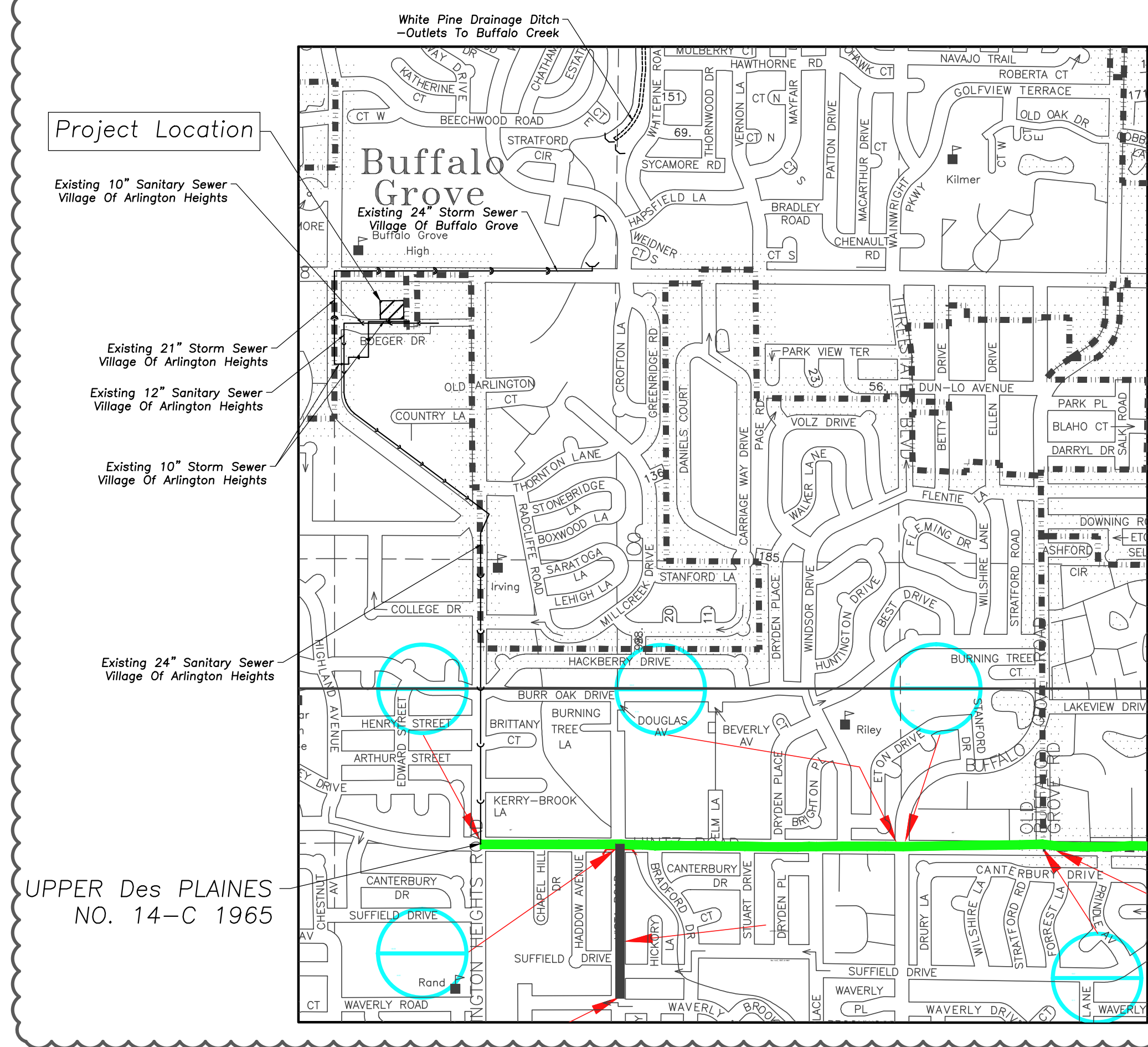


HEART'S PLACE

2 Story Residential Building

120 W Boeger Drive
Arlington Heights, IL



SITE LOCATION MAP (N.T.S.)

INDEX OF SHEETS

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C6.0	Site Work Details
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MWRDGC GENERAL NOTES

- A. Referenced Specifications**
- All Construction Shall Be In Accordance With The Applicable Sections Of The Following, Except As Modified Herein Or On The Plans:
 - Standard Specifications For Road And Bridge Construction (Latest Edition), By The Illinois Department Of Transportation (DOT) For All Improvements, Except Sanitary Sewer And Water Main Construction;
 - Standard Specifications For Water And Sewer Main Construction In Illinois, Latest Edition (SSWS) For Sanitary Sewer And Water Main Construction;
 - Village Of Arlington Heights Municipal Code;
 - The Metropolitan Water Reclamation District Of Greater Chicago (MWRD) Watershed Management Ordinance And Technical Guidance Manual;
 - In Case Of Conflict Between The Applicable Ordinances Noted, The More Stringent Shall Take Precedence And Shall Control All Construction.
- B. Notifications**
- The MWRD Local Sewer Systems Section Field Office Must Be Notified At Least Two (2) Working Days Prior To The Commencement Of Any Work (Call 708-588-4055).
 - The Village Of Arlington Heights Engineering Department And Public Must Be Notified At Least 24 Hours Prior To The Start Of Construction And Prior To Each Phase Of Work. Contractor Shall Determine Items Requiring Inspection Prior To Start Of Construction Or Each Work Phase.
 - The Contractor Shall Notify All Utility Companies Prior To Beginning Construction For The Exact Locations Of Utilities And For Their Protection During Construction. Exact Locations Of Utilities Are Encouraged That Conflict In Location With New Construction, Immediately Notify The Engineer So That The Conflict Can Be Resolved. Call J.U.L.I.E. At 1-800-892-0123.
- C. General Notes**
- All Elevations Shown On Plans Reference The North American Vertical Datum Of 1985 (NAVD83).
 - MWRD, The Municipality And The Owner Or Owner's Representative Shall Have The Authority To Inspect, Approve, And Reject The Construction Improvements.
 - The Contractor(s) Shall Indemnify The Owner, Engineer, Municipality, MWRD, And Their Agents, Etc., From All Liability Involved With The Construction, Installation, Or Testing Of Work On The Project.
 - The Proposed Improvements Must Be Constructed In Accordance With The Engineering Plans As Approved By MWRD And The Municipality Unless Changes Are Approved By MWRD, The Municipality, Or Authorized Agent. The Construction Details, As Presented On The Plans, Must Be Followed. Proper Construction Techniques Must Be Followed On The Improvements Indicated On The Plans.
 - The Location Of Various Underground Utilities Which Are Shown On The Plans Are For Information Only And Represent The Best Knowledge Of The Engineer. Verify Locations And Elevations Prior To Beginning The Construction Operations.
 - Any Existing Pavement, Sidewalk, Driveway, Etc., Damaged During Construction Operations And Not Called For To Be Removed Shall Be Replaced At The Expense Of The Contractor.
 - Material And Compaction Testing Shall Be Performed In Accordance With The Requirements Of The Municipality, MWRD, And The Owner.
 - The Underground Contractor Shall Make All Necessary Arrangements To Notify All Inspection Agencies.
 - All New And Existing Utility Structures On Site And In Areas Disturbed During Construction Shall Be Adjusted To Finish Grade Prior To Final Inspection.
 - Record Drawings Shall Be Kept By The Contractor And Submitted To The Engineer As Soon As Underground Improvements Are Completed. Final Comments To The Contractor Shall Be Held Until They Are Received. Any Changes In Length, Location Or Alignment Shall Be Shown In Red. All Wyes Or Bends Shall Be From The Downstream Manhole. All Voices, B-Boxes, Tees Or Bends Shall Be Tied To A Fire Hydrant.
- D. Sanitary Sewer**
- The Contractor Shall Take Measures To Prevent Any Polluted Water, Such As Ground And Surface Water, From Entering The Existing Sanitary Sewers.
 - A Water-Tight Plug Shall Be Installed In The Downstream Sewer Pipe At The Point Of Sewer Connection Prior To Commencing Any Sewer Construction. The Plug Shall Remain In Place Until Removal Is Authorized By The Municipality And/Or MWRD After The Sewers Have Been Tested And Accepted.
 - Discharging Any Unpolluted Water Into The Sanitary Sewer System For The Purpose Of Sewer Flushing Of Lines For The Deflection Test Shall Be Prohibited. Rubber Boots That Conform To ASTM C-923 For All Pipe Connections. Precast Sections Shall Consist Of Modified Groove Tongue And Rubber Gasket Type Joints.
 - All Sanitary Sewer Construction Shall Be In Accordance With The Standard Specifications For Water And Sewer Main Construction In Illinois (Latest Edition).
 - All Floor Drains Shall Discharge To The Sanitary Sewer System.
 - All Downspouts And Footing Drains Shall Discharge To The Storm Sewer System.
 - All Sanitary Sewer Pipe Materials And Joints (And Storm Sewer Pipe Materials And Joints In Combined Sewer Area) Shall Conform To The Following:

