



# Village of Arlington Heights Building Services Department

## Interoffice Memorandum

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**To:** Sam Hubbard, Development Planner, Planning and Community Development  
**From:** Deb Pierce, Plan Reviewer, Building Services Department  
**Subject:** Marathon Gas Station/Convenience Store  
Special Use Permit for Automobile Service Station with Convenience Mart  
**Date:** June 17, 2016  
**Sam:**

I have reviewed the documents submitted and have the following comments:

1. This project is being reviewed as a mixed use of an M (Mercantile) for motor fuel dispensing and S-1 (Moderate-hazard storage) for motor vehicle repair garage, per the 2009 International Building Code. The maximum allowable quantities of hazardous materials shall comply with Table 307.1(1) of the 2009 International Building Code (I.B.C.).
2. A permit from the Office of the State Fire Marshal is required if the owner intends to dispense motor fuel.
3. The disposition of the existing underground storage tanks may require them to be replaced depending on the length of time since last operated. Check with the Office of the State Fire Marshal for more information.
4. Provide details on whether or not the location will continue as a repair facility, and if so, the types of repairs to be performed. Indicate the method of disposing of used motor oil, and parts.
5. Any interior/exterior alterations to the existing building/property will require all necessary permits from the Village as well as the Office of the State Fire Marshal.

**RECEIVED**  
JUN 17 2016  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT



**Village of Arlington Heights, IL  
Building Services Department  
Fire Safety Division**

33 S. Arlington Heights Rd., Arlington Heights, IL 60005  
(847) 368-5560 · FAX (847) 368-5975 · [www.vah.com](http://www.vah.com)

**To: S. Hubbard, Development Planning  
A. Larson, A.H.F.D.**

**Re: 1706 W. Northwest Highway  
PC#16-016**

The following is provided in response to your request for review and comment regarding the proposed Plan Commission case for the subject property.

I have no concerns/objection for approval of a Special Use Permit for Automobile Service Station and Convenience Mart under the following conditions:

1. All current Codes and State Regulations regarding storage and use of flammable and combustible liquids shall be adhered to.
2. Should the owner choose to not use the fuel pumps for fuel delivery, requirements of the Fire Code mandate that the existing fuel tanks meet certain criteria based on the amount of time the tanks would be considered to be abandoned.

Following is information from the International Fire Code of those requirements. This list is NOT inclusive of all regulations that may apply:

- a. Tanks taken out of service shall be removed in accordance with Section 3404.2.14, or safeguarded in accordance with Sections 3404.2.13.1 through 3404.2.13.2.3 of the 2009 International Fire Code. and API 1604.
- b. Underground tanks temporarily out of service shall have the fill line, gauge opening, vapor return and pump connection secure against tampering. Vent lines shall remain open and be maintained.
- c. Underground tanks not used for a period of 90 days shall be safeguarded in accordance with all the following or be removed.
  1. Flammable or combustible liquids shall be removed from the tank.
  2. All piping, including fill line, gauge opening, vapor return and pump connection, shall be capped or plugged and secured from tampering.
  3. Vent lines shall remain open and be maintained

- d. Underground tanks that have been out of service for a period of one year shall be removed from the ground, or abandoned in place in accordance with the following:
1. Flammable and combustible liquids shall be removed from the tank and connected piping.
  2. The suction, inlet, gauge, vapor return and vapor lines shall be disconnected.
  3. The tank shall be filled completely with an approved inert solid material.
  4. Remaining underground piping shall be capped or plugged.
  5. A record of tank size, location and date of abandonment shall be retained
  6. All exterior above-grade fill piping shall be permanently removed when tanks are abandoned or removed.

Other local, state or federal regulations may also apply.

Should you have additional questions feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Don Lay", with a stylized flourish at the end.

