COMMENTS</u>
5. PRELIMINARY PLAT ACCEPTABLE? .....			<u>N/A</u>
6. TRAFFIC STUDY ACCEPTABLE? .....		<input checked="" type="checkbox"/>	<u>NOT PROVIDED</u>
7. STORM WATER DETENTION REQUIRED? .....	<input checked="" type="checkbox"/>		<u>PROVIDED IN EXISTING VAULT</u>
8. CONTRIBUTION ORDINANCE EXISTING? .....		<input checked="" type="checkbox"/>	
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....		<input checked="" type="checkbox"/>	
10. WETLAND EXISTING? .....		<input checked="" type="checkbox"/>	

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: SPACECO, INC.  
 DATE OF PLANS: 2-12-16

[Signature] BY: [Signature] 3-24-16  
 Director Date

**PLAN COMMISSION PC #16-007**  
**Kensington School**  
**840 E. Kensington Road**  
**Special Use Permit for Day Care**  
**Round 1**

The Engineering Department has no objection to the issuance of a Special Use for the subject project. The following comments are offered as a 'pre-permit' review of the civil site plans:

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.

12. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

13. The site is serviced by an existing storm water detention facility; therefore no new storm water detention is required.

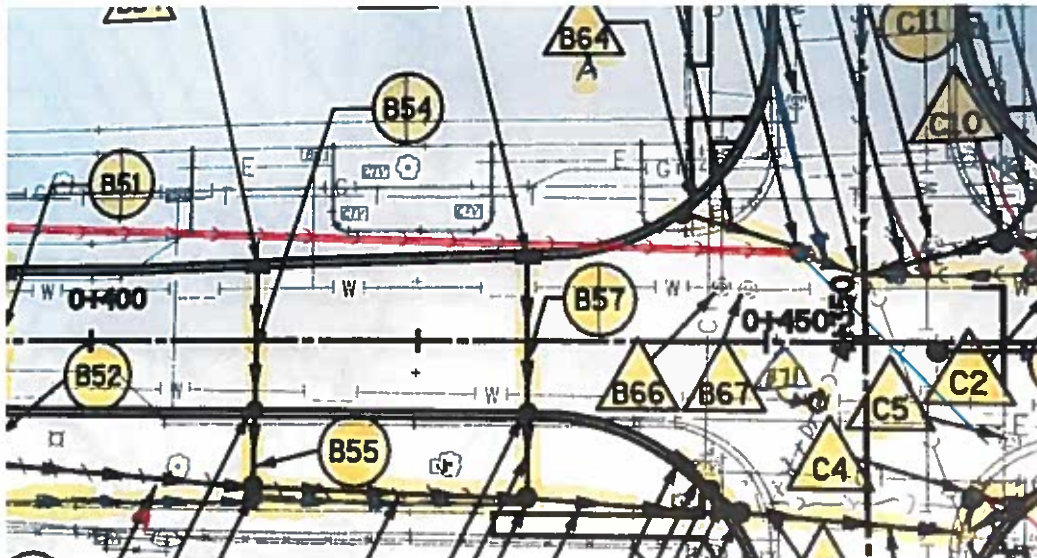
14. When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.

15. Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.


16. Fire lanes adjacent to buildings must have a minimum pavement width as directed by the Fire Department to accommodate the tower truck's outriggers. Fire lanes require a heavy duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-30 Binder, and 4" CA-6 Stone Subbase.

17. Sheet A-07 Site Plan: Consider including bicycle racks in development plan to encourage alternate modes of transportation for employees and patrons.