Pipe Material	Pipe Specification	Joint Specification
Ductile Iron Pipe	ANSI A21.51	ANSI A21.11
Polyvinyl Chloride (PVC) Pipe 6-inch To 15-inch Diameter SDR 26	ASTM D-3034	ASTM D-3212
High Density Polyethylene (HDPE)	ASTM D-3350	ASTM D-3251, F-2620 (Heat Fusion)
	ASTM D-3035	ASTM D-3212, F-447 (Gasketed)
Water Main Quality PVC 4-inch To 36-inch	ASTM D-2241	ASTM D-2672, Or ASTM D-3139
 - All Sanitary Sewer Construction (And Storm Sewer Construction In Combined Sewer Areas), Requires Stone Bedding With Stone 4 To 1 1/2 In Size, With Minimum Bedding Thickness Equal To 4 The Outside Diameter Of The Sewer Pipe, But Not Less Than Four (4) Inches Nor More Than Eight (8) Inches. Material Shall Be CA-11 Or CA-12 And Shall Be Extended At Least 12' Above The Top Of The Pipe When Using PVC.
 - "Band Seal" Or Similar Non-shear Flexible-type Couplings Shall Be Used In The Connection Of Sewer Pipes Of Dissimilar Materials.
 - Below The Flood Protection Elevation (FPE = BFE + 2 Feet), All Sanitary Sewer Manholes And Structures Shall Be Provided With Bolted, Watertight Covers. Sanitary Lids Shall Be Constructed With A Concealed Pickhole And Watertight Gasket With The Word "Sanitary" Cast Into The Lid.
 - When Connecting To An Existing Sewer Main By Means Other Than An Existing Wye, Tee, Or An Existing Manhole, One Of The Following Methods Shall Be Used:
 - A Circular Saw-Cut Of Sewer Main By Proper Tools ("Shower-Top" Machine Or Similar) And Proper Installation Of Hubway Saddle Or Hub-Tee Saddle.
 - Remove An Entire Section Of Pipe (Breaking Only The Top Of One Bell) And Replace With A Wye Or Tee Branch Section.
 - With Pipe Cutter, Nestly And Accurately, Cut Out Desired Length Of Pipe For Insertion Of Proper Fitting, Using "Band Seal" Or Similar Couplings To Hold It Firmly In Place.
 - Whenever A Sanitary/Combined Sewer Crosses Under A Watermain, The Minimum Vertical Distance From The Top Of The Sewer To The Bottom Of The Watermain Shall Be 18 Inches. Furthermore, A Minimum Horizontal Distance Of 10 Feet Between Sanitary/Combined Sewers And Watermains Shall Be Maintained Unless: The Sewer Is Laid In A Separate Trench, Keeping A Minimum Distance Of The Sewer From The Watermain Laid In A Separate Trench With The Watermain Located At The Opposite Side On A Bench Of Undisturbed Earth, Keeping A Minimum 18" Vertical Separation. If Either The Vertical Or Horizontal Distances Described Above Cannot Be Maintained, Or The Sewer Crosses Above The Watermain, The Sewer Shall Be Constructed To Watermain Standards.
 - All Existing Septic Systems Shall Be Abandoned. Abandoned Tanks Shall Be Filled With Granular Material Or Removed.
 - All Sanitary Manholes, (And Storm Manholes In Combined Sewer Areas), Shall Have A Minimum Inside Diameter Of 48 Inches, And Shall Be Cast In Place Or Pre-Cast Reinforced Concrete.
 - All Sanitary Manholes, (and Storm Manholes In Combined Sewer Areas), Shall Have Precast Concrete Sections That Conform To ASTM C-923 For All Pipe Connections. Precast Sections Shall Consist Of Modified Groove Tongue And Rubber Gasket Type Joints.
 - All Abandoned Sanitary Sewers Shall Be Plugged At Both Ends With At Least 2 feet Long Non-shrink Concrete Or Mortar Plug.
 - Except For Foundation/Footing Drains Provided To Protect Buildings, Or Perforated Pipes Associated With Volume Control Facilities, Drain Tiles/Field Tiles/Underdrains/Perforated Pipes Are Not Allowed To Be Connected To Or Tributary To Combined Sewers, Sanitary Sewers, Storm Sewers Tributary To Combined Sewers In Combined Sewer Areas, Construction Of New Facilities Of This Type Is Prohibited; And All Existing Drain Tiles And Perforated Pipes Encountered Within The Project Area Shall Be Plugged Or Removed, And Shall Not Be Connected To Combined Sewers, Sanitary Sewers, Or Storm Sewers Tributary To Combined Sewers.

J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

MWRDGC SESC NOTES

- E. Erosion And Sediment Control**
- The Contractor Shall Install The Erosion And Sediment Control Devices As Shown On The Approved Erosion And Sediment Control Plan.
 - Erosion And Sediment Control Practices Shall Be Functional Prior To Hydrologic Disturbance Of The Site.
 - All Design Criteria, Specifications, And Installation Of Erosion And Sediment Control Practices Shall Be In Accordance With The Illinois Urban Manual.
 - A Copy Of The Approved Erosion And Sediment Control Plan Shall Be Maintained On The Site At All Times.
 - Inspections And Documentation Shall Be Performed, At A Minimum:
 - Upon Completion Of Initial Erosion And Sediment Control Measures, Prior To Any Soil Disturbance.
 - Once Every Seven (7) Calendar Days And Within 24 Hours Of The End Of A Storm Event With Greater Than 0.5 Inch Of Rainfall Or Liquid Equivalent Precipitation.
 - Soil Disturbance Shall Be Conducted In Such A Manner As To Minimize Erosion. If Stripping, Clearing, Grading, Or Landscaping Are To Be Done In Phases, The Co-Permittee Shall Plan For Appropriate Soil Erosion And Sediment Control Measures.
 - A Stabilized Mat Of Crushed Stone Meeting The Standards Of The Illinois Urban Manual Shall Be Installed At Any Point Where Traffic Will Be Entering Or Leaving A Construction Site. Sediment Or Soil Reaching An Improved Public Right-Of-Way, Street, Alley Or Parking Area Shall Be Removed By Scraping Or Street Cleaning As Accumulations Warrant And Transported To A Controlled Sediment Disposal Area.
 - Concrete Washout Facilities Shall Be Constructed In Accordance With The Illinois Urban Manual And Shall Be Installed Prior To Any On Site Construction Activities Involving Concrete.
 - Temporary Diversions Shall Be Constructed As Necessary To Direct All Runoff From Hydrologically Disturbed Areas To An Appropriate Sediment Trap Or Basin. Volume Control Facilities Shall Not Be Used As Temporary Sediment Basins.
 - Disturbed Areas Of The Site Where Construction Activities Have Temporarily Or Permanently Ceased Shall Be Stabilized With Temporary Or Permanent Measures Within Seven (7) Days.
 - All Flood Protection Areas And Volume Control Facilities Shall, At A Minimum, Be Protected With A Double-Row Of Silt Fence (Or Equivalent).
 - Volume Control Facilities Shall Not Be Constructed Until All Of The Contributing Drainage Areas Have Been Stabilized.
 - Soil Stockpiles Shall, At A Minimum, Be Protected With Perimeter Sediment Controls. Soil Stockpiles Shall Not Be Placed In Flood Protection Areas Or Their Buffers.
 - Earthen Embankment Side Slopes Shall Be Stabilized With Appropriate Erosion Control Blanket.
 - Storm Sewers That Are Or Will Be Functioning During Construction Shall Be Protected By Appropriate Sediment Control Measures.
 - The Contractor Shall Either Remove Or Replace Any Existing Drain Tiles And Incorporate Them Into The Drainage Plan For The Development. Drain Tiles Cannot Be Tributary To A Sanitary Or Combined Sewer.
 - If Dewatering Services Are Used, Adjoining Properties And Discharge Locations Shall Be Protected From Erosion And Sedimentation. Dewatering Systems Should Be Inspected Daily During Operational Periods. The Site Inspector Must Be Present At The Commencement Of Dewatering Activities.
 - The Contractor Shall Be Responsible For Trench Dewatering And Excavation For The Installation Of Sanitary Sewers, Storm Sewers, Watermains As Well As Their Services And Other Appurtenances. Any Trench Dewatering, Which Contains Sediment Shall Pass Through A Sediment Settling Pond Or Equally Effective Sediment Control Device. Alternatives May Include Dewatering Into A Sump Pit, Filter Bag, Or Existing Vegetated Upslope Area. Sediment Laden Waters Shall Not Be Discharge To Waterways, Flood Protection Areas Or The Combined Sewer System.
 - All Permanent Erosion Control Practices Shall Be Initiated Within Seven (7) Days Following The Completion Of Soil Disturbing Activities.
 - All Erosion And Sediment Control Measures Shall Be Maintained And Repaired As Needed On A Year-Round Basis During Construction And Periods Of Construction Shutdown Until Permanent Stabilization Is Achieved.
 - All Temporary Erosion And Sediment Control Measures Shall Be Removed Within Thirty (30) Days After Permanent Site Stabilization.
 - The Erosion And Sediment Control Measures Shown On The Plans Are The Minimum Requirements. Additional Measures May Be Required, As Directed By The Engineer, Site Inspector, Or MWRD.

