

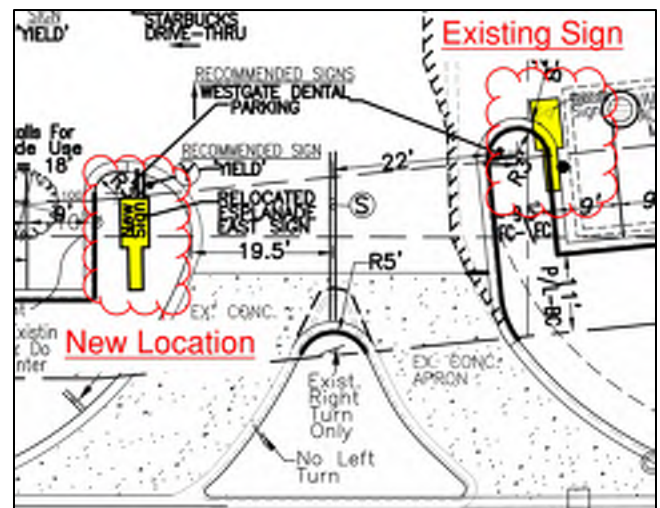


Design Commission Review Submittal

- a. 1 set – Fully dimensioned, detailed site plans including building locations, driveways, yards, setbacks, proposed sign and existing sign with dimensions. **ATTACHED**
- b. 1 set – Existing and proposed elevations of building facades. Must be architectural scale, i.e., ¼-inch equals 1-foot or 1/8-inch equals 1-foot. Colored renderings are required to indicate proposed signage. **PER STEVE HAUTZINGER, NOT REQUIRED**
- c. 1 set – Fully dimensioned drawings of proposed signs with scale. Fully dimensioned and scaled drawing of any existing signage. **ATTACHED**
- d. 1 set – Color photographs of subject property and surrounding properties: 3 sites to the left, 3 sites to the right, and 3 sites across the street. Color photos of any existing signage. **ATTACHED**
- e. 1 – Written list of all sign materials. (See attached SAMPLE on Page 7) **ATTACHED**
- f. 1 – Letter for variation and hardship request, per Chapter 30, Section 30-802 (**SEE FOLLOWING**)

