



HAGUE ARCHITECTURE

Tuesday, June 07, 2016

**Sam Hubbard**

Village of Arlington Heights

**RE: PC #16-008 Kensington School**  
*840 E. Kensington Rd.*

Sam:

Please see the following responses to your comments below; additionally see the attached drawings from both SpaceCo and Hague Architecture:

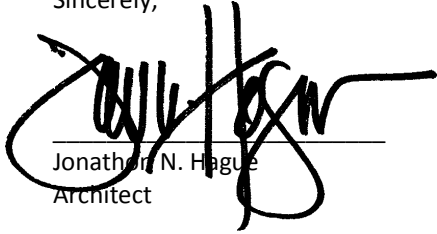
- The required traffic study and parking survey was not included within the application
  - **See attached documents**
- The proposed market study justifying the need for this type of facility at this location was incomplete. Further details and additional clarification is needed within the market study.
  - **See attached revised Market Study**
- Details on the proposed playground equipment and equipment locations were not included within the application.
  - **See attached documents**
- The proposed building encroaches into a drainage and public utility easement. If the location of the building is not altered, the easements as shown on the Plat of Subdivision may need to be modified based on the current plan, should the proposed encroachment be determined acceptable by the Village.
  - **See additional SpaceCo responses attached at the end of this document**
- The original PUD approval for the Arlington Market development included a semi-public plaza area and pedestrian easement area on the west side of the subject property. The current proposal for the daycare facility did not incorporate this feature within their application, which may require this easement on the Plat of Subdivision to be modified.
  - **See revised site plans incorporating a pedestrian area/connection point**
- The proposed site plan included what appeared to be a 4' tall fence in the front yard, which would require variation approval. Additional details were requested on this fence and justification indicating that the criterion for variation approval was not provided.
  - **The design of the fence has been changed to metal, the school requires a fence for the security of the children, A variation is being requested for the front yard.**
- The required Auto Turn Diagram illustrating how emergency vehicles can access and circulate within the proposed site was not provided.
  - **See Auto turns in the attached documents**
- The proposed landscaping was minimal and did not conform to code requirements.
  - **See attached revised Landscape Plans**
- Various utility and engineering issues were identified, such as a sewer connection proposed into a privately owned and maintained sewer line which is not allowed, a water connection connecting into a service line and not a main line which is not allowed, and the need for extension of certain sidewalks within the development.
  - **See additional SpaceCo responses attached at the end of this document**

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Lastly we have provided alternate exterior elevations that propose a metal standing seam roof and metal fencing in response to the Design commission and guidelines for Kensington rd.

Thank you again and please don't hesitate to call if you require any additional information.

Sincerely,



Jonathon N. Hague  
Architect

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Below are our responses to the Village of Arlington Heights Engineering Department comment letter dated March 24, 2016, Village of Arlington Heights Health Services Department comment letter dated March 29, 2016, Village of Arlington Heights Planning & Community Development Department comment letter dated April 4, 2016, Arlington Heights Fire Department comment letter dated April 4, 2016, and Village of Arlington Heights Public Works Department comment letter dated April 6, 2016.

### **VILLAGE OF ARLINGTON HEIGHTS ENGINEERING DEPARTMENT LETTER** **DATED 03/24/2016:**

**COMMENT 13:** The site is serviced by an existing storm water detention facility; therefore no new storm water detention is required.

**RESPONSE 13:** So noted.

**COMMENT 16:** Fire lanes adjacent to buildings must have a minimum pavement width as directed by the Fire Department to accommodate the tower truck's outriggers. Fire lanes require a heavy duty pavement section. Asphalt pavement section to consist of: 2" Surface, 2-1/4" N-50 Binder, 5" N-30 Binder, and 4" CA-6 Stone Subbase.

**RESPONSE 16:** This information has been added to the General Notes and Typical Sections sheet GN1, page 2 of the revised Site Improvement Plans. Heavy duty pavement limits are now shown on the Geometric Plan sheet L1, page 4 of the revised Site Improvement Plans.

**COMMENT 18:** Sheet A-07 Site Plan: Add sidewalk along the west drive lane to provide a continuous north-south walkway from northern residential sites to the Kensington Road sidewalk. Also extend the sidewalk east from the garbage corral to the Dryden Place sidewalk.

**RESPONSE 18:** Sidewalk along the west drive has been revised to connect to the existing sidewalk terminus provided by the townhome development to the north and has been extended southerly to the Kensington Road sidewalk. See revised Geometric Plan sheet L1, page 4 of the revised Site Improvement Plans.

**COMMENT 19:** Sheet A-08 Grading: The drainage overflow from the residential site to the north is directed south onto the subject property. This overflow must be maintained. It is suggested the subject site be graded to drain to the east toward Dryden Place. Grading should be carefully adjusted when the existing driveway on Dryden Place is removed, replacing and lowering the public sidewalk as necessary to allow overflow to Dryden Place. The design of

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landscaping and other site amenities (playground equipment?) shall be mindful of the drainage requirements.