IEPA GENERAL NOTES

- Sanitary Sewer Construction, as a Minimum, must comply with the following requirements:
- Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, shall govern all sanitary sewer construction on this project.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Flexible thermoplastic sanitary sewer pipe shall be installed in accordance with ASTM 2321-89 using embedment material. Processed materials produced for highway construction should be classified in accordance with ASTM 2321-89, Section 5 and Table 1 according to particle size, shape and gradation.
- Sewer bedding for rigid pipe sanitary sewers shall be Class B in accordance with ASTM D2321 as described in Appendix 'A' of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- All sanitary sewers shall be tested for infiltration, exfiltration or exfiltration of air under pressure, and for deflection of flexible thermoplastic pipe as described in Section 31-1 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Pickholes in sanitary sewer manhole covers shall not be larger than 1 inch in diameter or shall be of the concealed type.
- A drop pipe shall be provided for a sanitary sewer entering a manhole where its invert is more than 24 inches above the manhole invert.
- Contractor shall test manhole tightness in accordance with ASTM C969-94 or ASTM C1244-93.
- Leakage Testing Shall Be Conducted On All Manholes For Watertightness In Accordance With ASTM C969-94 "Standard Practice For Infiltration And Exfiltration Acceptance Testing Of Installed Precast Concrete Pipe Sewer Lines", Vol. 04.05, Chemical Resistant Mortars, Mortars, Masonry (1996) (No Later Editions Or Amendments) Or ASTM C1244-93 "Standard Test Method For Concrete Sewer Manholes By The Negative Pressure (Vacuum) Test", Vol. 04.05, Chemical Resistant Mortars, Mortars, Masonry (1996) (No Later Editions Or Amendments) Prior To Placing Into Service.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen And Associates, LTD. For UP Development, LLC. on 12-27-16. Order Number 16-910

PROJECT BENCHMARKS

- BENCHMARK: MONUMENT RECOVERY SHEET VILLAGE OF ARLINGTON HEIGHTS, ILL #3436 KENNICOTT, ARLINGTON HEIGHTS, IL MONUMENT 6
- 1" DISC ON THE NORTH OF A CONCRETE BASE FOR A TRAFFIC SIGNAL MAIN ARM, 52'+/- SOUTH OF THE CENTERLINE OF DUNDEE ROAD AND 32'+/- WEST OF THE CENTERLINE OF KENNICOTT. NAVD 1988 ELEVATION = 742.25

ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE: (847) 223-4804
FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-D03220
EXPIRES: 04/30/2019

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
120 & 122 W Boeger Drive
Arlington Heights, Illinois

Reserved for Seal:

Expiration Date: 11/30/19

No.	Date	Description
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3	4/07/17	PUD REVIEW COMMENTS 2
4	12/28/17	FINAL PUD SUBMITTAL
Δ	02/20/18	FINAL PUD R1 & MWRD SUBMITTAL