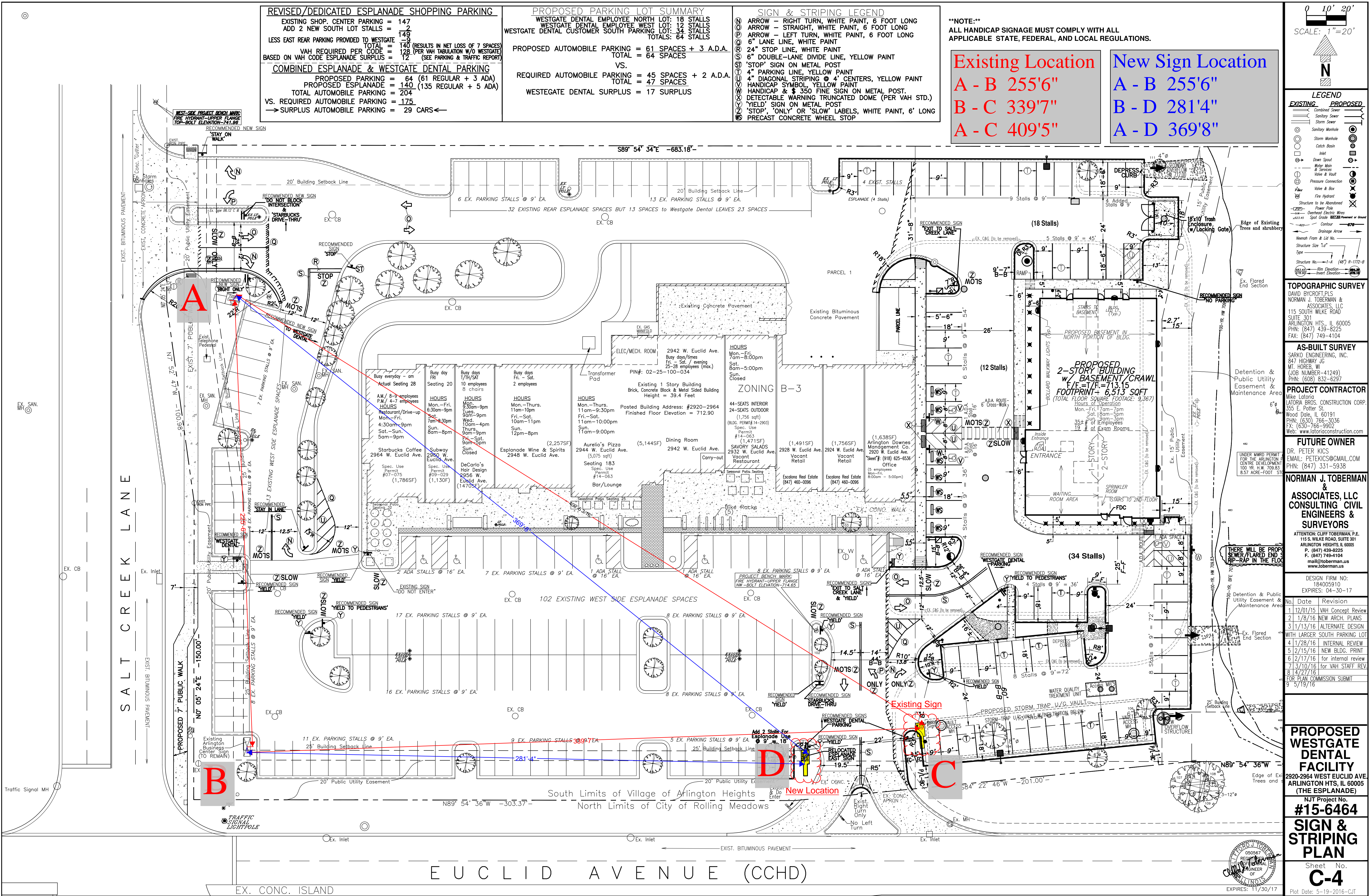
Section 30-802 Standards. The Design Commission and the Village Board of Trustees will base their recommendation for a variation on the following facts:

- a. **Petitioner is required to relocate the existing sign as part of the construction plans for the recently approved dental office. Please see the plan to the right. The existing sign conflicts with the revised and approved curbs and parking configuration. Requesting a minor modification variations approved when the facility was constructed in 2008 by a previous owner.**
- b. **The relocated sign will be located outside of the 12' visibility triangle so it will not create a traffic hazard, the sign is existing and is nicely designed so there will be no negative impact on nearby property values.**
- c. **The sign needs to be relocated to accommodate development of the east end of the site with a new building and new parking area.**
- d. **The sign is existing so there will be no change to the character of the locality**
- e. **A sign is required in this location for visibility along Euclid Avenue.**





- g. 1 – Sample of major sign materials including colors, textures and finishes being proposed on an 8.5” X 11” material board. **PER STEVE HAUTZINGER, ATTACHED PHOTOS WILL SUFFICE**
- h. 1 – Completed application form (Page 5), including signatures and \$300 fee. (Check shall be made out to: The Village of Arlington Heights) **ATTACHED**
- i. Notification to property owners/taxpayers of record within 100-feet, Section 30-804a (Page 8) no less than 7 days prior to the meeting. Affidavit (Page 11), list of property owners and receipts of certified mailings must be submitted to Staff 7 days prior to meeting. **PETITIONER WILL COMPLY**
- j. Sign posting requirement, Section 30-804b (Pages 8 & 9), no less than 15 days prior to the meeting. Affidavit (Page 10) and photograph of sign installed at site must be submitted to Staff 15 days prior to meeting. **PETITIONER WILL COMPLY**
- k. Electronic (pdf) files of Items a thru f. **PROVIDED**



