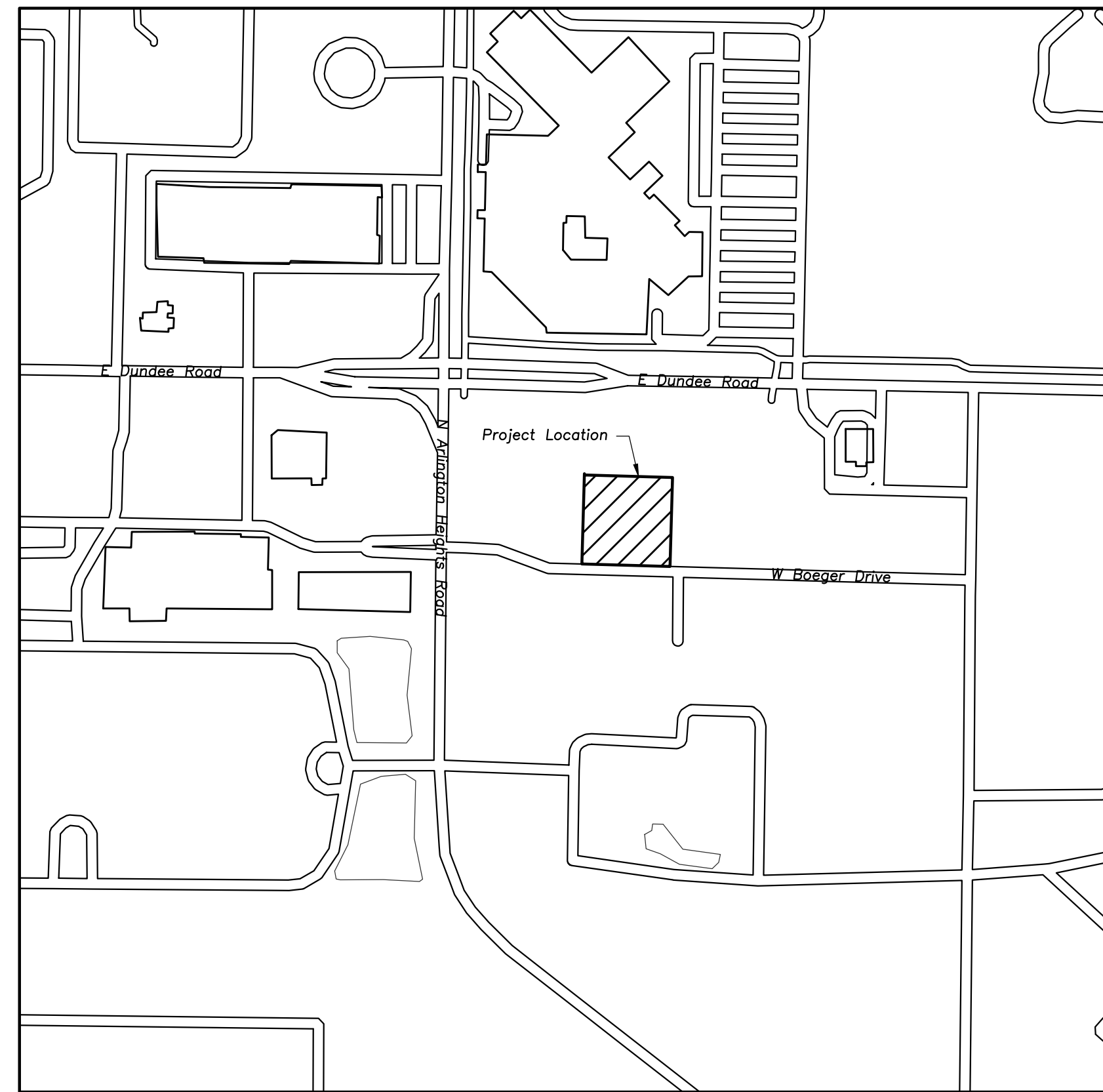


HEART'S PLACE

2 Story Residential Building

120&122 W Boeger Drive

Arlington Heights, IL



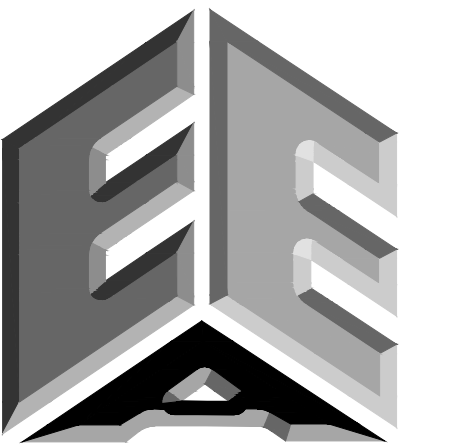
SITE LOCATION MAP (N.T.S.)

INDEX OF SHEETS

| | |
|-------|-------------------------------|
| C000 | Civil Cover Sheet |
| C001 | Preliminary Engineering Plans |
| C100 | Fire Truck Autoturn Exhibit |
| C101 | Fire Department Access |
| C102 | Refuse Truck Autoturn Exhibit |
| C103 | Watermain Extension |
| L001 | Preliminary Landscape Plan |
| TP001 | Tree Preservation Plans |

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between The Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plans, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



ERIKSSON
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ASSOCIATES, LTD.

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EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2017

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
120 & 122 W Boeger Drive
Arlington Heights, Illinois

Reserved for Seal:

Expiration Date: _____

| No. | Date | Description |
|-----|---------|-----------------------|
| 1 | 1/30/17 | PUD SUBMITTAL |
| 2 | 3/23/17 | PUD REVIEW COMMENTS |
| 3 | 4/07/17 | PUD REVIEW COMMENTS 2 |
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| | | | |
|--------------|----|--------------|----------|
| Design By: | DF | Date: | 01/13/17 |
| Approved By: | MR | Project No.: | |

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen And Associates, LTD. For UP Development, LLC. on 12-27-16.
Order Number 16-910

PROJECT BENCHMARKS

- BENCHMARK: MONUMENT RECOVERY SHEET VILLAGE OF ARLINGTON HEIGHTS, ILL #3436 KENNICOTT, ARLINGTON HEIGHTS, IL MONUMENT 6
1" DISC ON THE NORTH OF A CONCRETE BASE FOR A TRAFFIC SIGNAL MAST ARM, 52'+/- SOUTH OF THE CENTERLINE OF DUNDEE ROAD AND 32'+/- WEST OF THE CENTERLINE OF KENNICOTT.
NAVD 1988
ELEVATION = 742.25

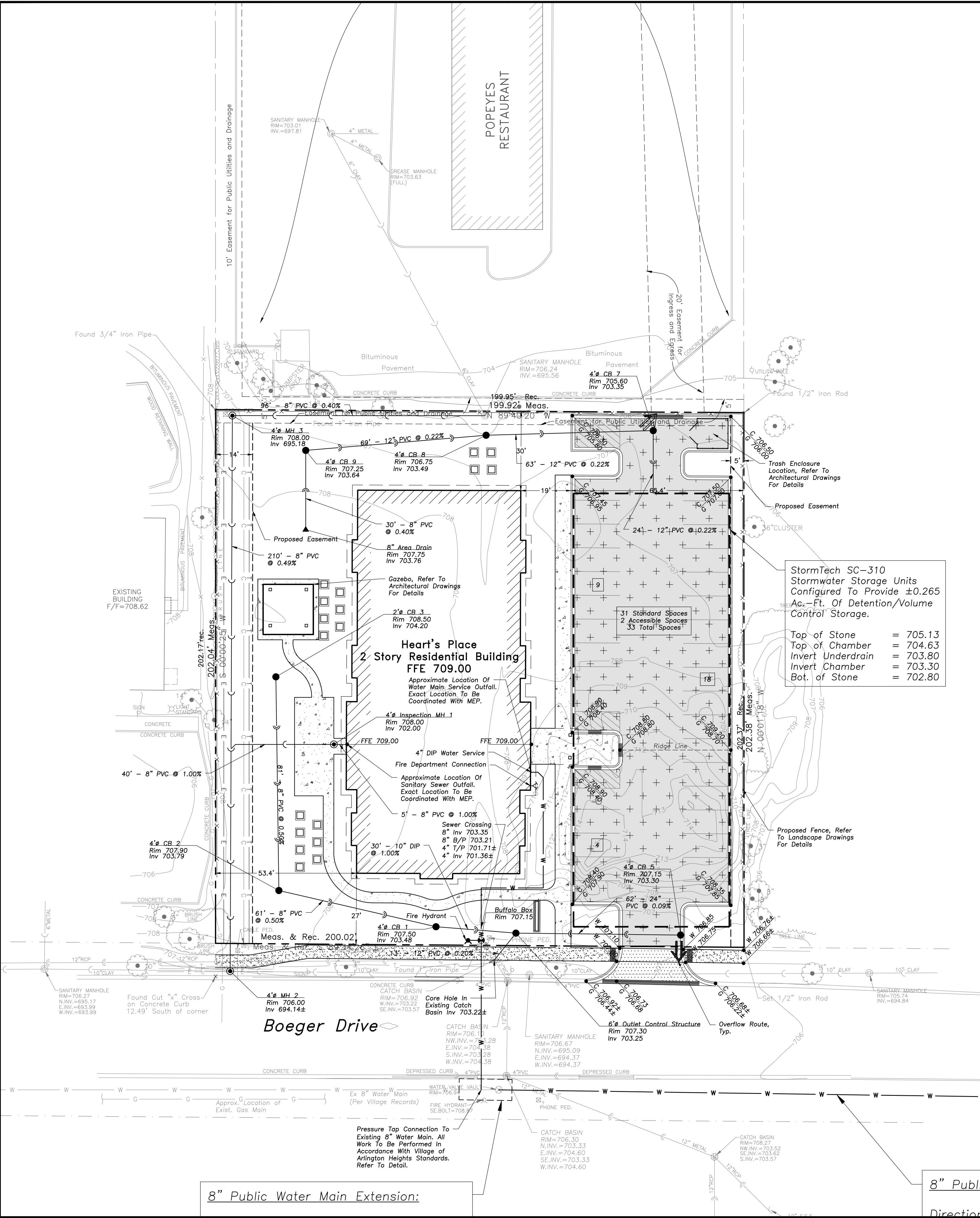
Sheet Title:

CIVIL COVER SHEET

Sheet No.:

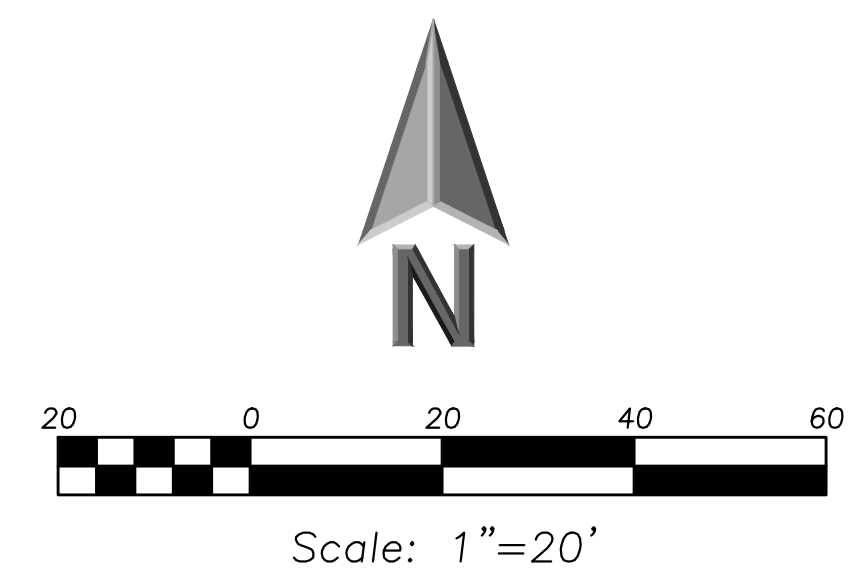
C000

EEA - P:\Code\UP Development-Hearts Place\Drawings\Hearts Place Siteplan.dwg
 Plotted: 4/06/17 @ 3:45pm By: clontana