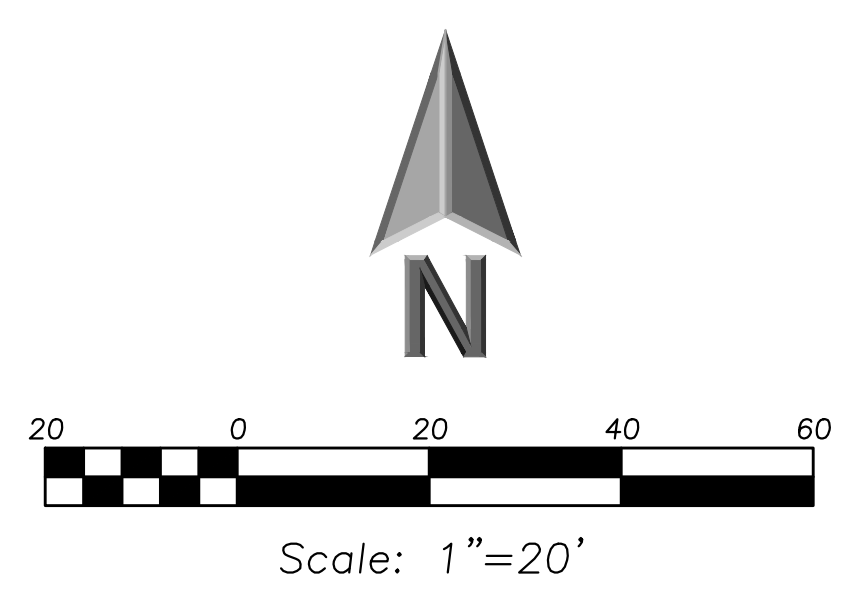
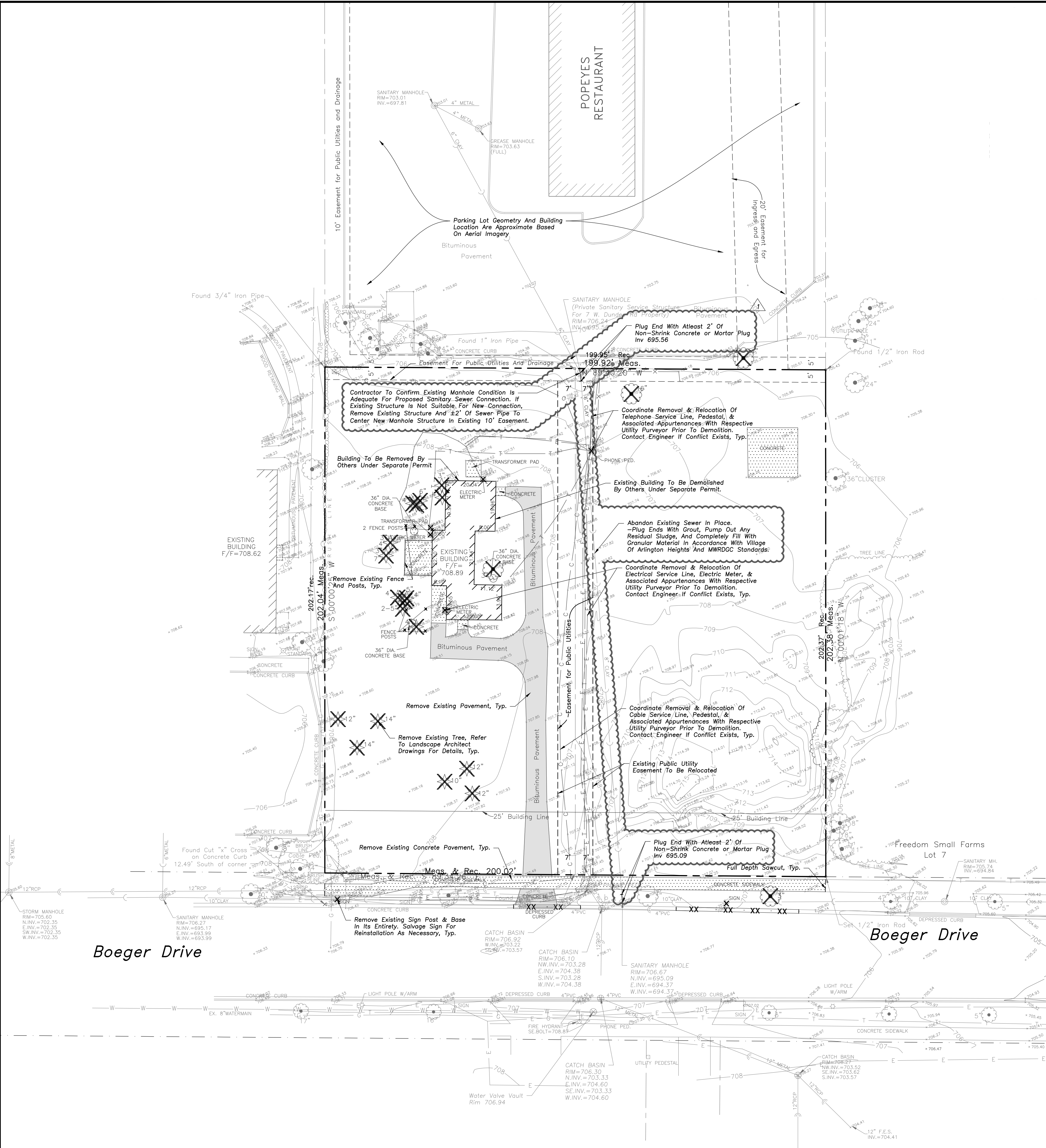
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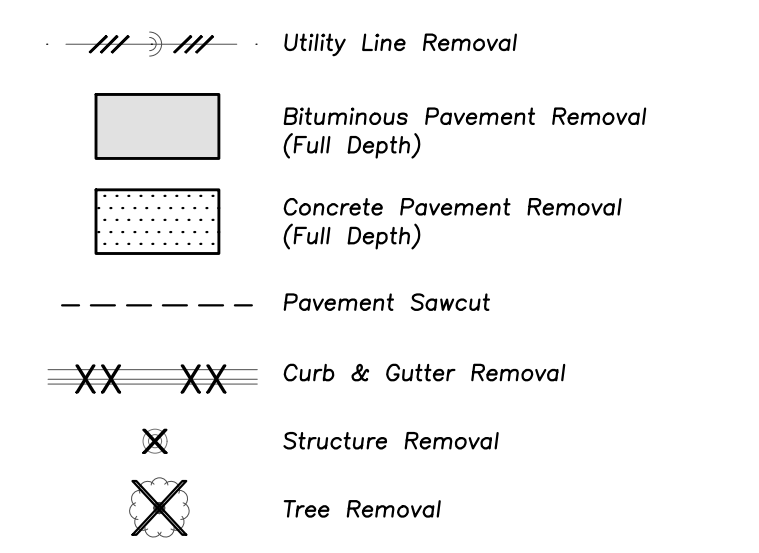
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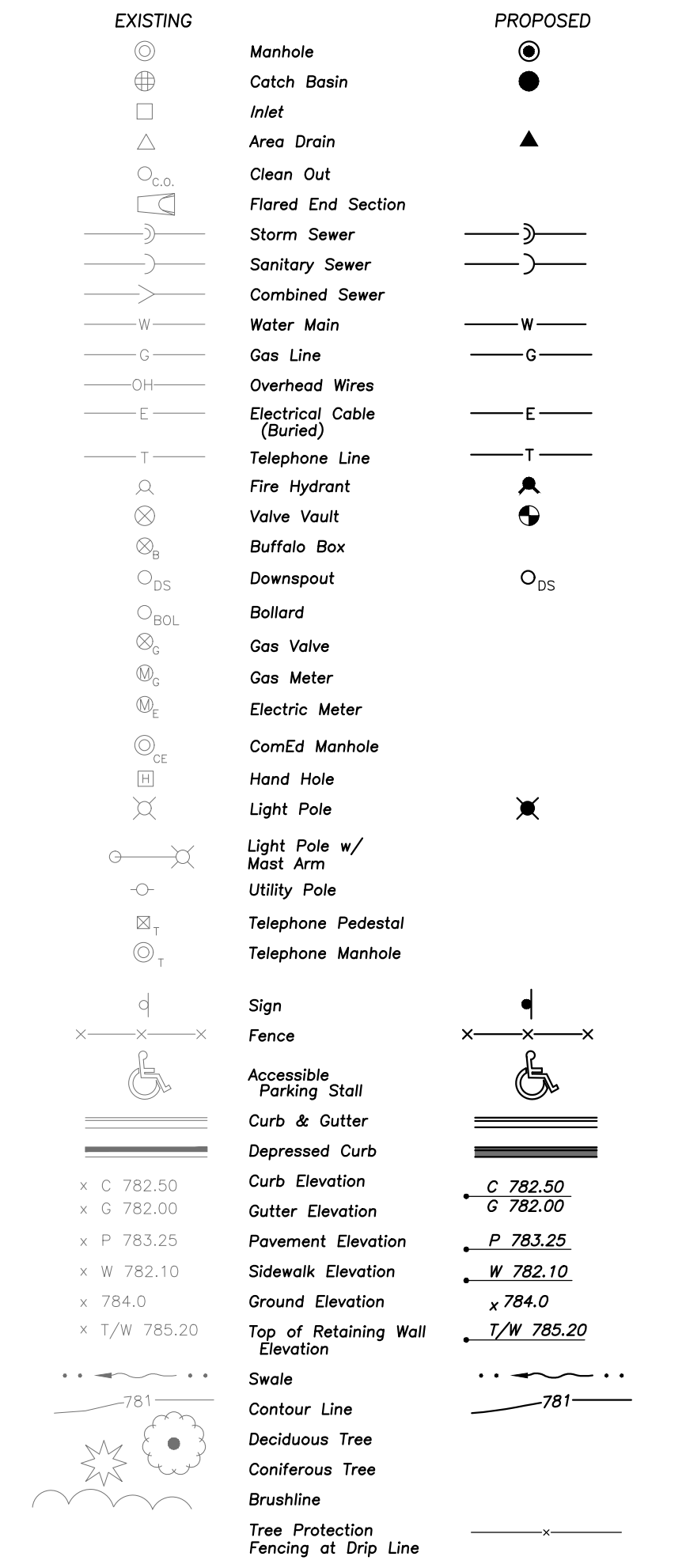
DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village of Arlington Heights Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within The Existing Drip Line Of Trees To Remain. All Trenching Within The Drip Line Of Existing Trees To Remain Shall Be Done Radially Away From Trunk If Roots In Excess Of 1" Diameter Are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.
- Provide Tree Protection Fencing Prior To Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND



LEGEND



GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Arlington Heights A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show The Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Volume Control Facilities and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction, Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

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 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
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HEART'S PLACE
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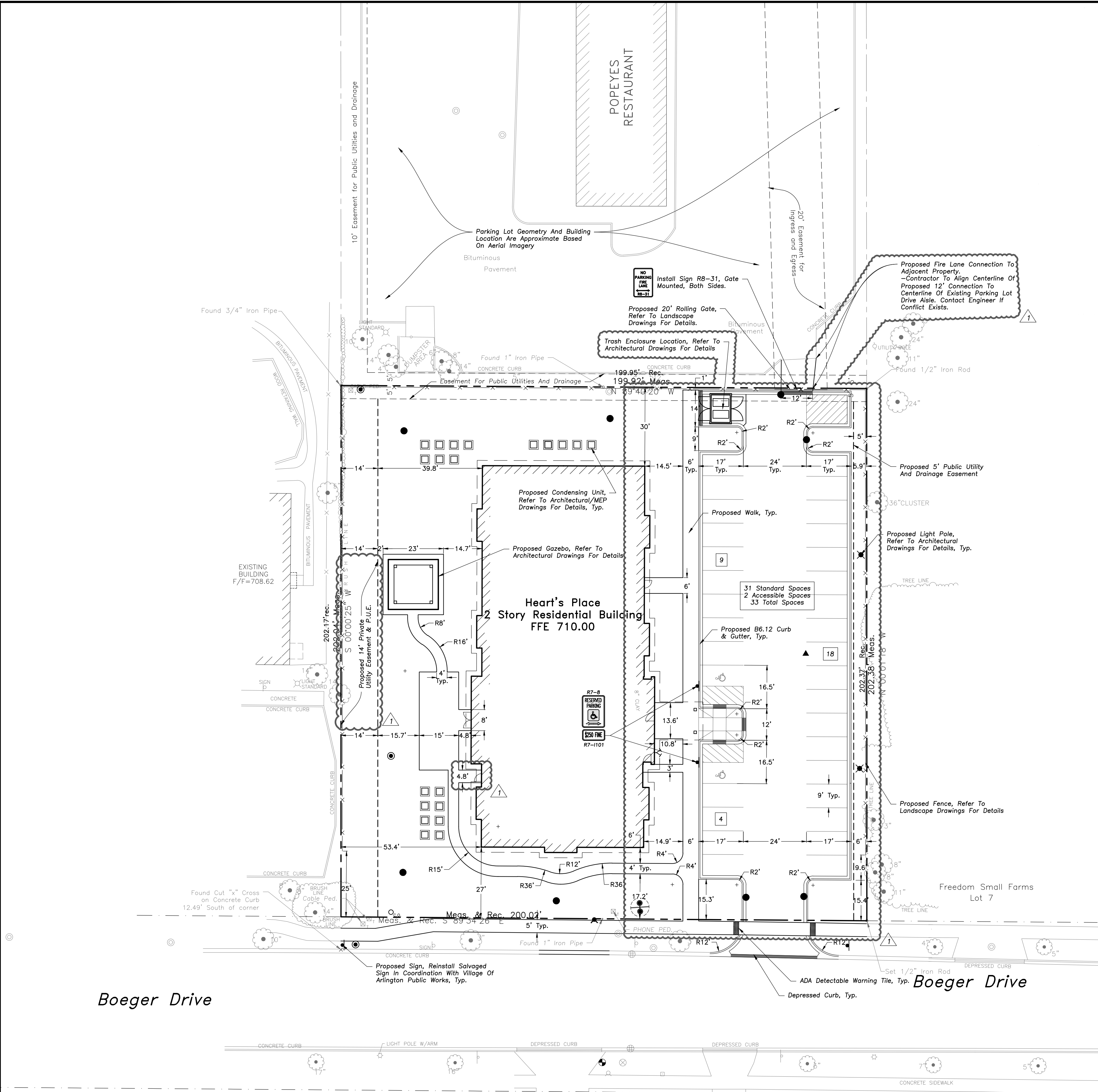
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Design By:	CDF
Date:	01/13/17
Approved By:	MR
Project No.:	

