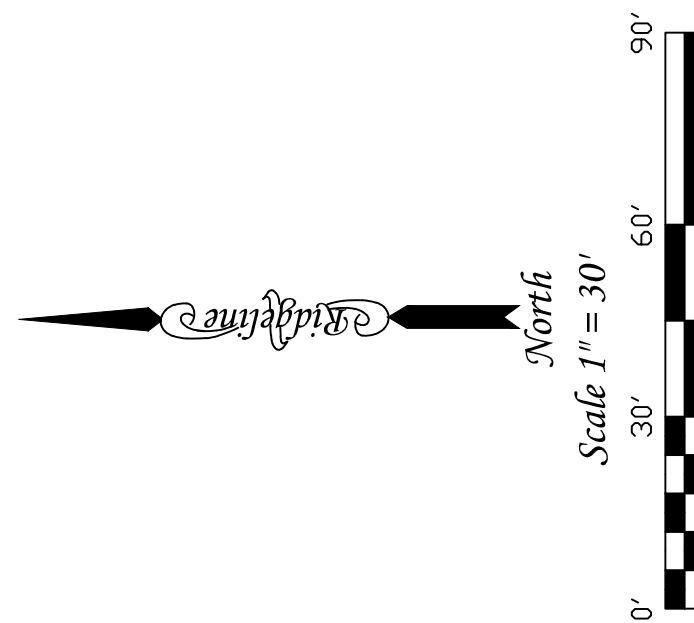
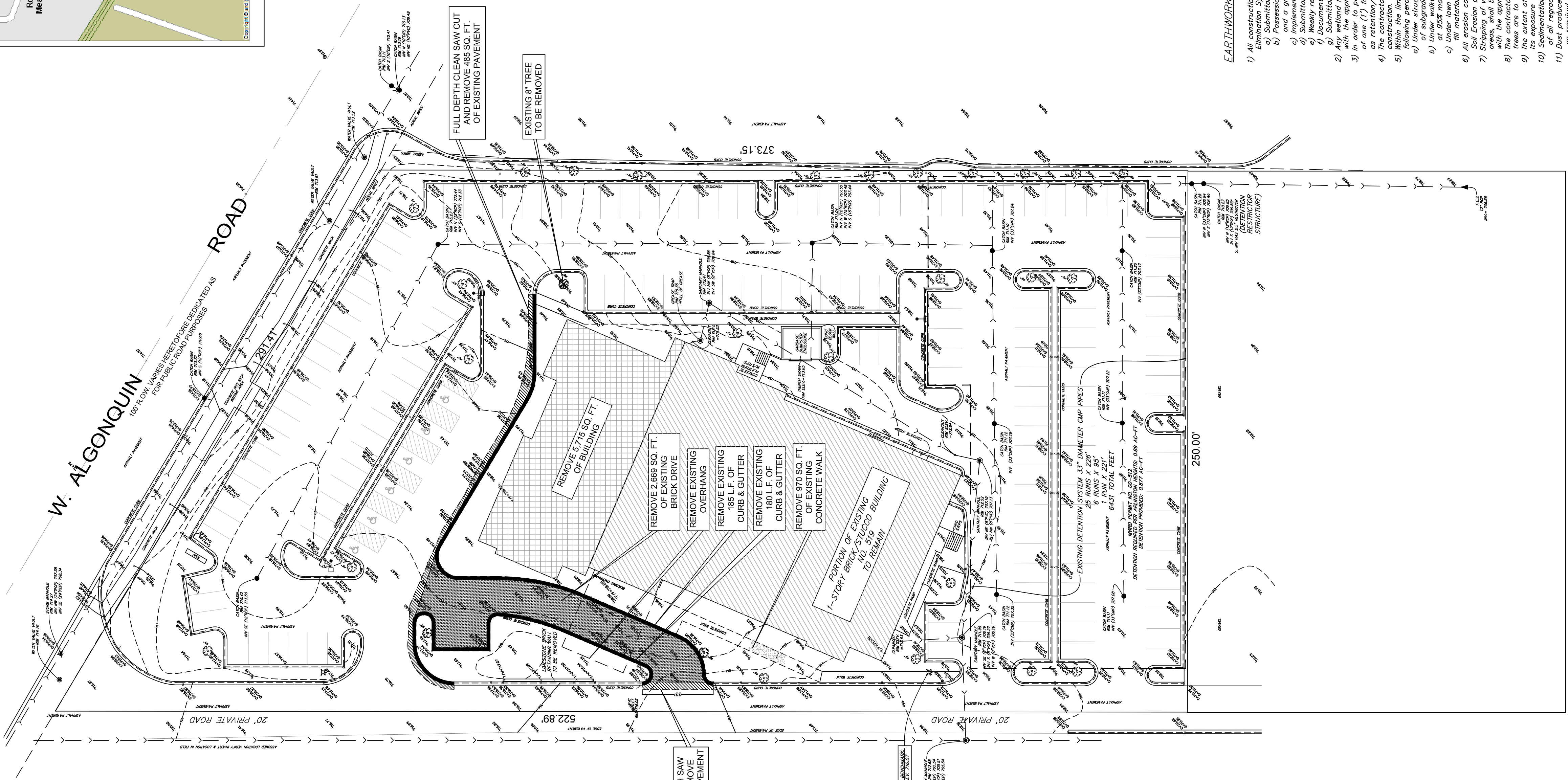
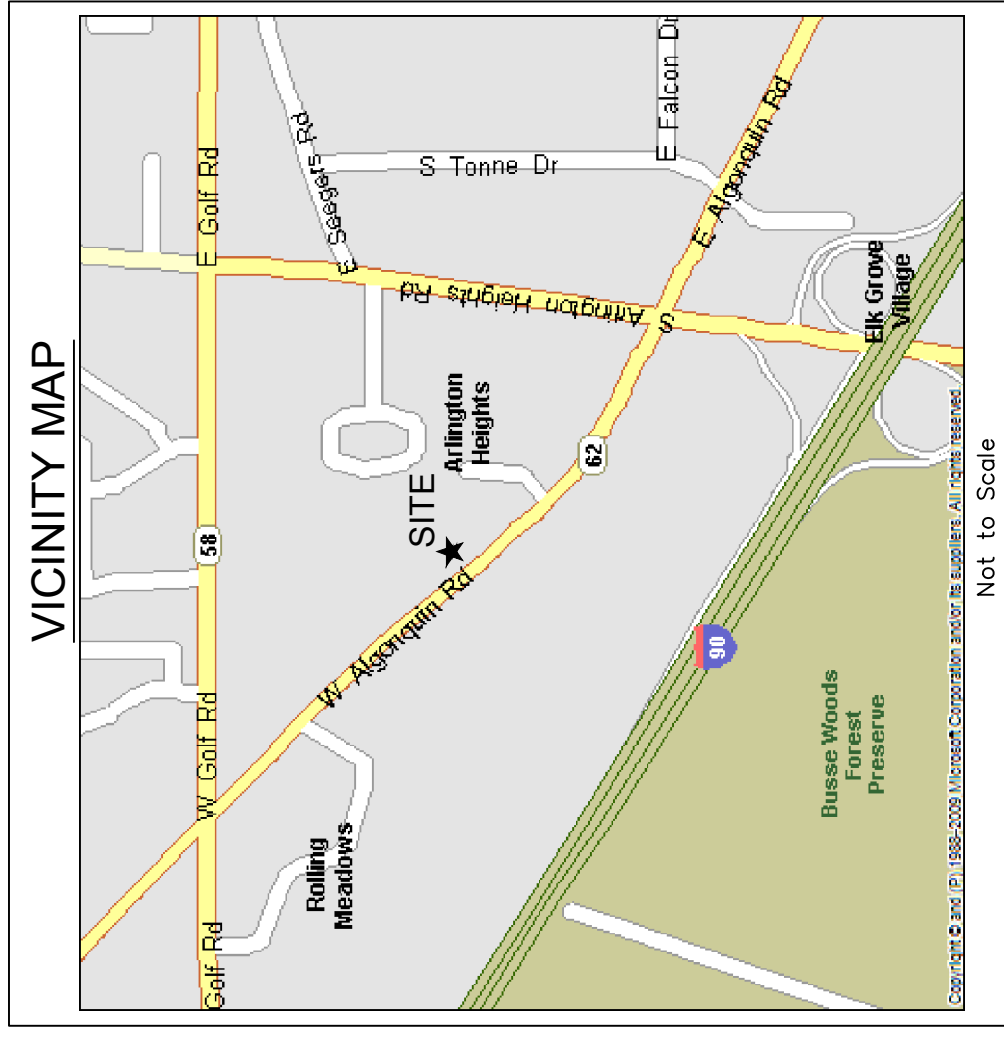