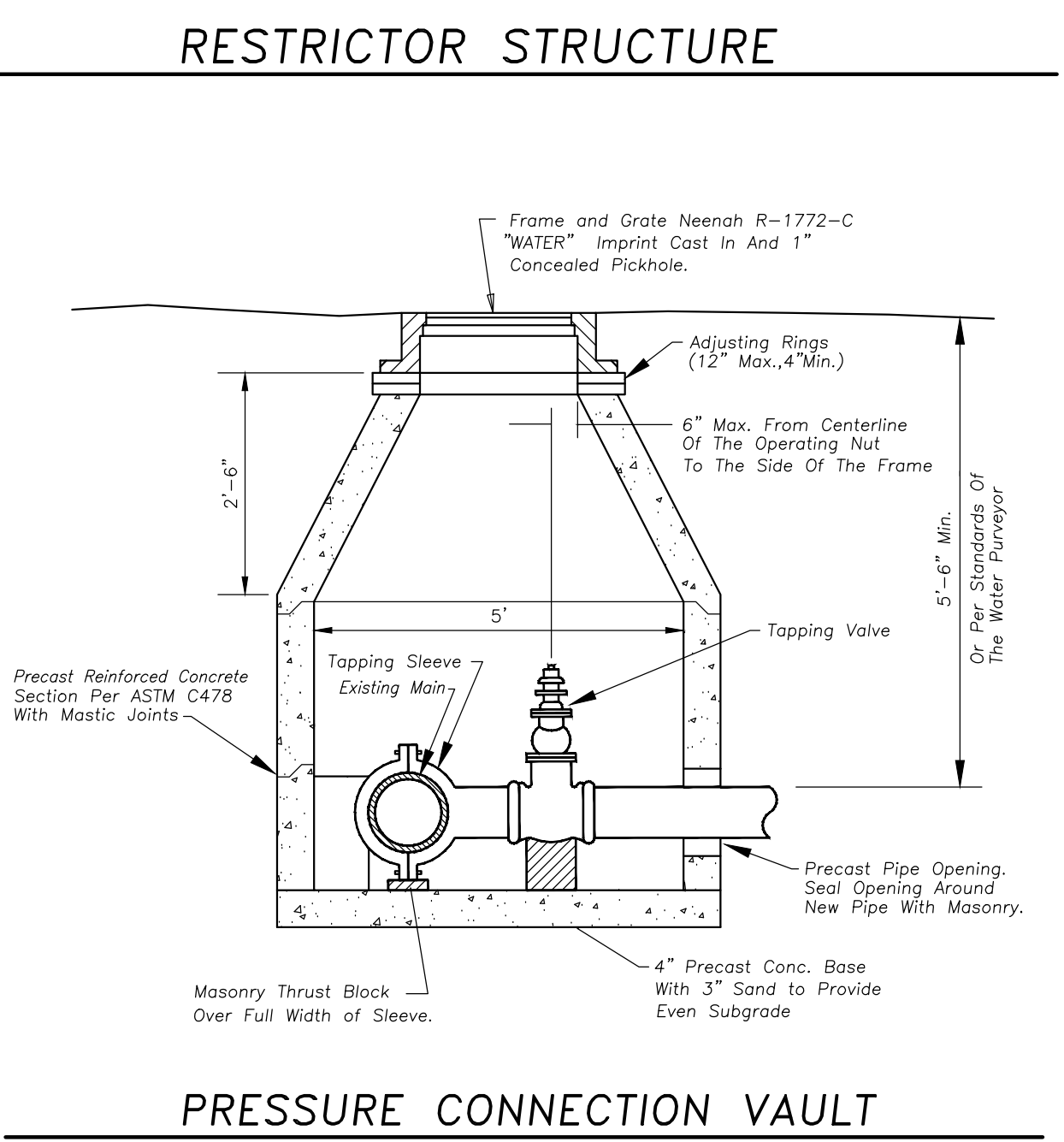
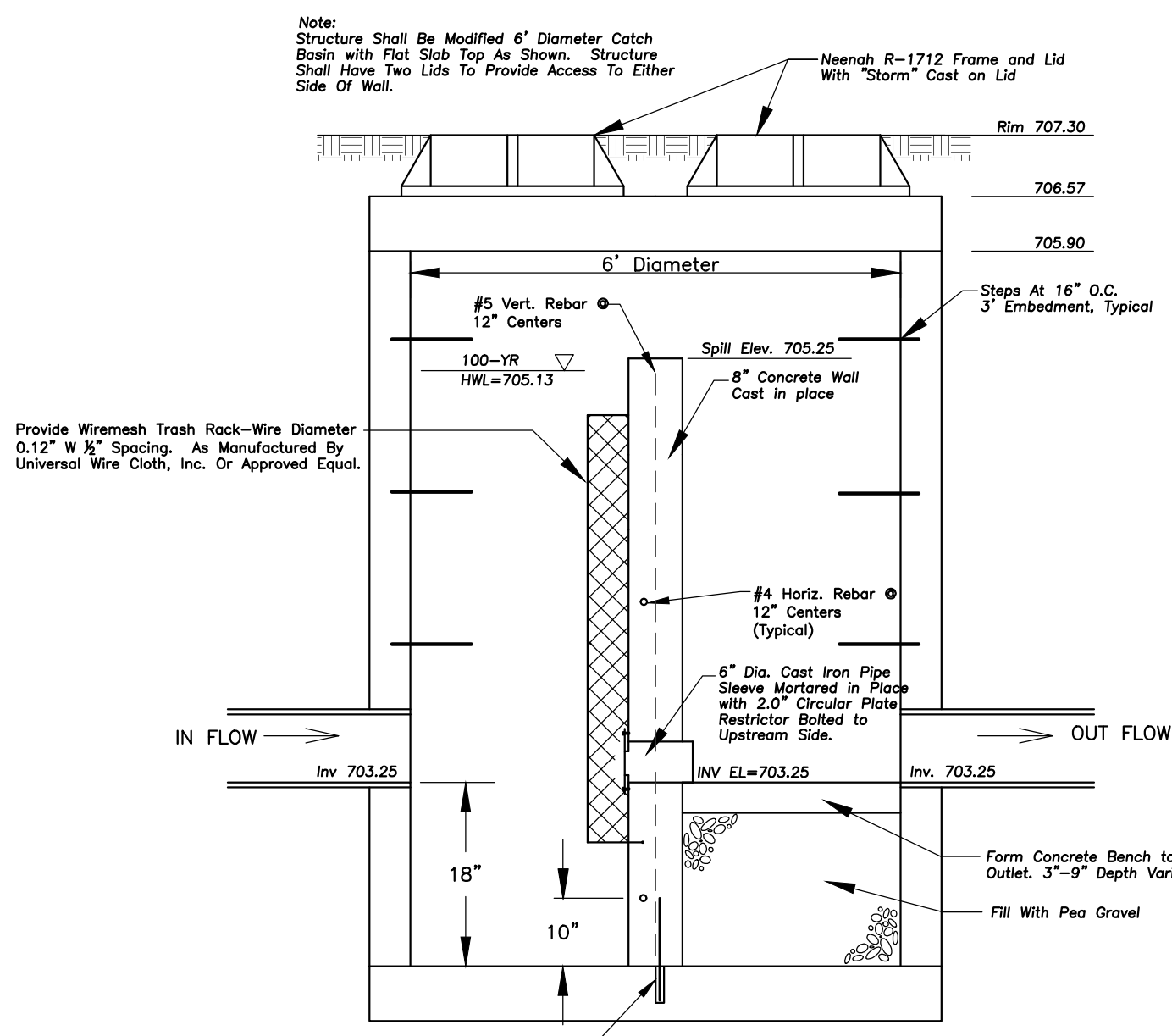
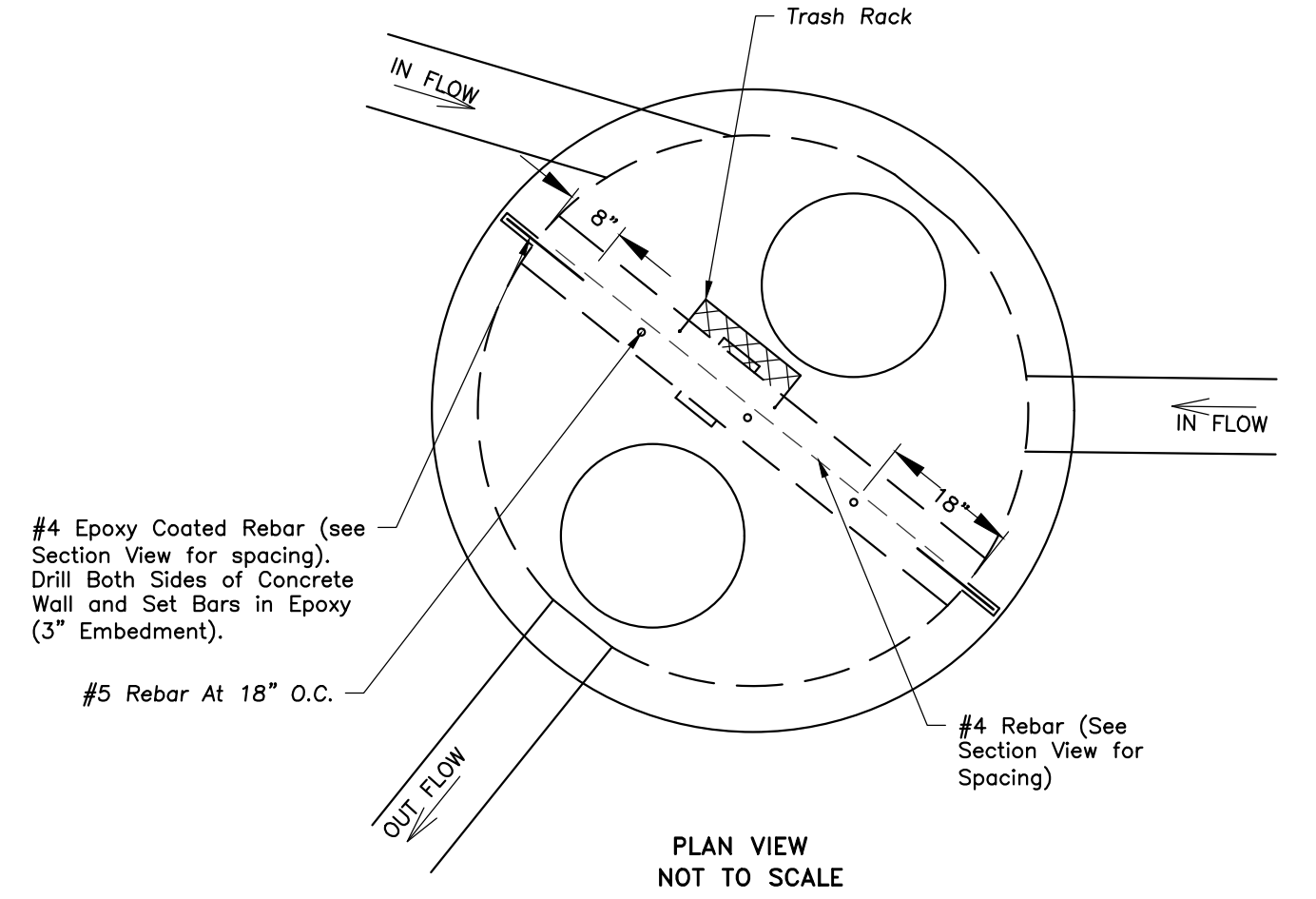
PAVING & SURFACE LEGEND

- Concrete Driveway Section
 8" Portland Cement Concrete
 6" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section
 5" Portland Cement Concrete
 2" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section
 5" Portland Cement Concrete
 6"x6" W1.4xW1.4 Welded Wire Fabric
 2" Aggregate Base Course, Type B, Crushed
- Heavy-Duty Asphalt Pavement Section
 2" Hot Mix Asphalt, Mix D, IL-9.5, N50
 2 1/4" Hot Mix Asphalt, IL-19.0, N50
 5" Hot Mix Asphalt, IL-9.5, N30
 Prime Coat (0.25 gal/sq yd)
 4" CA-6 Aggregate Subbase



LEGEND

- | EXISTING | PROPOSED |
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StormTech SC-310 Stormwater Storage Units
 Configured To Provide ±0.265 Ac.-Ft. Of Detention/Volume Control Storage.