REVISED/DEDICATED ESPLANADE SHOPPING PARKING EXISTING SHOP. CENTER PARKING = 147 ADD 2 NEW SOUTH LOT STALLS = 2 LESS EAST REAR PARKING PROVIDED TO WESTGATE = 149 TOTAL = 140 (RESULTS IN NET LOSS OF 7 SPACES) VAH REQUIRED PER CODE = 128 (PER VAH TABULATION W/O WESTGATE) BASED ON VAH CODE ESPLANADE SURPLUS = 12 (SEE PARKING & TRAFFIC REPORT)	PROPOSED PARKING LOT SUMMARY WESTGATE DENTAL EMPLOYEE NORTH LOT: 18 STALLS WESTGATE DENTAL EMPLOYEE WEST LOT: 12 STALLS WESTGATE DENTAL CUSTOMER SOUTH PARKING LOT: 34 STALLS TOTALS: 64 STALLS PROPOSED AUTOMOBILE PARKING = 61 SPACES + 3 A.D.A. TOTAL = 64 SPACES VS. REQUIRED AUTOMOBILE PARKING = 45 SPACES + 2 A.D.A. TOTAL = 47 SPACES WESTGATE DENTAL SURPLUS = 17 SURPLUS	SIGN & STRIPING LEGEND N ARROW - RIGHT TURN, WHITE PAINT, 6 FOOT LONG O ARROW - STRAIGHT, WHITE PAINT, 6 FOOT LONG P ARROW - LEFT TURN, WHITE PAINT, 6 FOOT LONG R 6" LANE LINE, WHITE PAINT S 24" STOP LINE, WHITE PAINT D 6" DOUBLE-LANE DIVIDE LINE, YELLOW PAINT ST STOP SIGN ON METAL POST T 4" PARKING LINE, YELLOW PAINT V 4" DIAGONAL STRIPING @ 4" CENTERS, YELLOW PAINT W HANDICAP SYMBOL YELLOW PAINT X HANDICAP & 350 FINE SIGN ON METAL POST. Y DETECTABLE WARNING TRUNCATED DOME (PER VAH STD.) Z YIELD SIGN ON METAL POST O ONLY OR SLOW LABELS, WHITE PAINT, 6' LONG P PRECAST CONCRETE WHEEL STOP
--	---	--

Existing Location A - B 255'6" B - C 339'7" A - C 409'5"	New Sign Location A - B 255'6" B - D 281'4" A - D 369'8"
--	--

0 10' 20'

SCALE: 1"=20'

N

LEGEND

EXISTING	PROPOSED
Combined Sewer	Combined Sewer
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Sanitary Manhole	Sanitary Manhole
Storm Manhole	Storm Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Down Spout	Down Spout
Water Mains & Services	Water Mains & Services
Valve & Vault	Valve & Vault
Pressure Connection	Pressure Connection
Valve & Box	Valve & Box
Fire Hydrant	Fire Hydrant
Structure to be Abandoned	Structure to be Abandoned
Power Pole	Power Pole
Overhead Electric Wires	Overhead Electric Wires
Spot Code 1000000000000000	Spot Code 1000000000000000
Contour	Contour
Drainage Arrow	Drainage Arrow
Neenah Form & Lid No.	Neenah Form & Lid No.
Structure Size "x"y"	Structure Size "x"y"
Type	Type
Structure No. 1-A (48) R-172-B	Structure No. 1-A (48) R-172-B
Structure Invert Elevation	Structure Invert Elevation

TOPOGRAPHIC SURVEY

DAVID BYCROFT & ASSOCIATES, LLC
115 SOUTH WILKE ROAD
SUITE 301
ARLINGTON HTS., IL 60005
PHN: (847) 439-8225
FAX: (847) 749-4104

AS-BUILT SURVEY

SARKO ENGINEERING, INC.
847 HIGHWAY JG
MT. PROSPER, WI
(JOB NUMBER-41249)
PHN: (608) 832-6297

PROJECT CONTRACTOR

Mike Latorio
LATORIO BROS. CONSTRUCTION CORP.
355 E. Potter St.
Wood Dale, IL 60191
PHN: (630) 766-3036
FX: (630) 766-9907
Web: www.latorioconstruction.com

FUTURE OWNER

DR. PETER KICS
EMAIL: PETEKICS@GMAIL.COM
PHN: (847) 331-5938

NORMAN J. TOBERMAN & ASSOCIATES, LLC
CONSULTING CIVIL ENGINEERS & SURVEYORS
ATTENTION: CLIFF TOBERMAN, P.E.
115 S. WILKE ROAD, SUITE 301
ARLINGTON HEIGHTS, IL 60005
P. (847) 439-8225
F. (847) 749-4104
mail@toberman.us
www.toberman.us

