

KINGSLEY + GINNODO ARCHITECTS
 33 N Hickory Ave, Arlington Heights, IL 60004
 Professional Design Firm - Architect
 Sole Proprietor - Exp: 4.30.17 # 184.005449



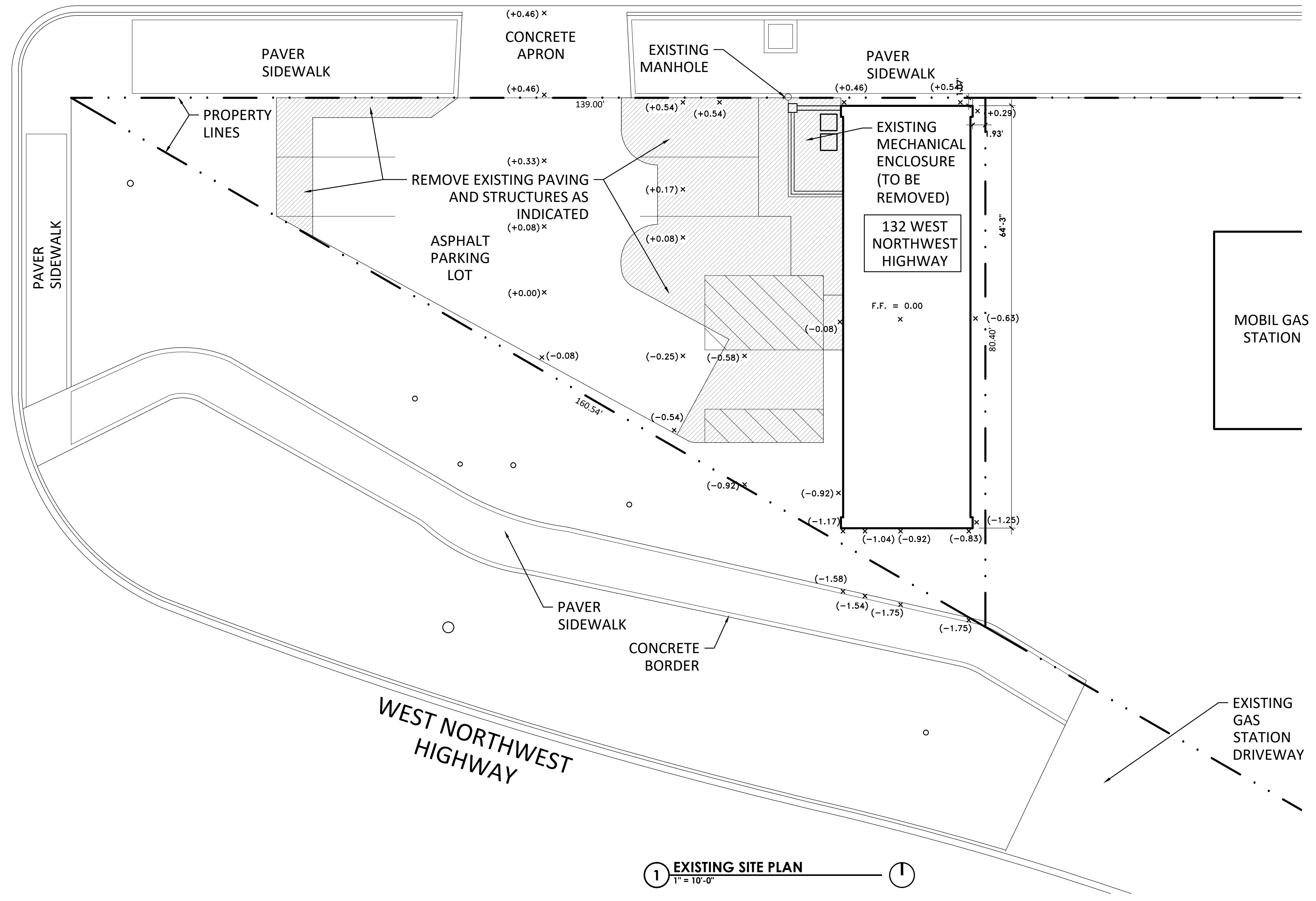
DRAWING LIST

- T100 TITLE SHEET AND EXT'G SITE PLAN
- T101 PLAT OF SURVEY
- T102 SITE PLAN
- EX100 EXISTING PLANS AND ELEVATIONS
- A100 FIRST AND SECOND FLOOR PLAN
- A101 ROOF PLAN
- A200 NORTH AND SOUTH ELEVATIONS
- A201 EAST AND WEST ELEVATIONS
- A202 CONTEXT ELEVATIONS
- A203 RENDERINGS
- E100 ELECTRICAL PLANS
- LANDSCAPE PLAN

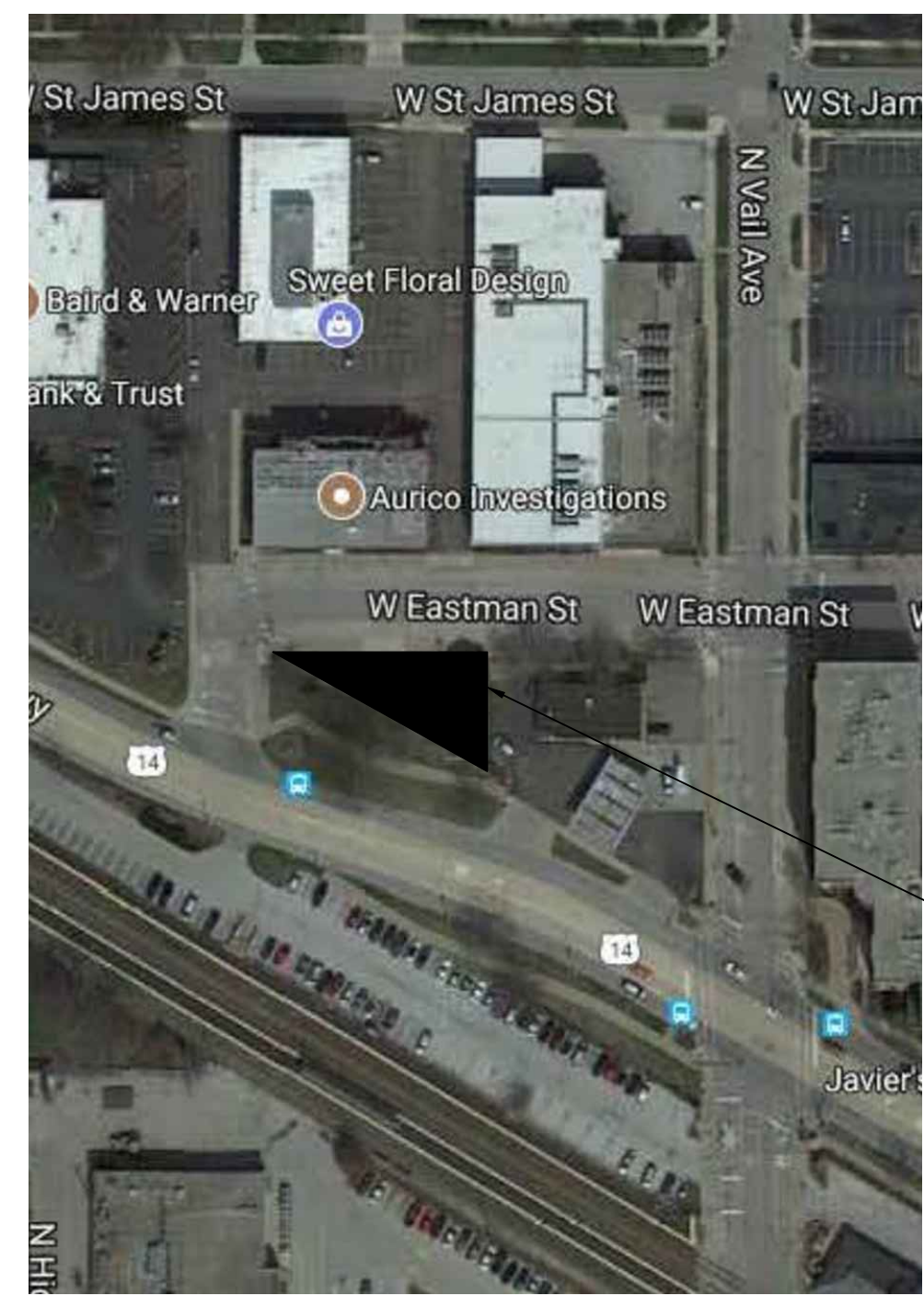
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WEST EASTMAN STREET

HIGHLAND AVENUE



1 EXISTING SITE PLAN
 1" = 10'-0"



2 LOCATION PLAN

MICHAEL & ELLEN PARA
 132 W NORTHWEST HWY
 ARLINGTON HTS, IL 60004

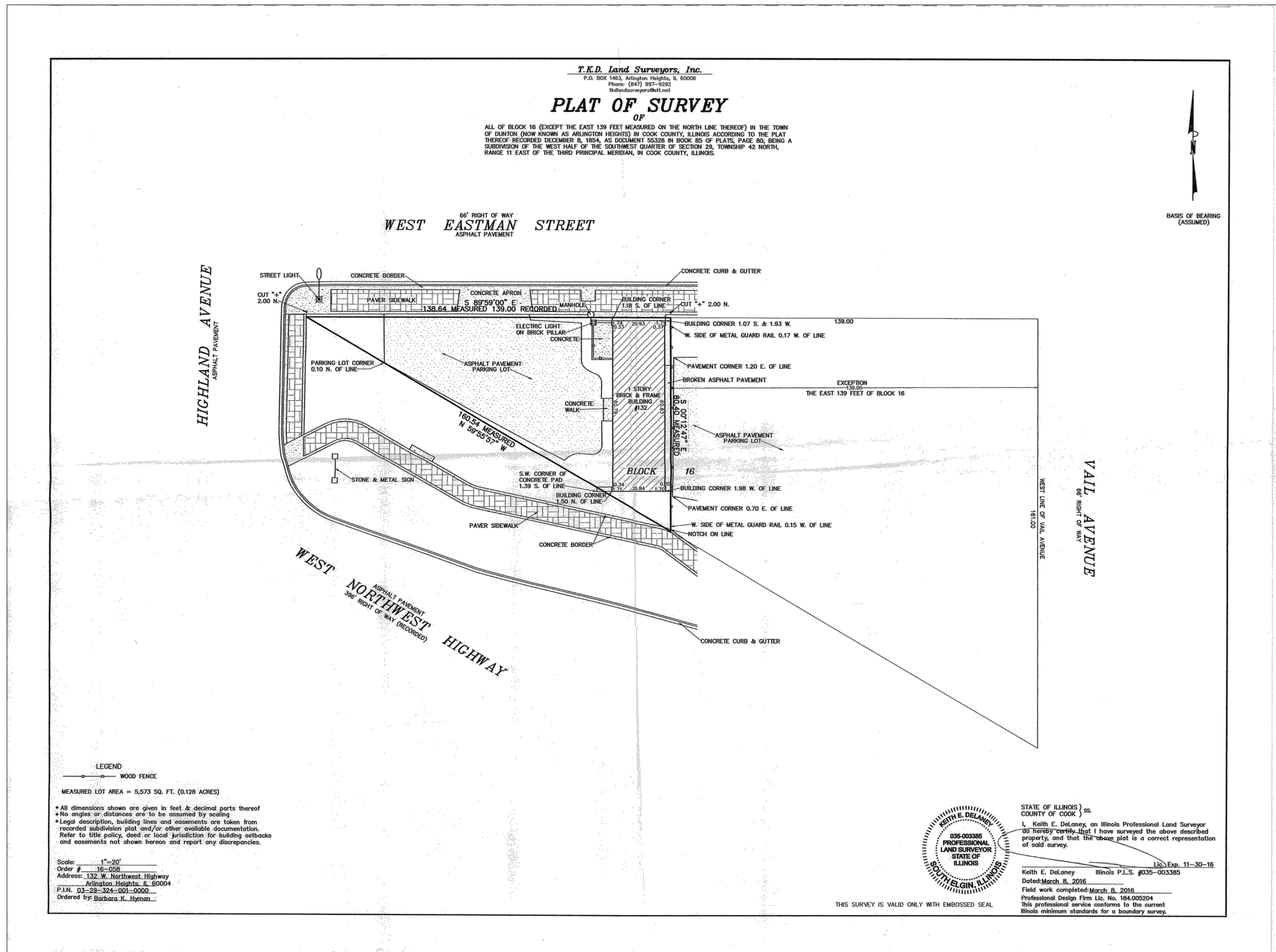
**PARA LIVE/WORK
 MIXED USE - PRIVATE**

no.	revision	init.	date
	CD PROGRESS		02/14/18
	ROUND 1 COMMENTS		1/12/18
	PARKING ALTERATIONS		2/27/18

TITLE SHEET AND SITE PLAN

date	drawn by	checked by
Job No.	PARA	
Sheet No.	T100	

DO NOT SCALE DRAWINGS - SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.