18. Sheet A-07 Site Plan: Add sidewalk along the west drive lane to provide a continuous north-south walkway from the northern residential sites to the Kensington Road sidewalk. Also extend the sidewalk east from the garbage corral to the Dryden Place sidewalk.
19. Sheet A-08 Grading: The drainage overflow from the residential site to the north is directed south onto the subject property. This overflow must be maintained. It is suggested the subject site be graded to drain to the east toward Dryden Place. Grading should be carefully adjusted when the existing driveway on Dryden Place is removed, replacing and lowering the public sidewalk as necessary to allow overflow to Dryden Place. The design of landscaping and other site amenities (playground equipment?) shall be mindful of the drainage requirements.
20. Sheet A-09 Utilities: The proposed water service is shown connecting to another service connection. This is not allowed. The proposed water service must connect directly to a public water main, either on Dryden Place, or Kensington Road.
21. Sheet A-09 Utilities: The new sanitary service is shown connecting to a private sanitary sewer system. It is unclear at this time whether or not the subject site is allowed to connect to this sanitary system under the existing CCD's of the Association. Provide documentation if this is allowed. If not, the service line must be connected to a Village sewer, either the 78" combination sewer in Dryden Place or the 24" combination sewer along the north parkway of Kensington Road. This sewer is not shown on the plan documents. Below is a copy of the as-built plans for the Kensington Road reconstruction project completed around 2002 showing the approximate location of the existing 24" combination sewer, highlighted in red.



22. An MWRD permit is required for the new sanitary service.

  
 James J. Massarelli, P.E. 3-24-16  
 Director of Engineering Date

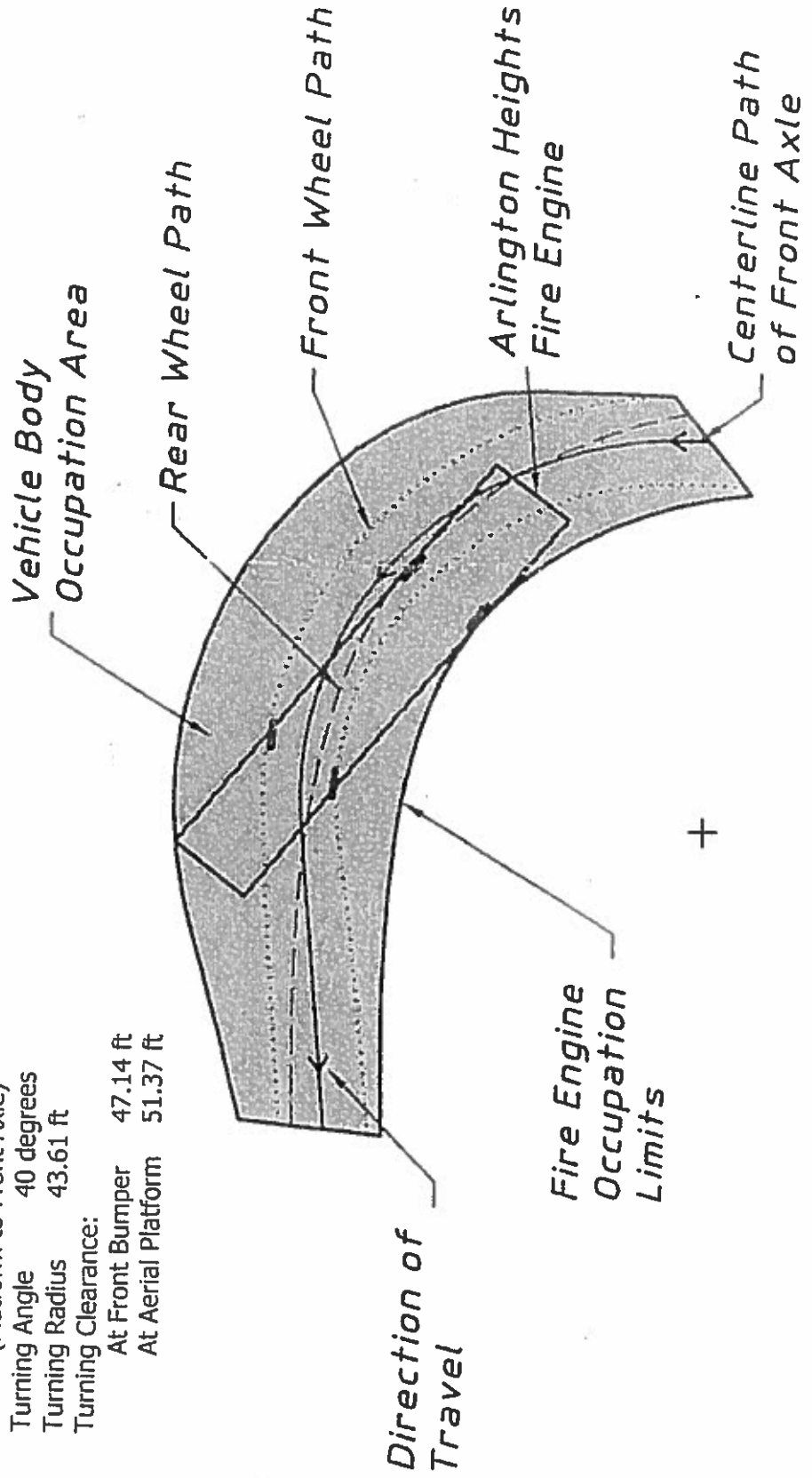
Attachments:  
 Fire Apparatus Tower 131 Specifications (1 page)