DESIGN FIRM NO: 184005910
EXPIRES: 04-30-17

No.	Date	Revision
1	12/01/15	VAH Concept Review
2	1/8/16	NEW ARCH. PLANS
3	1/13/16	[ALTERNATE DESIGN WITH LARGER SOUTH PARKING LOT]
4	1/28/16	INTERNAL REVIEW
5	2/15/16	NEW BLDG. PRINT
6	2/17/16	for internal review
7	3/10/16	for VAH STAFF REV
8	4/27/16	FOR PLAN COMMISSION SUBMIT
9	5/19/16	

PROPOSED WESTGATE DENTAL FACILITY
2920-2964 WEST EUCLID AVE.
ARLINGTON HTS., IL 60005
(THE ESPLANADE)

NJT Project No:
#15-6464

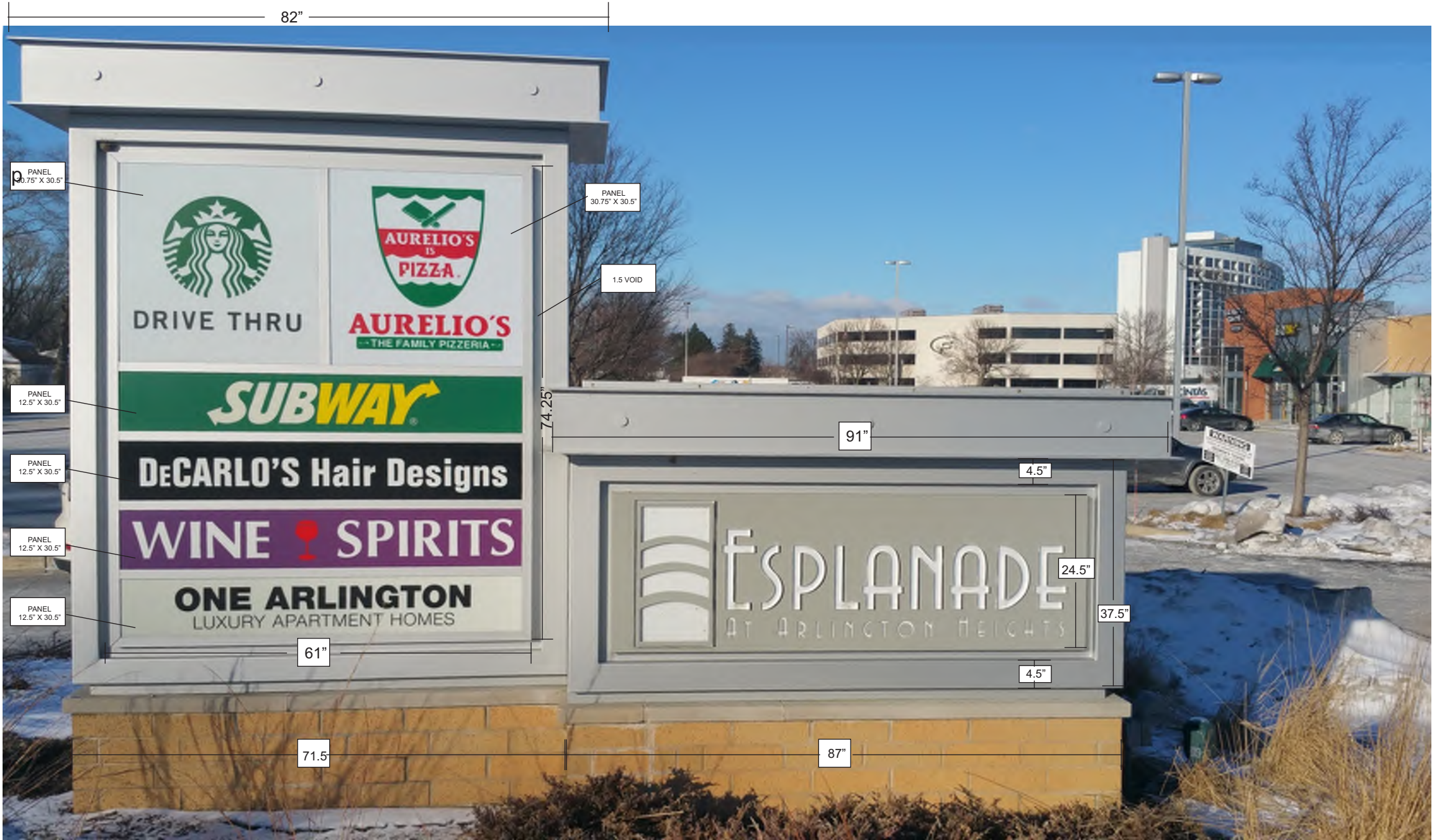
SIGN & STRIPING PLAN

Sheet No.
C-4

EXPIRES: 11/30/17

Plot Date: 5-19-2016-CJT

Existing sign and dimensions



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targin signs.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16
Pro: -
Drawn By: Steve/Mike
Rev: -

Account Representative:
Steve Gruber

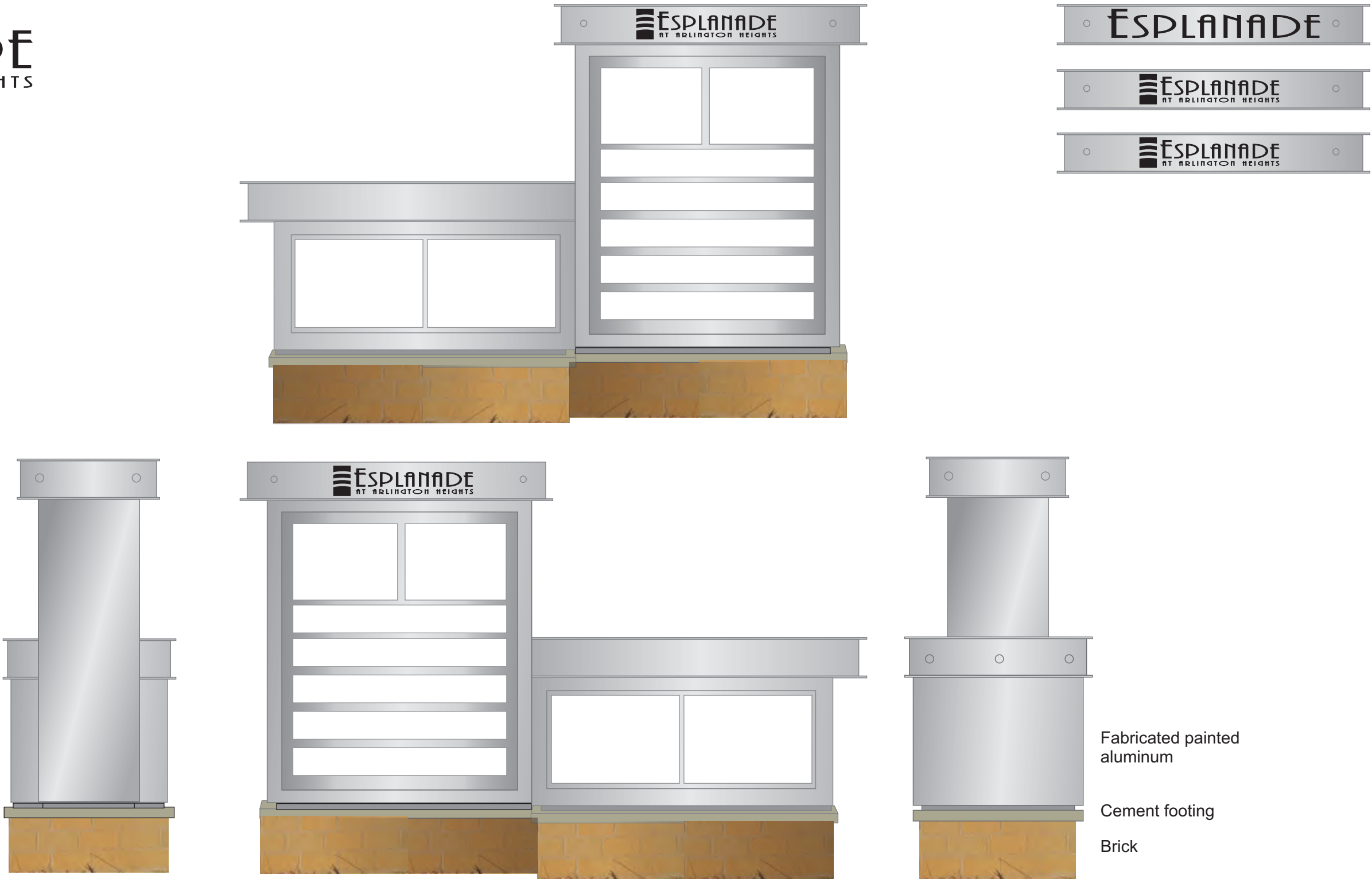
Notes:
Existing sign to be relocated on property