# Existing Condition and Demolition Plan



LEGEND	
	EXISTING CONTOUR
	EXISTING ELEVATION
	EXISTING SANITARY
	COMBINATION SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAN
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING TREE
	REMOVE TREE
	TEMPORARY TREE FENCE
	TEMPORARY SILT / CONSTRUCTION FENCE
	OUTLET / POP-UP EMITTER
	CATCH BASIN
	STORM SEWER
	SANITARY SEWER
	CLEANOUT
	WOOD UTILITY POLE
	LIGHT POLE (EXISTING)
	LIGHT POLE (PROPOSED)
	INLET / DRAIN
	WATER METER VAULT / WATER METER
	MANHOLE (UNCLASSIFIED)
	FIRE HYDRANT
	TREE TAG NO.
	STOP LIGHT
	PARKING SPACE UNITS
	TOP OF GARAGE SLAB
	TOP OF FOUNDATION
	TOP OF WALL
PROPOSED GRADE	
	FLOW DIRECTION
	CURB ELEVATION
	GUTTER ELEVATION
	PAVEMENT ELEVATION
	FINISHED SURFACE ELEVATION
	GROUND SURFACE ELEVATION

TOPOGRAPHIC PROVIDED BY: BRNO CONSULTING, INC.  
 SITE BENCHMARK IS GUY CROSS ON INDEPENDENT BURNETT. BENCH OF FIRE HYDRANT WEST SIDE OF SITE. ELEV. 78.00'. TRANSPIRENT CORNER. 412 ALGONQUIN RD. ELEV. 71.12'.  
 NOTE:  
 EXISTING CONDITIONS ARE BASED FROM A TOPOGRAPHIC SURVEY. FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS BASIS FOR DESIGN OR CONSTRUCTION. SURVEY INFORMATION SHOWN IS BASED ON THE LATEST SURVEY RESULTS FROM THE OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BOY'S PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM OFFICIAL PLATS AND RECORDS.  
 LOCATION OF UNDERGROUND UTILITIES WHERE NOT SHOWN ON RECORDS NORMALLY CONSIDERED RELIABLE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF UTILITIES AS ASSUMED BY THE SURVEYOR.  
 FOR LOCATION OF BURIED CABLE CALL JULLILE 1-800-892-0123 BEFORE DIGGING.  
 LOCATIONS OF EXISTING UTILITY SERVICES CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.



- INDEX OF SHEETS**
- EXISTING CONDITIONS & DEMOLITION PLAN
  - PRELIMINARY SITE GRADING PLAN
  - PRELIMINARY UTILITY & SITE PLAN
  - TRUCK TURNING EXHIBIT
  - PHOTOMETRIC PLAN

**EARTHWORK / EROSION & SEDIMENTATION CONTROL**

- All construction activities that involve earthwork shall meet the National Pollutant Discharge Elimination Act (NPDES) permit requirements.
- Submission of a completed and signed Stormwater Pollution Prevention Plan (SWPPP) to EPA.
- Implementation of the SWPPP.
- Implementation of the SWPPP.
- Submission of an Incidence of Noncompliance (ION) if an even occurs.
- Weekly reports after 5:00 a.m. or 5:00 p.m.
- Submission of a Notice of Termination (NOT) when final stabilization is achieved.
- Any erosion mitigation shall begin prior to any grading work and shall be in accordance with the following:
- In order to protect and ensure against flooding, all top of foundations shall be set a minimum of one (1') foot above the high water level of adjacent stormwater management facilities such as retention/detention ponds.
- The retention/detention ponds shall maintain existing positive drainage from off-site at all times during construction.
- Within the limits of proposed grading the soil shall be compacted to not less than 95% of the maximum dry density of the soil to be placed.
- Underlayment shall be placed on all areas to be graded.
- Under structures, building slabs, steps and pavements. Compact six (6") inch maximum lifts of subgrade, backfill or fill material at 95% modified proctor dry density.
- Under lawn or ungraded areas. Compact six (6") inch maximum lifts of subgrade, backfill, or fill material at 95% modified proctor dry density.
- All erosion control work shall comply with Illinois Procedures and Standards for Urban Stormwater Management.
- Soil Erosion and Sedimentation Control.
- Stripping and application of mulch shall be completed prior to the start of grading work in areas where the approved drawings, mitigation and permit requirements.
- Tree canopy to be saved as shown on the plans or determined in the field.
- The extent of the area which is exposed and free of vegetation and the duration of exposure shall be kept within practical limits as specified by the Village Engineer.
- Soil erosion control measures shall be installed and maintained in accordance with the perimeter of all graded areas or as required to prevent sediment from entering and/or leaving the site.
- Dust produced from the site shall be kept to a minimum during dry periods of spraying water.
- All mud shall be removed from all tires before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- Large areas shall be kept clean and clear of obstruction during the construction period.
- Silt fences shall be inspected frequently and maintained or replaced as required to maintain effectiveness. Silt fences shall be installed and maintained in accordance with the approved drawings.
- Water courses and drainage swales adjacent to construction activities shall be monitored and maintained to prevent erosion and sedimentation.
- Soil all ungraded areas of pathways, right-of-ways and front yards to rear wall of building shall be protected with silt fences.
- The contractor shall install temporary orange fence around all trees to remain and wetland areas to be protected.

**DEMOLITION NOTES**

- INSTALL TEMPORARY TREE PROTECTION FENCING PER VILLAGE STANDARD SPECIFICATIONS PRIOR TO ANY DEMOLITION WORK.
- INSTALL TEMPORARY 6' HIGH CHAIN LINK FENCE AROUND THE PROPOSED WORK AREA.
- INSTALL TEMPORARY 6' HIGH CHAIN LINK FENCE AROUND EXISTING UTILITIES.
- APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES.
- FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS, ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ANY OPEN EXCAVATIONS OR POTENTIAL HAZARDOUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY.
- SAFETY GUARDS SHALL BE MAINTAINED AND APPLICABLE LOCAL SAFETY PRECAUTIONS TO BE OBSERVED AT ALL POTENTIALLY HAZARDOUS SITES/WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF EXCESSIVE DEBRIS OF ALL TYPES.
- ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED IMMEDIATELY.
- DO NOT CREATE DUST OR OTHER NUISANCE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION.
- NO UNNECESSARY SOILS SHALL BE MOVED ON THE FENCING IN CONSPICUOUS LOCATIONS UNTIL THE SOILS ARE REPAIRED TO ORIGINAL CONDITION.
- TO ALLOW INGRESS AND EGRESS TO AND FROM SITE, SUCH GATE MUST BE LOOKED AT ALL TIMES.
- EXISTING GREASE TRAP ON EAST SIDE OF BUILDING MUST BE CLEARED PRIOR TO ANY DEMOLITION.