T.K.D. Land Surveyors, Inc.
 P.O. BOX 1483, Arlington Heights, IL 60006
 Phone: (847) 397-9292
 tkdlandsurveyors@aol.net

PLAT OF SURVEY
 OF

ALL OF BLOCK 16 (EXCEPT THE EAST 139 FEET MEASURED ON THE NORTH LINE THEREOF) IN THE TOWN OF DUNTON (NOW KNOWN AS ARLINGTON HEIGHTS) IN COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 8, 1954, AS DOCUMENT 55328 IN BOOK 89 OF PLATS, PAGE 80, BEING A SUBDIVISION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LEGEND
 ○ — ○ WOOD FENCE

MEASURED LOT AREA = 5,573 SQ. FT. (0.128 ACRES)

* All dimensions shown are given in feet & decimal parts thereof
 * No angles or distances are to be assumed by scaling
 * Legal description, building lines and easements are taken from recorded subdivision plat and/or other available documentation. Refer to title policy, deed or local jurisdiction for building setbacks and easements not shown hereon and report any discrepancies.

Scale: 1" = 20'
 Order # 16-058
 Address: 132 W. Northwest Highway
 Arlington Heights, IL 60004
 P.I.N. 03-29-324-001-0000
 Ordered by: Barbara K. Hyman



STATE OF ILLINOIS) ss.
 COUNTY OF COOK)
 I, Keith E. Delaney, an Illinois Professional Land Surveyor do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey.

Keith E. Delaney Illinois P.L.S. #035-003385
 Dated: March 8, 2016 Lic. Exp. 11-30-16
 Field work completed: March 8, 2016
 Professional Design Firm Lic. No. 184.005204
 This professional service conforms to the current Illinois minimum standards for a boundary survey.

THIS SURVEY IS VALID ONLY WITH EMBOSSED SEAL.



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PLAT OF SURVEY

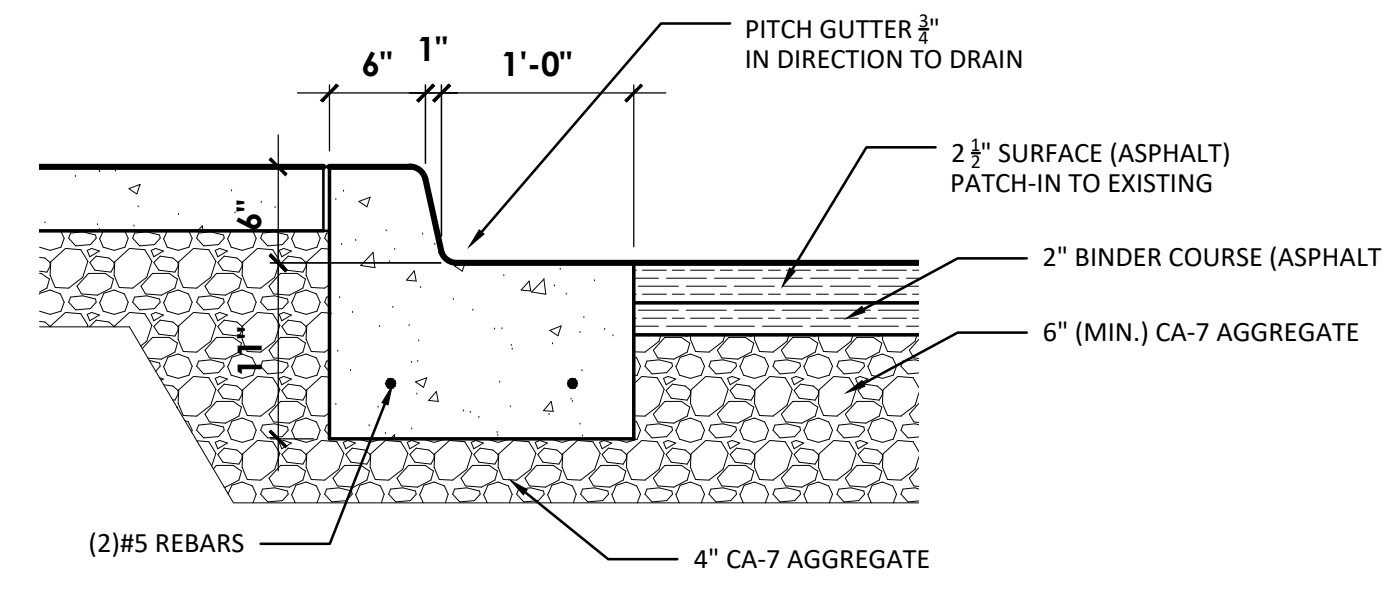
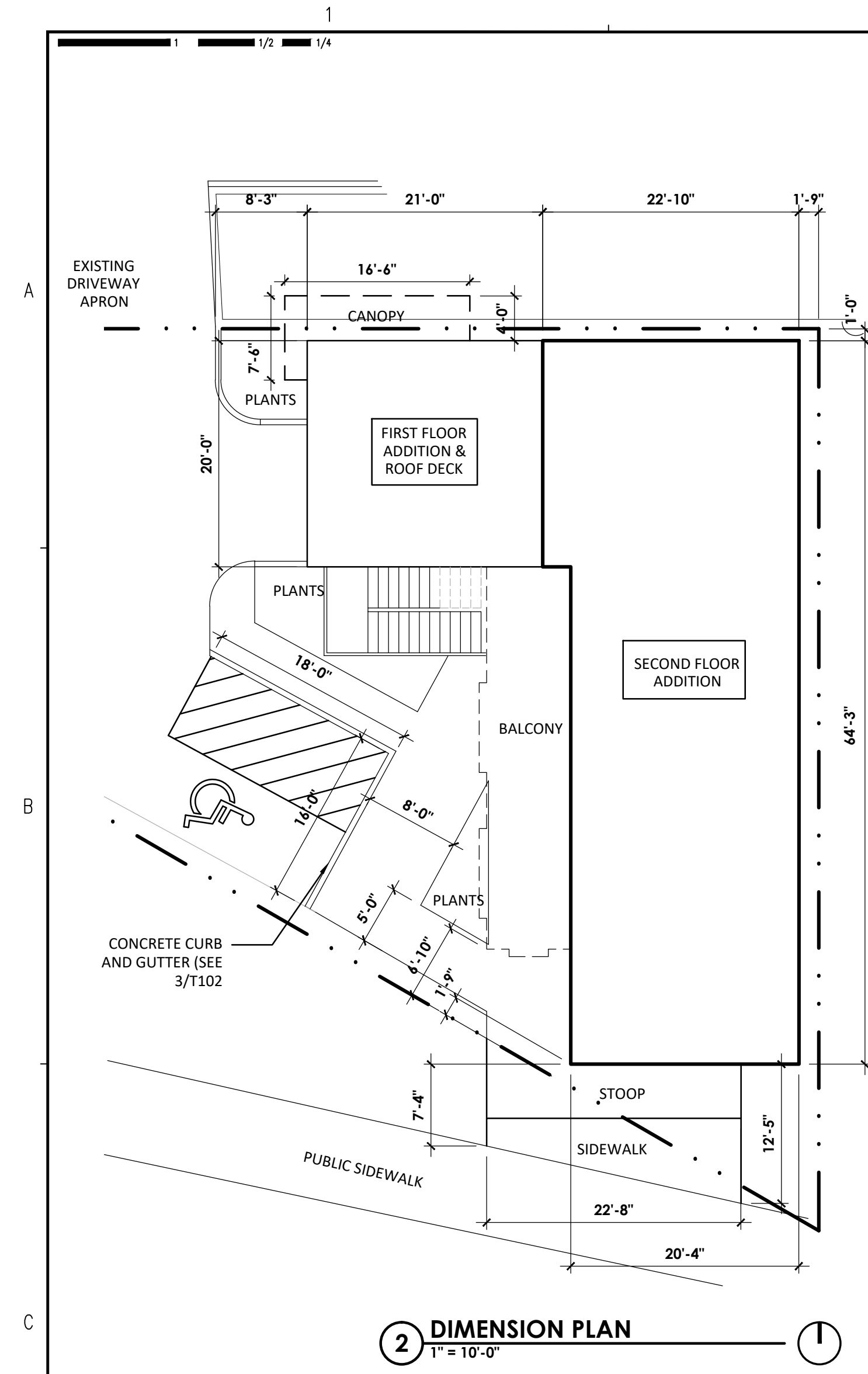
no.	revision	init.	date
	DESIGN + PLAN COMMISSION		12/11/17

date	drawn by	checked by

Job No. **PARA**

Sheet No. **T101**

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ZONING DATA

	B-5 District Code Required	Proposed
Minimum Lot Size	300 s.f.	5,580.85 s.f. (existing)
Setbacks		
North (side)	0'	1.07'
South (side)	0'	1.75'
East (rear)	30'	1.75'
West (front)	0'	95.083'
F.A.R.	None	3,084.14 s.f.
Building Lot Coverage	None	30.86%
Impervious Surface Coverage	None	84.19%
Building Height	None	27.75'
Off-street Parking Spaces	2	4

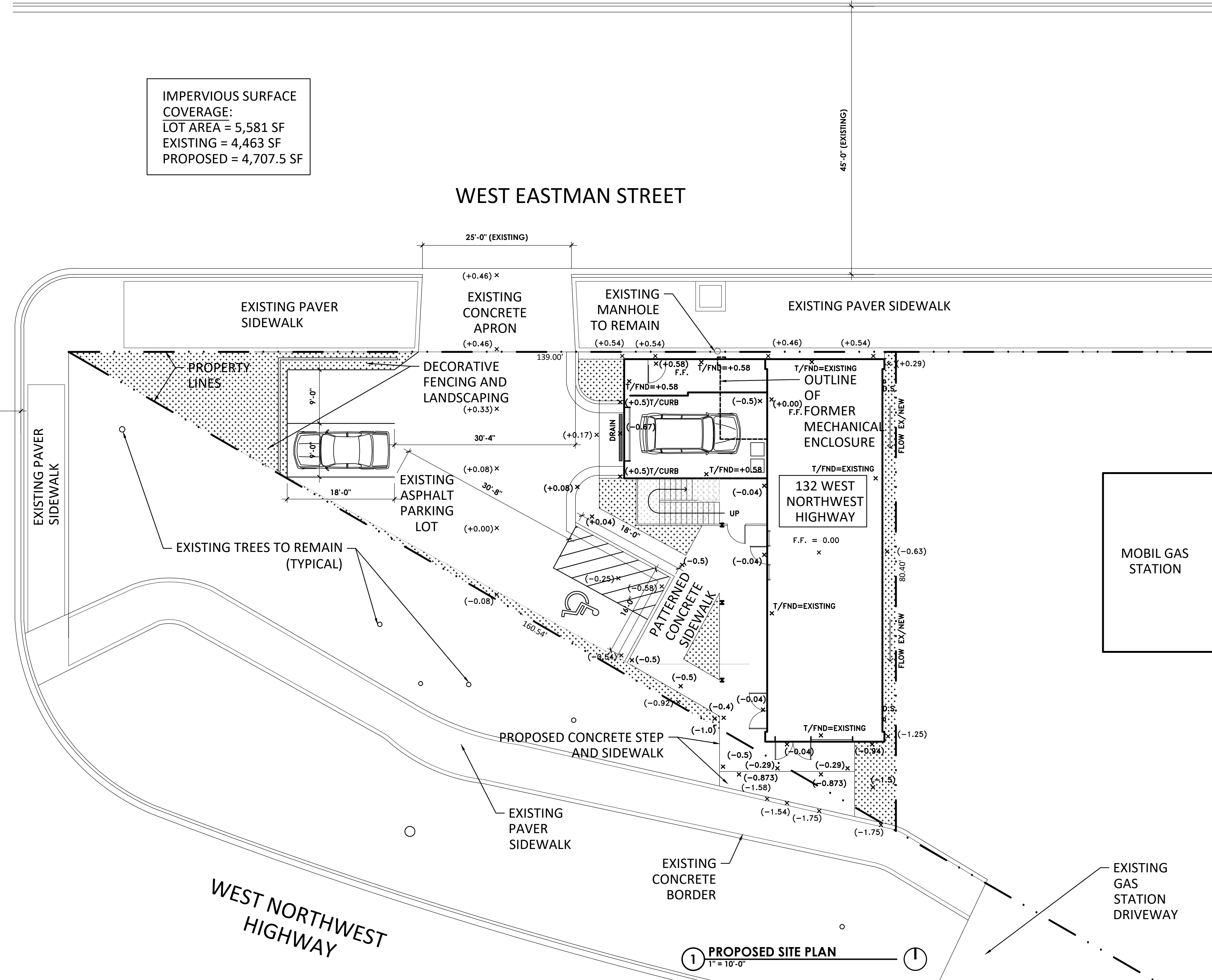
INTERIOR SQUARE FOOT AREAS

FIRST FLOOR:
RETAIL: 440 SF
OFFICE: 132
RETAIL SHARED COMMON SPACE: 126 SF
OFFICE SHARED COMMON SPACE: 118 SF
MECHANICAL/STORAGE: 200 SF
SINGLE FAMILY ENTRY/GARAGE: 360