COPYRIGHT NOTICE c

This drawing and all reproductions thereof are the property of **Targin Sign Systems** and may not be reproduced, published changed or used in any way without written consent.



Comp layout



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targinsigns.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16	Account Representative: Steve Gruber	Notes: Comps for alteration of existing structure	COPYRIGHT NOTICE c This drawing and all reproductions thereof are the property of Targin Sign Systems and may not be reproduced, published changed or used in any way without written consent.
Pro:			
Drawn By: Steve/Mike			
Rev:			

3/4"=1"
A-1



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targinsigns.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16

Pro:

Drawn By: Steve/Mike

Rev:

Account Representative:
Steve Gruber

Notes:

COPYRIGHT NOTICE c

This drawing and all reproductions thereof are the property of
Targin Sign Systems
and may not be reproduced,
published changed or used in any
way without written consent.

3/4"=1"

A-2



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targinsigns.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16
Pro: _____
Drawn By: Steve/Mike
Rev: _____

Account Representative:
Steve Gruber

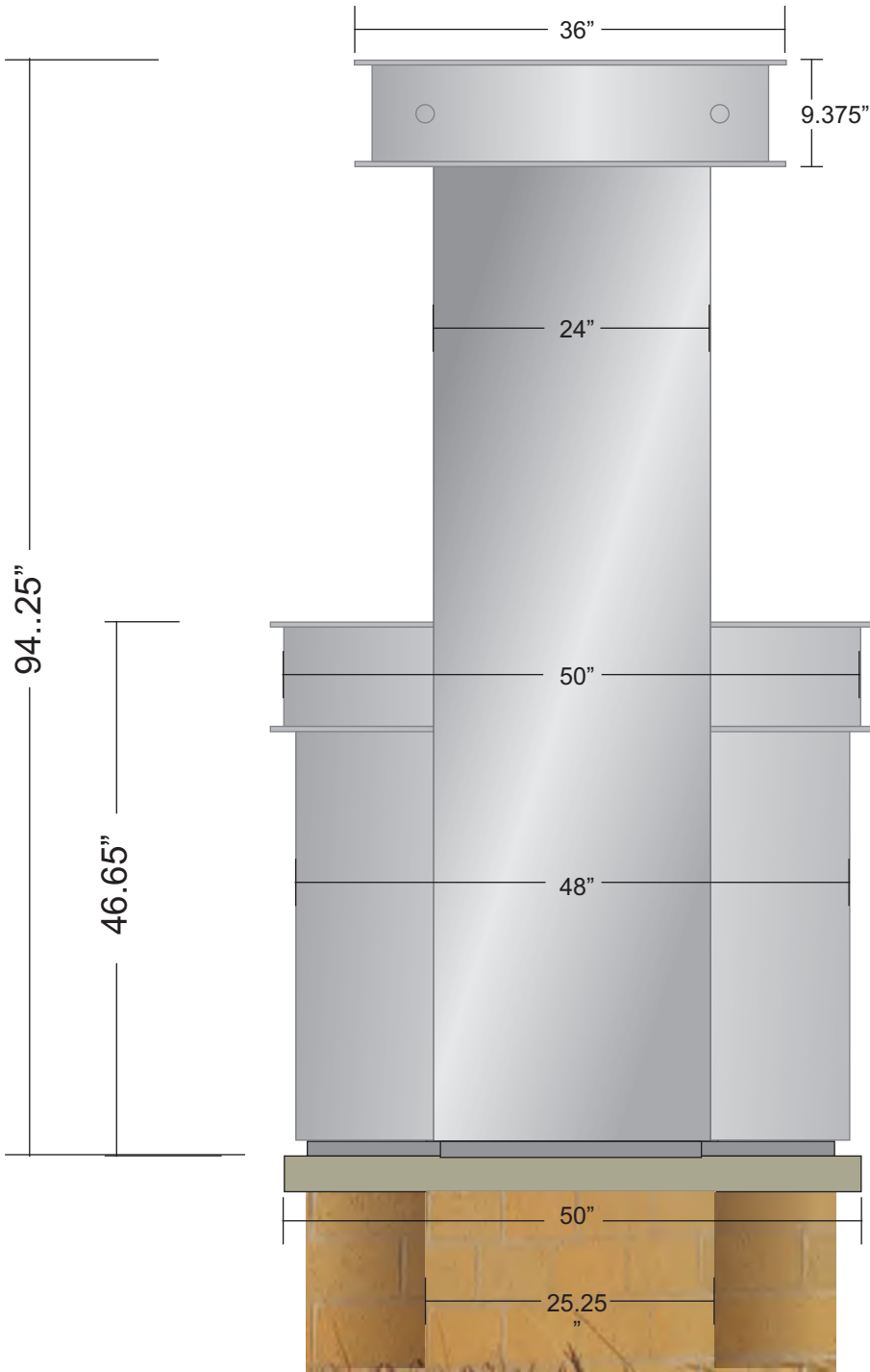
Notes:

COPYRIGHT NOTICE c

This drawing and all reproductions thereof are the property of **Targin Sign Systems** and may not be reproduced, published changed or used in any way without written consent.

3/4"=1"

B-1



Fabricated painted
aluminum

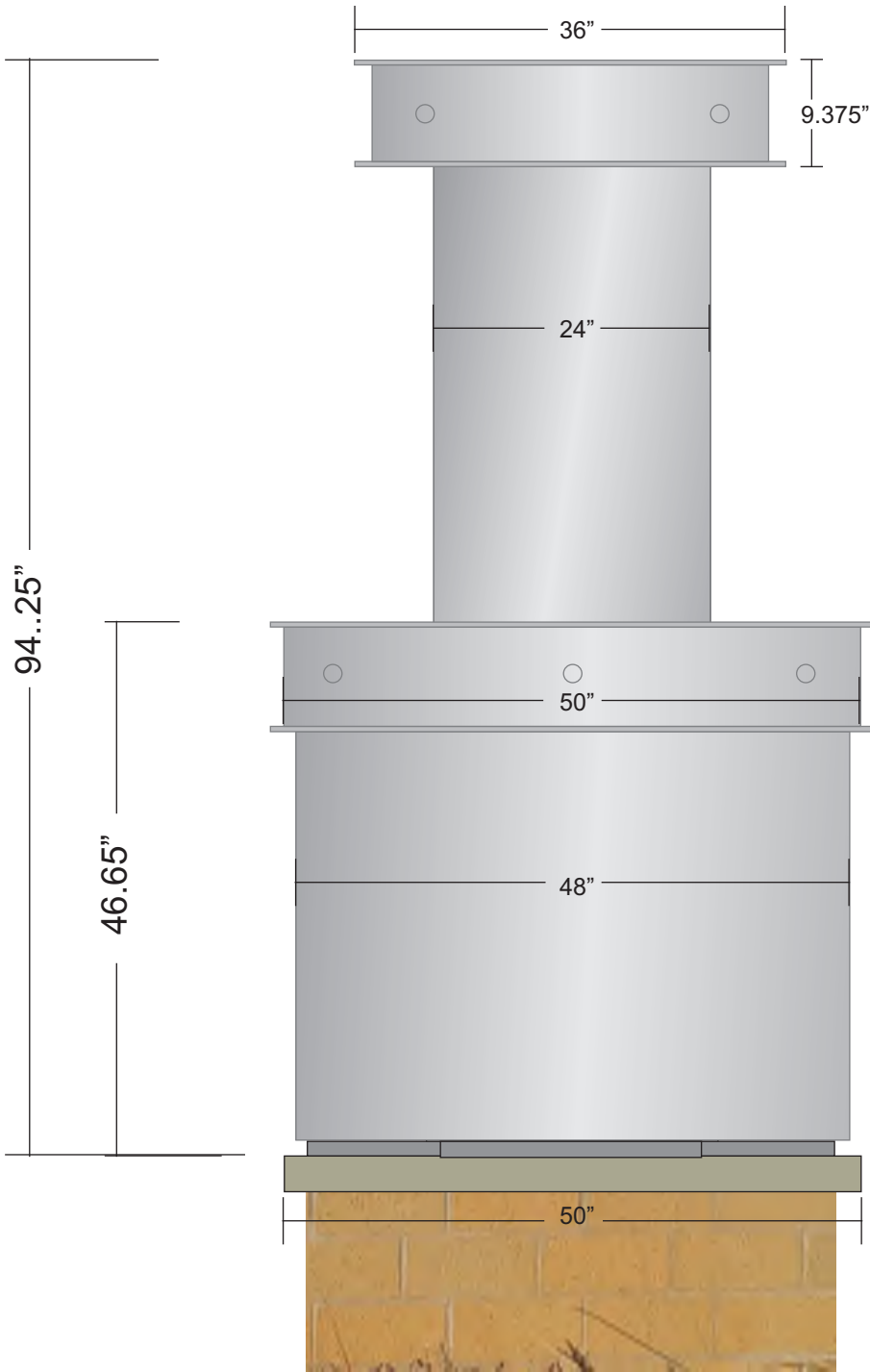
Cement footing

Brick

Date: 10-5-16	Account Representative: Steve Gruber	Notes:	COPYRIGHT NOTICE c This drawing and all reproductions thereof are the property of Targin Sign Systems and may not be reproduced, published changed or used in any way without written consent.
Pro:			
Drawn By: Steve/Mike			
Rev:			

3/4"=1"

B-2



Fabricated painted
aluminum

Cement footing

Brick

Date: 10-5-16	Account Representative: Steve Gruber	Notes:	<div><div>COPYRIGHT NOTICE c</div><div>This drawing and all reproductions thereof are the property of Targin Sign Systems and may not be reproduced, published changed or used in any way without written consent.</div></div>
Pro:			
Drawn By: Steve/Mike			
Rev:			

Existing Esplanade Center



Existing Esplanade Center



Existing Esplanade Center



Existing Esplanade Center



Existing Euclid Sign Looking East
Down Euclid



Existing Euclid Sign Looking East
Down Euclid



Existing Euclid Sign Looking South



Existing Euclid Sign Looking North-West



Existing Euclid Sign Looking West
Down Euclid





DRIVE THRU



AURELIO'S
THE FAMILY PIZZERIA

SUBWAY

