

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Sigwalt Apartments
Project Address: 45 S. Chestnut Avenue
Prepared By: Steve Hautzinger

Date Prepared: July 31, 2017

PETITION INFORMATION:

DC Number: 17-089
Petitioner Name: Michael Porto
Petitioner Address: CA Residential LLC
130 E. Randolph Street, Suite 2100
Chicago, IL 60601
Meeting Date: August 8, 2017

Requested Action(s):

1. Approval of the proposed architectural design for a new multi-family apartment building.

ANALYSIS:

Summary

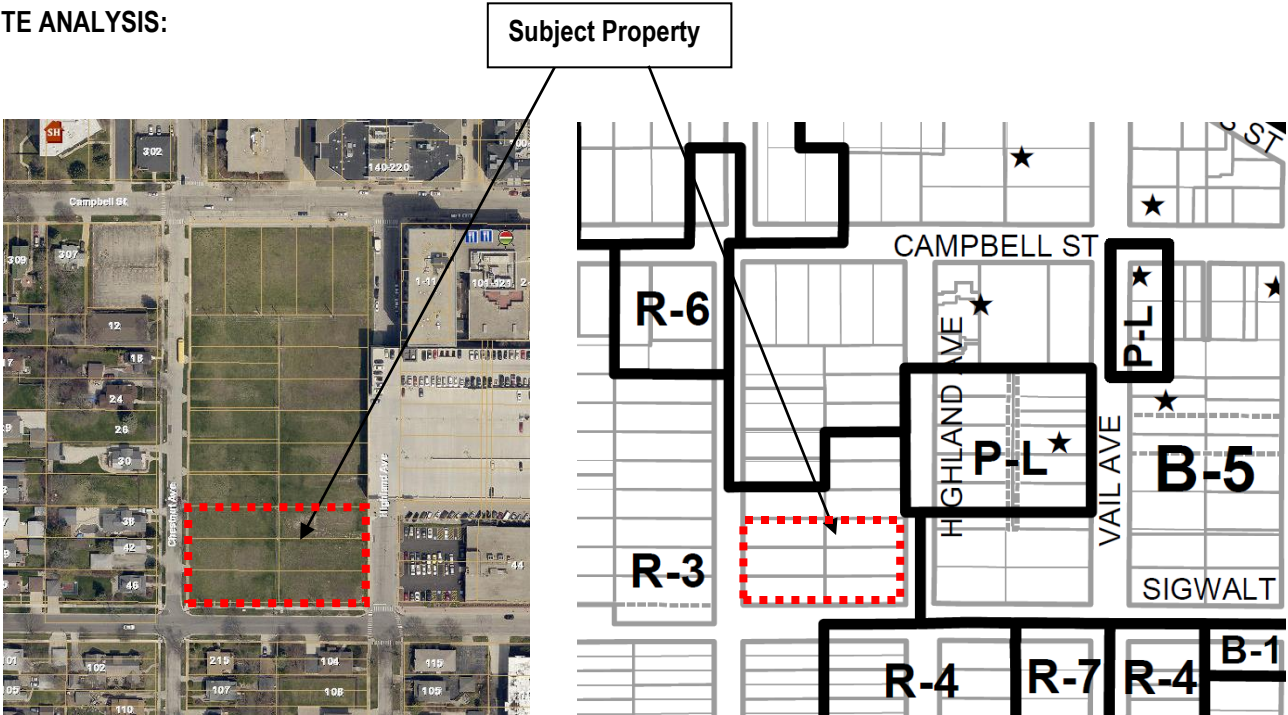
The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The petitioner is seeking approval of the architectural design for a new five-story apartment building with 88 residential apartment units and 110 indoor parking spaces. Parking will be located in the basement and partially on the first floor. The proposed site is the southern end of the vacant block on Sigwalt Street between Chestnut Avenue and Highland Avenue just west of the Downtown.

This project requires Plan Commission review and Village Board approval for the following zoning requirements:

- Rezone the property from R-3, One-Family Dwelling District to R-7 Multiple-Family Dwelling District.
- Planned Unit Development.
- Lot consolidation.
- Variations (may vary at time of final review):
 - o Minimum Area for Zoning District, to allow an R-7 District to be approximately .91 acres where code requires a minimum of 2 acres for the R-7 District.
 - o Minimum Lot Size, to allow a 39,587 sq. ft. lot where code requires a minimum of 67,800 sq. ft. in lot size.
 - o Required Front Yard, to allow a front yard setback (east side) of approx. 11' where code requires a 44' setback (based on building height).
 - o Required Front Yard, to allow a front yard setback (west side) of approx. 16.8' where code requires a 44' setback (based on building height).
 - o Required Side Yard, to allow a side yard setback of approx. 4.8' where code requires a 34' setback (based on building height).
 - o Required Exterior Side Yard, to allow an exterior side yard setback of approx. 18.2' where code requires a 20' setback (based on building height).
 - o Maximum Building Lot Coverage, to allow 71.3% building lot coverage where code allows a maximum 45% building lot coverage.
 - o Maximum Floor Area Ratio, to allow 252.5% FAR where code limits maximum FAR to 200%.
 - o Loading Requirements, to waive the requirement for one off-street loading space.
 - o Permitted Obstructions, to allow certain balconies to project 4' into the required front, exterior side, and side yards.
 - o Permitted Obstructions, to allow a transformer within the required front yard setback where code requires all transformers to be located outside of all setback areas.

SITE ANALYSIS:



Aerial of Property

Zoning Map of Property

Surrounding Land Uses:

<i>Direction</i>	<i>Existing Zoning</i>	<i>Existing Use</i>	<i>Comprehensive Plan</i>
Subject Property	R-3, One-Family Dwelling District (R-7, Multi-Family Dwelling District proposed)	Vacant	High Density Multi-Family
North	R-3, One-Family Dwelling District / B-5, Downtown District	Vacant	Mixed Use
South	R-3, One-Family Dwelling District / R-4, Two Family Dwelling Units	Single Family Residences	Single Family Attached
East	B-5, Downtown District	AT&T office building	Mixed Use
West	R-3, One-Family Dwelling District	Single Family Residences	Single Family Attached / High Density Multi-Family



Photo 1. 110 S. Evergreen, existing multi-family building.

Architectural Design:

Overall, the proposed design has a nice composition that relates well to the buildings located directly adjacent in the Downtown, such as the Vail Avenue parking garage, Dunton Tower Apartments, and Metropolis Loft condominium. The design includes a nice mix and balance of exterior materials. The colors work well together and complement the adjacent Downtown buildings.

A similar example of scale and materials in this area is the existing multi-family building located at 110 S. Evergreen, which is in the neighborhood on the south end of the Downtown. 110 S. Evergreen is six-stories in height, and has a light colored base, brick body, and standing seam metal cladding on the top floor (see photo 1 above).

In regards to the proposed design, the Design Commission should evaluate the following:

- Although there are examples of metal cladding in the Downtown, the Design Commission should evaluate the quantity and color of metal panel siding on the proposed design.
- There appears to be a lot of wall space above the top floor windows. If possible, consider lowering the height of the top floor walls one or two feet.
- Consider stepping back portions of the top floor to break down the overall mass of the building, such as recessing balconies at the outside corners.

Rooftop Mechanical Unit Screening:

Rooftop mechanical units are required to be fully screened from public view. The proposed design has all of the rooftop mechanical equipment recessed from the exterior walls and enclosed within mechanical equipment screens.

Dumpster and Utility Screening:

Trash dumpsters will be stored inside the building. The exterior transformer on the east side of the building should be fully screened with landscaping or other appropriate method.

Landscaping:

The proposed landscaping will be reviewed in detail as part of the Plan Commission review and Village Board approval, but overall the proposed landscaping is minimal and it is recommended that additional landscaping be provided. The landscaping should be layered to help soften the proposed building. Specialty paving should be considered at the main entrance.

Signage:

The proposed development includes a small 7 sf "Sigwalt Luxury Apartments" development identification sign adjacent to the main entrance facing Sigwalt Street. The proposed sign complies with code and is nicely designed with an understated appearance that is appropriate in this location. Separate sign permit applications are required for all signage.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed design for *Sigwalt Apartments* to be located at 45 S. Chestnut Avenue. This recommendation is subject to compliance with the plans dated 6/29/17 and received 6/29/17, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Evaluate the quantity and color of metal panel siding.
2. If possible, consider lowering the height of the top floor walls one or two feet.
3. Consider stepping back portions of the top floor to break down the overall mass of the building, such as recessing balconies at the outside corners.
4. Fully screen the exterior transformer with landscaping or other appropriate method.
5. Provide additional landscaping throughout the site, in a layered design to soften the proposed building.
6. Consider adding specialty paving at the main entrance.
7. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
8. All signage must meet code, Chapter 30.

July 31, 2017

Steve Hautzinger AIA, Design Planner

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Bill Enright, Deputy Director of Planning and Community Development, Sam Hubbard, Development Planner, Petitioner, DC File 17-089