SECOND FLOOR:
ONE BEDROOM SINGLE FAMILY: 1158 SF
BALCONY: 676 SF

4 PARKING SPACES
1 - SINGLE FAMILY
3 - RETAIL (INCLUDING 1 HANDICAPPED)

IMPERVIOUS SURFACE COVERAGE:
LOT AREA = 5,581 SF
EXISTING = 4,463 SF
PROPOSED = 4,707.5 SF



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DESIGN	+ PLAN COMMISSION		12/15/17
ROUND 1	COMMENTS		1/12/18
PARKING	REVISION		2/21/18

SITE/ENGINEERING PLAN

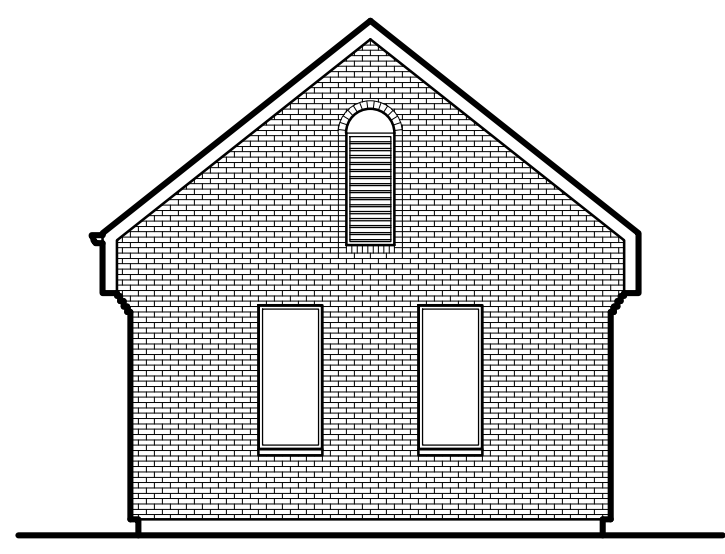
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Job No. **PARA**
Sheet No. **T102**

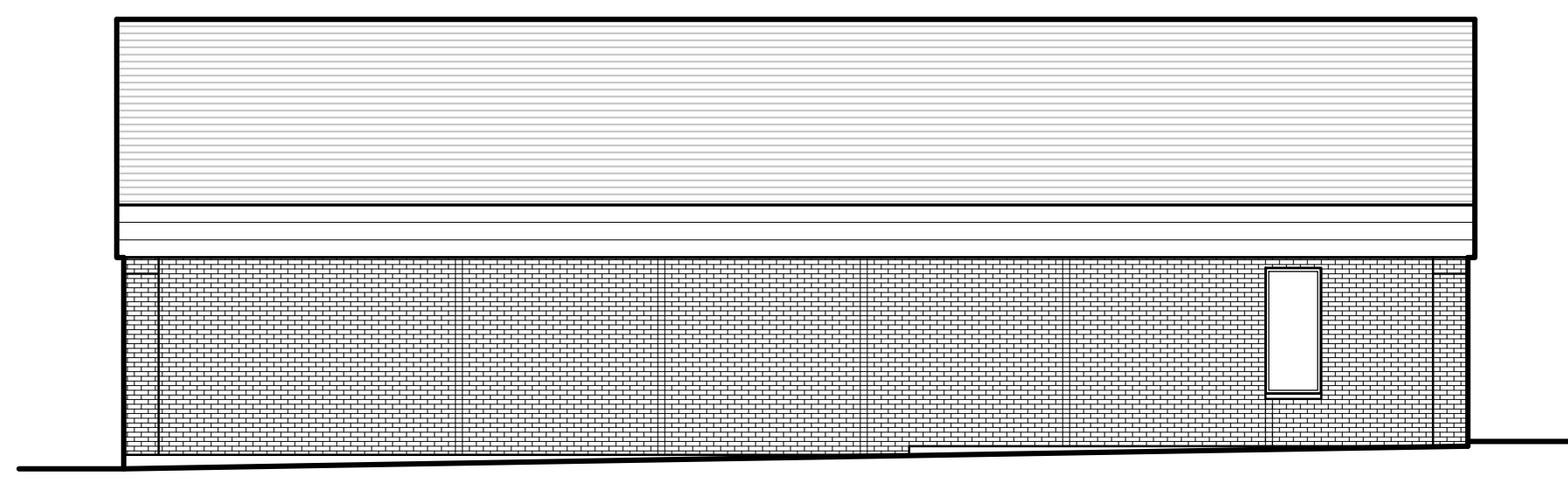
DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.



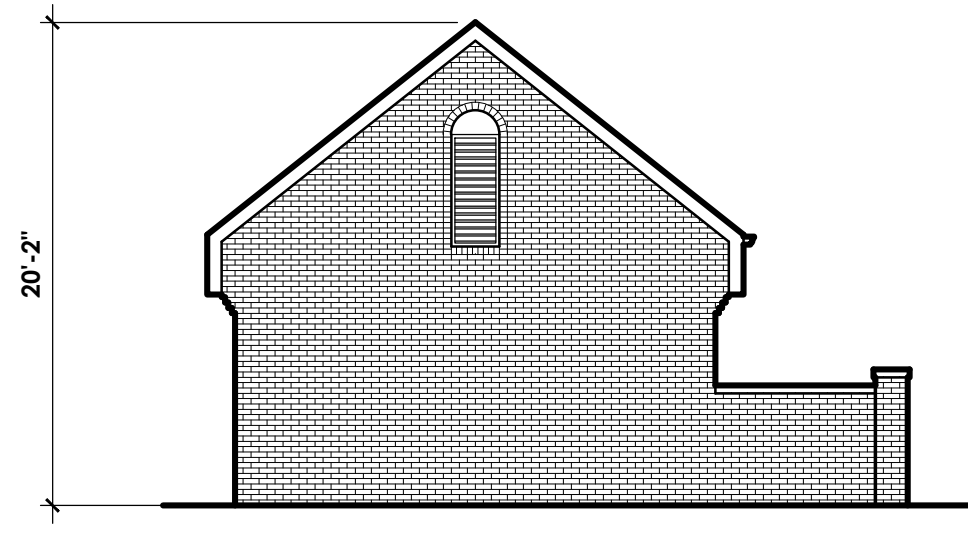
8 EXISTING WEST ELEVATION
1/8" = 1'-0"



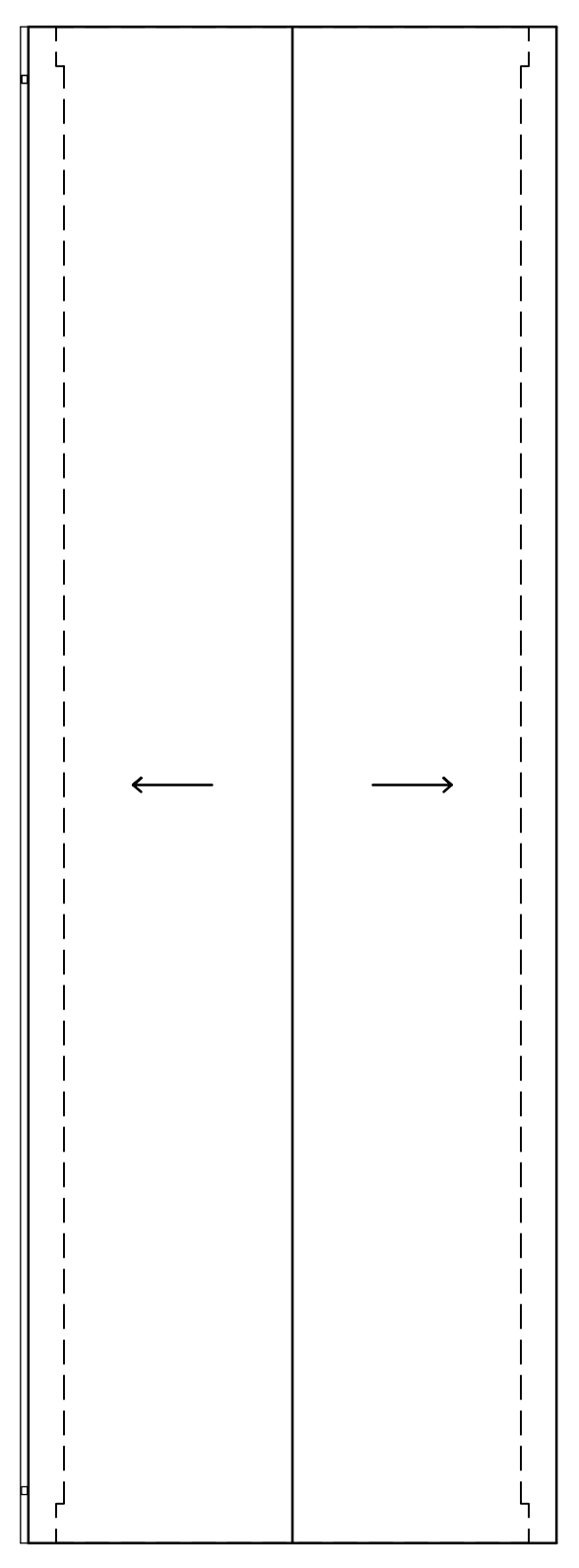
6 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



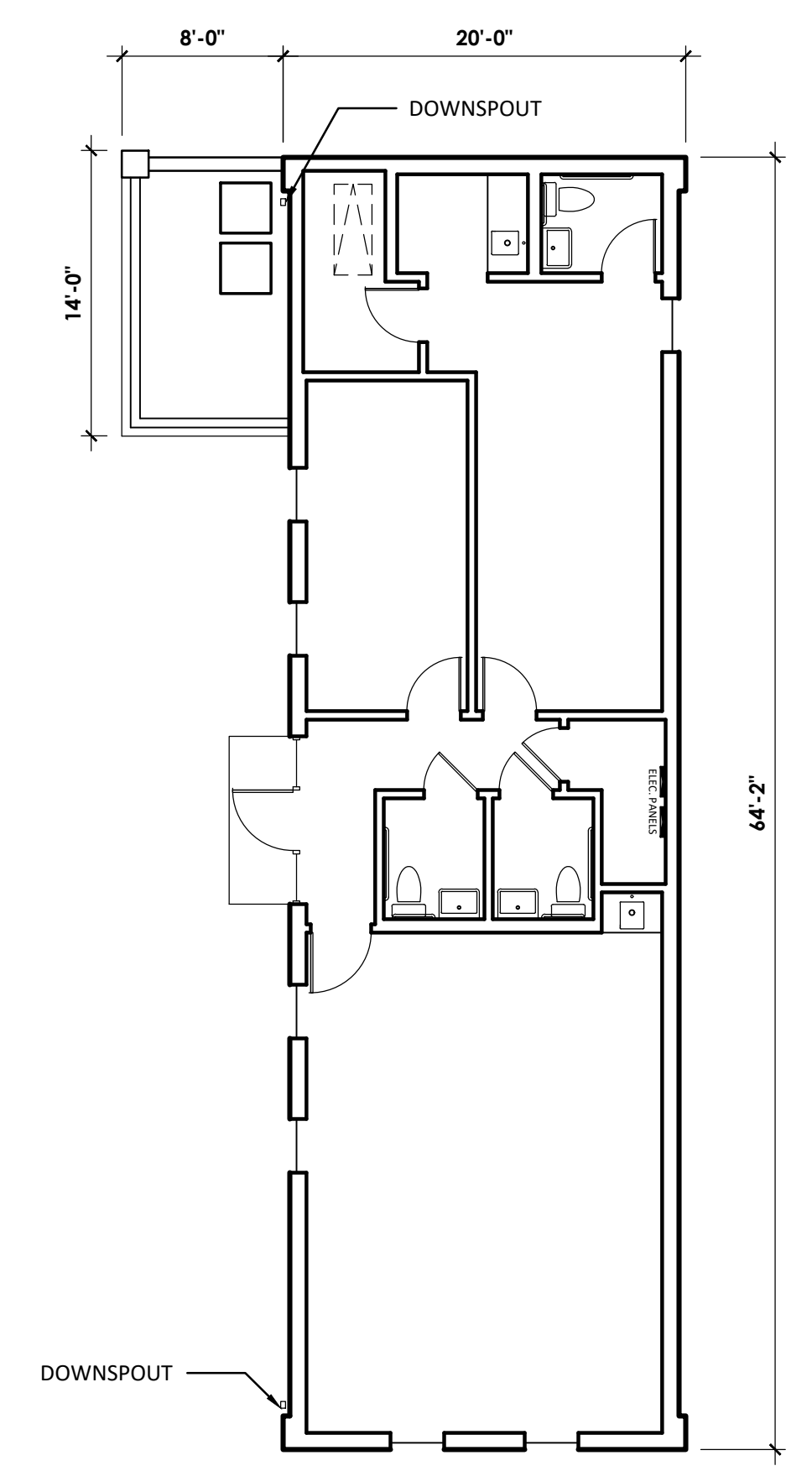
7 EXISTING EAST ELEVATION
1/8" = 1'-0"