Don Lay, M.B.A, C.F.I.  
Fire Safety Supervisor

## Memorandum

To: Sam Hubbard, Planning and Community Development  
From: Cris Papierniak, Assistant Director of Public Works  
Date: July 5, 2016  
Subject: 1706 W. Northwest Highway P.C. #16-016 revised

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With regard to the proposed construction, I have the following comments:

1. The addition of a food preparation area may require a grease trap.
2. The existing domestic service may need to be increased in diameter to meet the minimum plumbing flow requirements.
3. An approved RPZ will need to be installed once the water service diameter is determined.
4. Upon completion of renovations, please verify and correct any defects to the existing sidewalk to meet existing Village code.

Thank you for the opportunity to comment on this permit application.

C: file  
LF

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 16-016  
 Petitioner: Stephen K Chacko  
 Owner: Stephen K Chacko  
 Contact Person: Stem  
 Address: 1706 W Northwest Hwy  
Arlington Hts, IL  
 Phone #: 773-671-9864  
 Fax #: stephenck23@aol.com  
 E-Mail: may6087301@us100.com

P.I.N.# 03-30-108-007-0000  
03-30-108-008-0000  
03-30-108-009-0000  
 Location: \_\_\_\_\_  
 Rezoning: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 Subdivision: \_\_\_\_\_  
 # of Lots: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 PUD: \_\_\_\_\_ For: \_\_\_\_\_  
 Special Use:  For: Gas Station  
 Land Use Variation: \_\_\_\_\_ For: \_\_\_\_\_  
 Land Use: \_\_\_\_\_ Current: Gas station w/ Retail  
 Proposed: Gas station w/ Retail  
 Site Gross Area: \_\_\_\_\_  
 # of Units Total: \_\_\_\_\_  
 1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: .....	YES	NO	COMMENTS
a. Underground Utilities			
Water .....		<input checked="" type="checkbox"/>	
Sanitary Sewer .....		<input checked="" type="checkbox"/>	
Storm Sewer .....		<input checked="" type="checkbox"/>	
b. Surface Improvement			
Pavement .....		<input checked="" type="checkbox"/>	
Curb & Gutter .....		<input checked="" type="checkbox"/>	
Sidewalks .....		<input checked="" type="checkbox"/>	
Street Lighting .....		<input checked="" type="checkbox"/>	
c. Easements			
Utility & Drainage .....		<input checked="" type="checkbox"/>	
Access .....		<input checked="" type="checkbox"/>	

2. PERMITS REQUIRED OTHER THAN VILLAGE:

- a. MWRDGC \_\_\_\_\_ b. IDOT \_\_\_\_\_
- c. ARMY CORP \_\_\_\_\_ d. IEPA \_\_\_\_\_
- e. CCHD \_\_\_\_\_

	YES	NO	COMMENTS
3. R.O.W. DEDICATIONS? .....		<input checked="" type="checkbox"/>	
4. SITE PLAN ACCEPTABLE? .....		<input checked="" type="checkbox"/>	<u>NEED ENGINEERING SITE PLAN</u>
5. PRELIMINARY PLAT ACCEPTABLE? .....			<u>N/A</u>
6. TRAFFIC STUDY ACCEPTABLE? .....			<u>N/A</u>
7. STORM WATER DETENTION REQUIRED? .....		<input checked="" type="checkbox"/>	
8. CONTRIBUTION ORDINANCE EXISTING? .....		<input checked="" type="checkbox"/>	
9. FLOOD PLAIN OR FLOODWAY EXISTING? .....		<input checked="" type="checkbox"/>	
10. WETLAND EXISTING? .....		<input checked="" type="checkbox"/>	

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: GEORGE SIMONIS  
 DATE OF PLANS: 6-14-16

James J. Wall 6/27/16  
 Director Date

**PLAN COMMISSION PC #16-016**  
**Marathon Gas Station/Convenience Store**  
**1706 W. Northwest Highway**  
**SU-Auto Service Station with Convenience Mart**  
**Round 1**

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Plans are acceptable for Special Use approval; however, permit submittal will require engineering plans including grades to show existing and proposed drainage patterns.
13. Site plan shows two pump islands, but the ALTA survey shows four pump islands
14. When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.
15. Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.
16. Consider including bicycle racks in development plan to encourage alternate modes of transportation for employees and patrons.