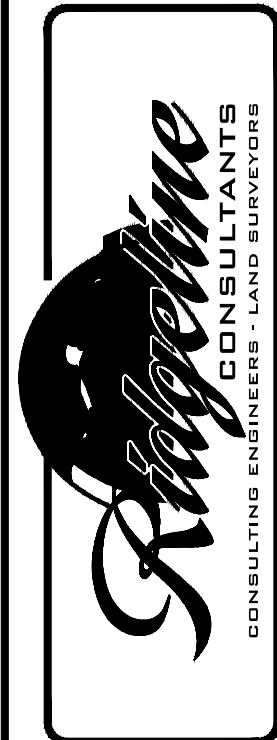


CALL BEFORE YOU DIG  
 800-892-0123

REVISION	DATE	DESC	BOOK	DWG. SIZE
1	08/09/17	PER VILLAGE REVIEW COMMENTS (REV)	DRAWN: PS	CHECKED: JGL

PROJECT NO. 2017-0224

**Ridgeline Consultants LLC**  
 1681 Avoca Road, Montgomery, IL 60538  
 PH: 630.817.7927 FAX: 630.701.1385  
 George H. Skulnik P.L.S. 2680 Expiration Date 11/03/2012  
 Stacy L. Stewart P.L.S. 3415 Expiration Date 11/03/2012



PREPARED FOR: **IVY HOTEL**  
 519 W Algonquin Road  
 Arlington Heights, IL 60005

SHEET 1 OF 5

# Preliminary Grading Plan

SITE IMPROVEMENT		Existing	Proposed
Project Area	111,593 Sq. Ft.	2,571 Acres	
Building	20,404 Sq. Ft.	0.468 Acres	23,310 Sq. Ft. 0.539 Acres
Pavement (Concrete Curb & Gutter, Asphalt Pavement and Concrete Pavement)	71,282 Sq. Ft.	1.636 Acres	71,349 Sq. Ft. 1.638 Acres
Total Impervious Area	91,686 Sq. Ft.	2.105 Acres	94,659 Sq. Ft. 2.173 Acres
Total Pervious Area	20,307 Sq. Ft.	0.466 Acres	17,334 Sq. Ft. 0.398 Acres
Net Increase in Impervious Area			2,973 Sq. Ft. 0.068 Acres

AREA OF DISTURBANCE: 15,950.6 SQ. FT. OR 0.366 ACRES

- NO WATERSHED MANAGEMENT PERMIT IS REQUIRED AS DISTURBANCE IS LESS THAN 0.5 ACRES.  
 - PERMITS FOR WATERSHED MANAGEMENT OR DRAINAGE OF MWPD, HOWEVER, REQUIRED DETENTION IS EVALUATED UNDER THE PROPOSED CONDITIONS AGAINST THE DETENTION PROVIDED UNDER MWPD PERMIT NO. 00-512. IT IS DETERMINED THAT NO ADDITIONAL DETENTION IS REQUIRED USING VOA'S DETENTION CALCULATION.  
 - COLD MILL AND OVERLAY 2" BITUMINOUS SURFACE COURSE WITHIN EXISTING PARKING LOT.  
 NO GRADING WILL BE CHANGED.

**W. ALGONQUIN ROAD**  
 100' R.O.W. VARIES HERE TO FUTURE DEDICATED AS  
 FOR PUBLIC ROAD PURPOSES AS

20' PRIVATE ROAD

PROPOSED 12-STORY BUILDING  
 (IVY HOTEL)  
 #519  
 FFE 718.15

EXISTING 7-STORY BRICK STUCCO BUILDING  
 NO. 519



North

Scale 1" = 20'



FULL DEPTH CLEAN SAWCUT  
 EXISTING PAVEMENT AND REPLACE  
 WITH NEW PAVEMENT TO MEET  
 ALL PER VILLAGE STANDARD  
 SPECIFICATIONS & REQUIREMENTS