5 EXISTING NORTH ELEVATION
1/8" = 1'-0"



4 EXISTING ROOF PLAN
1/8" = 1'-0"



3 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



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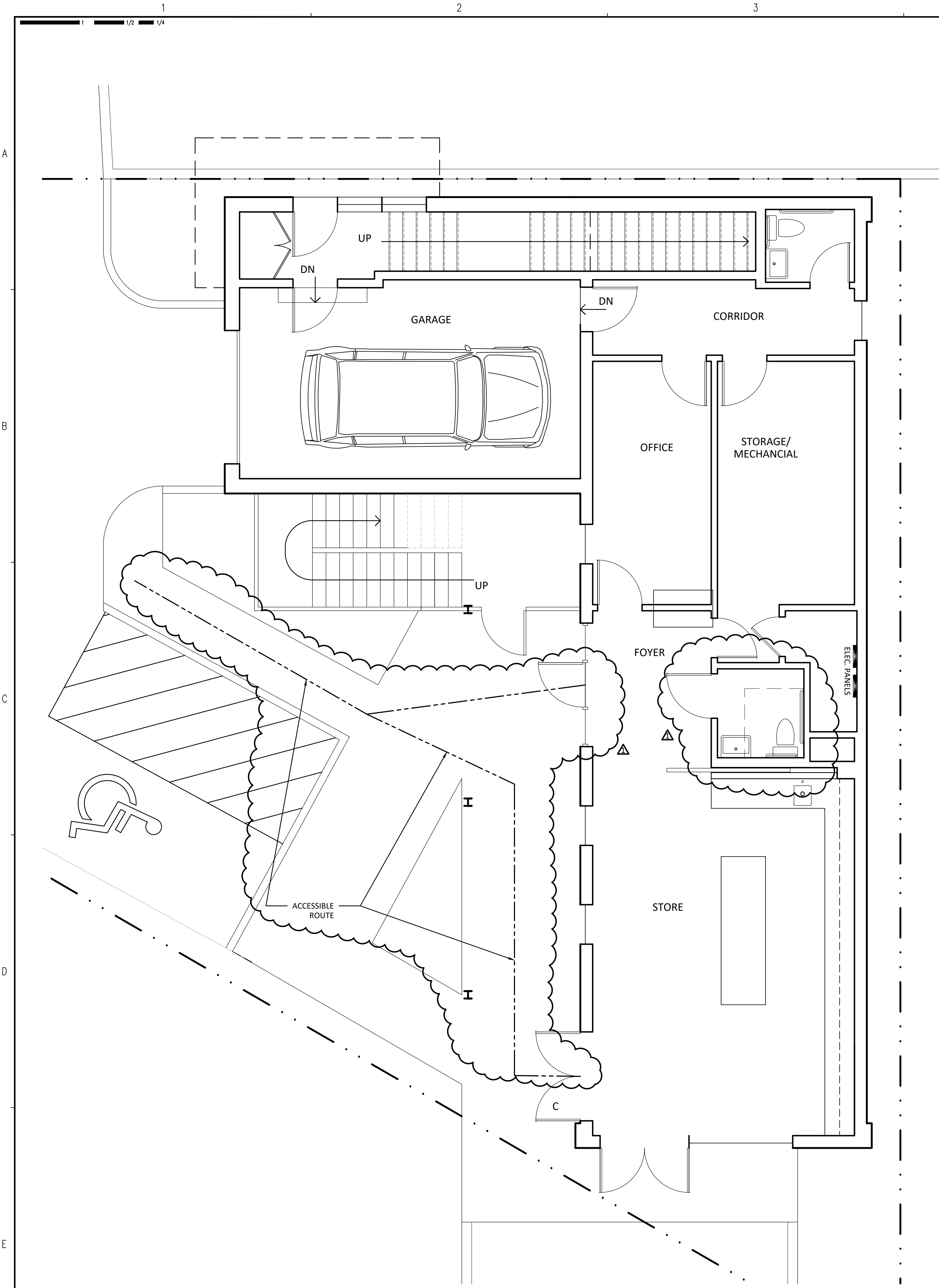
**EXISTING FLOOR
PLANS AND
ELEVATIONS AND
CONTEXT
ELEVATIONS**

date	drawn by	checked by

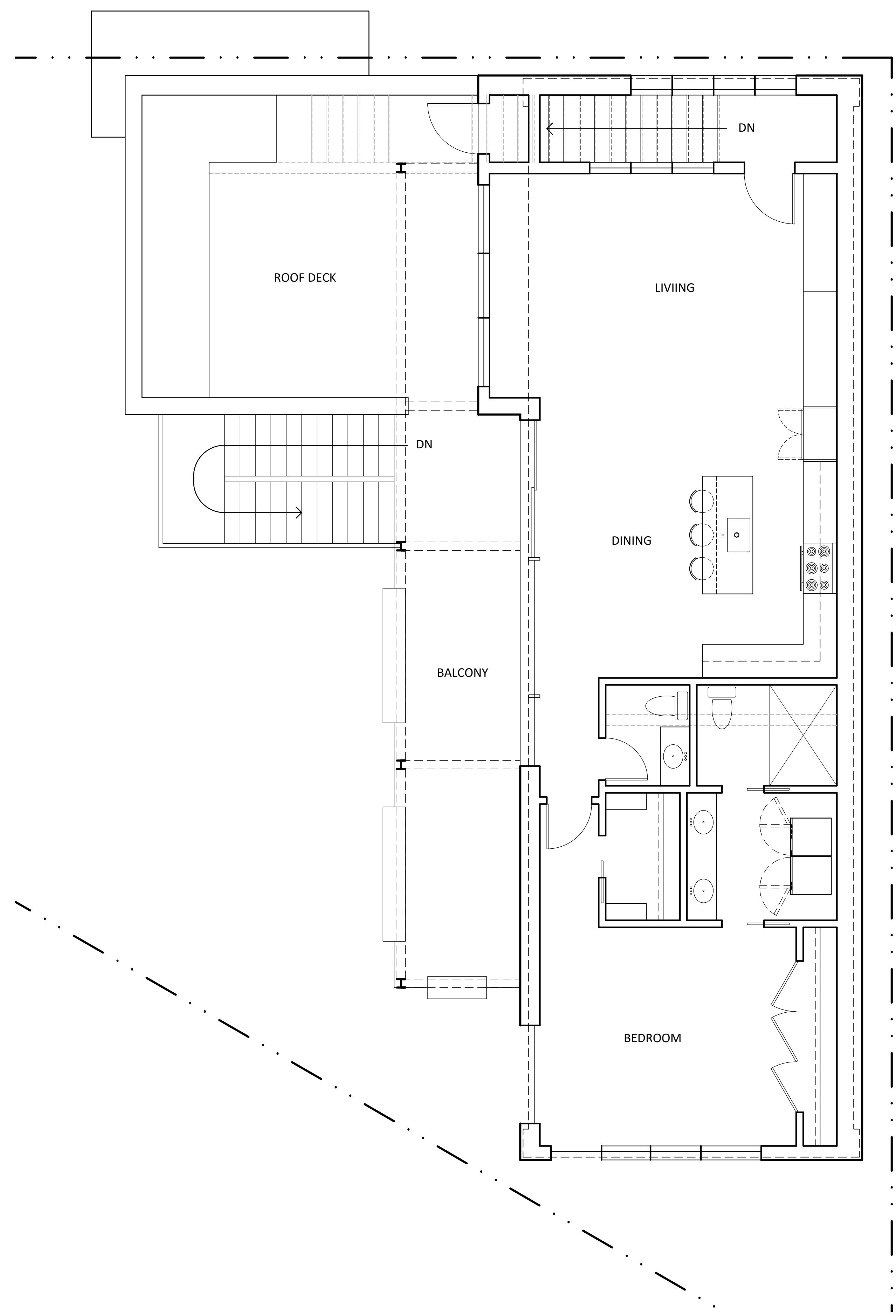
Job No. **PARA**

Sheet No. **EX100**

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.



1 FIRST FLOOR PLAN
1/4" = 1'-0"



1 SECOND FLOOR PLAN
1/4" = 1'-0"



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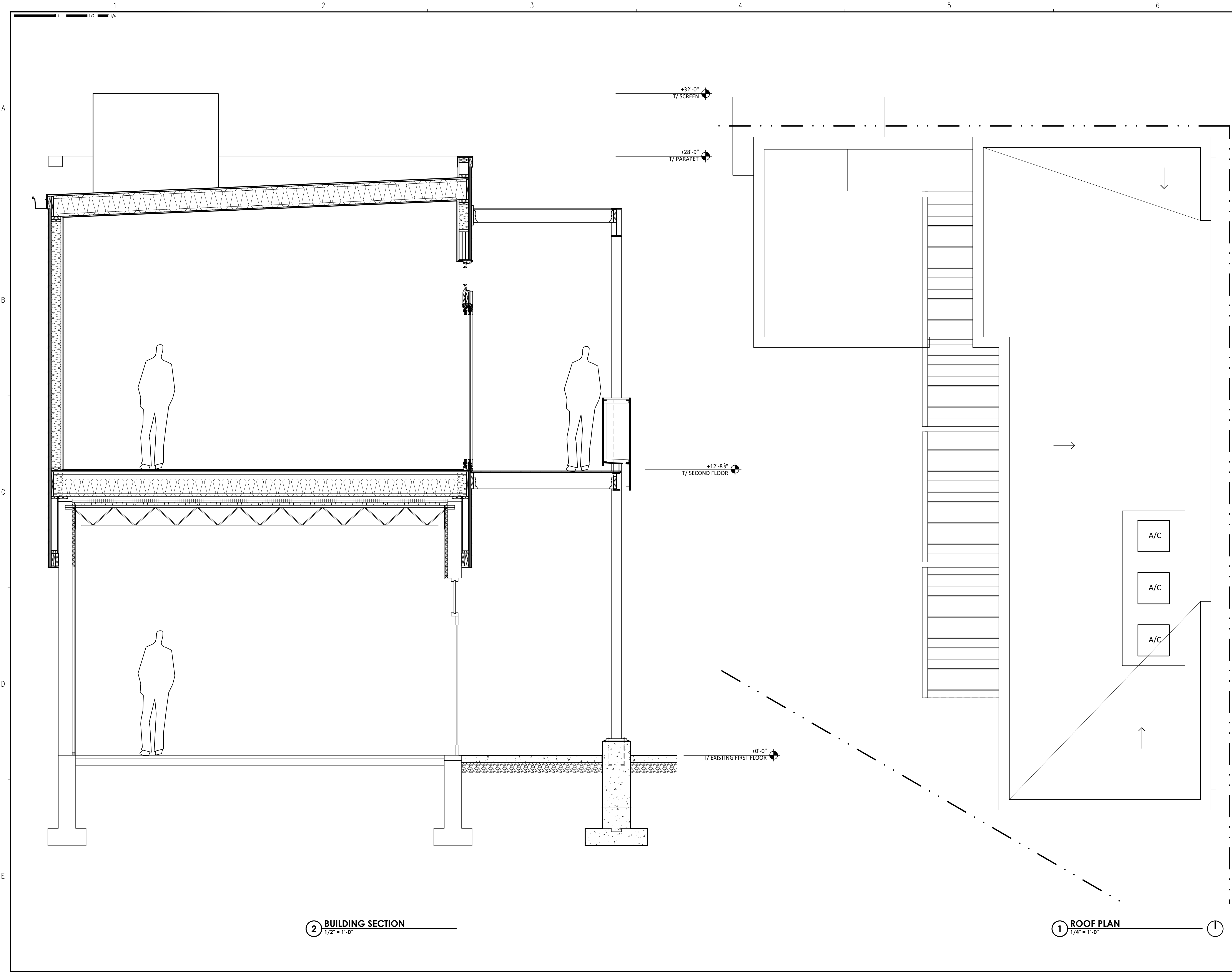
**FIRST AND SECOND
FLOOR PLANS**

date drawn by checked by

Job No. **PARA**

Sheet No. **A100**

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2 BUILDING SECTION
1/2" = 1'-0"