# FIRE ENGINE TURNING TEMPLATE

Village of Arlington Heights Tower 131

Scale: 1"=15'

Overall Height	11 ft - 8 in
Overall Length	48 ft - 0 in
Overall Width	8 ft - 6 in
Overall Wheelbase	21 ft - 2 in
Front Overhang	14 ft - 0 in
(Platform to Front Axle)	
Turning Angle	40 degrees
Turning Radius	43.61 ft
Turning Clearance:	
At Front Bumper	47.14 ft
At Aerial Platform	51.37 ft





# Arlington Heights Fire Department Plan Review Sheet

P. C. Number \_\_\_\_\_

Project Name \_\_\_\_\_

Project Location \_\_\_\_\_

Planning Department Contact \_\_\_\_\_

## General Comments

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**NOTE: PLAN IS CONCEPTUAL ONLY  
SUBJECT TO DETAILED PLAN REVIEW**

Date \_\_\_\_\_ Reviewed By: \_\_\_\_\_



# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

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### DEPARTMENT PLAN REVIEW SUMMARY

**Kensington School**  
**840 E. Kensington**  
**Special Use- Daycare**

#### Round 1 Review Comments

**03/29/2016**

**1. Character of use:**

The character of use is consistent with the area and is not a concern.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights code. There does not appear to be adequate lighting of the exterior of the building, especially the rear(north side) near the concrete patio area. This area should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, and other criminal activity. If there is a playground with equipment special attention should be given to illuminating the playground and the surrounding area.

**3. Present traffic problems?**

There are no traffic problems at this location.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

This development may create additional traffic problems especially during drop off and pick up times. There should be traffic control signage in the parking lot for the Kensington School. There is the potential need for modifications to the entrance and egress of the plaza parking lot due to potential increase of traffic flow, considering Mariano's generates a great deal of traffic on Kensington.

**6. General comments:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

-It appears there is a fence around the green areas of the property- any access gates to this area should be locked/secured nightly to reduce unauthorized access- i.e. theft, trespassing, vandalism, underage drinking etc.- to the area after hours. Consider installing a fence higher than 4 ft, one that allows natural surveillance of the property but limits access to unauthorized persons. Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations.

- Access control to the building and/or classroom areas must be considered. Consider numbering the exterior doors.
- The vestibule entrance to the facility needs to be secured and entry gained through buzzer. If entry into the building is made by unwanted persons, the reception area should have procedures in place to prohibit access to the rest of the facility.

*Brandi Romag #272*  
Brandi Romag, Crime Prevention Officer  
Community Services Bureau

Approved by:

*SA 86 #54*  
Supervisor's Signature

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MAR 29 2016  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

# Arlington Heights Police Department

## Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: [tmorales@vah.com](mailto:tmorales@vah.com).

Arlington Heights Police Department  
200 E. Sigwalt Street  
Arlington Heights, IL 60005-1499  
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department  
200 E. Sigwalt Street, Arlington Heights, IL 60005  
Attention: Police Administration

**Print Form (To Mail)**

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

### IN CASE OF EMERGENCY PLEASE CALL:

#### Contact #1

Name

Address/City

Telephone Number

Cell Number

#### Contact #2

Name

Address/City

Telephone Number

Cell Number

#### Alarm System

No

Yes

Phone number:

Alarm Company Name

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(Petitioner: Please do not write below this line.)