Top of Stone = 705.13
 Top of Chamber = 704.63
 Invert Underdrain = 703.80
 Invert Chamber = 703.30
 Bot. of Stone = 702.80

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
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 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
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 EXPIRES: 04/30/2017

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

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| 2 | 3/23/17 | PUD REVIEW COMMENTS |
| 3 | 4/07/17 | PUD REVIEW COMMENTS 2 |

| | | | |
|--------------|----|--------------|----------|
| Design By: | DF | Date: | 01/13/17 |
| Approved By: | MR | Project No.: | |

Sheet Title:
PRELIMINARY ENGINEERING PLAN

Sheet No:
C001



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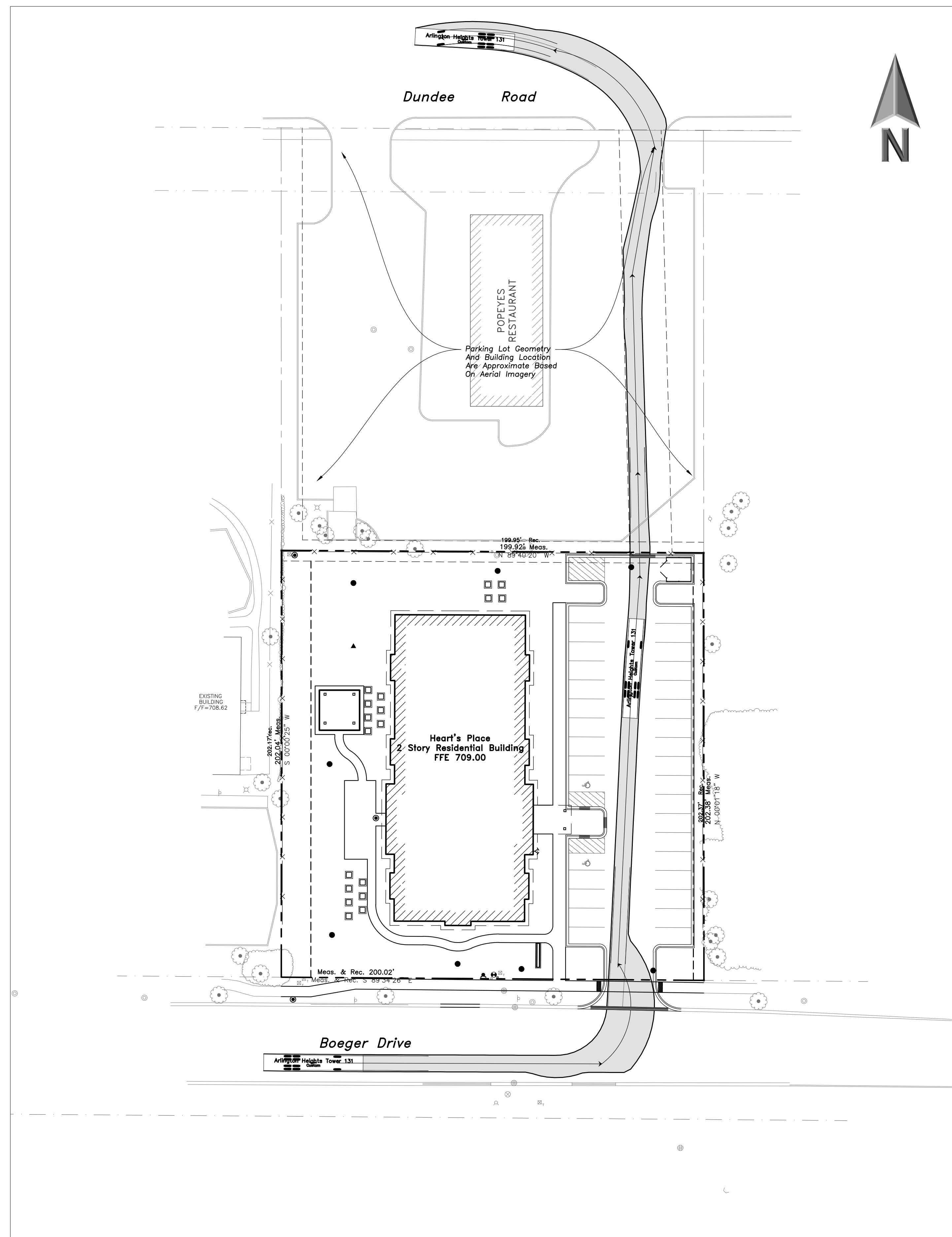
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Design By: CDF Date: 01/13/17
Approved By: MR Project No.:

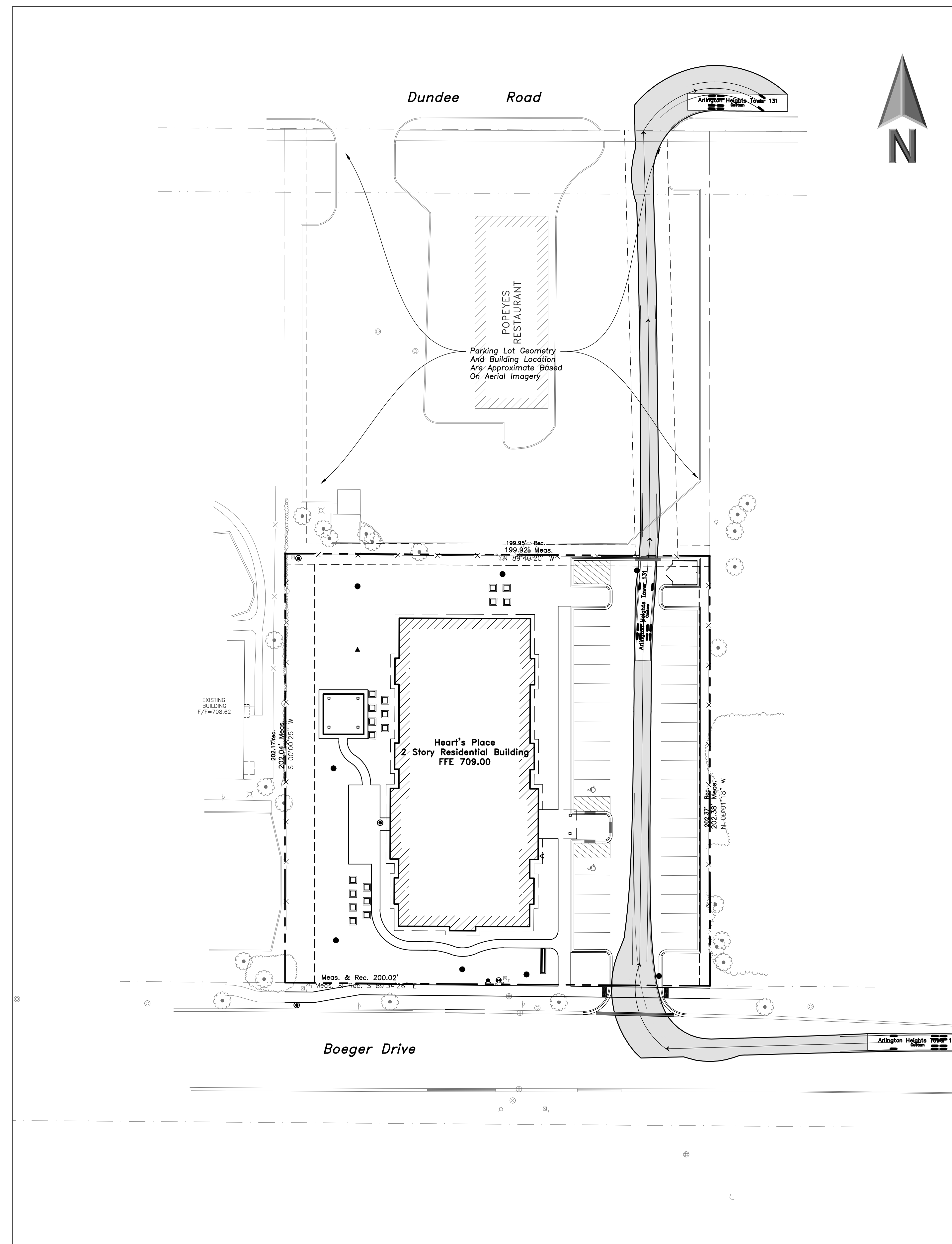
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**FIRE TRUCK
AUTOTURN
EXHIBIT**

Sheet No:

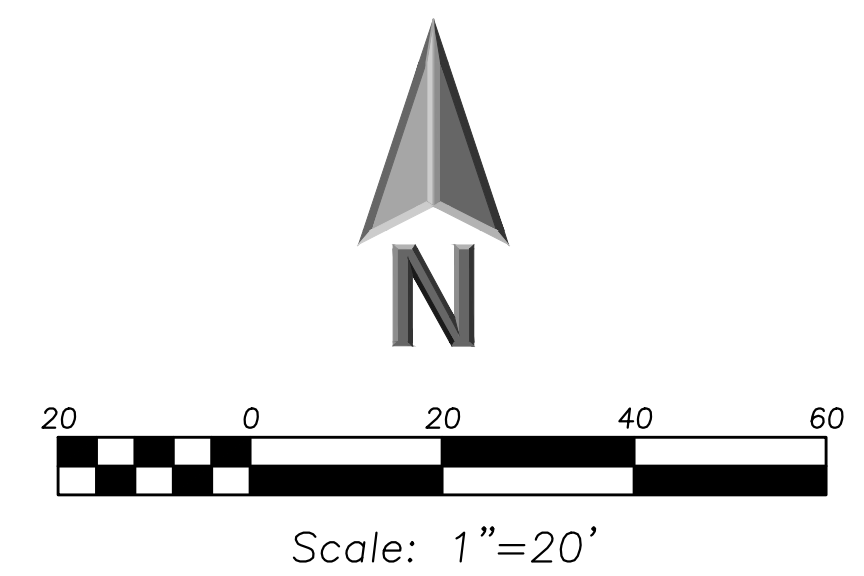
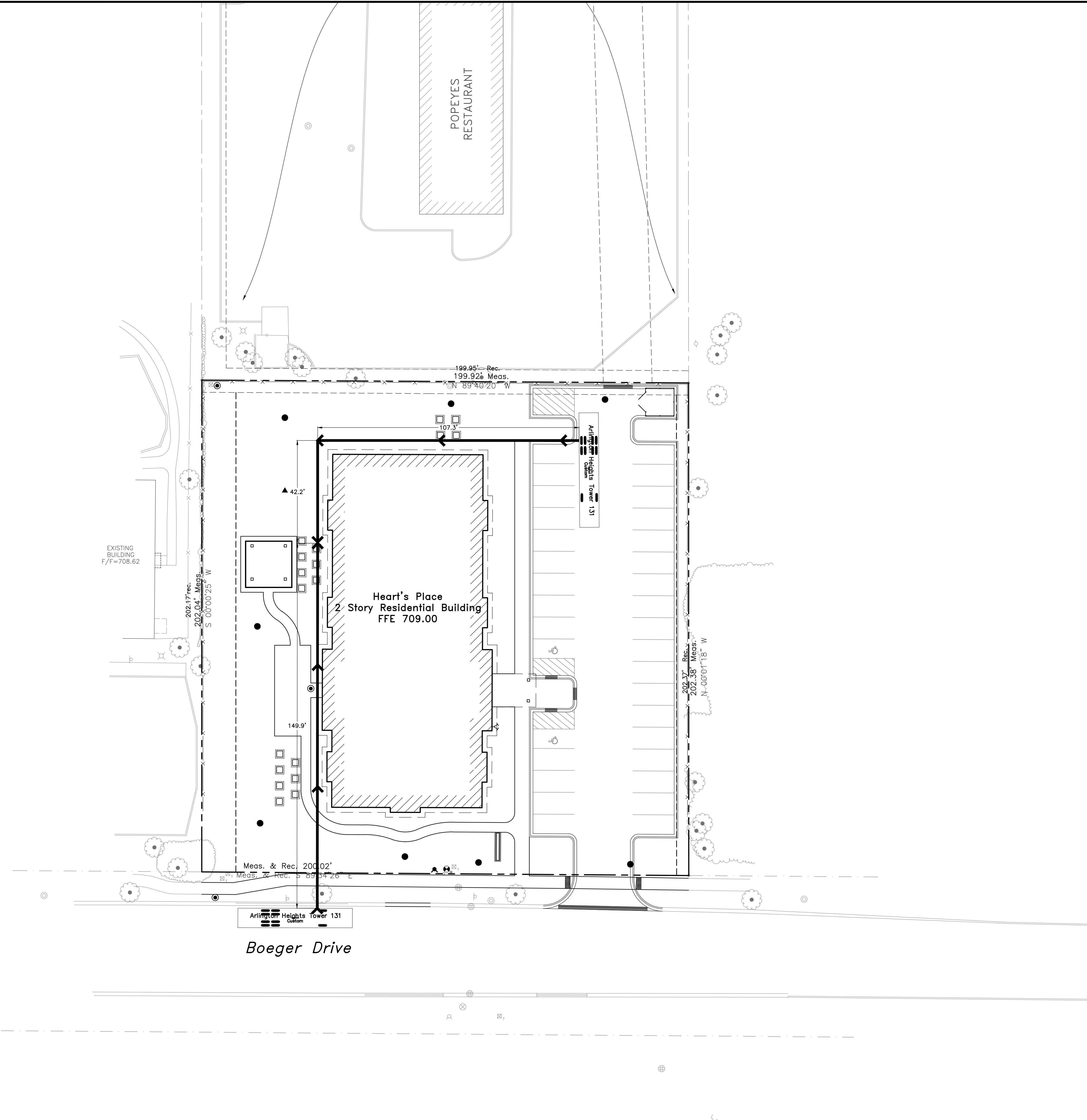
C100



FIRE TRUCK INGRESS/EGRESS (EASTBOUND)
SCALE: 1"=30'



FIRE TRUCK INGRESS/EGRESS (WESTBOUND)
SCALE: 1"=30'



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Design By: CDF Date: 01/13/17
 Approved By: MR Project No.:

Sheet Title:
FIRE DEPARTMENT ACCESS

Sheet No:
C101



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**HEART'S PLACE
2 STORY RESIDENTIAL BUILDING**
120 & 122 W Boeger Drive
Arlington Heights, Illinois

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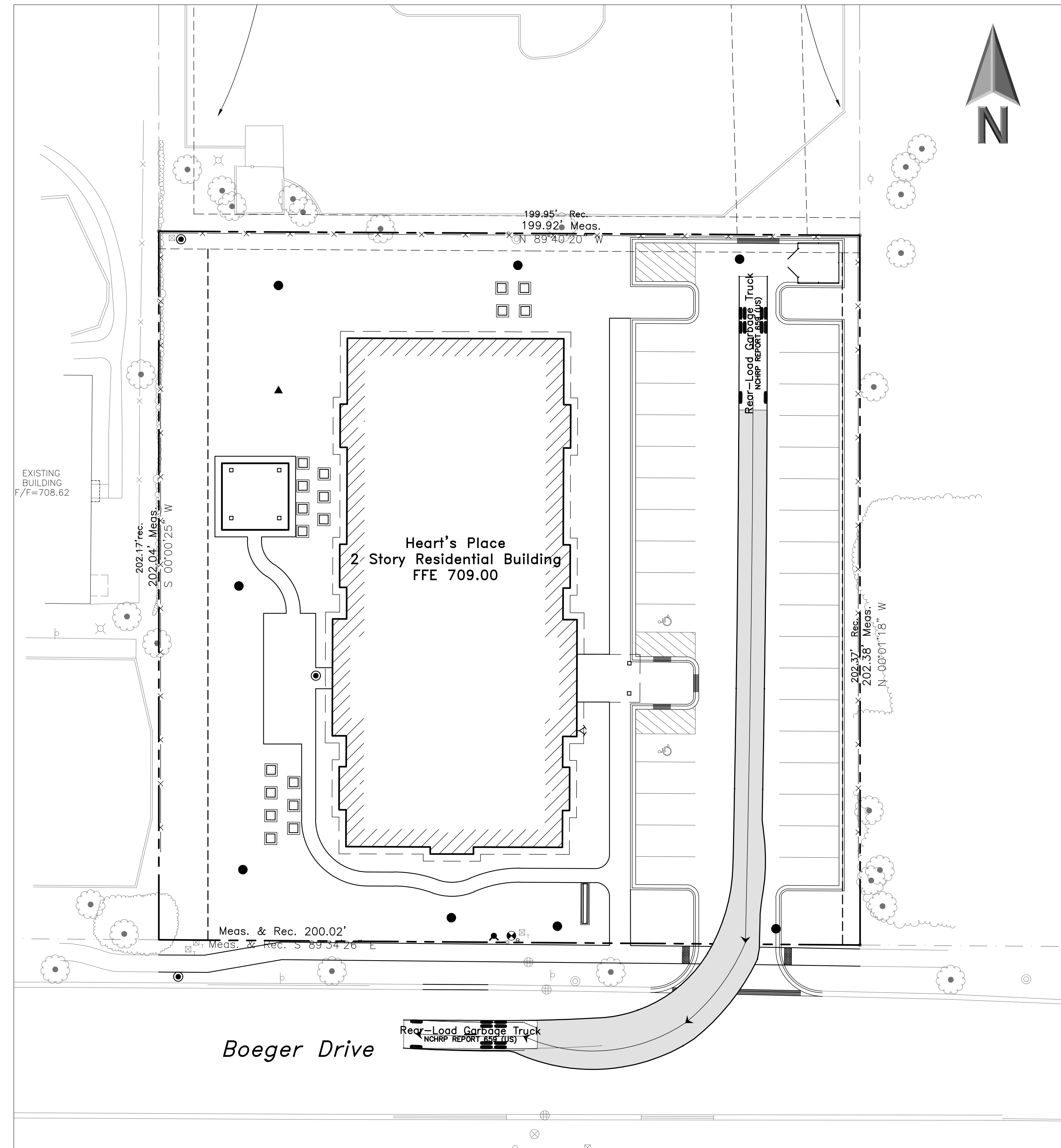
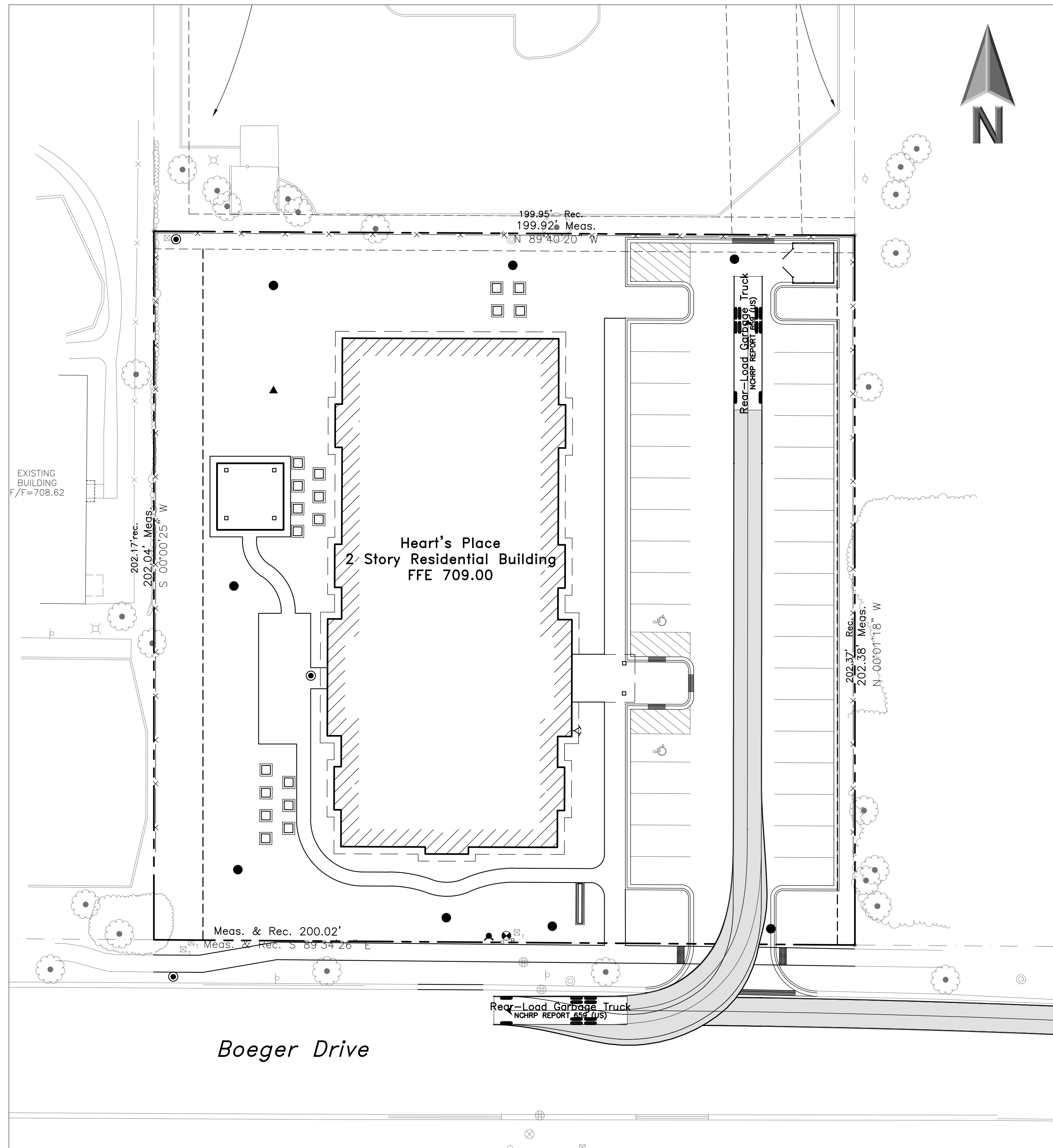
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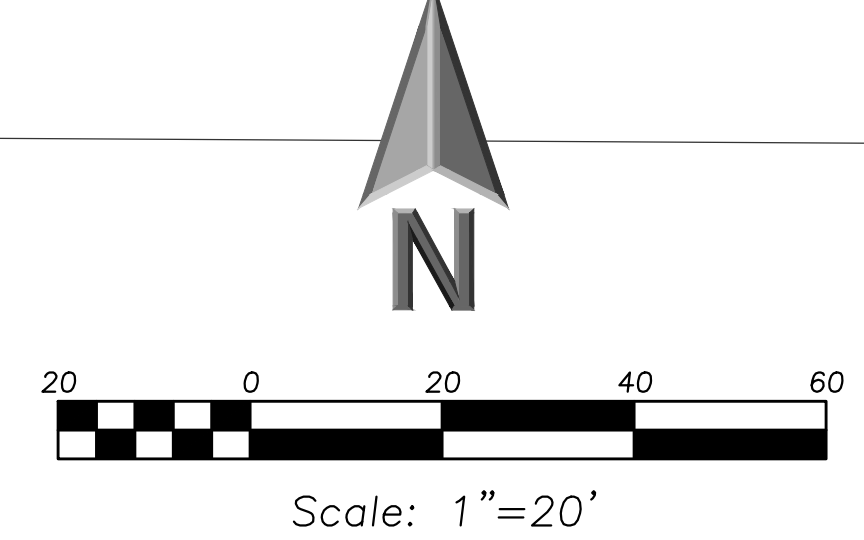
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|--------------------|-------------------|
| Design By: CDF | Date: 01/13/17 |
| Approved By: MR | Project No.: |