1 ROOF PLAN
1/4" = 1'-0"



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**FIRST AND SECOND
FLOOR PLANS**

date	drawn by	checked by

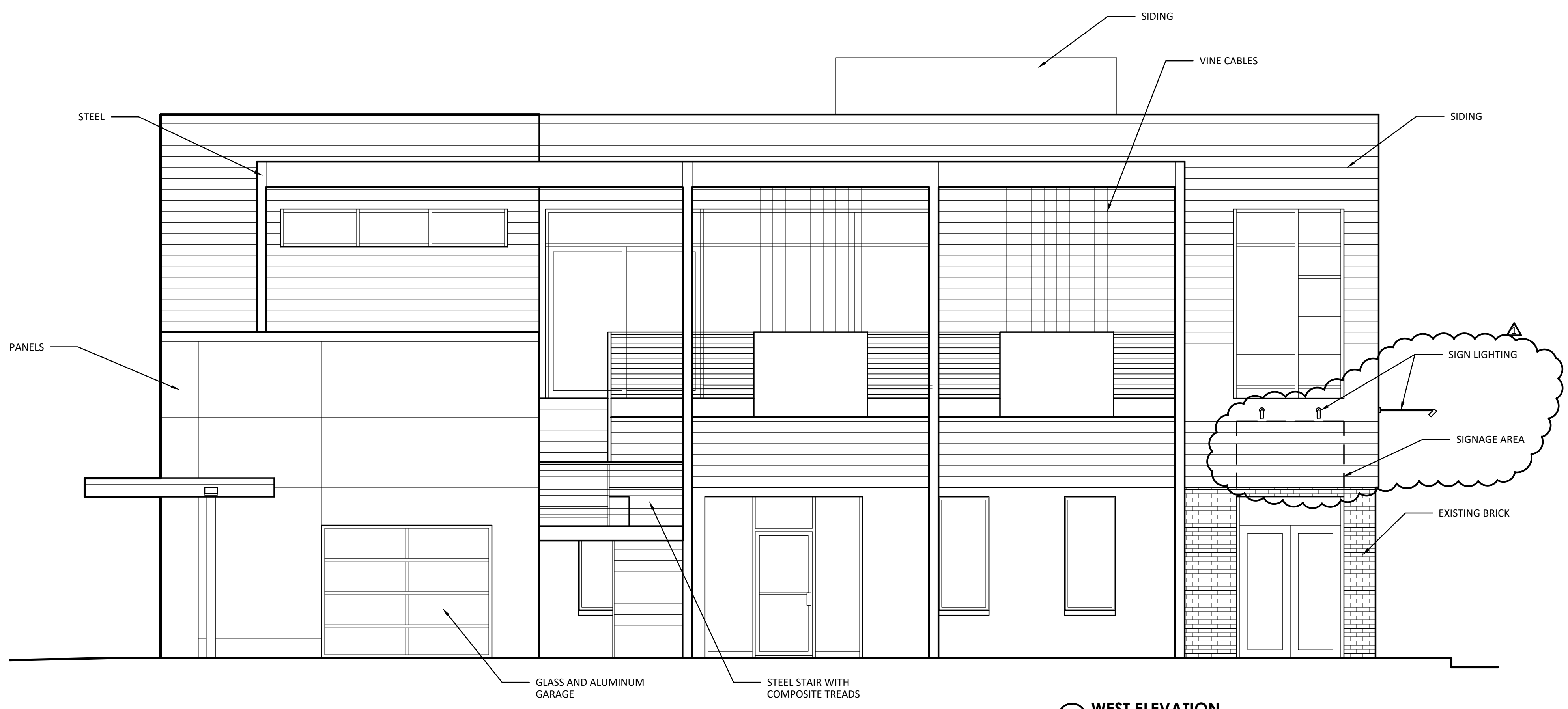
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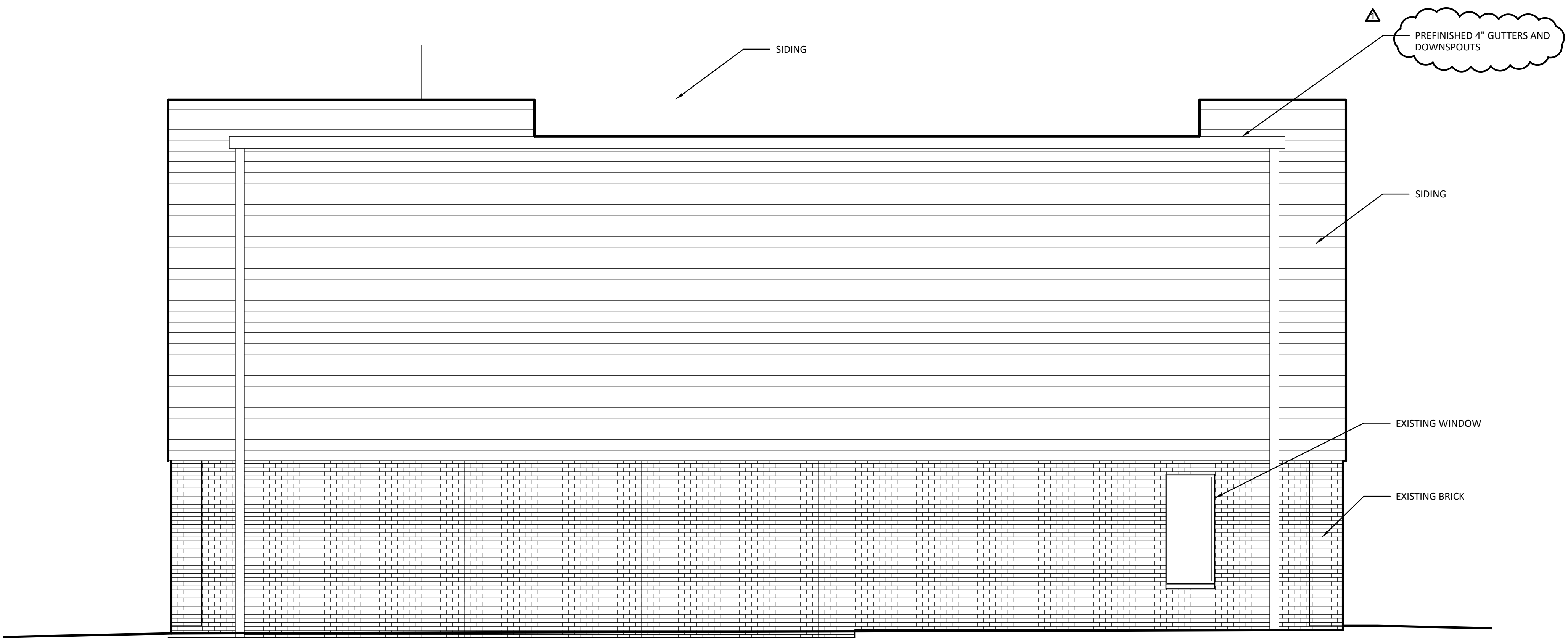
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MATERIAL LIST

- Siding: "Iron Gray" or "Aged Pewter" (smooth) by James Hardie
- Panels: "Arctic White" (smooth) by James Hardie
- Brick: Existing white painted brick to remain
- Windows: "Ebony" by Marvin
- Steel: Painted, medium warm gray
- Gutters/Leaders: Gray to match siding, prefinished aluminum
- Decking: Ipe or composite
- Stair treads: Ipe or composite
- Top rail: Ipe or composite
- Stair railings: Steel
- Planters: Steel
- Coping: metal, prefinished to match siding



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



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	ROUND 1 COMMENTS		1/12/18

EAST AND WEST ELEVATIONS

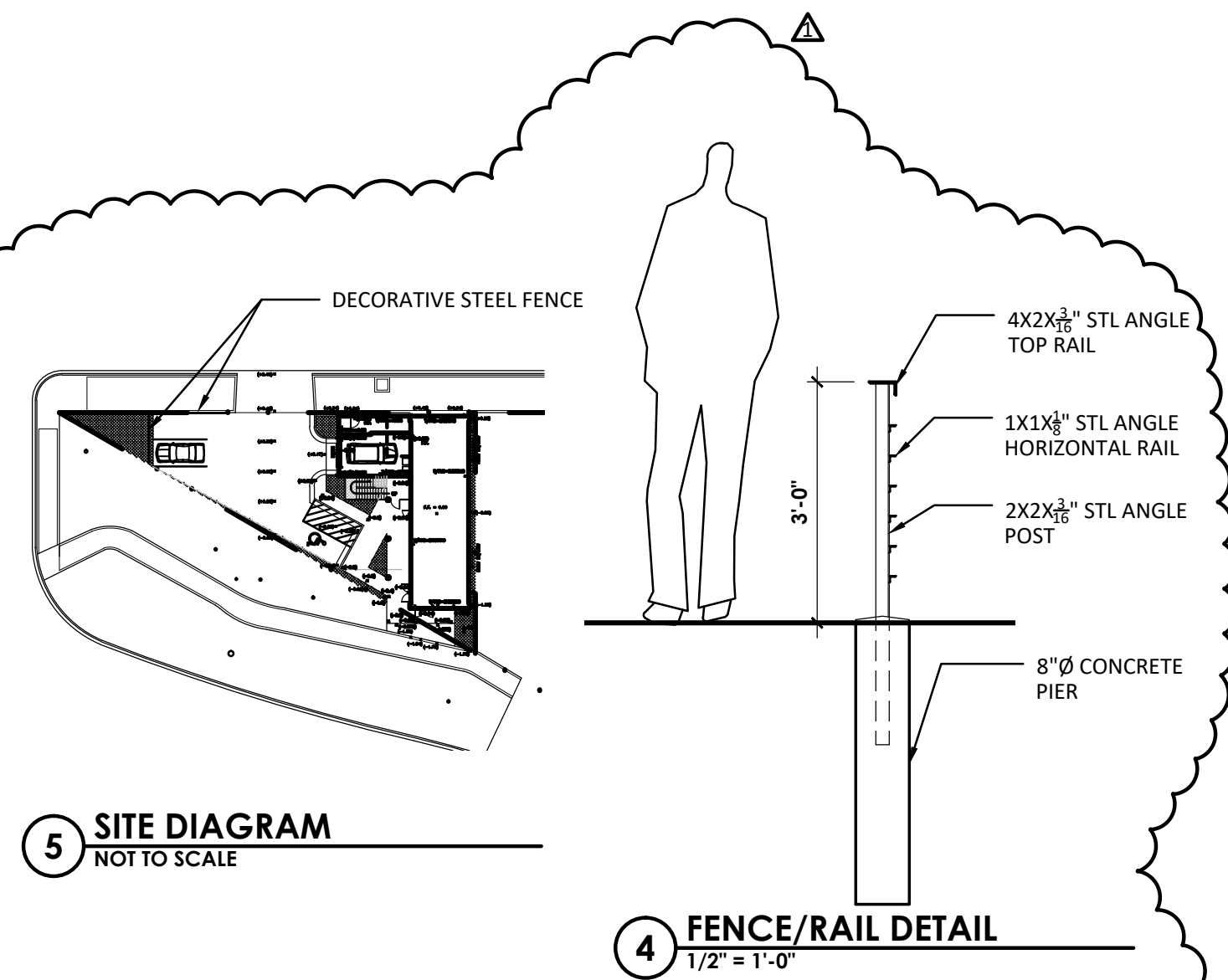
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Sheet No. **A200**

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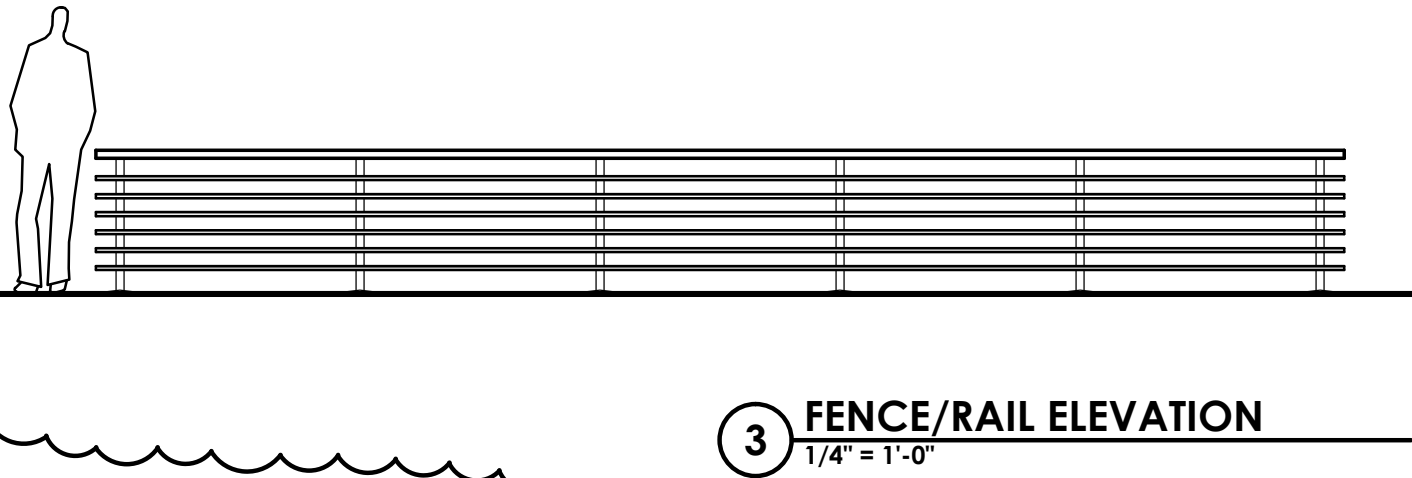
MATERIAL LIST