REMOVE ALL EXISTING CURBS AND  
 VILLAGE STANDARD SPECIFICATIONS  
 & REQUIREMENTS

EXISTING LINE STONE  
 WALL TO BE REMOVED

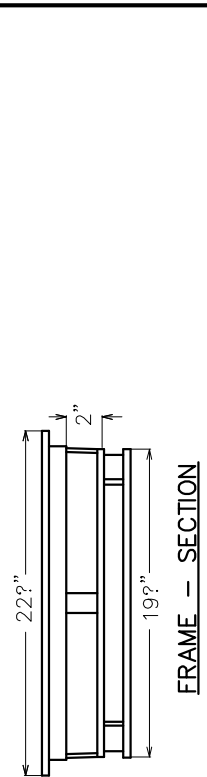
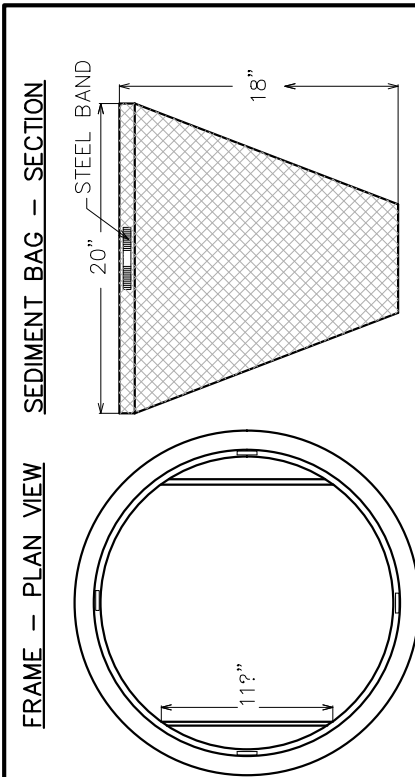
EXISTING LINE STONE  
 WALL TO BE REMOVED

REMOVE EXISTING PAVEMENT,  
 PROVIDE NEW CURB & GUTTER  
 TO MEET ALL PER VILLAGE  
 STANDARD SPECIFICATIONS

REFER TO ARCHITECT PLANS FOR  
 PROPOSED COURT YARD AND  
 LANDSCAPE AREA

SITE BENCHMARK  
 ELEV. 716.07

SAWTOOTH MANHOLE  
 INV. 5 (12'00) 702.54  
 INV. 4 (11'00) 702.54



GENERAL NOTES:  
 FRAME TOP FLANGE FABRICATED FROM 1/2" X 1/4" X 1/8" ANGLE BASE RW FABRICATED FROM 1/2" X 1/4" X 1/8" CHANNEL HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1/2" X 1/4" X 1/8" FLAT STOCK. ALL STEEL CONFORMING TO ASTM-A36.  
 SEDIMENT BAG BAG FABRICATED FROM 4 OZ/ SQ YD NON-WOVEN POLYPROPYLENE WITH 100% POLYPROPYLENE FIBER. BAG SHOULD BE MADE WITH A STAINLESS STEEL STRAP AND LOCK.  
 FILTER FOR OTHER SHAPE GRATES SHALL BE APPROVED IN ADVANCE OF PLACEMENT BY VILLAGE ENGINEERING.

NOT TO SCALE  
**FILTER FOR ROUND  
 OPEN  
 GRATE & FRAME DETAIL**



CALL BEFORE  
 YOU DIG  
 800-892-0123

373.15  
 373.15

250.00'

522.89'