Sheet Title:
SITE DEMOLITION PLAN

Sheet No:
C1.0

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GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45" At 2'-0" Centers.
- All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Bollard	Bollard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection Fencing at Drip Line	Tree Protection Fencing at Drip Line

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- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Volume Control Facilities and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

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 PHONE (847) 223-4804
 FAX (847) 223-4864
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3	4/07/17	PUD REVIEW COMMENTS 2
4	12/28/17	FINAL PUD SUBMITTAL
Δ	02/20/18	FINAL PUD R1 & MWRD SUBMITTAL

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Design By:	CDF	Date:	01/13/17
Approved By:	MR	Project No.:	

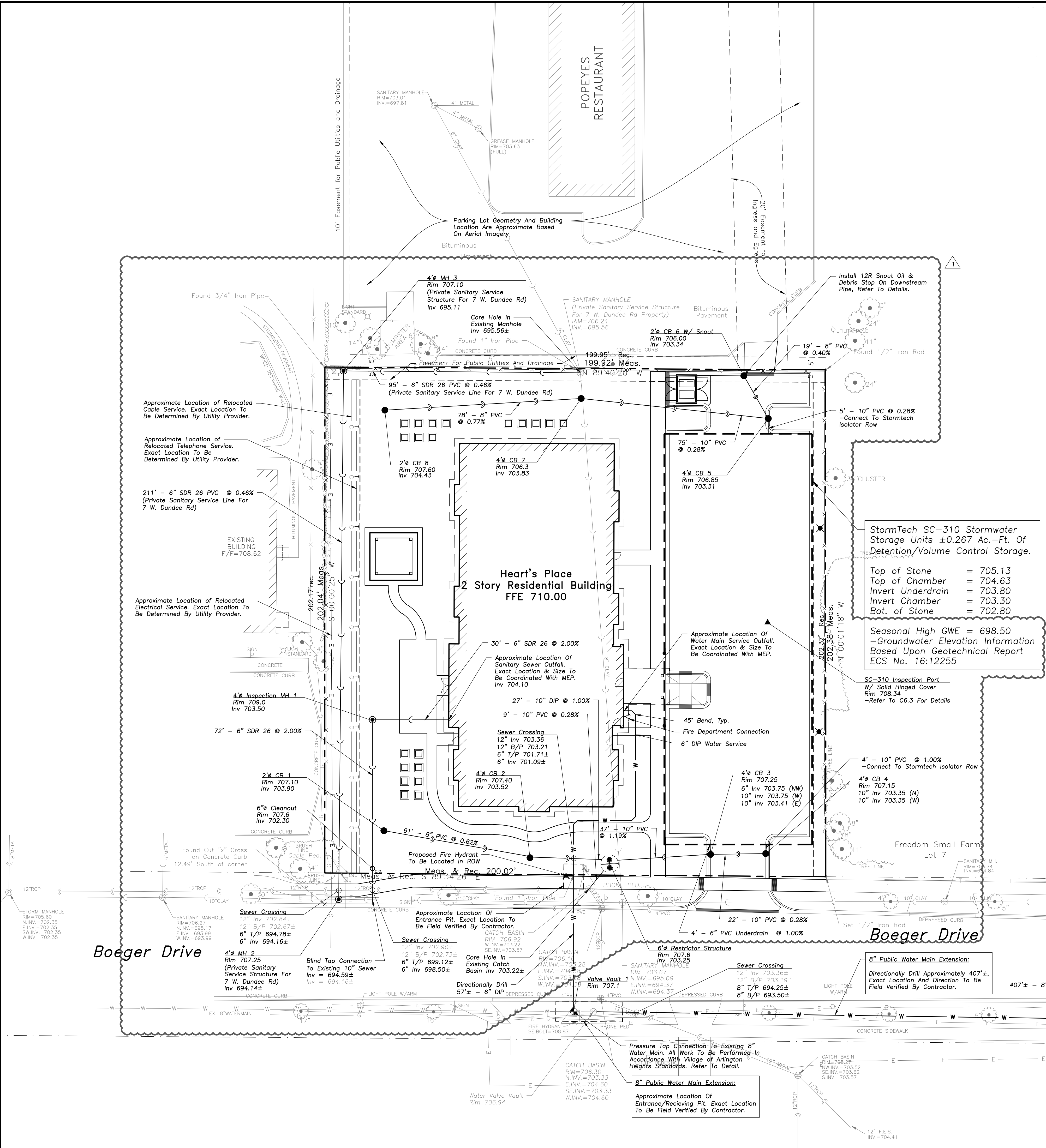
Sheet Title:
SITE GEOMETRY PLAN

Sheet No:
C2.0

Boeger Drive

Boeger Drive

E:\A - P\Code\UP Development - Hearts Place\Drawings\Hearts Place Siteplan.dwg
 Plotted: 2/20/18 @ 3:56pm By: clfontana