  
James J. Massarelli, P.E. 6/27/16  
Director of Engineering Date

**Attachments:**

Fire Apparatus Tower 131 Specifications (1 page)

**RECEIVED**  
JUN 27 2016  
PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT



# ARLINGTON HEIGHTS POLICE DEPARTMENT

## Community Services Bureau

### DEPARTMENT PLAN REVIEW SUMMARY

**Marathon Gas Station/ Convenience Store**  
**1706 W. Northwest Highway**  
**PC 16-016**  
**Round 1**

#### Review Comments

**06/28/2016**

**1. Character of use:**

The character of use is consistent with the area and is not a concern.

**2. Are lighting requirements adequate?**

Lighting should be up to Village of Arlington Heights code.

**3. Present traffic problems?**

There are no apparent traffic problems at this location.

**4. Traffic accidents at particular location?**

This is not a problem area in relation to traffic accidents.

**5. Traffic problems that may be created by the development.**

This development should not create any additional traffic problems.

**6. General comments:**

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

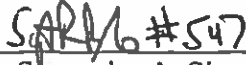
- Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations.

- Consider posting no trespassing / loitering/ no un-authorized use signage. The Arlington Heights Police Dept. has and utilizes trespass warning forms under qualifying circumstances when requested by property management.

**RECEIVED**  
JUN 28 2016  
PLANNING & COMMUNITY  
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\_\_\_\_\_  
Brandi Romag, Crime Prevention Officer  
Community Services Bureau

Approved by:

  
\_\_\_\_\_  
Supervisor's Signature



# Arlington Heights Police Department

## Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: tmorales@vah.com.

Arlington Heights Police Department  
200 E. Sigwalt Street  
Arlington Heights, IL 60005-1499  
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department  
200 E. Sigwalt Street, Arlington Heights, IL. 60005  
Attention: Police Administration

**Print Form (To Mail)**

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

### IN CASE OF EMERGENCY PLEASE CALL:

#### Contact #1

Name

Address/City

Telephone Number

Cell Number

#### Contact #2

Name

Address/City

Telephone Number

Cell Number

#### Alarm System

No

Yes

Phone number:

Alarm Company Name

HEALTH SERVICES DEPARTMENT

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PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

03-30-108-007-0000  
 03-30-108-008-0000  
 03-30-108-009-0000

Petition #: P.C. \_\_\_\_\_  
 Petitioner: Stephen K. Charcko

P.I.N.# \_\_\_\_\_  
 Location: \_\_\_\_\_

Owner: Stephen K Charcko

Rezoning: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 Subdivision: \_\_\_\_\_

Contact Person: Steve

Address: 1706 W NORTHWEST HWY  
Arlington Hts, IL

# of Lots: \_\_\_\_\_ Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
 PUD: \_\_\_\_\_ For: \_\_\_\_\_

Special Use:  For: Gas station w/ Retail store

Phone #: 773-671-9864

Fax #: Stephenck23@aol.com

Land Use Variation: \_\_\_\_\_ For: \_\_\_\_\_

Land Use: \_\_\_\_\_ Current: Gas station w/ Retail store  
 Proposed: gas station w/ Retail store

E-Mail: mcqbad7300@yahoo.com

Site Gross Area: \_\_\_\_\_

# of Units Total: \_\_\_\_\_

1BR: \_\_\_\_\_ 2BR: \_\_\_\_\_ 3BR: \_\_\_\_\_ 4BR: \_\_\_\_\_

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

If coffee pots are used for coffee machines, a 3-compartment sink with 2 integral drain boards and a hand sink must be installed.