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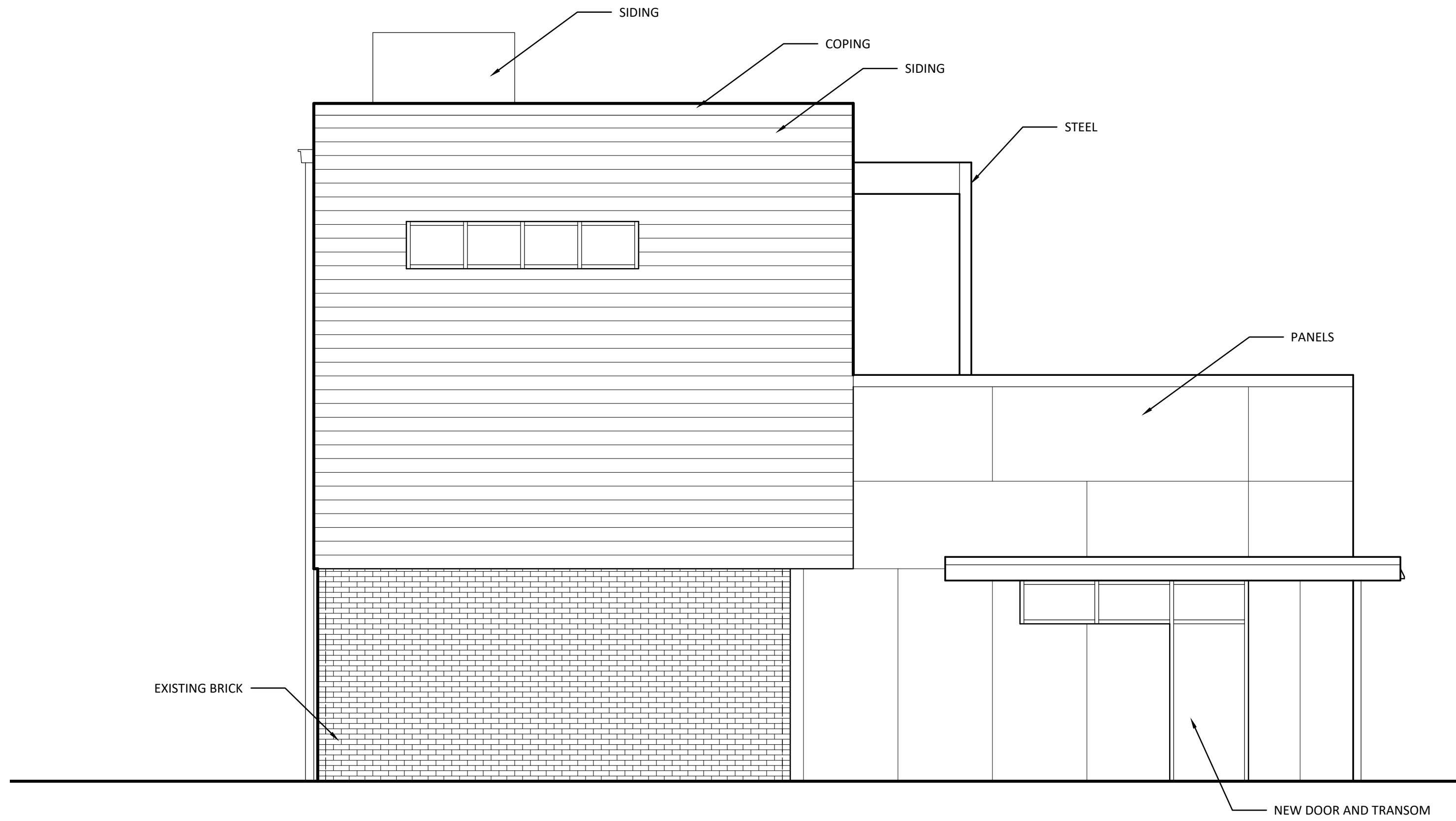


5 SITE DIAGRAM
NOT TO SCALE

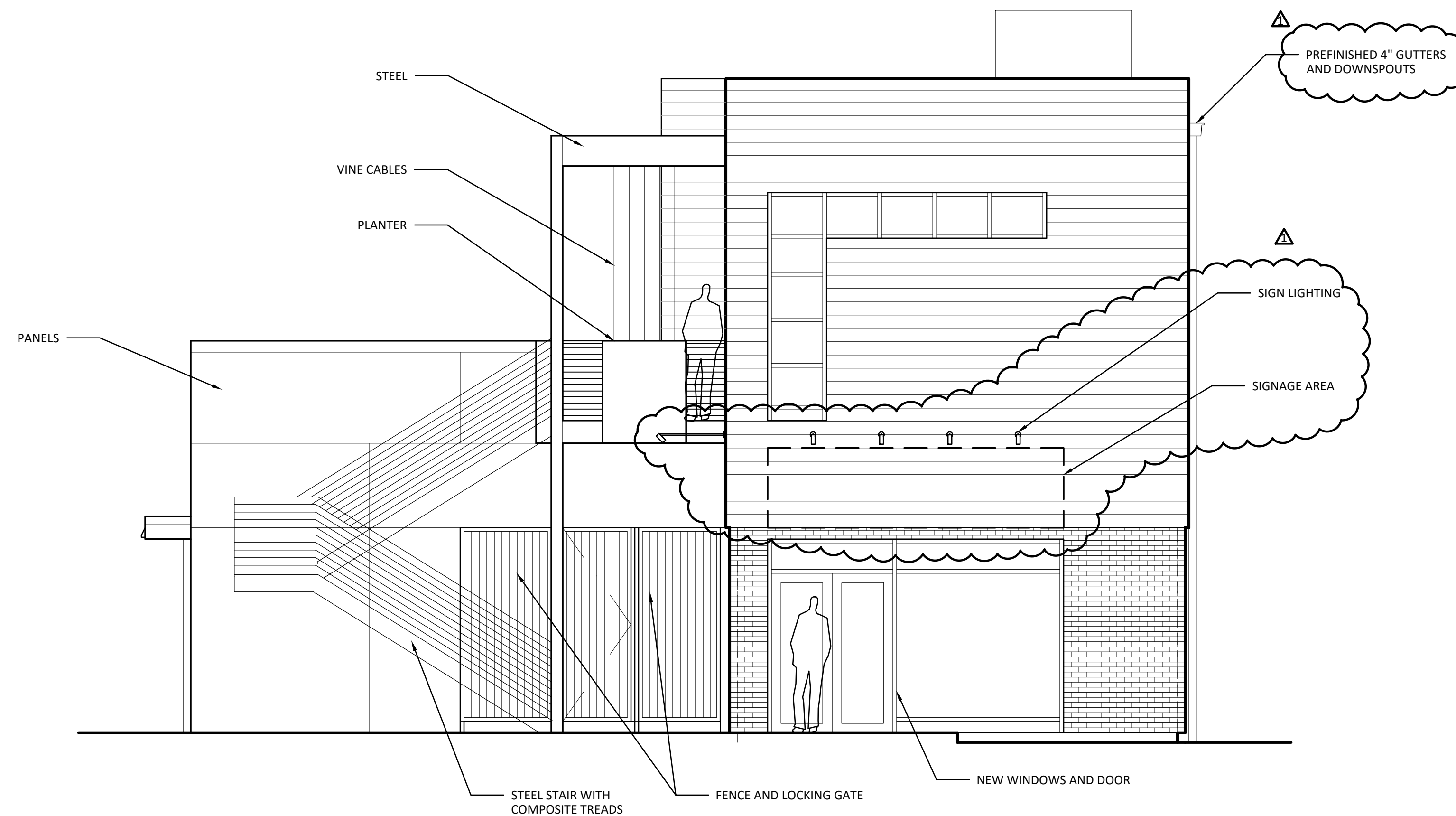
4 FENCE/RAIL DETAIL
1/2" = 1'-0"



3 FENCE/RAIL ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



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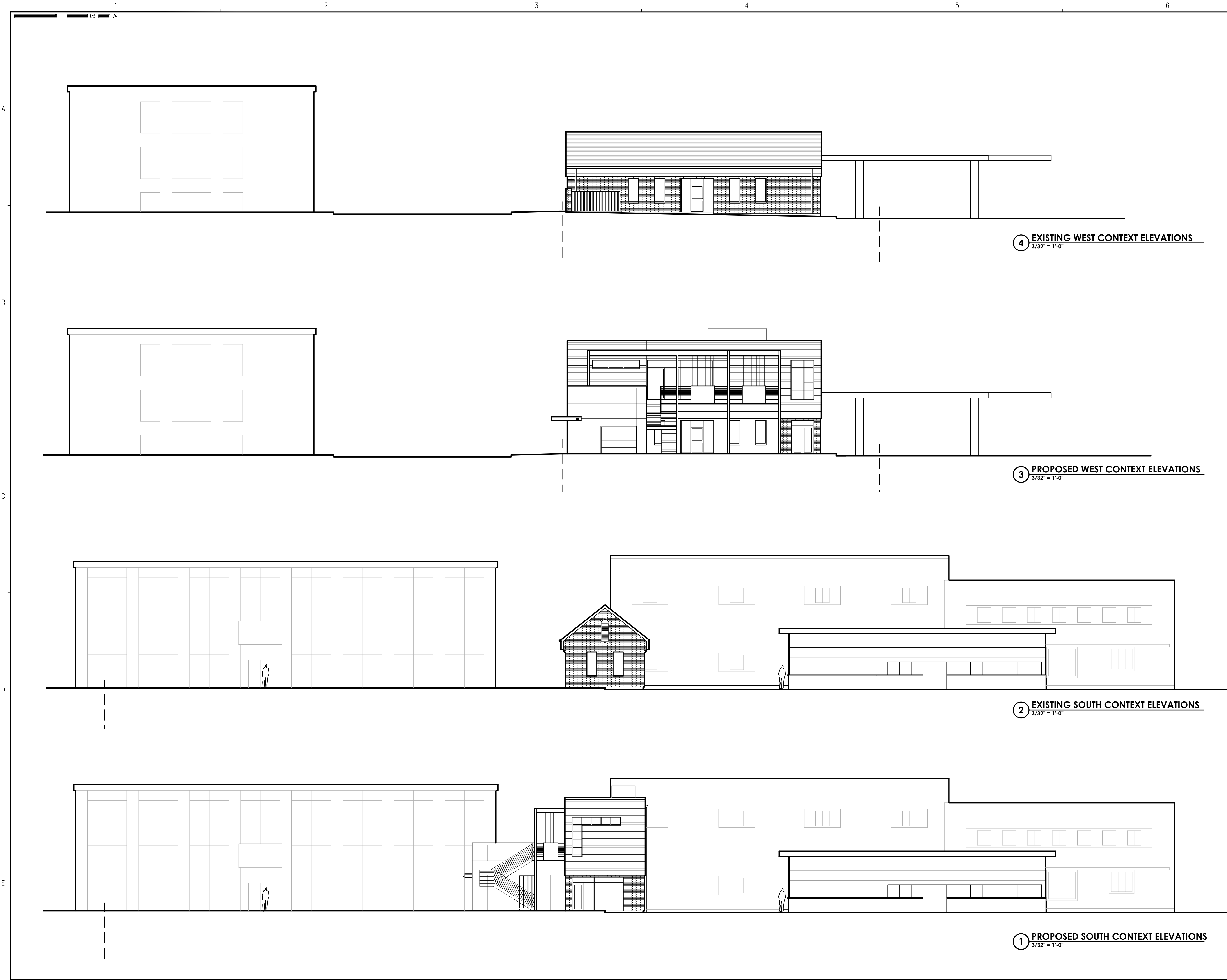
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	DESIGN + PLAN COMMISSION		12/11/17
	ROUND 1 COMMENTS		1/12/18