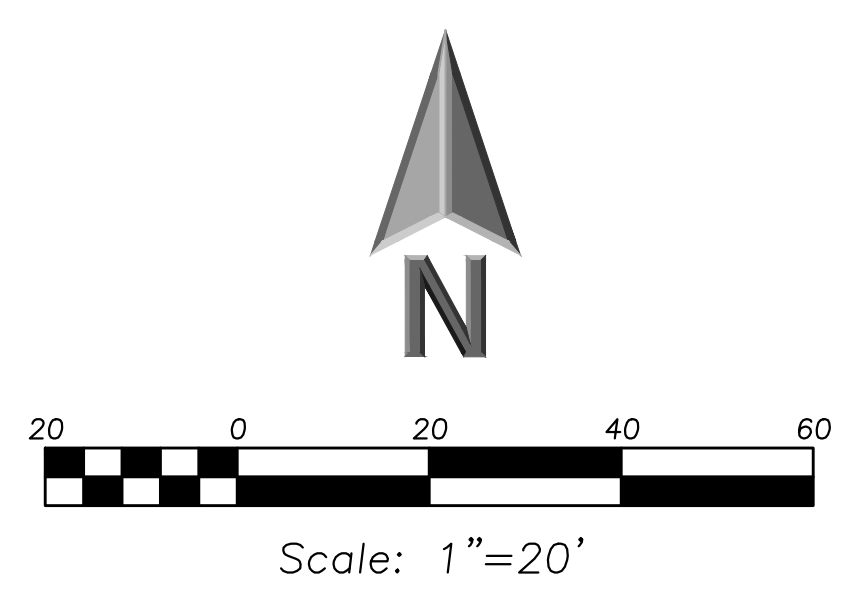


UTILITY NOTES

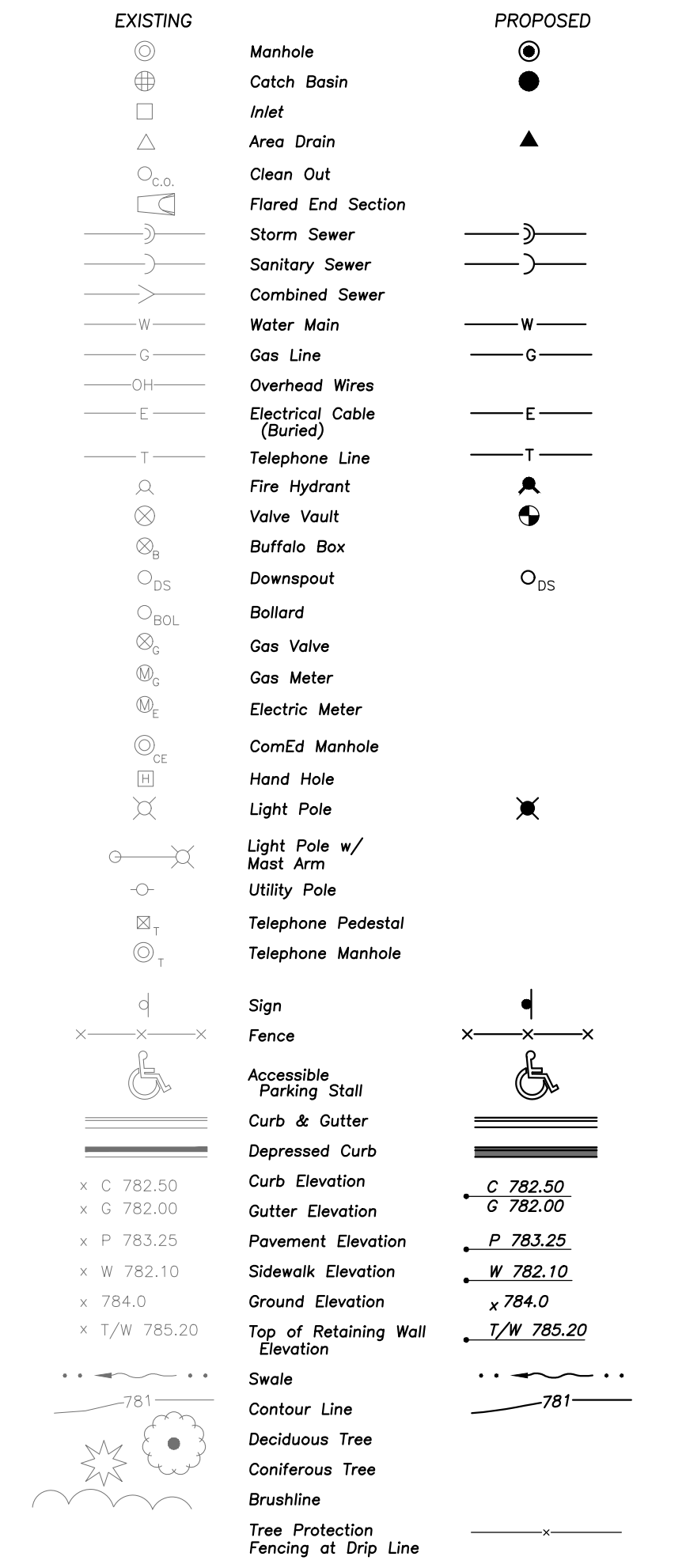
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if the Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
 4" Diameter Structure- 4"
 5" Diameter Structure- 6"
 6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, it is Intended That the Frame of the Structure is to Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Manhole Structures to Be Adjusted, Install or Remove Adjusting Rings, New Cone Section or New Barrel Section as Necessary.
- All Sanitary Manholes Shall Include a Chimney Seal.



LEGEND



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- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Arlington Heights a Minimum of 48 Hours in Advance of Performing Any Work.
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- These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings for Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Media Shall Verify All Dimensions and Locations of Buildings With the Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist the User of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Volume Control Facilities and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications for Road and Bridge Construction, Latest Edition, and All Addenda Thereto, Shall Govern the Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2019

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

Reserved for Seal:

Expiration Date: _____

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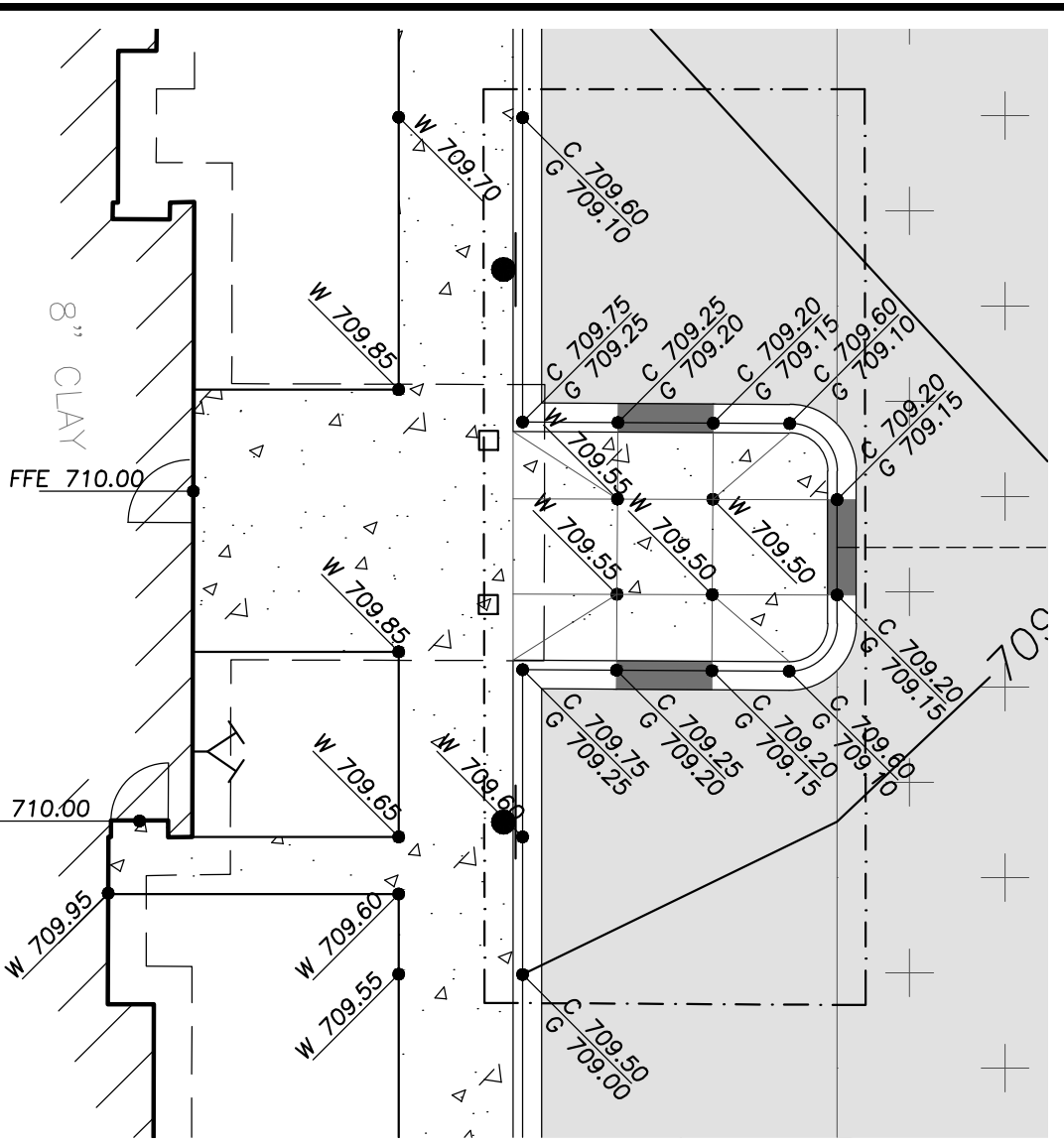
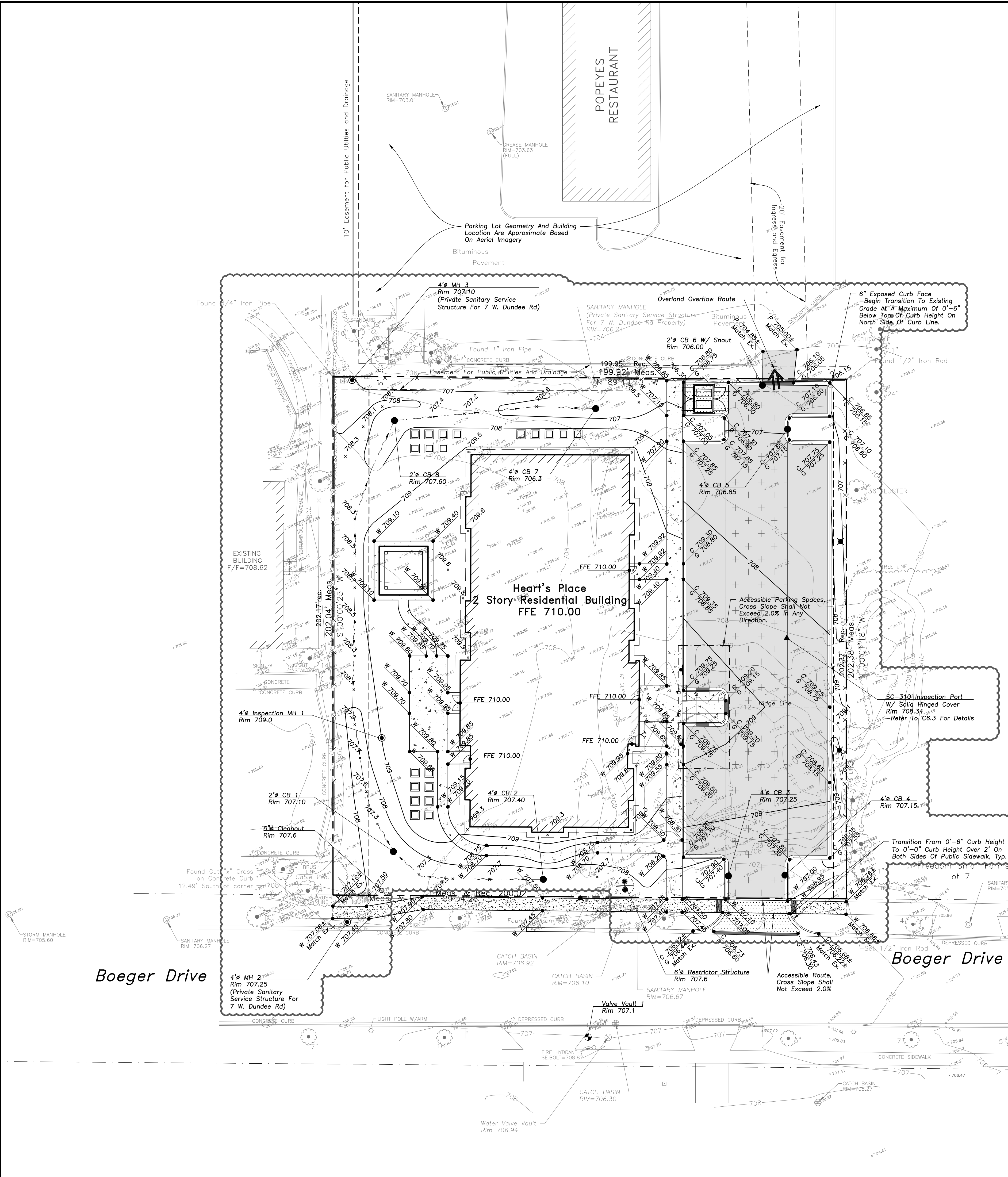
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Design By:	DF	Date:	01/13/17
Approved By:	MR	Project No.:	

