

## STAFF DESIGN COMMISSION REPORT

### PROJECT INFORMATION:

**Project Name:** Esplanade at Arlington Heights  
**Project Address:** 2920-3020 W. Euclid Ave.  
**Prepared By:** Steve Hautzinger

### PETITIONER INFORMATION:

**DC Number:** 16-124  
**Petitioner Name:** C. Josh Wohlreich  
**Petitioner Address:** Stonestreet Esplanade LLC  
760 W. Main Street, Suite 140  
Barrington, IL 60010  
**Meeting Date:** October 25, 2016

**Date Prepared:** October 17, 2016

### Requested Action:

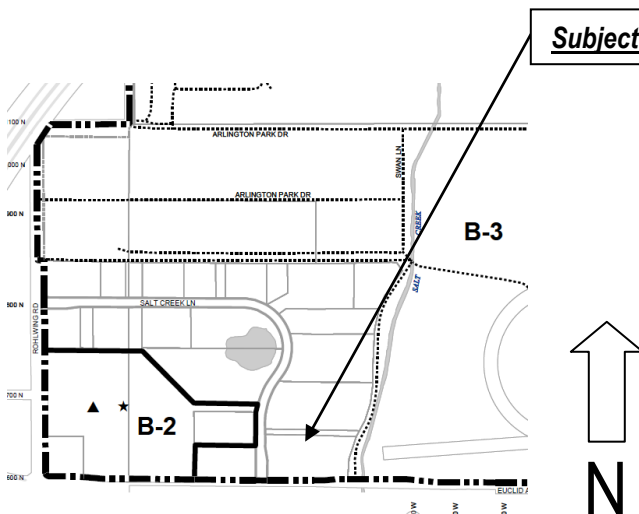
1. A variation from Chapter 30, section 30-302 Number a, to allow a 281'-4" separation between the office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800 feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow a 503'-8" separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.

### Previously Approved Sign Variations from 2008 (for reference only):

1. A variation from Chapter 30, section 30-302 Number a, to allow for 340'-6" feet separation between the relocated office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800 feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow for 562'-10" feet separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.
3. A variation from Chapter 30, section 30-302 Number a, to allow 3 ground signs where only two are allowed.

### **ANALYSIS:**

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction...to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Code."



**Zoning Map of Property**



**Aerial of Property**

**Summary:**

The Esplanade at Arlington Heights is an existing retail center located at the northeast corner of Euclid Avenue and Salt Creek Lane. The property is located on the south end of the Arlington Business Center. The business park has two "Arlington Business Center" identification signs, one sign is on the northeast corner of Rohlwing Road and Salt Creek Lane and the second sign is on the southwest corner of the petitioner's property. In addition to the "Arlington Business Center" sign, there are two existing monument style, multi-tenant, Esplanade ground signs on the subject site, one facing Euclid Avenue, and one facing Salt Creek Lane. These three existing ground signs were approved by sign variation in 2008, to allow three ground signs, where only two are allowed, as well as a reduction to the 800 foot separation required between ground signs.

At this time, the petitioner is requesting an amendment to the previously approved separation distances to allow relocation of the existing Euclid facing multi-tenant Esplanade ground sign from the east side of the Euclid entry drive to the west side of the entry drive. Relocation of the sign is required to accommodate development of the east end of the site with a new Westgate Dental building and corresponding parking area. The relocation of the existing sign results in a 59'-2" reduction in the required separation distance between the signs, so new sign variations are required.

There will be no change to the overall size of the three signs, but the signage area on the two Esplanade signs will be slightly increased due to converting the existing "ESPLANADE" sign panel to tenant panels, and adding new "ESPLANADE" signage on the top portion of the existing signs. Chapter 30 (sign code) establishes the maximum size for ground signs based upon the fronting street size and speed limit, which in this case is 80 sf maximum along Euclid, and 66 sf maximum along Salt Creek Lane. The fact that the three ground signs are less than the maximum sizes allowed per street frontage was a factor when approving the original sign variations. However, Staff is not concerned with the small increase in signage area on the two Esplanade signs.

**Table 1: Existing and Proposed Ground Signs Summary:**

Ground Sign	Frontage	Sign Height (16'-6" allowed)	Sign Area	Separation Distance (800 feet required)	Remarks
<b>EXISTING</b>					
Sign A: Multi-Tenant Esplanade sign	Salt Creek Lane	10'-0"	44.85 sf	222'-4" between A & B	
Sign B: Business Center sign	At corner	5'-9"	21 sf		
Sign C: Multi-Tenant Esplanade sign	Euclid Avenue	10'-0"	44.85 sf	340'-6" between B & C  562'-10" between A & C	Variations approved in 2008 for separation.  Variation approved in 2008 for quantity.
<b>PROPOSED</b>					
Sign A: Multi-Tenant Esplanade Sign	Salt Creek Lane	10'-0"	52 sf	222'-4" between A & B	
Sign B: Business Center sign	At corner	5'-9"	21 sf		
Sign C: Multi-Tenant Esplanade sign	Euclid Avenue	10'-0"	52 sf	281'-4" between B & D  503'-8" between A & D	<b>Variations required for separation.</b>  Variation approved in 2008 for quantity.

**Sign Variation Criteria:**

The Village Sign Code, Chapter 30, Section 30-901 sets out the criteria for granting a sign variation.

- a. *That the particular difficulty or peculiar hardship is not self-created by the Petitioner.*
- b. *That the granting of said variation will not create a traffic hazard, a depreciation of nearby property values or otherwise be detrimental to the public health, safety, morals and welfare;*
- c. *That the variation will serve to relieve the Petitioner from a difficulty attributable to the location, topography, circumstances on nearby properties or other peculiar hardship, and will not merely serve to provide the Petitioner with a competitive advantage over similar businesses;*
- d. *That the variation will not alter the essential character of the locality;*
- e. *That the Petitioner's business cannot reasonably function under the standards of this chapter.*

The petitioner has submitted a letter addressing the above criteria, with the primary hardship identified as the existing sign location being in conflict with the approved parking for the new dental office. The petitioner for the original sign variations justified the need for two retail ground signs based on the fact that the business park sign occupies the prime location at the corner where a single retail center sign could have been located. This unique circumstance still exists today, and Staff does not object to the three existing ground signs. Furthermore, Staff has no objection to the requested reduction in separation distance between the ground signs because of the sign location conflict with the new parking to be constructed.

**RECOMMENDATION**

It is recommended that the Design Commission **approve** the requested sign variations for the *Esplanade at Arlington Heights* at 2920-3020 W. Euclid Avenue. This recommendation is subject to compliance with the plans received on 10/07/16, Federal, State, and Village Codes, regulations, and policies, the issuance of all required permits, and resolution of the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

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Steve Hautzinger AIA, Design Planner  
Department of Planning & Community Development

c: Charles Witherington-Perkins, Director of Planning and Community Development, Petitioner, DC File 16-124