**NORTH AND SOUTH
ELEVATIONS**

date drawn by checked by

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Sheet No. **A201**

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4 EXISTING WEST CONTEXT ELEVATIONS
 3/32" = 1'-0"

3 PROPOSED WEST CONTEXT ELEVATIONS
 3/32" = 1'-0"

2 EXISTING SOUTH CONTEXT ELEVATIONS
 3/32" = 1'-0"

1 PROPOSED SOUTH CONTEXT ELEVATIONS
 3/32" = 1'-0"

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**CONTEXT
 ELEVATIONS**

date	drawn by	checked by

Job No. **PARA**
 Sheet No. **A202**

1

2

3

4

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6

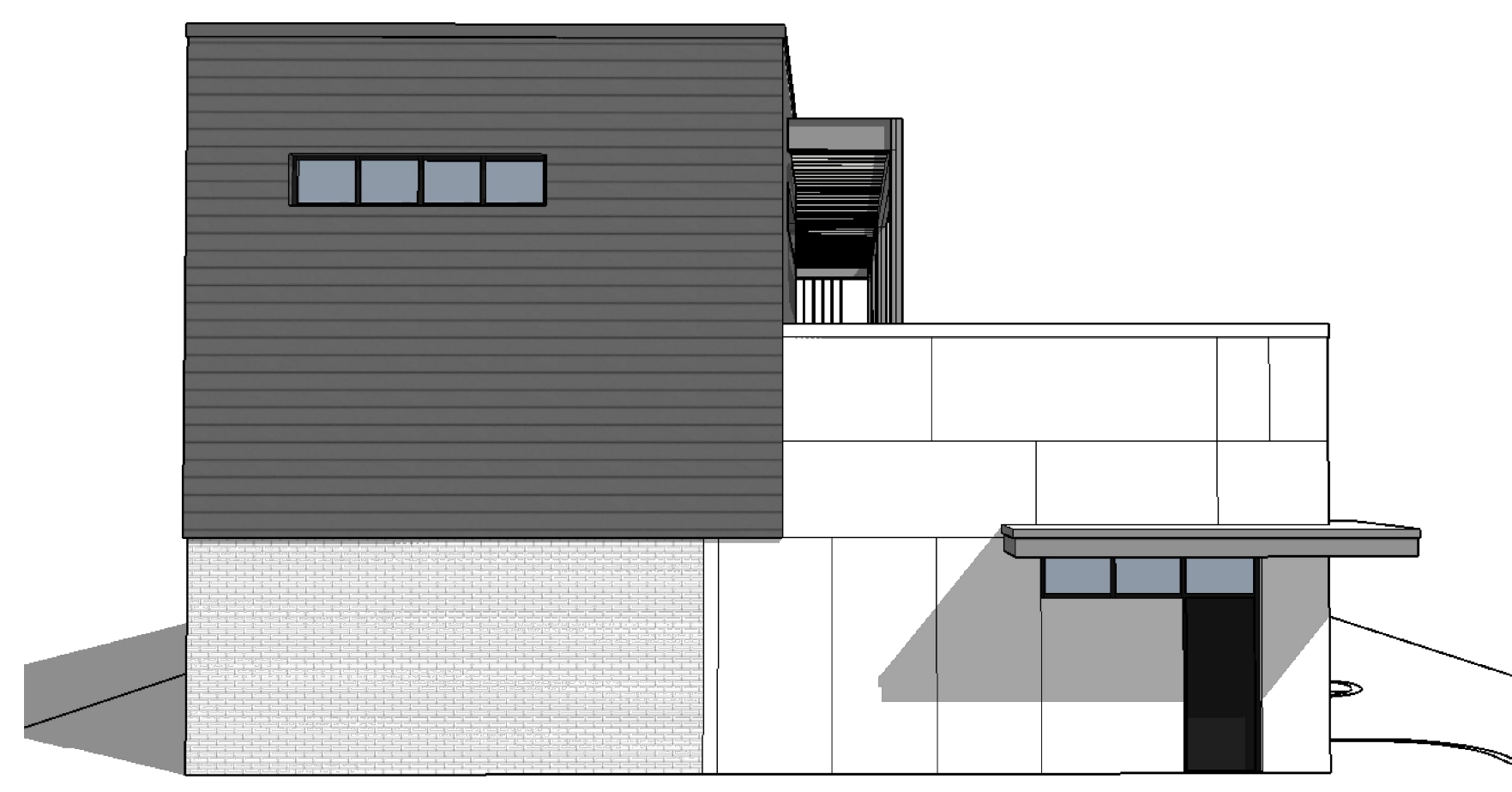
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B

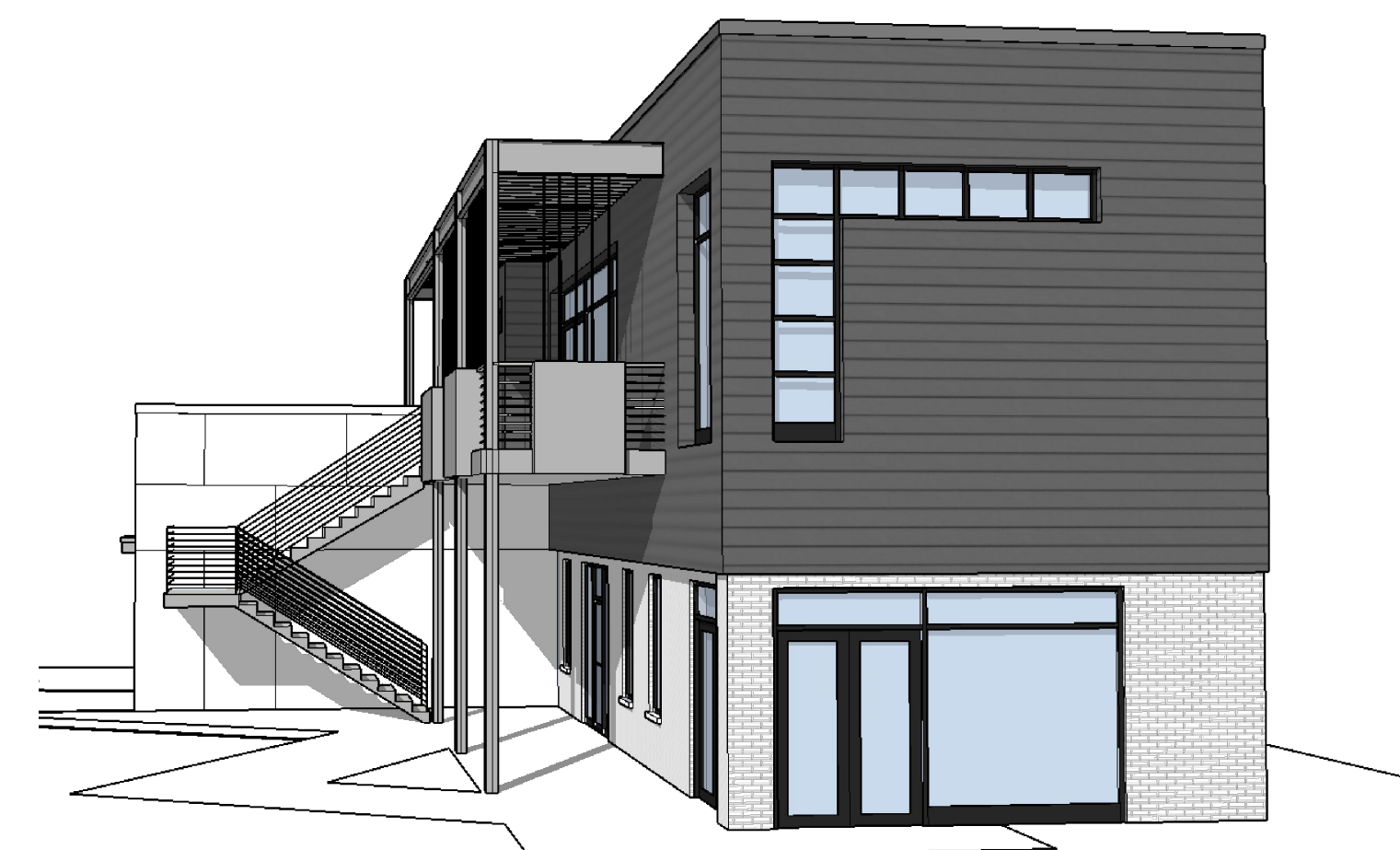
C

D

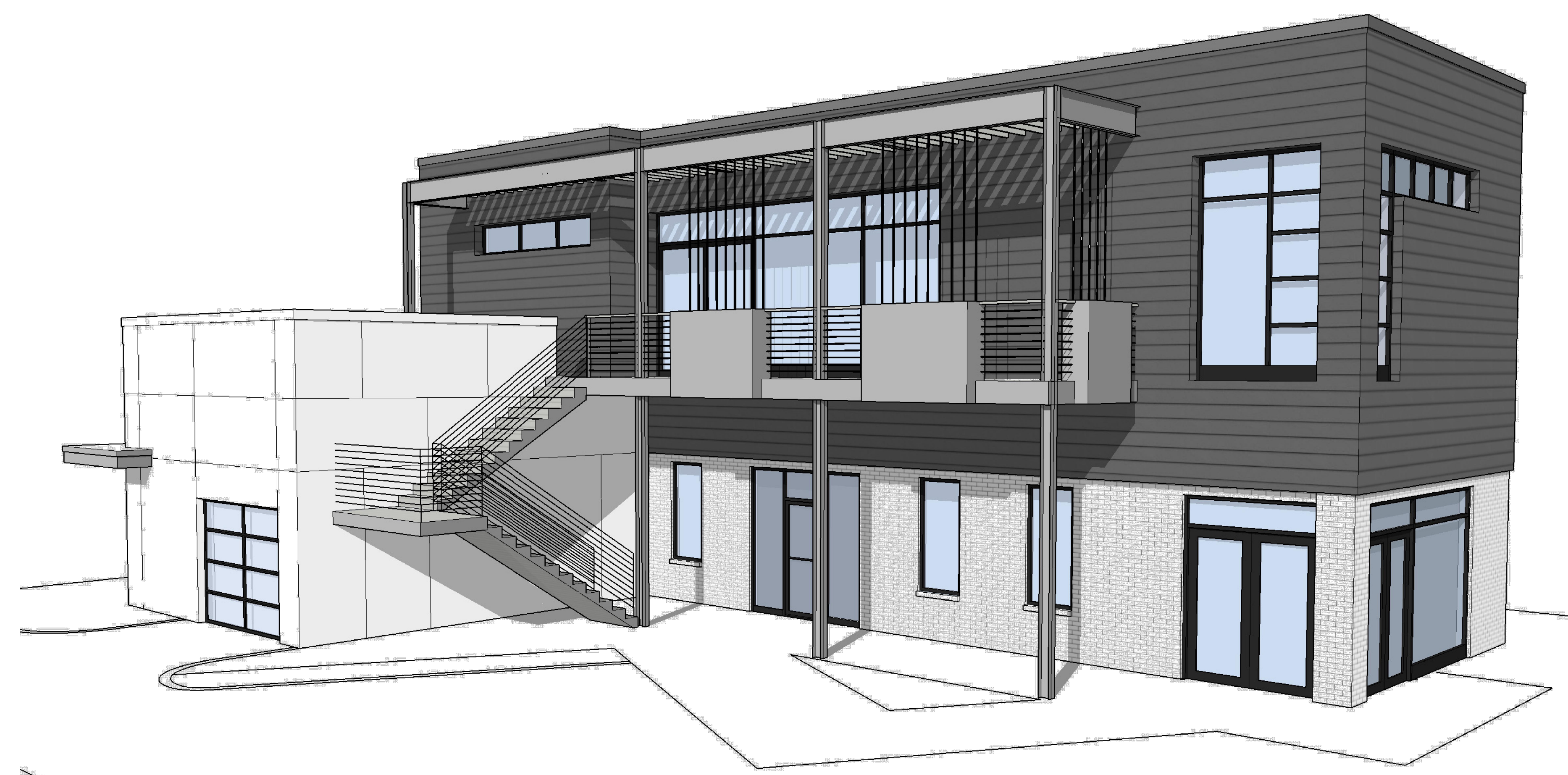
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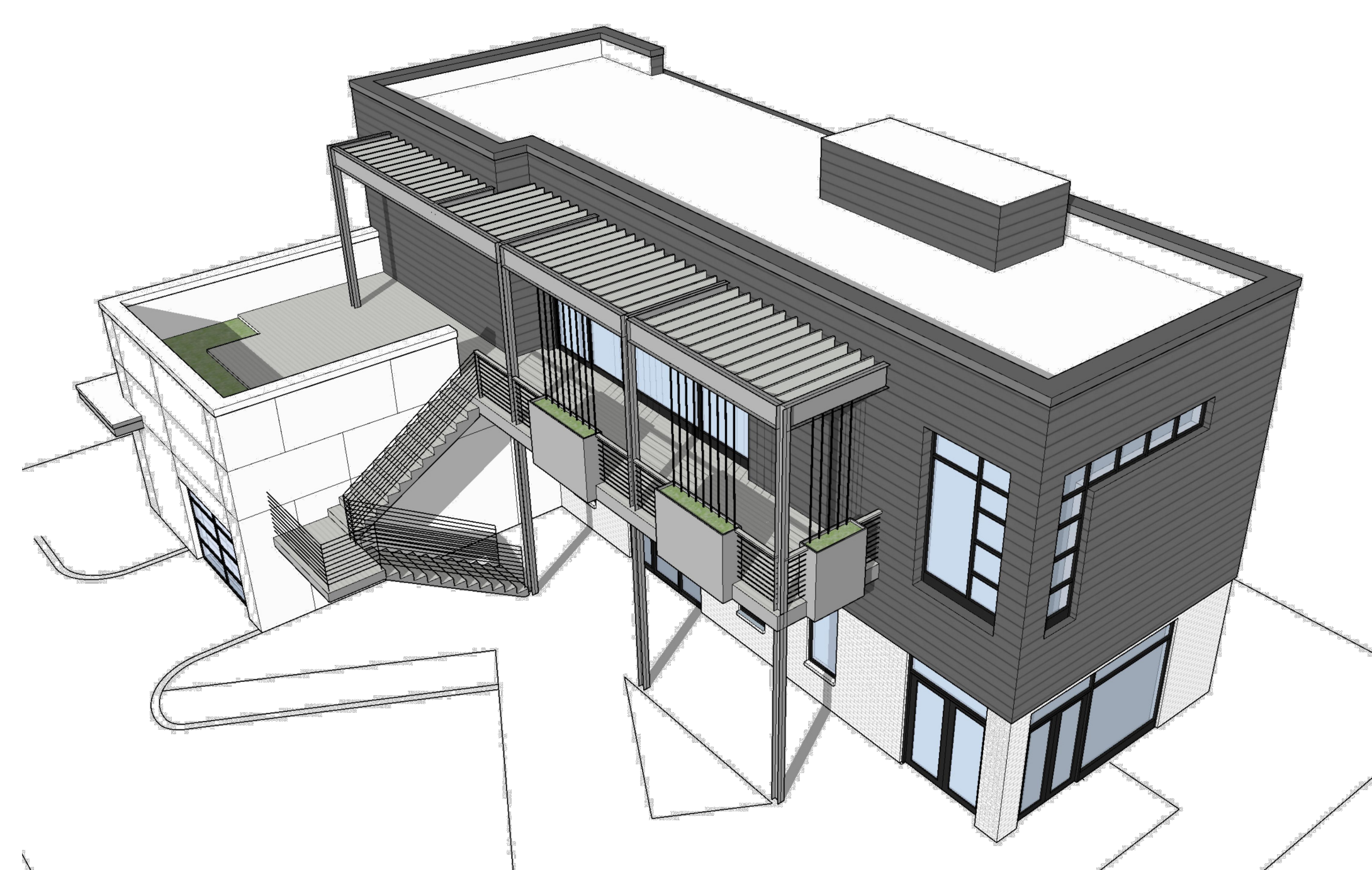
5 NORTH FACADE