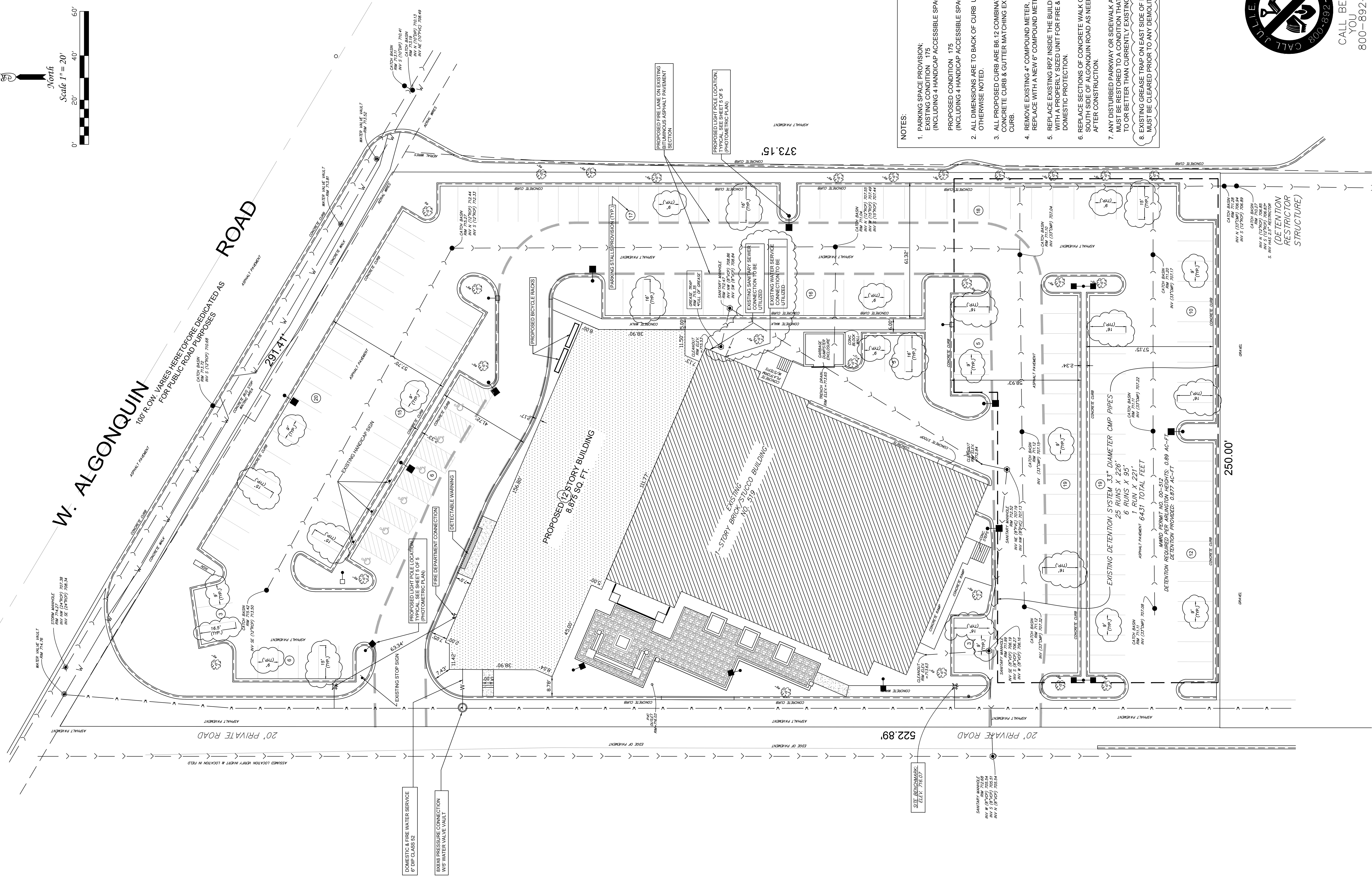
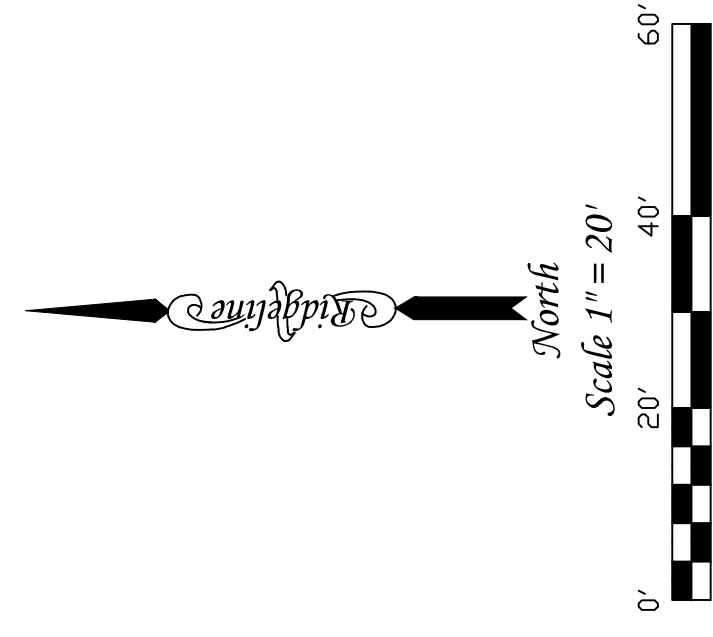
522.89'