DeCARLO'S Hair Design

WINE & SPIRIT

ONE ARLINGTON
LUXURY APARTMENT HOMES

View West Down Euclid (new sign
location designated by the yellow box)



Sign on Corner of Salt Creek and
Euclid looking North-East



Sign on Corner of Salt Creek and
Euclid looking West

ARLINGTON
BUSINESS CENTER



Sign on Corner of Salt Creek and Euclid looking South



Sign on Corner of Salt Creek and
Euclid looking East



ARLINGTON
BUSINESS CENTER

The image shows a large, rectangular sign for the Arlington Business Center. The sign is composed of a white upper section with a flat roof and a lower section made of red brick. The text 'ARLINGTON' is in a large, bold, serif font, and 'BUSINESS CENTER' is in a smaller, all-caps, serif font below it. The sign is situated in a landscaped area with green shrubs and tall grass in the foreground. In the background, there is a paved parking lot with several cars, including a white SUV and a dark sedan. Further back, there are trees and a clear sky.

Sign on Salt Creek Looking North
Down Salt Creek



Sign on Salt Creek looking South



Sign on Salt Creek looking South



DRIVE THRU



AURELIO'S
-- THE FAMILY PIZZERIA --

SUBWAY

DeCARLO'S Hair Designs

WINE & SPIRITS

ONE ARLINGTON
LUXURY APARTMENT HOMES

Sign on Salt Creek looking West



View East Down Euclid of
Neighboring Property



View West Down Euclid (neighboring
property to the west)