1. CHARACTER OF USE: (WOULD IT BE A PROBLEM TYPE?)

\_\_\_\_\_

2. ARE LIGHTING REQUIREMENTS ADEQUATE?

\_\_\_\_\_

3. PRESENT TRAFFIC PROBLEMS?

\_\_\_\_\_

4. TRAFFIC ACCIDENTS AT PARTICULAR LOCATION:

\_\_\_\_\_  
 \_\_\_\_\_

5. TRAFFIC PROBLEMS THAT MAY BE CREATED BY THE DEVELOPMENT:

\_\_\_\_\_  
 \_\_\_\_\_

6. GENERAL COMMENTS:

Chief \_\_\_\_\_

Date \_\_\_\_\_

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1. GENERAL COMMENTS:

See the attached accessibility comments.

Sean Freres, LEHP  3/29/16  
 Environmental Health Officer Date

Sean Freres  3/29/16 Direc  
 tor (ACTING) Date

Plan Commission Review

Address: Kensington School  
840 E. Kensington Road  
Special Use Permit for Day Care  
Round 1  
P.C. #16-007

Submitted to: Sam Hubbard  
Planning & Community Development

Submitted by: David Robb, Disability Services Coordinator  
(847) 368-5793 *David Robb*

Date: March 29, 2016

Re: Illinois Accessibility Code (IAC), Effective April 1997  
<http://www.illinois.gov/cdb/business/codes/pages/illinoisaccessibilitycode.aspx>

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Sheet A-03

- 1) Provide three (3) Accessible Reserved Parking Spaces per IAC Section 400.310(c)(1).

Sheet A-18

- 2) All Toilet Rooms in the facility shall comply with the requirements covering Toilet Rooms per IAC Section 400.310(n)(1-14).
- 3) Provide a wheelchair accessible route to the Platform per IAC Section 400.310(a)(7) in accordance with IAC Section 400.310(e).
- 4) See IAC Section 400.320(j) - Public Facilities Which Primarily Serve Children.

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YES NO

- 1.  \_\_\_\_\_ COMPLIES WITH COMPREHENSIVE PLAN?
- 2.  \_\_\_\_\_ COMPLIES WITH THOROUGHFARE PLAN?
- 3.  \_\_\_\_\_ VARIATIONS NEEDED FROM ZONING REGULATIONS?  
(See below.)
- 4. \_\_\_\_\_  VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?  
(See below.)
- 5. \_\_\_\_\_  SUBDIVISION REQUIRED?
- 6. \_\_\_\_\_  SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?  
(See below.)

Comments:

PLEASE SEE ADDITIONAL COMMENTS ATTACHED.