RESPONSE 19: The grading has been adjusted to drain as much of the site as possible toward Dryden Place and to better maintain the existing overflow path. Additionally, notes were added to the grading plan to protect the existing overflow path. See revised Grading Plan sheet G1, page 5 of the revised Site Improvement Plans.

COMMENT 20: Sheet A-09 Utilities: The proposed water service is shown connecting to another service connection. This is not allowed. The proposed water service must connect directly to a public water main, either on Dryden Place, or Kensington Road.

RESPONSE 20: This has been done. The water service is now shown to connect to the public main along Dryden Place. See Utility Plan on sheet U1, page 6 of the revised Site Improvement Plans.

COMMENT 21: Sheet A-09: Utilities: The new sanitary service is shown connecting to a private sanitary system. It is unclear at this time whether or not the subject site is allowed to connect to this sanitary system under the existing CCD's of the Association. Provide documentation if this is allowed. If not, the service line must be connected to a Village sewer, either the 78" combination sewer in Dryden Place or the 24" combination sewer along the north parkway of Kensington Road. This sewer is not shown on the plan documents. Below is a copy of the as-built plans for the Kensington Road reconstruction project completed around 2002 showing the approximate location of the existing 24" combination sewer, highlighted in red.

RESPONSE 21: Based on a review of the Final Plant of Subdivision of Arlington Market, Doc.#0705915065, the receiving sanitary system is located within a 16.5' sewer and water easement and is not private.

## **VILLAGE OF ARLINGTON HEIGHTS HEALTH SERVICES DEPARTMENT LETTER** **DATED 03/29/2016:**

### **Sheet A-03**

COMMENT 1: Provide three (3) Accessible Reserved Parking Spaces per IAC Section 400.310(c)(1).

RESPONSE 1: The site parking lot has been revised to accommodate fire truck maneuverability and one parking space has been eliminated bringing the total parking space count to 49, therefore only 2 accessible spaces are required.

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**VILLAGE OF ARLINGTON HEIGHTS PLANNING & COMMUNITY DEVELOPMENT  
DEPARTMENT LETTER DATED 04/04/2016:**

**COMMENT 7:** Plan sheets provided by SpaceCo are not to scale. Please revise the plans and resubmit at the proper scale.

**RESPONSE 7:** This has been done.

**COMMENT 19:** The property contains 51 parking spaces (there is one existing space located at the northwest corner of the property was not factored into the total parking space count). Parking lots with 51-75 parking spaces are required to provide three handicap spaces. Only two handicap spaces have been provided. The petitioner should either eliminate one space or provide the additional handicap parking space.

**RESPONSE 19:** The site parking lot has been revised to accommodate fire truck maneuverability and one parking space has been eliminated bringing the total parking space count to 49, therefore only 2 accessible spaces are required.

**COMMENT 20:** Handicap signage must comply with all applicable state, federal, and local regulations.

**RESPONSE 20:** So noted.

**ARLINGTON HEIGHTS FIRE DEPARTMENT LETTER DATED 04/04/2016:**

**COMMENT 1:** The fire department requests an auto turn diagram.

**RESPONSE 1:** These will be submitted by KLOA, Inc.

**VILLAGE OF ARLINGTON HEIGHTS PUBLIC WORKS DEPARTMENT LETTER  
DATED 04/06/2016:**

**COMMENT 1:** The proposed sanitary sewer connection is to a privately maintained sanitary sewer, and as such is not allowed. The resubmitted plans must show a connection to a public utility.

**RESPONSE 1:** Based on a review of the Final Plant of Subdivision of Arlington Market, Doc.#0705915065, the receiving sanitary system is located within a 16.5' sewer and water easement and is not private.

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**COMMENT 2:** The proposed water connection is on a private line. The resubmitted plans must reflect a pressure connection within a 60" vault originating on a public water main.

**RESPONSE 2:** This has been done. The water service is now shown to connect to the public main along Dryden Place. See Utility Plan on sheet U1, page 6 of the revised Site Improvement Plans.

**COMMENT 3:** All roof drains should collect to one line (loop) and have a single discharge to a manhole, not individual cores into the 72" line.

**RESPONSE 3:** This has been done. See Utility Plan on sheet U1, page 6 of the revised Site Improvement Plans.

**COMMENT 5:** All methods of construction and materials must conform to the most recent version of "A Manual of Practice for the Design of Public & Private Improvements" as published by the Village of Arlington Heights Engineering Department.

**RESPONSE 5:** This information has been added to note 1.D on the General Notes and Typical Sections sheet GN1, page 2 of the revised Site Improvement Plans.

**COMMENT 6:** A 6" compound meter will be required for this building.

**RESPONSE 6:** A compound meter is now shown on the Utility Plan sheet U1, page 6 of the revised Site Improvement Plans.

**COMMENT 8:** Tie proposed downspouts to existing catch basins, not direct core into 72".

**RESPONSE 8:** This has been done. See Utility Plan on sheet U1, page 6 of the revised Site Improvement Plans.