291.41

EXISTING DETENTION SYSTEM 33" DIAMETER CMP PIPES  
 25 RUNS X 226'  
 6 RUNS X 95'  
 1 RUN X 221'  
 TOTAL FEET

MWPD PERMIT NO. 00-519  
 DETENTION REQUIRED PER ARLINGTON HEIGHTS: 0.89 AC-FT  
 DETENTION PROVIDED: 0.877 AC-FT

# Preliminary Utility & Site Plan

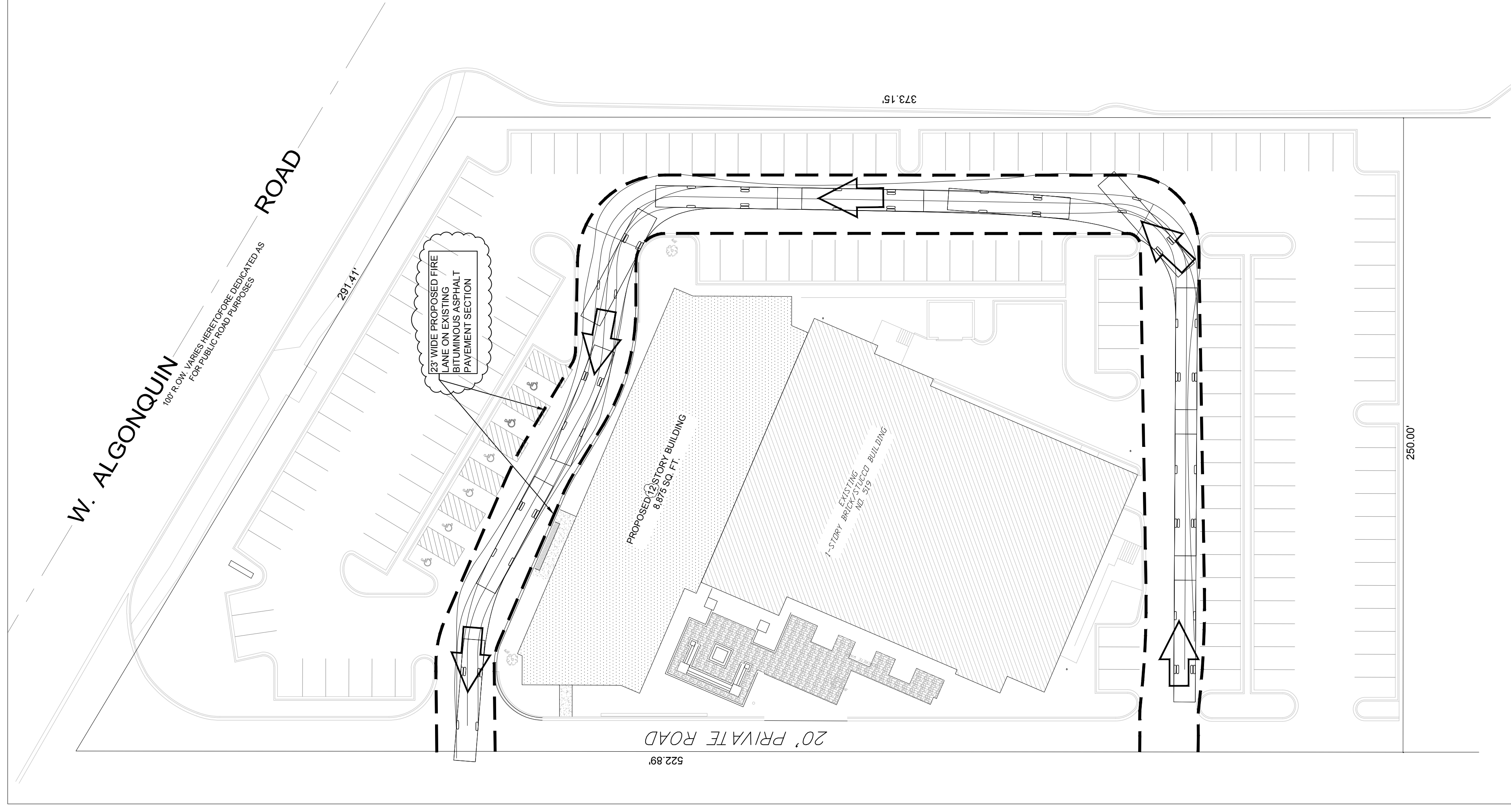
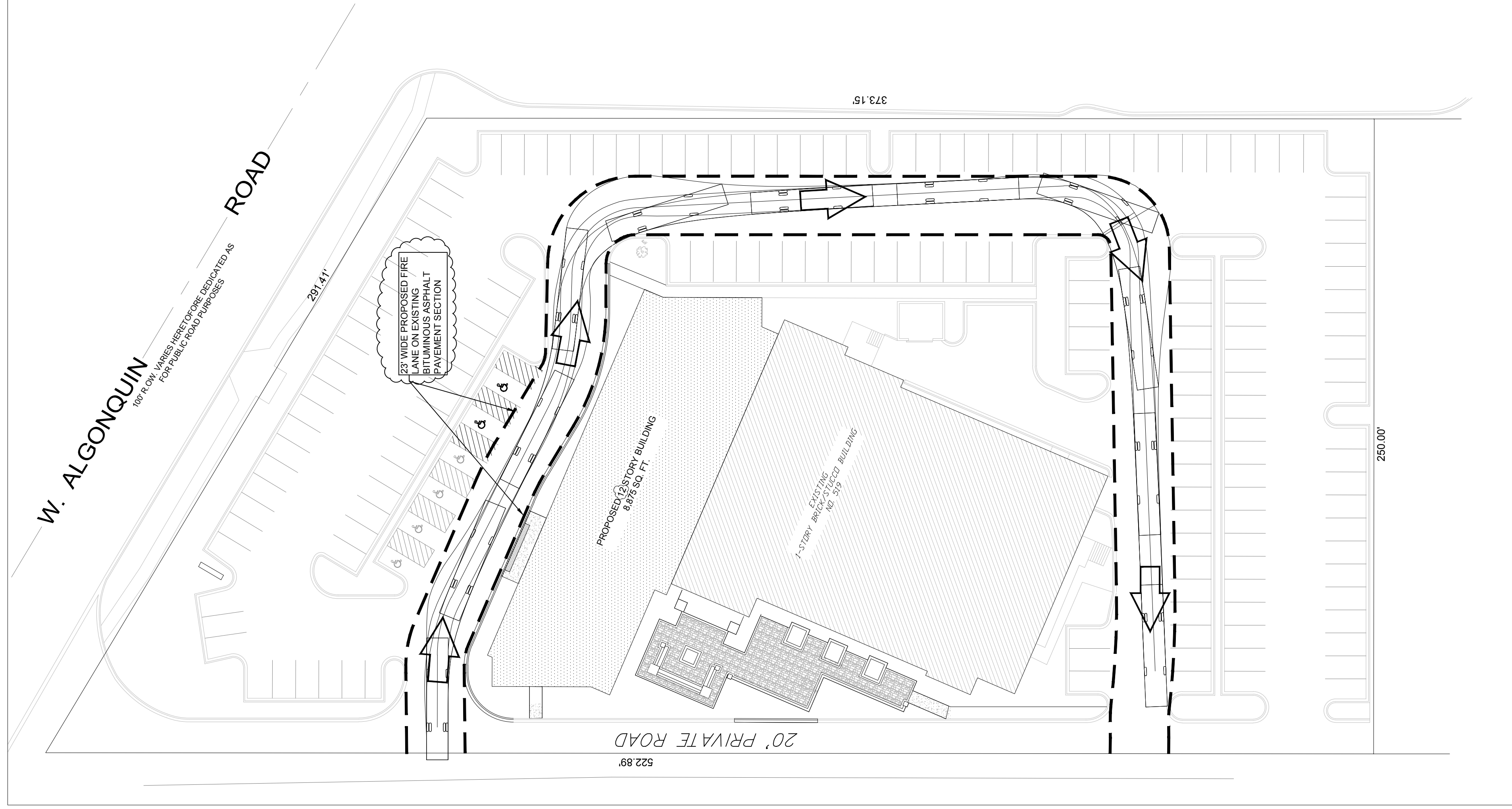
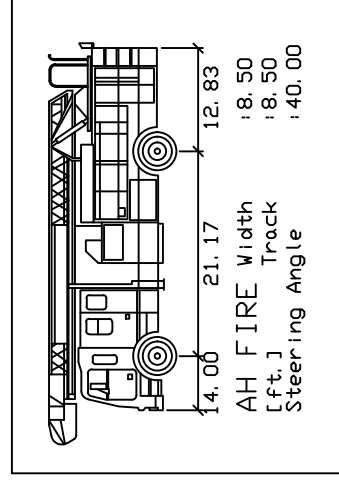
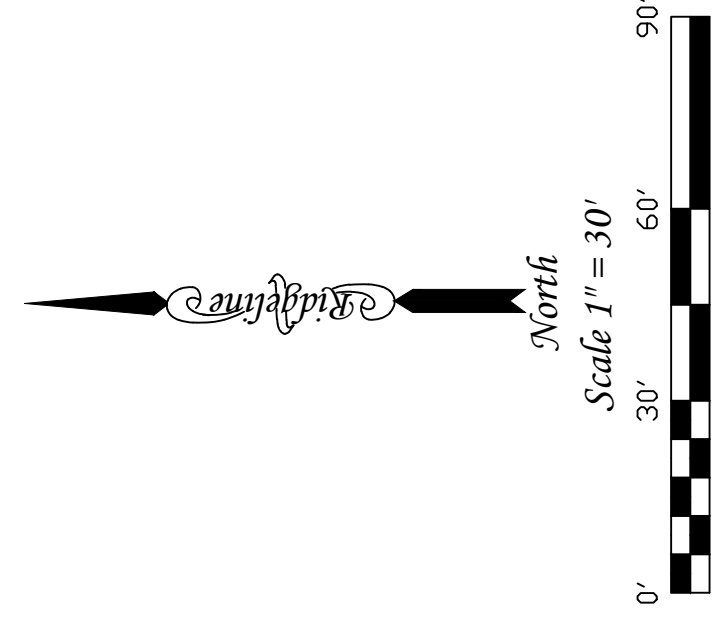