See the attached accessibility comments.

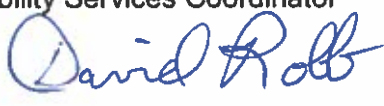
Sean Freres, LEHP  6/30/16  
 Environmental Health Officer Date

James McCalister  6/30/16  
 Director Date

Plan Review

Address: 1706 W. Northwest Highway  
Marathon Gas Station/Convenience Store  
Special Use Permit for Automobile Service Station with  
Convenience Mart  
P.C. 16-016 Round 1

Submitted to: Sam Hubbard, Planning

Submitted by: David Robb, Disability Services Coordinator  
(847) 368-5793 

Date: June 29, 2016

Re: Illinois Accessibility Code (IAC) Effective April 1997  
<http://www.illinois.gov/cdb/business/codes/pages/illinoisaccessibilitycode.aspx>

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Sheet A-1

1. Relocate the "Reserved Accessible Parking Space" to the parking space closest to the accessible entrance. See IAC Section 400;.310(c)(2).
2. Provide a service counter in compliance with Section 400.320(h)(1)(a)
3. Ensure reach ranges for the "Coffee Station" comply with IAC Section 400.320(l)(6) in accordance with Section 400,220(e and f) and 400.Illustration B., Figures 6 and 54.



# Planning & Community Development Dept. Review

June 29, 2016

## REVIEW ROUND 1

Project: Marathon Gas Station with Convenience Store  
1706 W Northwest Highway

Case Number: PC 16-016

### **General:**

7. Per staff research, the subject property has never been granted a Special Use Permit to allow the existing Automobile Service Station. As the property owner intends to remodel the existing auto service station to remove the repair portion of the facility and replace it with a larger convenience store, a Special Use Permit is required. Section 5.5-1 of Chapter 28 classifies Automobile Service Stations as a Special Use within the B-2, General Business zoning district.
8. Please clarify what mechanical units will be located on the ground, and indicate their location on the site plan. Screening of all mechanical units is required.
9. Will any exterior items be sold, including ice, propane, firewood, windshield fluid, etc.? Please indicate the location of any outdoor storage on the site plan.
10. Please provide information regarding the proposed refuse collection and delivery schedule (gasoline items and the items for sale in retail portion of the facility).
11. A Design Commission application is required for this project. Please submit a Design Commission application as soon as possible. The Design Commission approval must come prior to the Plan Commission approval, so failure to initiate the Design review process may delay appearance at the tentative Plan Commission hearing on July 27<sup>th</sup>.

### **Site/Landscaping:**

12. The Plat of Survey is not to scale. Please provide a measurement from the rear of the building to the rear property line on the Plat of Survey, and provide a Plat of Survey that is to-scale. Additionally, the Plat of Survey is indicating that there is a public alley in the rear of the site. This alley was vacated via Doc. 0534219020. The Plat of Survey and site plan should be revised to address the property boundaries given that the alley has been vacated.
13. Please develop a plan for the rear of the site, including how the existing alley will be integrated within the development. Please work with the neighbor on the other side of the alley to develop a plan for this area.
14. Please clarify the boundaries of the pump islands. On the Plat of Survey, it appears that there are 4 pump islands; on the site plan there only appears to be two pump islands. If pumps will be removed, please clarify this. If the pumps will remain as is, please revise the site plan to show the 4 existing pump islands as per the Plat of Survey.
15. Dumpster enclosure should be moved back so that it is behind the rear of the building (please see the attached graphic at the end of this review.) Additionally, the materials of the enclosure should be revised so that they match the materials of the building.

