



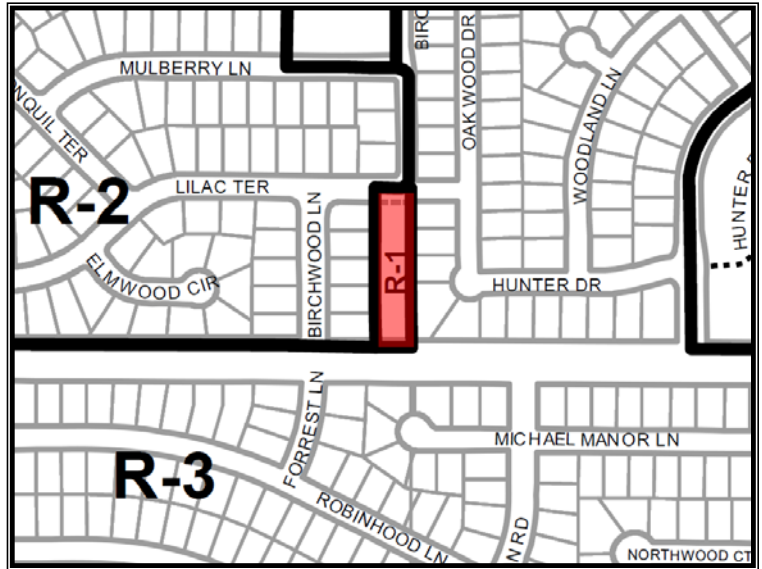
VILLAGE OF ARLINGTON HEIGHTS
**STAFF DEVELOPMENT
COMMITTEE REPORT**

File Number: PC# 17-002
Project Title: 2214 E Palatine Subdivision
Address: 2214 E. Palatine Rd.
PIN: 03-16-303-004

To: Plan Commission
Prepared By: Sam Hubbard, Dev. Planner
Meeting Date: March 22, 2017
Date prepared: March 17, 2017

Petitioner: Elroy and Corinne Hograve
Address: 2214 E. Palatine Rd.
Arlington Heights, IL 60004

*Existing Zoning: R-1, One Family Dwelling
District*



SURROUNDING LAND USES:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-2, One Family Dwelling District	Single-Family Residence	Single Family Detached Estate 2
South	R-3, One Family Dwelling District	Single-Family Residence	Single Family Detached
East	R-3, One Family Dwelling District	Single-Family Residence	Single Family Detached
West	R-2, One Family Dwelling District	Single-Family Residence	Single Family Detached Estate 2

Requested Action:

- 1) Preliminary Plat of Subdivision to subdivide one single-family lot into two single-family lots.
- 2) Rezoning from R-1, One-Family Dwelling District to R-2, One-Family Dwelling District

Variations Required:

None identified.

Project Summary

The subject property is 0.86 (37,556 square feet) acres in area with a frontage of 100 feet along Palatine Road and 100 feet along Lilac Terrace and the lot being 375.60 feet deep. There is an existing one-story single family home with a detached garage on the southern end of the site, with a driveway that provides access to Palatine Road. A current Plat of Survey shows that the existing home has a building footprint of 1,734 square feet and the existing garage has a footprint of 661 square feet. The subject property is currently zoned R-1, One-Family Dwelling District. The properties to the north and west are zoned R-2, One-Family Dwelling District, and the properties to the south and east are zoned R-3, One-Family Dwelling District.

The proposed action, if approved, would allow the Petitioner to divide the parcel into two single family lots. Lot 1 would be located on the south half of the subject property and would have frontage along Palatine Road and Lot 2 would be located on the north half of the subject property and would have frontage along Lilac Terrace. Both lots are proposed to be 100 feet x 187.80 feet (18,700 square feet). As required by the Village's Subdivision Ordinance, a plat of subdivision must be reviewed by the Plan Commission and approved by the Village Board.