Sheet Title:
**REFUSE TRUCK
AUTOTURN
EXHIBIT**

Sheet No:
C102

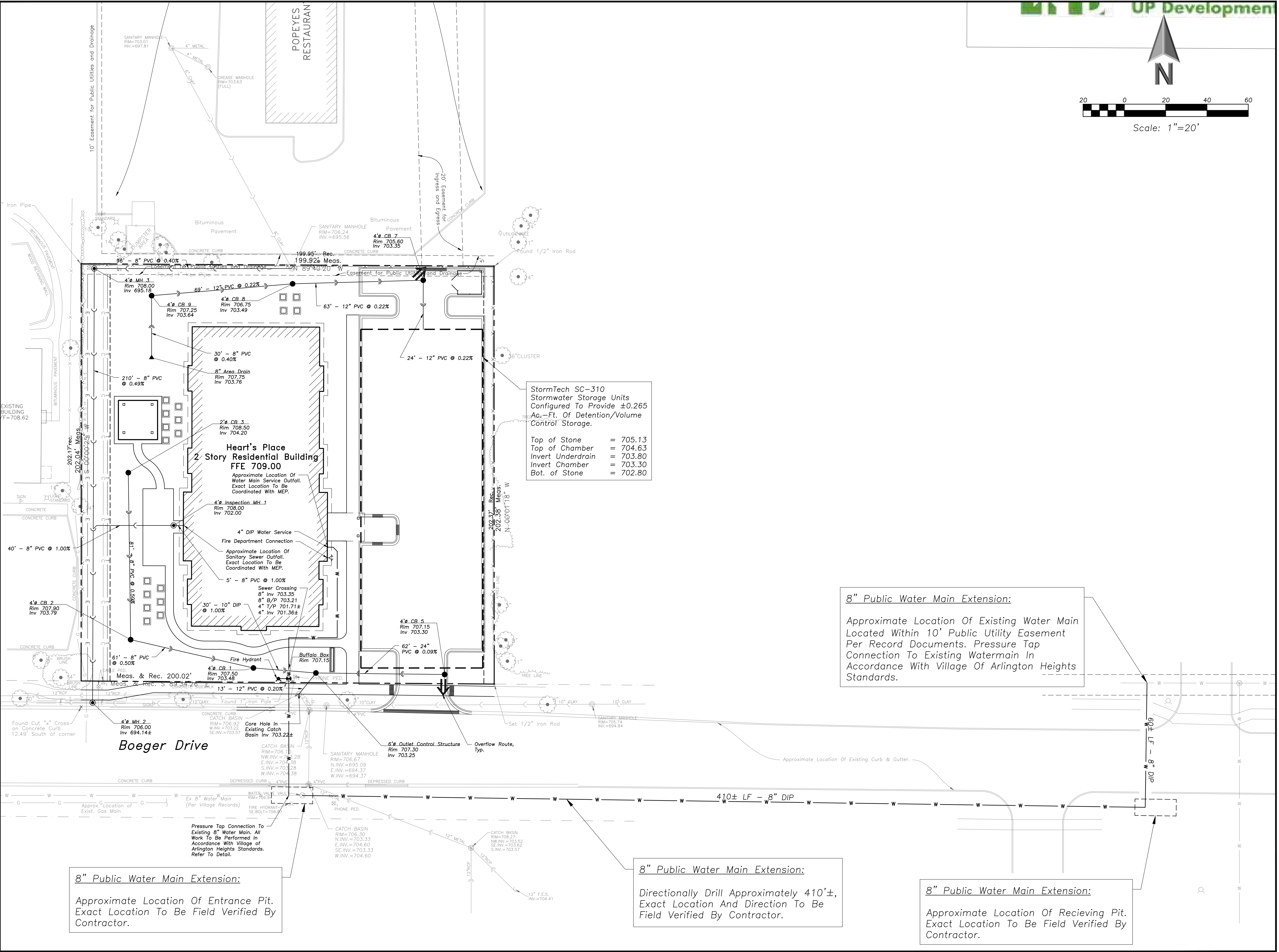




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**HEART'S PLACE
2 STORY RESIDENTIAL BUILDING**
120 & 122 W Boeger Drive
Arlington Heights, Illinois



StormTech SC-310
Stormwater Storage Units
Configured To Provide ±0.265
Ac.-Ft. Of Detention/Volume
Control Storage.

Top of Stone = 705.13
Top of Chamber = 704.63
Invert Underdrain = 703.80
Invert Chamber = 703.30
Bot. of Stone = 702.80

8" Public Water Main Extension:
Approximate Location Of Existing Water Main
Located Within 10' Public Utility Easement
Per Record Documents. Pressure Tap
Connection To Existing Watermain In
Accordance With Village Of Arlington Heights
Standards.

8" Public Water Main Extension:
Approximate Location Of Entrance Pit.
Exact Location To Be Field Verified By
Contractor.

8" Public Water Main Extension:
Directionally Drill Approximately 410'±,
Exact Location And Direction To Be
Field Verified By Contractor.

8" Public Water Main Extension:
Approximate Location Of Receiving Pit.
Exact Location To Be Field Verified By
Contractor.

Reserved for Seal:

Expiration Date: _____

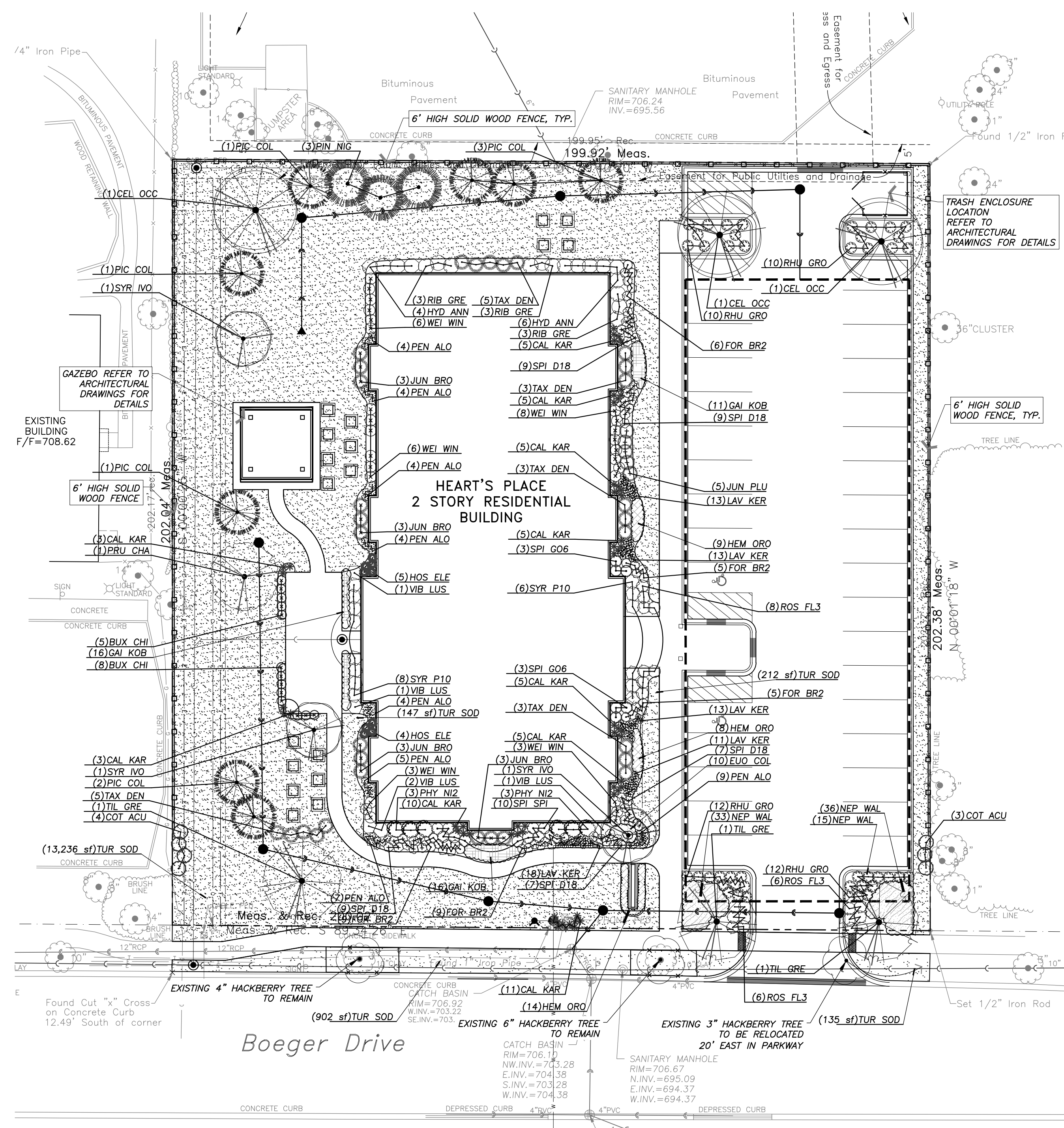
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| 3 | 4/07/17 | PUD REVIEW COMMENTS 2 |
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Design By: CDF Date: 01/13/17
Approved By: MR Project No. _____