16. Please alter the orientation and size of the proposed landscape island along the northwest side of the site. The location should be altered so that it provides a landscape bed for the proposed ground sign. This might also allow an additional parking spot (see attached graphic).
17. Additional landscaping, as well as a privacy fence, should be installed along the rear property line (see attached graphic). The size of this landscape area will be analyzed once the site plan has been adjusted to accommodate for the vacated alley and a plan has been determined for the vacated alley area.
18. All gravel/pavement should be removed from the area on the northwest side of the building (see attached graphic – area in pink). This area should be replaced with sod and/or landscaping.
19. The asphalt on the side of the building (see yellow area on attached graphic) should be resurfaced and must comply with all engineering standards for parking lots. A landscape island along the rear of this area may be required once a final plan for the vacated alley area is determined. Picture below documents current deteriorated condition of pavement.



**Parking/Traffic:**

20. Please analyze all parking spaces and drive aisles with respect to Section 11.2-8 and 11.2-9. It appears that there is only approx. 10' of clearance between the 3<sup>rd</sup> parking space in front of the building and the pump island (see graphic). Furthermore, it appears there would be less than 10' of clearance if a car was parked at the pump. Additionally, the drive aisle to the rear driveway entrance along Race Avenue does not appear to provide enough room for two way traffic.
21. Please evaluate the possibility of removing the entrance drive along Race Avenue, adjacent to the intersection of

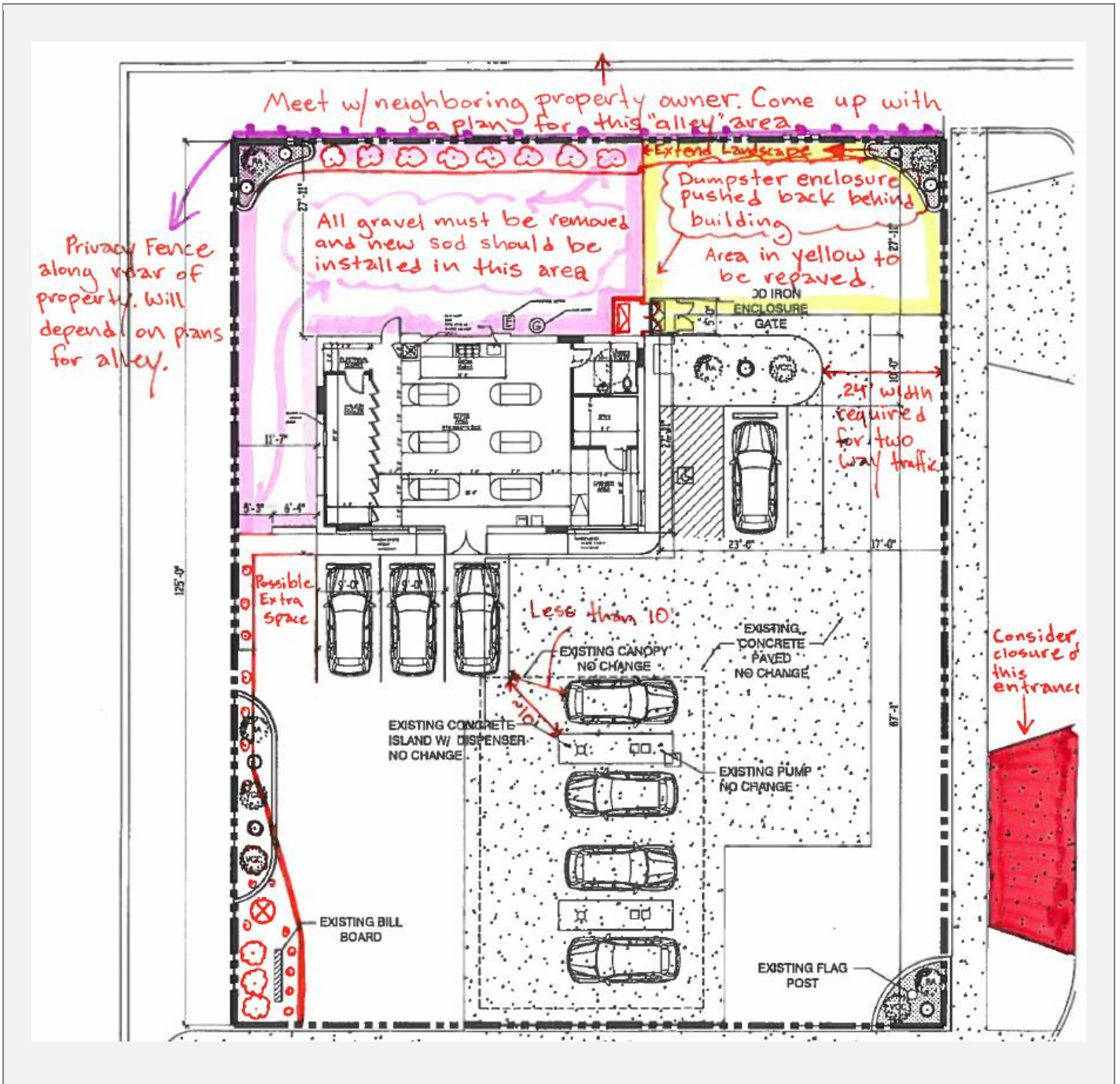
Race and Arlington Heights Rd. This may allow additional parking and/or landscaping to be installed in this area (see attached graphic). This would also allow for the addition of parkway trees.