\_\_\_\_\_ Date

# Planning & Community Development Dept. Review

April 4, 2016



## REVIEW ROUND 1

Project: Kensington School – Charles Marlas  
840 E. Kensington Street

Case Number: PC 16-007

### General Notes:

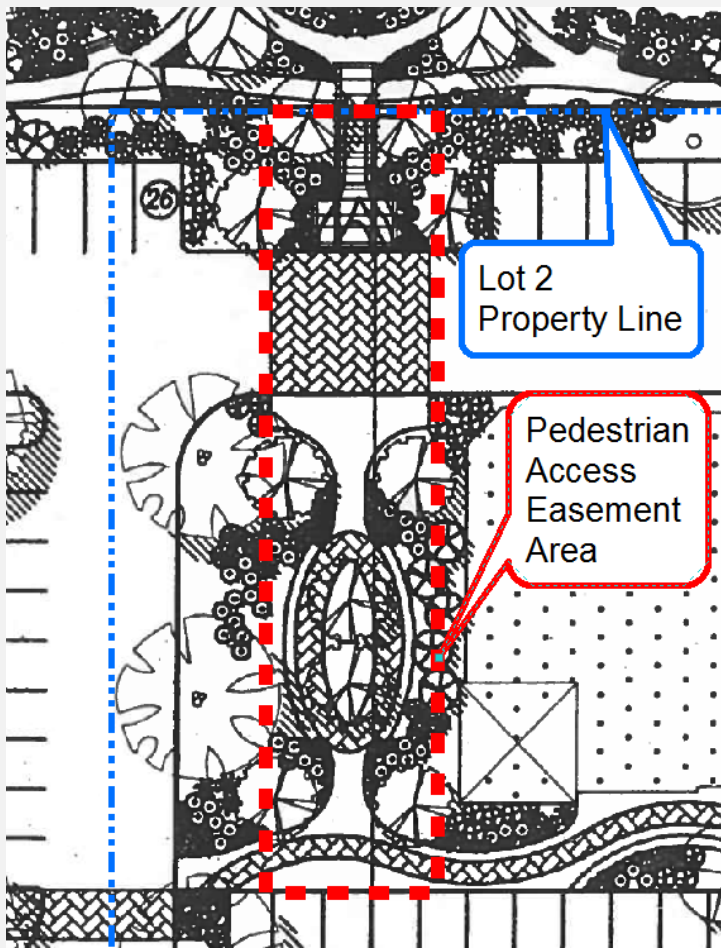
7. Plan sheets provided by SpaceCo are not to scale. Please revise the plans and resubmit at the proper scale.
8. The Arch. Site Plan (sheet A-03) and Landscape Plan (sheet A-23) do not match the Civil Plans with regards to the parking areas, patios, and sidewalks etc. Please revise all plans so that they are identical.
9. Please indicate if any mechanical units (generators, AC units, etc.) will be located on the ground (i.e. not on the roof).
10. The market study concludes that “With a current estimated total of 50,000 square feet of Child Care space available in Arlington Heights, it is clear that there is a need for more high quality Child Care.” It is unclear how this conclusion is made. Please provide additional evidence and elaborate on this conclusion to demonstrate why there is a need for additional day care facilities within Arlington Heights.
11. Landscape review comments are included in review #7A.

### Site Issues:

12. Clarify/Provide measurement for Exterior Side Yard Setback (setback from building to property line abutting Kensington Road). Please provide this measurement on sheet A-07.
13. The dumpster enclosure is defined as an “Accessory Structure”, and as such, it is required to be located within the rear yard of the property. Currently, the dumpster enclosure is proposed within the front yard. Please analyze alternative locations for the proposed dumpster enclosure, which locations remove the enclosure from the prominent location in the front yard. Additionally, details for the dumpster enclosure (height, materials, etc.) must be provided on the plans. A Variation is needed if the enclosure is located in the front yard. Justification for this Variation, as based on the hardship criteria summarized at the end of this review, would need to be provided.
14. A fence is proposed around the building. Although preliminary conversations have indicated that this fence will be 4' in height, please provide details on the plans indicating the proposed height, materials, style, etc. of the fence. A Variation will be required if the fence is 4' in height and located in the front yard. Justification for this Variation, as based on the hardship criteria summarized at the end of this review, must be provided.



15. Please clarify if the fence represents the boundaries of the outdoor play area, or if this play area will be confined to a different space. Additionally, please provide details on all equipment proposed for the exterior play area.
16. There is an existing Cross Drainage Easement that runs east to west along most of the northernmost 50' of the existing lot. Additionally, there is an existing 20' Utility Easement that runs within this area and extends approx. 5' south of the southern boundary of the 50' Cross Drainage Easement. Together, these easements encumber the northernmost 55' of the property. The existing building is setback only 35.55' from the northern property line, which means that the building encroaches approx. 19.45' into this easement area. Staff must analyze what utilities exist in this area to understand if the easement can be vacated. Any vacation of the easement would require a Plat of Vacation.
17. There is an existing 25' wide Pedestrian Access Easement that begins 31' east from the western property line of Lot 2. The proposed fence and play area in the northwest portion of the site encroaches onto this Pedestrian Access Easement. The original intent of the PUD was to create a semi-public plaza within this easement area that integrates Lot 2 into the northern residential area and provides a link between Lot 2 and the rest of the PUD (please see below for original approval concept). The proposed plan does not include this element and does not conform with the intent of the underlying PUD approval.