Zoning and Comprehensive Plan

As noted above, the subject property is currently zoned R-1 and exists as an isolated pocket of R-1 zoning within a cluster of R-2 and R-3 zoning districts. The Comprehensive Plan has the subject property classified as "Single Family Detached Estate 2", which is appropriate for the R-2 zoning district. Therefore, the applicant has proposed the rezoning of the subject property from R-1 to R-2, which will conform to the Comprehensive Plan designation for the subject property and will be compatible with the adjacent R-2 zoning district to the north and west.

As part of the preliminary review process, Staff evaluated the relationship of the new lots to the Zoning and Subdivision regulations (see Table 1).

Table 1: Subdivision Analysis

Zoning Requirements	Minimum Lot Size (SF)	Minimum Lot Width (FT)	Front Yard setback	Side yard setback	Rear yard setback	Exterior side yard setback
Minimum Requirements						
Typical R-2 Lot	Interior	Interior	25 FT (or block average, which in this case is 34 feet as the existing home is the only home with frontage on Palatine Road)	10% of lot width (combined interior setback shall be at least 20 FT)	30 FT	Average or 10% of lot width
	10,000	90 (if lot area is between 15,000 & 20,000 SF)				
Proposed Lot 1	18,780	100	34 FT (existing home)	14 FT and 30 FT (existing home)	114 FT (existing home)	NA
Proposed Lot 2	18,780	100	25 FT or block average (currently vacant)	10 FT (20 FT Total) (Currently vacant)	30 FT (Currently vacant)	NA

As shown in the chart above, the proposed lots are consistent with the Village's Zoning Ordinance since they exceed the minimum lot standards that are outlined in the underlying R-2 district. The surrounding properties are zoned R-2 (west and north) and R-3 (east and south), with minimum lot size requirement of 10,000 square feet and 8,750 square feet respectively. Staff has analyzed the proposed lot sizes relative to the existing lots within the vicinity, and although the proposed lots would be the largest in the vicinity, they conform to the R-2 minimum required lot size standards and are more compatible than the existing 37,556 square foot lot size.

The proposed subdivision complies with all applicable bulk standards that are outlined in the Village's Zoning Ordinance, with the exception of an existing shed in the rear of the proposed Lot 1. According to Code, an accessory structure must be no less than 5' setback from a rear property line, and the location of proposed rear lot line will mean that the existing accessory structure will be setback only 4.8' from the rear property line. Staff has informed the petitioner of this potential non-conformity, and the petitioner has stated that the shed does not sit on any foundation and can be easily moved or removed. A condition of approval should be added to address this situation.

Building, Site, and Landscape

At this time, the petitioner is only proposing to subdivide the property and has not proposed any alteration to the existing grade or the demolition of the existing home on the southern end of the property. However, staff is aware that the petitioner has a contract to sell the northern lot (Lot 2) to an entity that would like to construct a single-family home on that property. A Design Commission application will be required prior to issuance of a building permit for any home on the proposed Lot 2. Furthermore, if and when a buyer is located for the southern lot, a Design Commission application will also be required to rebuild any structure on the southern lot (Lot 1).

While the requirement for tree preservation is only applicable to subdivisions of three or more lots, the petitioner is encouraged to retain as many existing trees on-site as possible. There are several mature evergreen trees along the eastern property line and the petitioner shall only remove those trees if they are located within the subject property boundary. The petitioner is encouraged to save these trees if possible.

Onsite detention is not required for a small two lot single-family subdivision and therefore a fee-in-lieu of onsite detention is required. A condition of approval will be added to require this fee, however, the petitioner must verify that the Palatine Road ROW has been dedicated along the southern frontage of the subject property, which will allow the Engineering Department to finalize their calculations for the fee-in-lieu of detention. In addition, there are several unresolved issues with the required infrastructure and these have been detailed below in the Infrastructure and Plat of Subdivision section.

Traffic & Parking

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the Petitioner is only proposing a two-lot development a formal traffic study by a certified Traffic Engineer is not required.

