

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Marathon Gas Station
Project Address: 1706 W. Northwest Highway
Prepared By: Steve Hautzinger

Date Prepared: July 20, 2016

PETITION INFORMATION:

DC Number: 16-084
Petitioner Name: Stephen Chakko
Petitioner Address: 1706 W. Northwest Highway
Arlington Heights, IL 60005
Meeting Date: July 26, 2016

Requested Action(s):

1. Approval of the proposed architectural design for the renovation of an existing gas station building and site.

ANALYSIS:

Summary

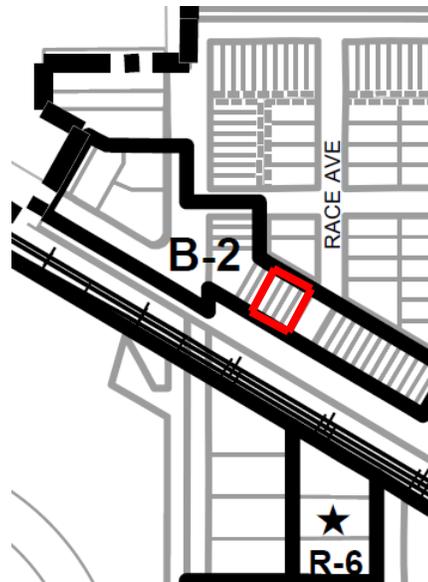
The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The petitioner is proposing a complete renovation of an existing Marathon gas station building and site. Two existing mechanic bays are proposed to be converted to an indoor food mart, and the exterior of the existing building will receive a complete makeover. The existing fuel pumps and canopy will remain, and will be converted from the "Marathon" brand to "BP" branding. The site will be improved with additional parking spaces, landscaping, and a new ground sign. This project does require review by the Plan Commission and approval by the Village Board as a Special Use.

SITE ANALYSIS



Aerial of Property



Zoning Map of Property

Surrounding Land Uses:

<i>Direction</i>	<i>Existing Zoning</i>	<i>Existing Use</i>	<i>Comprehensive Plan</i>
Subject Property	B-2, General Business District	Marathon Service Station	Commercial
North	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
South	B-3, General Service, Wholesale and Motor Vehicle District	Multi-Tenant Retail	Commercial
East	B-2, General Business District	Multi-Tenant Retail	Commercial
West	B-2, General Business District	Jimmy D's Restaurant	Commercial

Architectural Design:

The brick on the existing building is currently painted white. The petitioner is proposing to remove the paint to expose the existing reddish brick color, and the brick will be repaired and tuckpointed as needed. The existing mechanic's bay doors will be infilled with new clear anodized aluminum storefronts. A limestone base and new EIFS parapet wall completes the design. Overall, the proposed makeover will be a very nice improvement to the existing building, and the design fits well with the "BP" rebranding of the existing fuel pumps and canopy.

Mechanical and Dumpster Screening:

One new mechanical unit on the roof will be screened with a 4-sided screen system attached to the unit. It is recommended that the color of the mechanical screen be tan to match the EIFS wall color.

The trash area is located behind the building and will be screened with a wood fence and metal gates.

Landscaping:

New landscaping is proposed throughout the site, and a detailed review of the landscaping is being conducted by Staff and the Plan Commission for compliance with the landscaping code requirements, including: the lack of landscaped parking islands, screening along the roads, and improved screening between the residential property to the north.

Signage:

Signage is not included in this review, but it should be noted that the proposed monument ground sign is located within the 12-foot visibility triangle. The location of the ground sign will need to be adjusted to maintain a clear view from the driveway. It is recommended that the new sign be required to be a monument style sign (instead of pole mounted) as illustrated on the renderings.

All new signage is required to comply with Chapter 30, Sign Code, and separate sign permits are required for all signage.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed architectural design for renovations to the *Marathon Gas Station* located at 1706 W. Northwest Highway. This recommendation is subject to compliance with the plans received on 7/15/16, color renderings received 7/8/16, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following conditions:

1. A requirement that the color of the rooftop mechanical unit screen be a tan color to match the EIFS parapet wall.
2. A requirement that the ground sign be a monument style sign as illustrated on the renderings.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use

issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

4. All signage must meet code, Chapter 30.

July 20, 2016

Steve Hautzinger AIA, Design Planner
Planning and Community Development Department

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Bill Enright, Deputy Director of Planning and Community Development, Sam Hubbard, Development Planner, Petitioner, DC File 16-084