- 22. The required parking for the subject property is calculated in the below table. Please provide the total number of peak employees that will be present on the subject property. Once this figure is provided, staff can determine the total number of parking spaces for the site. Since one space per employee is required for each employee, the total number of parking spaces on the site must increase, or the subject property must be approved for a variation.
- 23. The location of the handicap parking space needs to be relocated to the closest accessible entrance. See review comments from Health Dept.

ADDRESS	TENANT	CODE USE	GROSS SQUARE FOOTAGE	NUMBER OF EMPLOYEES	NUMBER OF SERVICE BAYS	PARKING REQUIREMENT	PARKING REQUIRED
1706 W. Northwest Highway	Marathon Gas Station	Retail Store	1,307	N/A	N/A	1 per 300 sq. ft.	4
		Auto Service Station	N/A	Unknown	0	1 per employee plus 3 per service bay	Unknown. Depends on Number of Employees
<b>Total Required</b>							4
<i>Total Provided</i>							4
<b>Surplus / (Deficit)</b>							<b>Deficit Based on # of employees</b>

Handicap Parking Required	1
Handicap Parking Provided	1

- SEE ATTACHED GRAPHIC ON NEXT PAGE -



Prepared by: SAM/USZABE

Marathon Gas Station  
1706 W. Northwest Highway  
PC 16-016  
July 1, 2016

**Landscape Issues**

- 1) The ends of all parking rows must include a landscape island, which contains a 4" caliper shade tree (Chapter 28, Section 6.16-1.2b).
- 2) Per Chapter 28, Section 6.15-1.2a, a three foot high screen must be provided in order to screen the parking/paved areas that are adjacent to the public way. Provide a three foot high screen along Northwest Highway and Race Avenue.
- 3) Provide landscaping at the base of the ground sign in the southwest corner. Per Chapter 30, landscaping is required at the base of ground signs. Extend the proposed landscape island along the west property line to the south and incorporate the ground sign within the island.
- 4) Along the rear property line, adjacent to the residential district, provide 6' high landscaping that provides year round opacity and/or a 6 foot high solid fence (Chapter 28, Section 6.15).
- 5) It is recommended that the area on the northwest side and north side of the building be converted to open greenspace.
- 6) The proposed landscaping at the corner of Race and Northwest Highway will obstruct site lines. Within the island it is recommended that a mix of salt tolerant/drought tolerant plant material that will not exceed three feet in height be incorporated in this area.
- 7) Overall the landscaping is minimal and additional landscaping should be provided. The area in the rear of the building is in need of attention. Incorporate foundation plantings along the north and west elevation. The trash enclosure must be fully screened.