Infrastructure and Plat of Subdivision

When a new subdivision has been proposed, the developer is required to update the existing infrastructure in order to serve lots within the proposed subdivision. The specific infrastructure upgrades needed to accommodate a new subdivision can vary widely from new roads and sidewalks, to extensions of water mains and new sanitary sewer mains, or new detention facilities. For subdivisions in locations where all existing code required infrastructure is present, the subdivider may not have any public infrastructure obligations.

Relative to the present proposal, there is an existing 8" public sanitary sewer main that runs north to south on the subject property along the east side of the site. Connections to the Village's sanitary sewer system can be made from this line, and per the request of the Village, a 15' Public Utility Easement for this existing line has been proposed as part of this subdivision process.

Relative to water service, the existing home at 2214 E. Palatine Road has a service line that runs north from the home and connects to the water main along Lilac Terrace. All subdivisions are required to extend public improvements to service each subdivided lot as part of the subdivision process, and when the existing lot is divided into two, the southern lot (Lot 1), their water service line will no longer have direct access to the water main along Lilac Terrace and the existing line will be located under a separate lot (Lot 2) prior to connecting to the water main. Therefore, it is required that the water main be extended to serve the southern lot (Lot 1). The petitioner is aware that this is a requirement by the Village but has not yet prepared an engineering plan that shows how this public water main will be extended. This has implications on the Preliminary Plat document as all public water mains on private property must be located within a public utility easement, and the location of the future water main has not yet been designed, and therefore the easement for this main is not yet included on the preliminary plat.

Furthermore, the proposed subdivision will trigger the construction of a sidewalk along the southern side of Lilac Terrace abutting the proposed Lot 2. Similarly, engineering plans showing the construction of this sidewalk are required as part of the subdivision process, and engineering plans have not yet been received. This sidewalk should be designed and shown on the engineering plans, and it is noted that any building permit to construct a home on Lot 2 will trigger the construction of this sidewalk.

It should also be noted that the petitioner has requested to delay the requirement to provide engineering plans showing the construction of the sidewalk and water main, as well as the actual construction of the extended water main and sidewalk, until such time as a new home is proposed for Lot 1. Staff does not support this request. Public improvements are part of the subdivision process and preliminary engineering plans showing their construction shall be required prior to Preliminary Plat of Subdivision approval. The actual construction of said public improvements is not triggered until a permit to develop one of the subdivided lots has been received,

be it a permit for Lot 1 or Lot 2. To allow a new home to be constructed on Lot 2, but then to defer the construction of the water main until such time as Lot 1 is redeveloped, means that Lot 2 will experience a significant disturbance on their property (digging, removal of fences, removal of landscaping, etc.) at some point in the future to accommodate the water main construction. Any permit issued to allow new construction on either Lot 1 or Lot 2 should require the installation of all required public improvements. Staff has recommended a continuance to allow the petitioner additional time to prepare the required engineering plans and revise the plat to show any easements as may be necessary.

Finally, the petitioner has also asked that, even if the water main is extended along the western edge of the subject property, the existing home be allowed to continue to use the existing service line connections to the water main and sanitary sewer main and that a new connection to the new water main and existing sanitary sewer main only be required when the southern lot (Lot 1) is redeveloped. Staff believes that the existing water service line should be properly abandoned during construction of the new main and home on Lot 2, and therefore does not support this request. As stated above, the building permit for any construction of a new home on Lot 2 must also involve the construction of the water main and other public improvements, and the subdivider must provide bonds and deposits to guarantee this work. A continuance will allow the petitioner additional time to determine how much it will cost for the existing home at 2214 E. Palatine Road to connect to the extended water main and existing sanitary sewer.

Recommendation

The Staff Development Committee has reviewed the proposed Preliminary Plat of Subdivision request and request to rezone the property from R-1 to R-2, and recommends a continuance to allow the petitioner additional time to prepare the required engineering plans and revise the Plat of Subdivision accordingly.

_____, March 17, 2017

Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

Exhibit II - Lot Sizes in Vicinity