Sheet Title:
**WATER MAIN
EXTENSION**

Sheet No:
C103

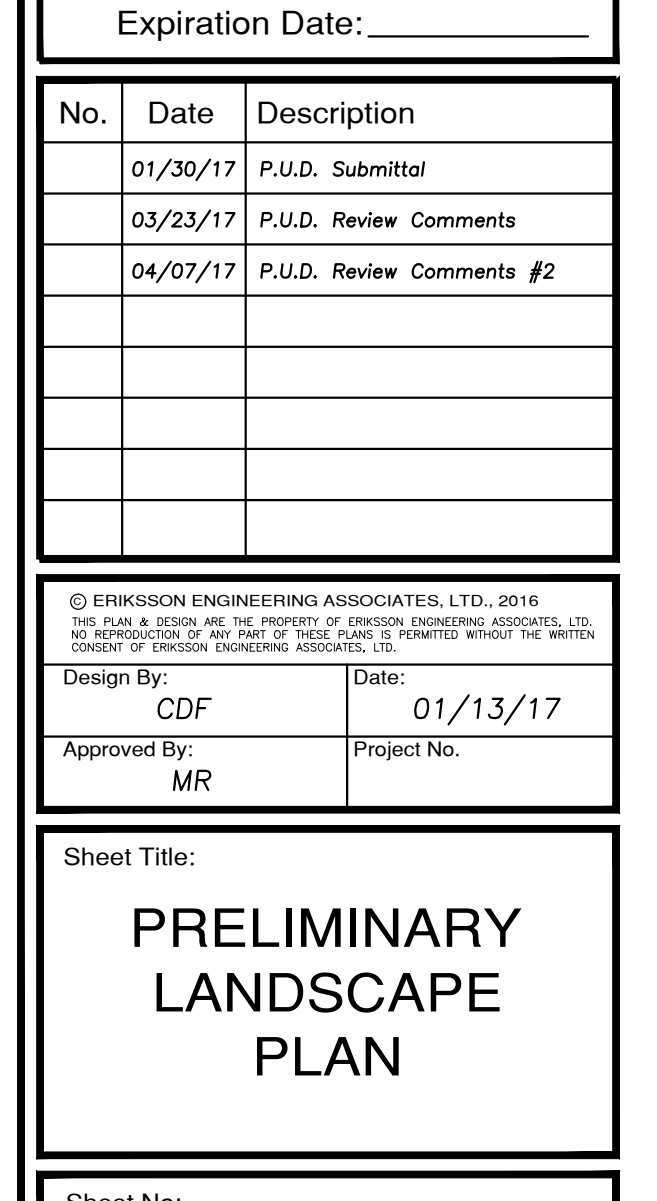
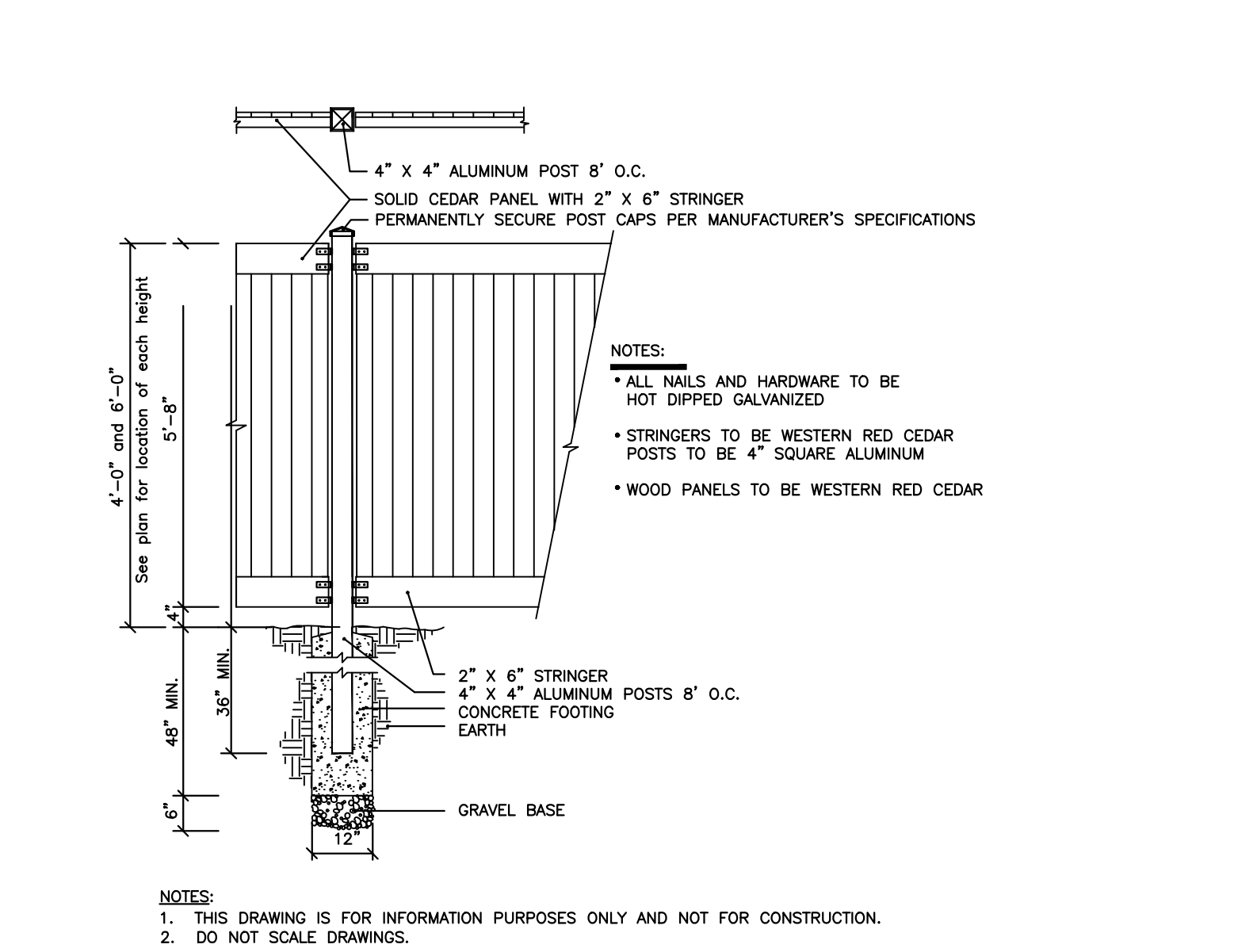
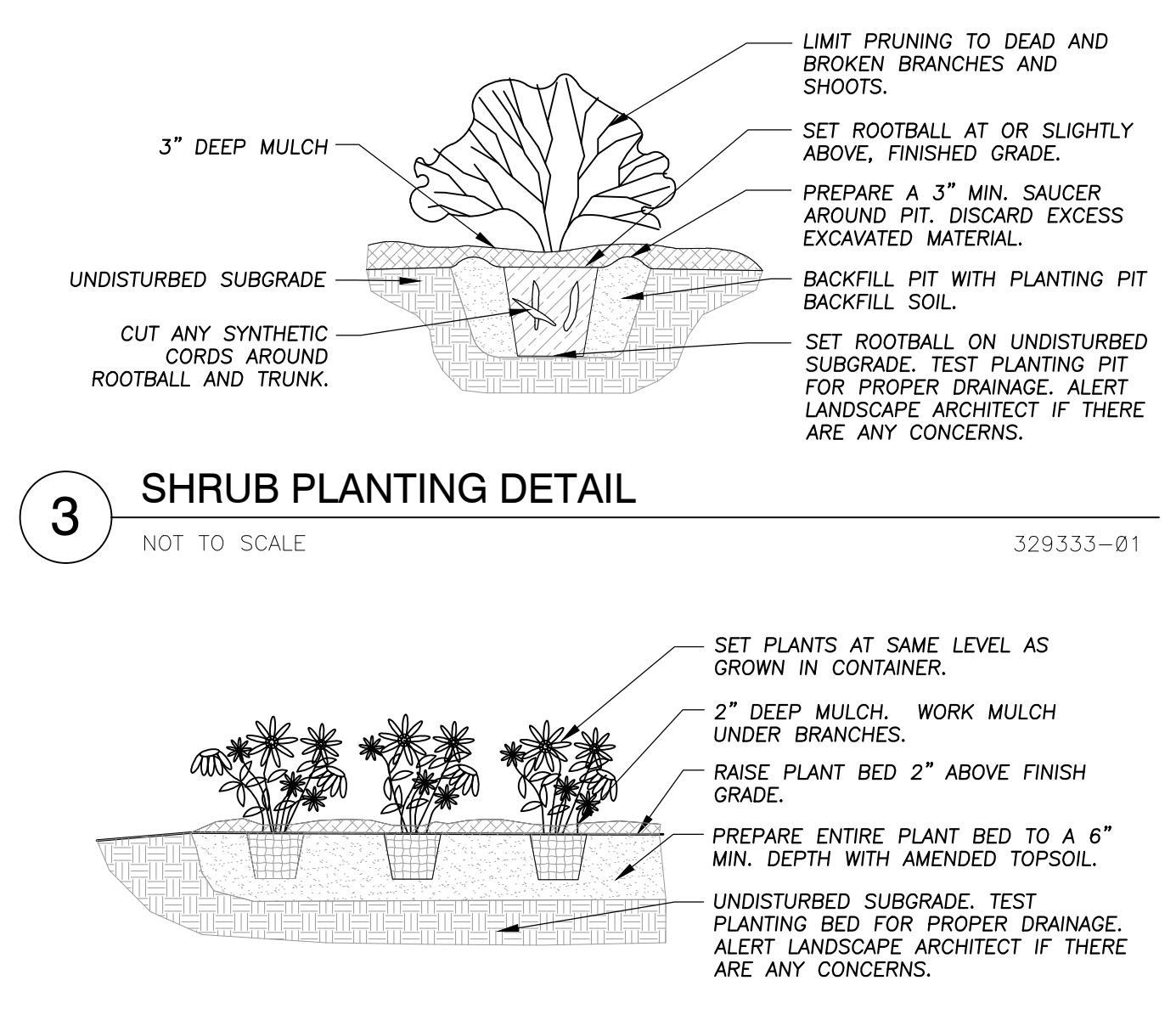
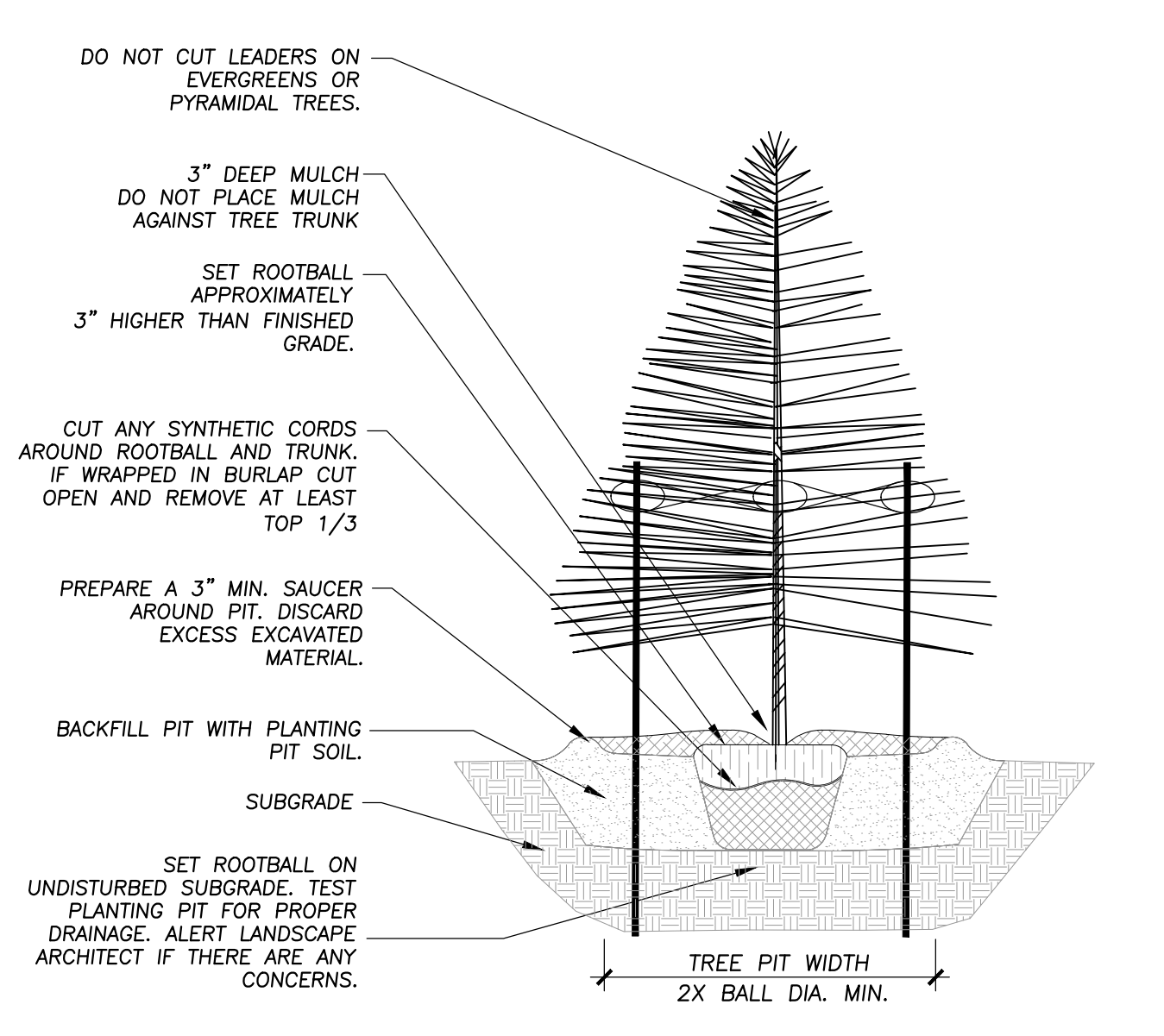
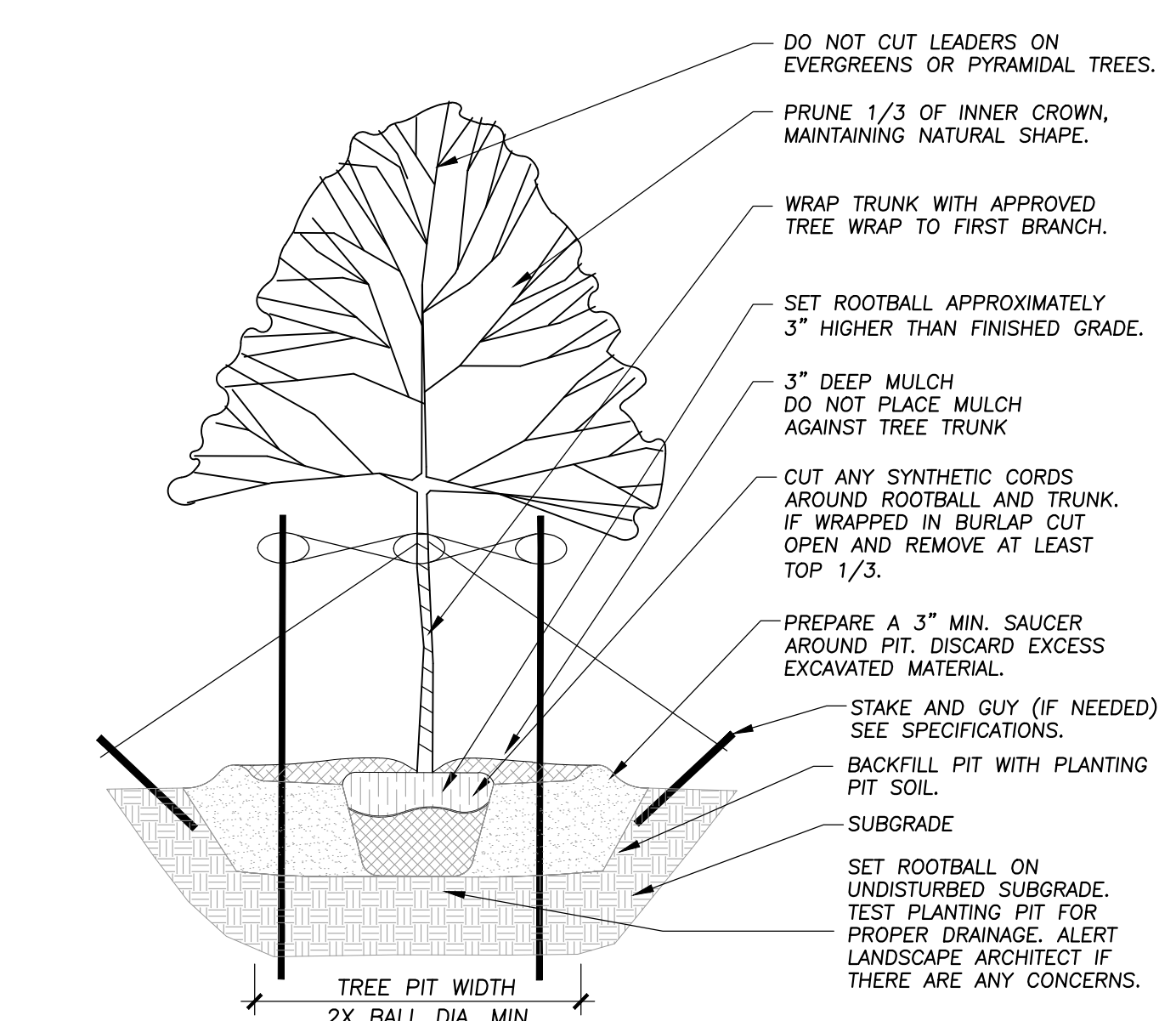