- NOTES:**
1. PARKING SPACE PROVISION, EXISTING CONDITION - 175 (INCLUDING 4 HANDICAP ACCESSIBLE SPACES)
  2. PROPOSED CONDITION - 175 (INCLUDING 4 HANDICAP ACCESSIBLE SPACES)
  3. ALL PROPOSED CURB ARE 86.12 COMBINATION CONCRETE CURB & GUTTER MATCHING EXISTING CURB.
  4. REMOVE EXISTING 4" COMPOUND METER. REPLACE WITH A NEW 6" COMPOUND METER.
  5. REPLACE EXISTING RPZ INSIDE THE BUILDING WITH A PROPERLY SIZED UNIT FOR FIRE & DOMESTIC PROTECTION.
  6. REPLACE SECTIONS OF CONCRETE WALK ON THE SOUTH SIDE OF ALGONQUIN ROAD AS NEEDED AFTER CONSTRUCTION.
  7. ANY DISTURBED PARKWAY OR SIDEWALK AREAS MUST BE RESTORED TO A CONDITION THAT IS EQUAL TO OR BETTER THAN CURRENTLY EXISTING.
  8. EXISTING GREASE TRAP ON EAST SIDE OF BUILDING MUST BE CLEARED PRIOR TO ANY DEMOLITION.



CALL BEFORE YOU DIG  
800-892-0123

# Truck Turning Exhibit



NOTE:  
 NO OVERHEAD UTILITY OR POWER LINES  
 ARE TO BE LOCATED WITHIN THE  
 PROPOSED FIRE LANE SHOWN HEREON.