4 SOUTH FACADE



2 VIEW FROM SOUTH WEST



3 AERIAL PERSPECTIVE



1 WEST FACADE



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RENDERINGS

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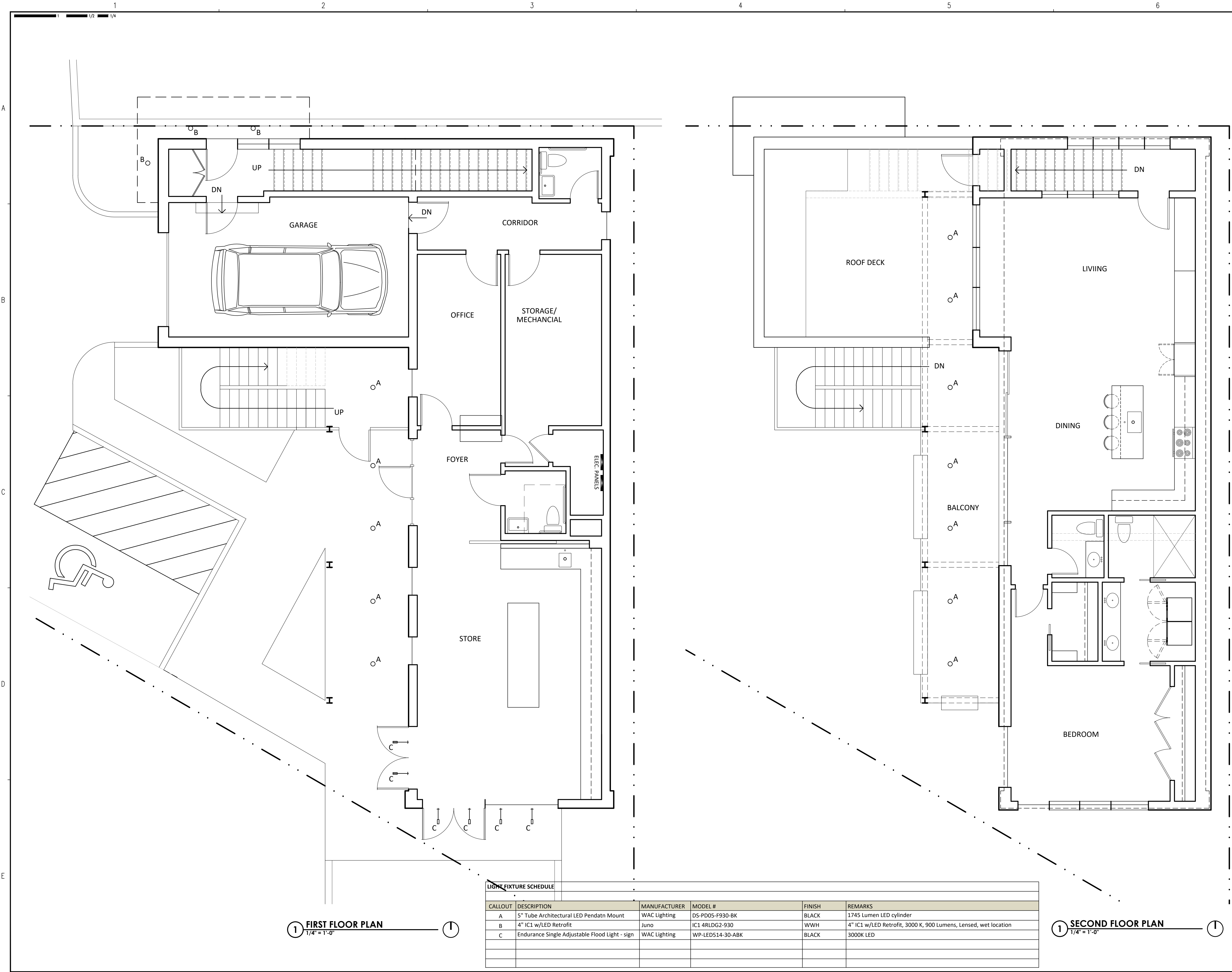
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FIRST AND SECOND FLOOR PLANS

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Job No. **PARA**
 Sheet No. **E100**

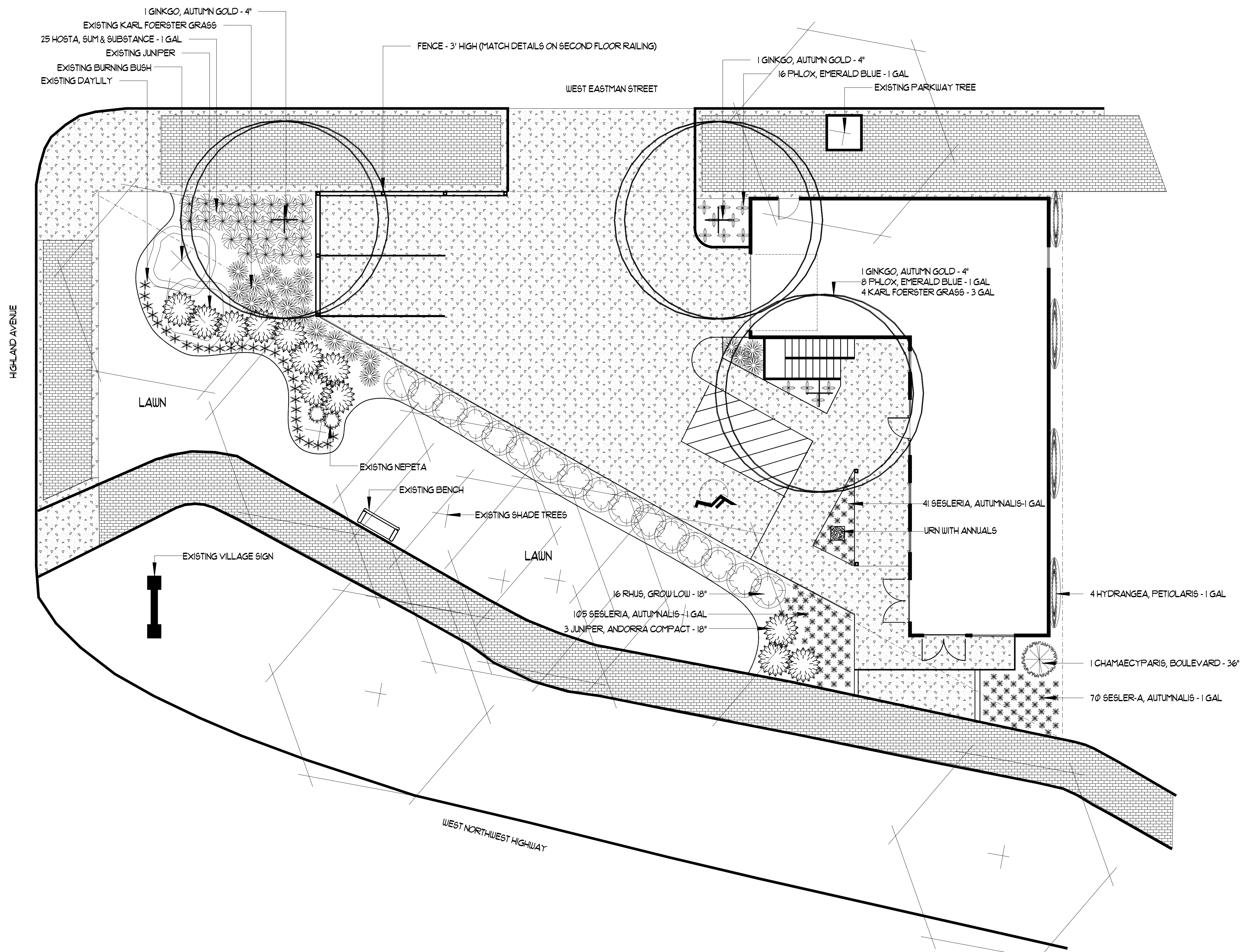
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1 FIRST FLOOR PLAN
 1/4" = 1'-0"

1 SECOND FLOOR PLAN
 1/4" = 1'-0"

CALLOUT	DESCRIPTION	MANUFACTURER	MODEL #	FINISH	REMARKS
A	5" Tube Architectural LED Pendatn Mount	WAC Lighting	DS-PD05-F930-BK	BLACK	1745 Lumen LED cylinder
B	4" IC1 w/LED Retrofit	Juno	IC1 4RLDG2-930	WWH	4" IC1 w/LED Retrofit, 3000 K, 900 Lumens, Lensed, wet location
C	Endurance Single Adjustable Flood Light - sign	WAC Lighting	WP-LED514-30-ABK	BLACK	3000K LED



QTY			
3	GINKGO BILOBA 'AUTUMN GOLD'	4"	
3	JUNIPER HORIZONTALIS 'ANDORRA'	18"	48" SPACING
16	RHUS AROMATICA 'GROW LOW'	18"	3' SPACING
1	CHAMAECYPARIS FISIFERA 'BOULEVARD 36'		
4	HYDRANGEA PETIOLARIS	1 GAL	
185	SESLERIA AUTUMNALIS	1 GAL	12" SPACING
24	PHLOX SUBULATA 'EMERALD BLUE'	1 GAL	12" SPACING
4	CALAMAGROSTIS 'KARL FOERSTER'	3 GAL	24" SPACING
25	HOSTA SUM & SUBSTANCE	1 GAL	18" SPACING