PLANT SCHEDULE

| CANOPY TREES | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
|------------------|--|--------|-------------|-----------|
| CEL OCC | CELTIS OCCIDENTALIS / COMMON HACKBERRY | B & B | 4" CAL | 3 |
| PRU CHA | PIRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR | B & B | 4" CAL | 1 |
| TIL GRE | TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN | B & B | 4" CAL | 3 |
| EVERGREEN TREES | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| PIC COL | PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE | B & B | 6' - 8' HT. | 8 |
| PIN NIG | PINUS NIGRA / AUSTRIAN BLACK PINE | B & B | 6' - 8' HT. | 3 |
| UNDERSTORY TREES | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| SYR IVO | SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC | B & B | 2" CAL | 3 |
| DECIDUOUS SHRUBS | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| COT ACU | COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER | B & B | 36" HT. | 7 |
| FOR BR2 | FORSYTHIA VIRIDISSIMA 'BRONXENSIS' / BRONX FORSYTHIA | CONT. | 5 GAL. | 34 |
| HYD ANN | HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA | B & B | 36" HT. | 10 |
| PHY NI2 | PHYSCARPUS OPULIFOLIUS / NINEBARK | B & B | 36" HT. | 6 |
| RHU GRO | RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC | B & B | 24" HT. | 44 |
| RIB GRE | RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT | B & B | 30" HT. | 9 |
| ROS FL3 | ROSA X 'FLOWER CARPET CORAL' / ROSE | #5 | 24" SPREAD | 20 |
| SPI D18 | SPIRAEA JAPONICA 'DOUBLE PLAY RED' / SPIREA 'DOUBLE PLAY RED' | CONT. | 5 GAL. | 41 |
| SPI GO6 | SPIRAEA JAPONICA 'GOLDFLAME' / SPIREA | B & B | 24" HT. | 6 |
| SPI SPI | SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA | B & B | 24" HT. | 10 |
| SYR P10 | SYRINGA X 'PENDA' / BOOMERANG LILAC | B & B | 30" HT. | 14 |
| VIB LUS | VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD | B & B | 36" HT. | 5 |
| WEI WIN | WEIGELA FLORIDA 'WINE TM' / WEIGELA | B & B | 30" HT. | 26 |
| EVERGREEN SHRUBS | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| BUX CHI | BUXUS X 'CHICAGOLAND GREEN' TM / GLENCOE BOXWOOD | B & B | 18" HT. | 13 |
| JUN PLU | JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA' / CREEPING JUNIPER | CONT. | 24" SPREAD | 5 |
| JUN BRO | JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER | B & B | 24" SPREAD | 12 |
| TAX DEN | TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW | B & B | 24" HT. | 19 |
| GRASSES | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| CAL KAR | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS | CONT. | 1 GAL. | 57 |
| PEN ALO | PENNISSETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS | CONT. | 1 GAL. | 41 |
| PERENNIALS | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| HOS ELE | HOSTA X 'ELEGANS' / PLANTAIN LILY | CONT. | 1 GAL. | 9 |
| LAV KER | LAVANDULA ANGSTUFOLIA 'KERLAVANGEM' / SWEET ROMANCE LAVENDER | CONT. | #1 | 68 |
| GROUND COVERS | BOTANICAL NAME / COMMON NAME | COND. | SIZE | QTY |
| EVO COL | EUONYMUS FORTUNEI 'COLORATA' / PURPLE-LEAF WINTER CREEPER | 3" POT | 6"-12" HT. | 10 |
| GAI KOB | GAILLARDIA X GRANDIFLORA 'KOBOLD' / BLANKETFLOWER | CONT. | #1 | 43 |
| HEM ORO | HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY | CONT. | #1 | 31 |
| NEP WAL | NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT | CONT. | #1 | 69 |
| TUR SOD | TURF SOD / DROUGHT TOLERANT FESCUE BLEND | SEED | S.F. | 14,657 SF |

LANDSCAPE NOTES

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPLACE/ REPAIR AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DUE TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.