**Parking/Traffic:**

18. The petitioner has not yet provided a traffic study that evaluates access, on-site circulation, parking, trip generation, trip distribution, and pick-ups/drop-offs shall be provided. Additionally, a parking

analysis that evaluates existing parking demand for the shopping center on Lot 1 (including parking counts over a two week time period during the lunch and dinner hours for two weekdays) has not yet been submitted, and shall be provided.

19. The property contains 51 parking spaces (there is one existing space located at the northwest corner of the property was not factored into the total parking space count). Parking lots with 51 – 75 parking spaces are required to provide three handicap spaces. Only two handicap spaces have been provided. The petitioner should either eliminate one space or provide the additional handicap parking space.
20. Handicap signage must comply with all applicable state, federal, and local regulations.
21. Required number of parking spaces is dependent on maximum number of employees at any one time. As part of the traffic study/parking analysis, please indicate the maximum number of employees that will be present at any one time at this facility.
22. The parking lot does not appear to contain any lighting. Please confirm if any exterior lighting is proposed (i.e. lighting that will not be mounted on the building). If exterior lighting is proposed, a photometric plan is required. Please note that a parking lot light fixture (Cyclone – Historia CY25T4) is depicted on sheet A-22 but its location is not shown on any of the plan sheets.

**Original PUD Approval – Granted via Ordinance 06-043:**

23. The approved PUD showed ingress/egress off of Dryden Place, but the proposed plan does not provide this. Staff will need to evaluate the viability of eliminating the ingress/egress on Dryden to see if this proposed amendment to the PUD is feasible.
24. The approved PUD included 96 parking spaces on Lot 2. The proposed site plan provides 51 parking spaces on Lot 2. Staff will evaluate this proposed amendment to the PUD when the traffic study/parking analysis is received.
25. Signage will be reviewed during the Design Commission process. However, please note that condition #24 of Ordinance 06-043 allows only one commercial ground sign along Kensington Rd. (to be used by both Lot 1 and Lot 2), and one commercial ground sign along Dryden Pl., subject to compliance with Village sign regulations.
26. Condition #2 of Ordinance 06-043 required a cross-access and cross parking agreement between Lot 1 and Lot 2. Please provide this document. If this document does not yet exist, it must be provided as part of this development.

**Justification Criteria for Variation Approval:**

- That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
- The plight of the owner is due to unique circumstances.
- The variation, if granted, will not alter the essential character of the locality.

Prepared by:

Kensington School  
840 E. Kensington Road  
PC #16-007  
March 30, 2016

- 1) The ends of all parking rows must include a landscape island that is equal in area to one parking space, which contains a 4" caliper shade tree (Chapter 28, section 6.16-1.2b). Increase the size of the two islands in the center parking row and incorporate 4" caliper shade trees at the end of all parking rows.
- 2) Per Chapter 28, section 6.15-1.2a, a three foot high screen must be provided in order to screen the parking/ paved areas that are adjacent to the public way. Provide 3' high shrubs along Kensington Road and Dryden Place in order to screen the parking area.
- 3) Evaluate the pedestrian circulation. The north/south walk should align and connect with the existing walk on the property to the north.
- 4) Locate the trash enclosure away from Dryden Place and out of the front yard.
- 5) Overall the landscaping is minimal. The previously approved plan for the site included an abundance of landscaping on each elevation and on the perimeter of the site. Must provide additional landscaping along the north property line adjacent to the residential district. The landscaping along the north property line should consist of a mix of evergreen trees, ornamental trees and shrubs and provide a dense buffer. In addition, the previously approved plan included specialty pavement at the entrances and within the crosswalks.
- 6) At the corner of Dryden and Kensington incorporate a mix of shrubs and perennials.
- 7) If there are any utility meters or mechanical units, they must be screened with landscaping or another appropriate method of screening.
- 8) A landscape compliance bond in the amount of 30% of the landscaping costs will be required at the time of building permit. In addition, a \$4 tree fee is required for each lineal foot of frontage.