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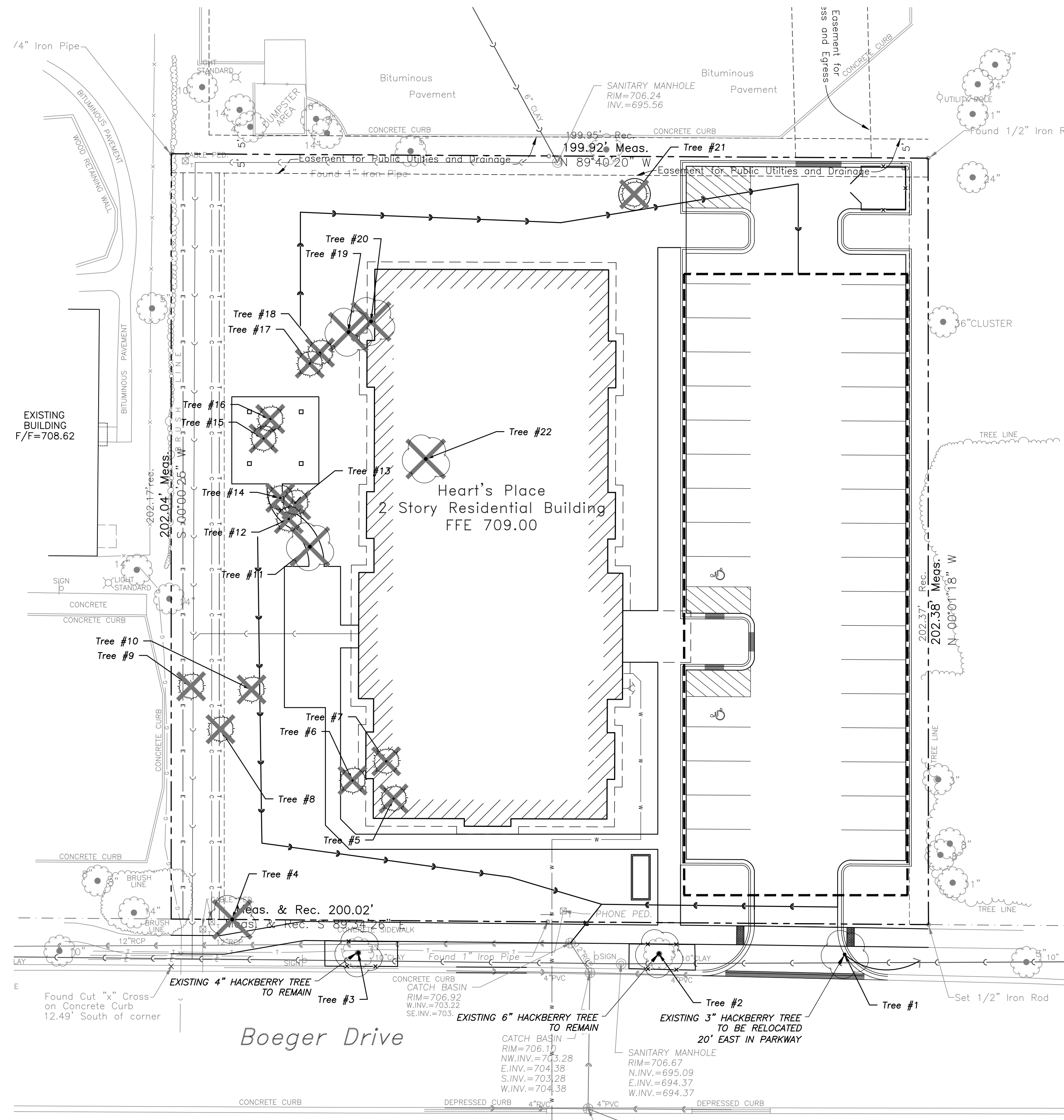
HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
120 & 122 W Boeger Drive
Arlington Heights, Illinois

Reserved for Seal:
Expiration Date: _____

| No. | Date | Description |
|----------|---------------------------|-------------|
| 01/30/17 | P.U.D. Submittal | |
| 03/23/17 | P.U.D. Review Comments | |
| 04/07/17 | P.U.D. Review Comments #2 | |

Design By: CDF Date: 01/13/17
Approved By: MR Project No.:
Sheet Title: **PRELIMINARY LANDSCAPE PLAN**
Sheet No.: **L001**

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Plotted: 4/06/17 @ 2:00pm By: sgregory

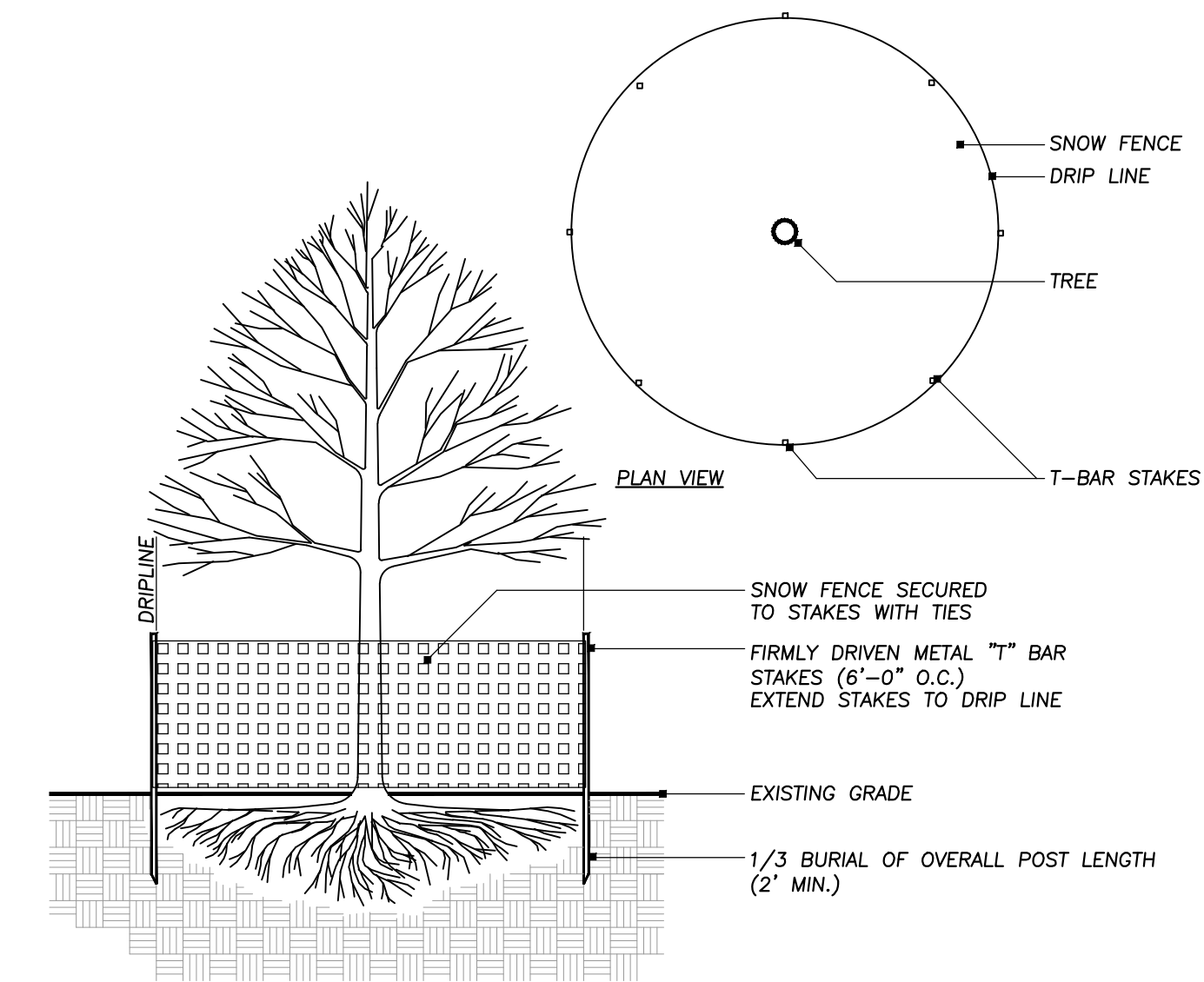


EXISTING TREE INVENTORY

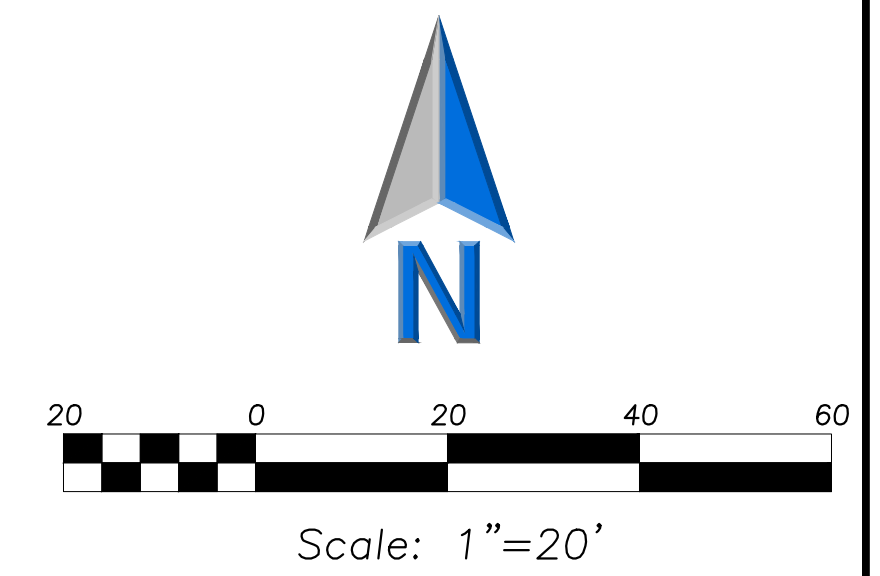
| Tree # | BOTANICAL NAME | COMMON NAME | TREE SIZE | CONDITION | COMMENTS |
|--------|----------------------|----------------------|------------------|-----------|--|
| 1 | Celtis occidentalis | Common Hackberry | 3" Cal. | Good | Parkway Tree (Relocate 20' to the East) |
| 2 | Celtis occidentalis | Common Hackberry | 6" Cal. | Good | Parkway Tree |
| 3 | Celtis occidentalis | Common Hackberry | 4" Cal. | Good | Parkway Tree |
| 4 | Robinia pseudoacacia | Black Locust | 6" Cal. | Good | Invasive weed species with thorns |
| 5 | Picea pungens glauca | Colorado Blue Spruce | 14" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 6 | Picea pungens glauca | Colorado Blue Spruce | 12" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 7 | Picea pungens glauca | Colorado Blue Spruce | 16" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 8 | Picea pungens glauca | Colorado Blue Spruce | 16" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 9 | Picea pungens glauca | Colorado Blue Spruce | 12" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 10 | Picea pungens glauca | Colorado Blue Spruce | 14" Cal. | Fair | Grown together with other Spruce trees have become one sided |
| 11 | Acer negundo | Boxelder | 10" Cal. | Fair | Growing right next to concrete structure |
| 12 | Thuja occidentalis | Arborvitae | 12" Cal. | Fair | Grown together with other Arborvitae trees have become one sided |
| 13 | Thuja occidentalis | Arborvitae | 6" & 8" Trunks | Fair | Grown together with other Arborvitae trees have become one sided |
| 14 | Thuja occidentalis | Arborvitae | 8" & 2" Trunks | Fair | Grown together with other Arborvitae trees have become one sided |
| 15 | Thuja occidentalis | Arborvitae | 3 @ 8" Cal. | Fair | Grown together with other Arborvitae trees have become one sided |
| 16 | Thuja occidentalis | Arborvitae | 10" & 3" Cal. | Fair | Grown together with other Arborvitae trees have become one sided |
| 17 | Thuja occidentalis | Arborvitae | 12" & 10" Cal. | Fair | Grown together with other Arborvitae trees have become one sided |
| 18 | Thuja occidentalis | Arborvitae | 12" Cal. | Fair | Grown together with other Arborvitae trees have become one sided |
| 19 | Acer negundo | Boxelder | 10" Cal. | Poor | Growing right next to concrete building foundation |
| 20 | Acer negundo | Boxelder | 8" Cal. | Poor | Growing right next to concrete building foundation |
| 21 | Juniperus virginiana | Eastern Red Cedar | 16" Cal. | Fair | Some scarring on trunk |
| 22 | Acer negundo | Boxelder | 8 @ 2" - 8" Cal. | Poor | Cluster of suckering growth near concrete structure and foundation |

TREE PRESERVATION NOTES

- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.



1 TREE PROTECTION DETAIL
Not To Scale



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2 STORY RESIDENTIAL BUILDING**
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Design By: CDF Date: 01/13/17
Approved By: MR Project No.:

Sheet Title:
**TREE
PRESERVATION
PLAN**

Sheet No:
TP001