Sheet Title:
SITE UTILITY PLAN

Sheet No:
C3.0

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 Plotted: 2/20/18 @ 3:58pm By: cfontana



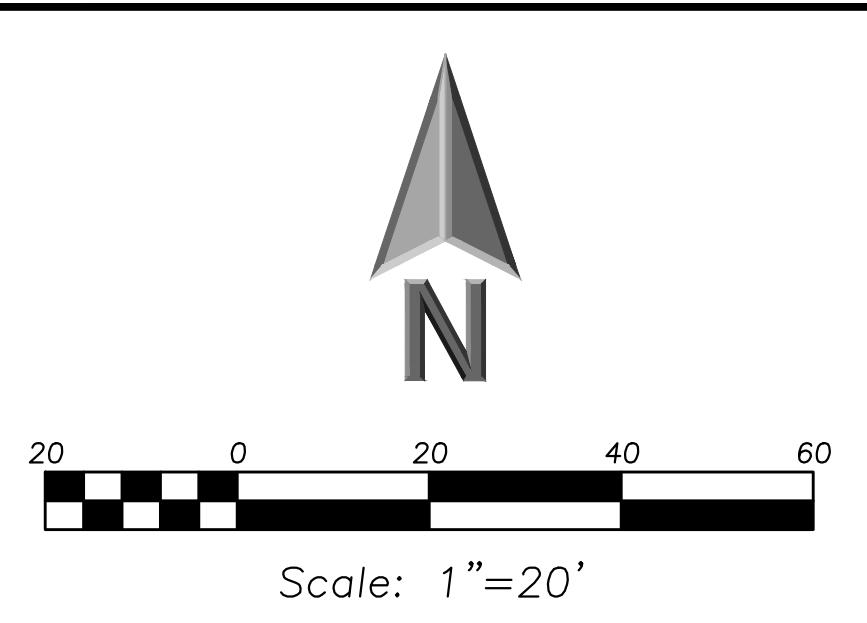
MAIN ENTRANCE DETAIL
 1" = 10'

GRADING NOTES

- The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
- Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall Be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.5%. Contact Engineer if Conflicts Exist.

PAVING & SURFACE LEGEND

- Concrete Driveway Section
 6" Portland Cement Concrete
 6" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section
 5" Portland Cement Concrete
 2" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section
 5" Portland Cement Concrete
 6"x6" W1.4xW1.4 Welded Wire Fabric
 2" Aggregate Base Course, Type B, Crushed
- Heavy-Duty Asphalt Pavement Section
 2" Hot Mix Asphalt, Mix D, IL-9.5, N50
 2 1/4" Hot Mix Asphalt, IL-19.0, N50
 5" Hot Mix Asphalt, IL-9.5, N30
 Prime Coat (0.25 gal/sq yd)
 4" CA-6 Aggregate Subbase
- Asphalt Pavement Section
 2" Hot Mix Asphalt, Mix D, IL-9.5, N50
 2 1/4" Hot Mix Asphalt, IL-19.0, N50
 Prime Coat (0.25 gal/sq yd)
 8" CA-6 Aggregate Subbase
- Ridge Line/High Point



LEGEND

- | EXISTING | PROPOSED |
|--------------------------------------|--------------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Bollard | Bollard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
| Swale | Swale |
| Contour Line | Contour Line |
| Deciduous Tree | Deciduous Tree |
| Coniferous Tree | Coniferous Tree |
| Brushline | Brushline |
| Tree Protection Fencing at Drip Line | Tree Protection Fencing at Drip Line |

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 GRAYSLAKE, ILLINOIS 60030
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 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2015

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

Reserved for Seal:
 Expiration Date: _____

No.	Date	Description
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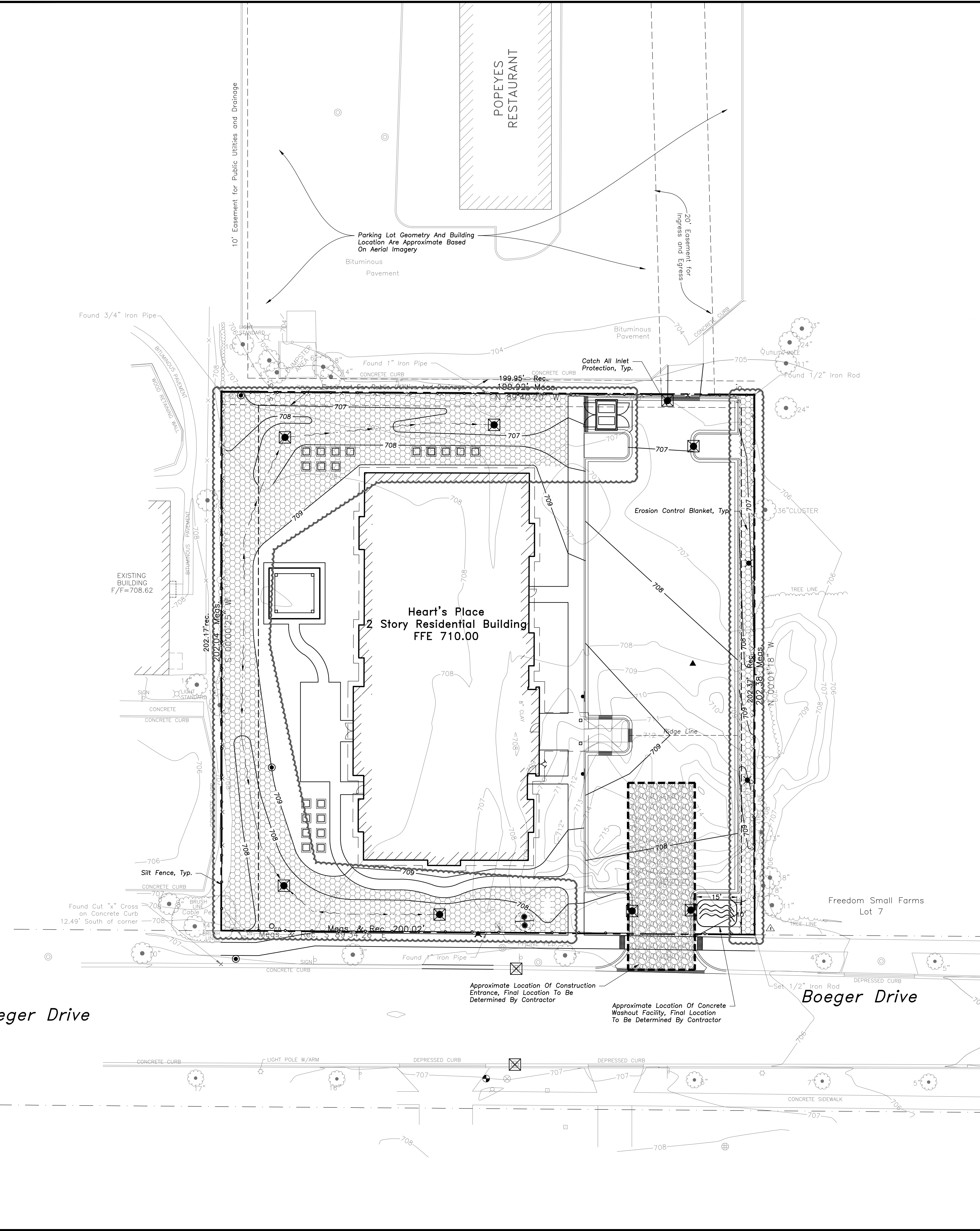
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 Design By: CDF Date: 01/13/17
 Approved By: MR Project No:

SHEET TITLE:
SITE GRADING AND PAVING PLAN

Sheet No:
C4.0

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Plotted: 2/20/18 @ 3:59pm By: cfontana

Boeger Drive



SOIL EROSION & SEDIMENTATION CONTROL NOTES

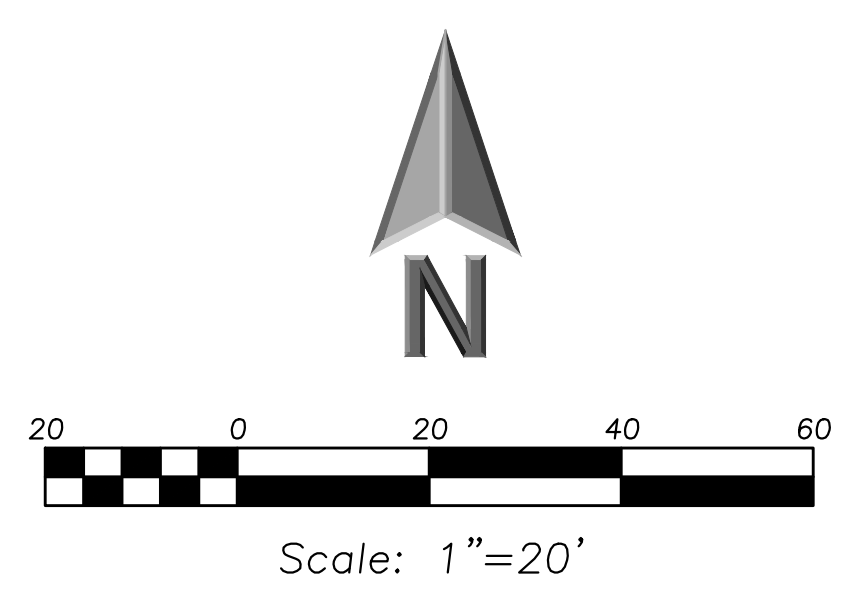
- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Soil Disturbance Shall Be Conducted in Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Permanent Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Watties Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation.
- All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable Cook County DECI Requirements.
- Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil and Erosion Sediment and Control Inspector Or Governing Agency.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- All Concrete Washout Shall Conform To The Temporary Concrete Washout Facility Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- Dewatering of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Dewatering Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- Install Stabilized Construction Entrance
- Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb An Area Until It Is Necessary For Construction To Proceed.
- Cover and Stabilize Disturbed Areas As Soon As Possible.
- When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
- Construct Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Along Silt Fence.
- Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Silt Fence
- Erosion Control Blanket
North American Green DS75
Or Approved Equal
- Catch-All, Park Chop Sedguard (or equal) Paved or Existing Stabilized Areas



LEGEND

- | EXISTING | PROPOSED |
|---------------------------------|---------------------------------|
| Manhole | Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Area Drain | Area Drain |
| Clean Out | Clean Out |
| Flared End Section | Flared End Section |
| Storm Sewer | Storm Sewer |
| Sanitary Sewer | Sanitary Sewer |
| Combined Sewer | Combined Sewer |
| Water Main | Water Main |
| Gas Line | Gas Line |
| Overhead Wires | Overhead Wires |
| Electrical Cable (Buried) | Electrical Cable (Buried) |
| Telephone Line | Telephone Line |
| Fire Hydrant | Fire Hydrant |
| Valve Vault | Valve Vault |
| Buffalo Box | Buffalo Box |
| Downspout | Downspout |
| Bollard | Bollard |
| Gas Valve | Gas Valve |
| Gas Meter | Gas Meter |
| Electric Meter | Electric Meter |
| ComEd Manhole | ComEd Manhole |
| Hand Hole | Hand Hole |
| Light Pole | Light Pole |
| Light Pole w/ Mast Arm | Light Pole w/ Mast Arm |
| Utility Pole | Utility Pole |
| Telephone Pedestal | Telephone Pedestal |
| Telephone Manhole | Telephone Manhole |
| Sign | Sign |
| Fence | Fence |
| Accessible Parking Stall | Accessible Parking Stall |
| Curb & Gutter | Curb & Gutter |
| Depressed Curb | Depressed Curb |
| Curb Elevation | Curb Elevation |
| Gutter Elevation | Gutter Elevation |
| Pavement Elevation | Pavement Elevation |
| Sidewalk Elevation | Sidewalk Elevation |
| Ground Elevation | Ground Elevation |
| Top of Retaining Wall Elevation | Top of Retaining Wall Elevation |
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| Fencing at Drip Line | Fencing at Drip Line |

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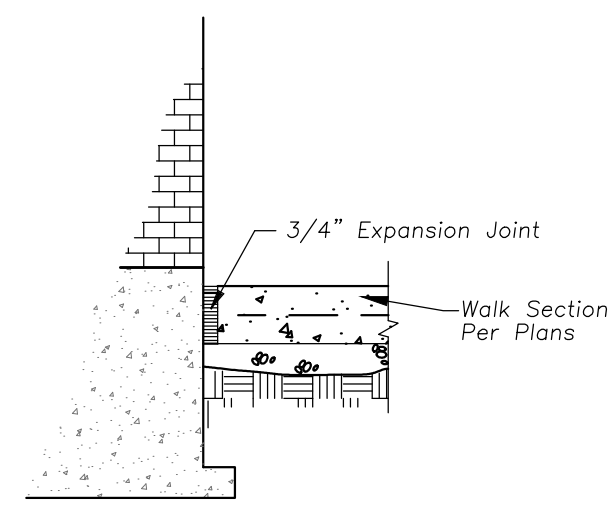
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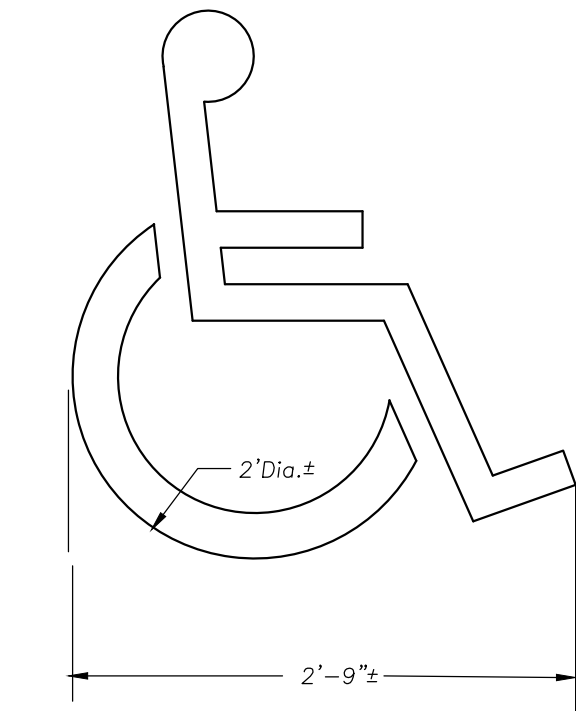
Design By: CDF	Date: 01/13/17
Approved By: MR	Project No.:

Sheet Title:
SITE SOIL EROSION AND SEDIMENT CONTROL PLAN

Sheet No:
C5.0

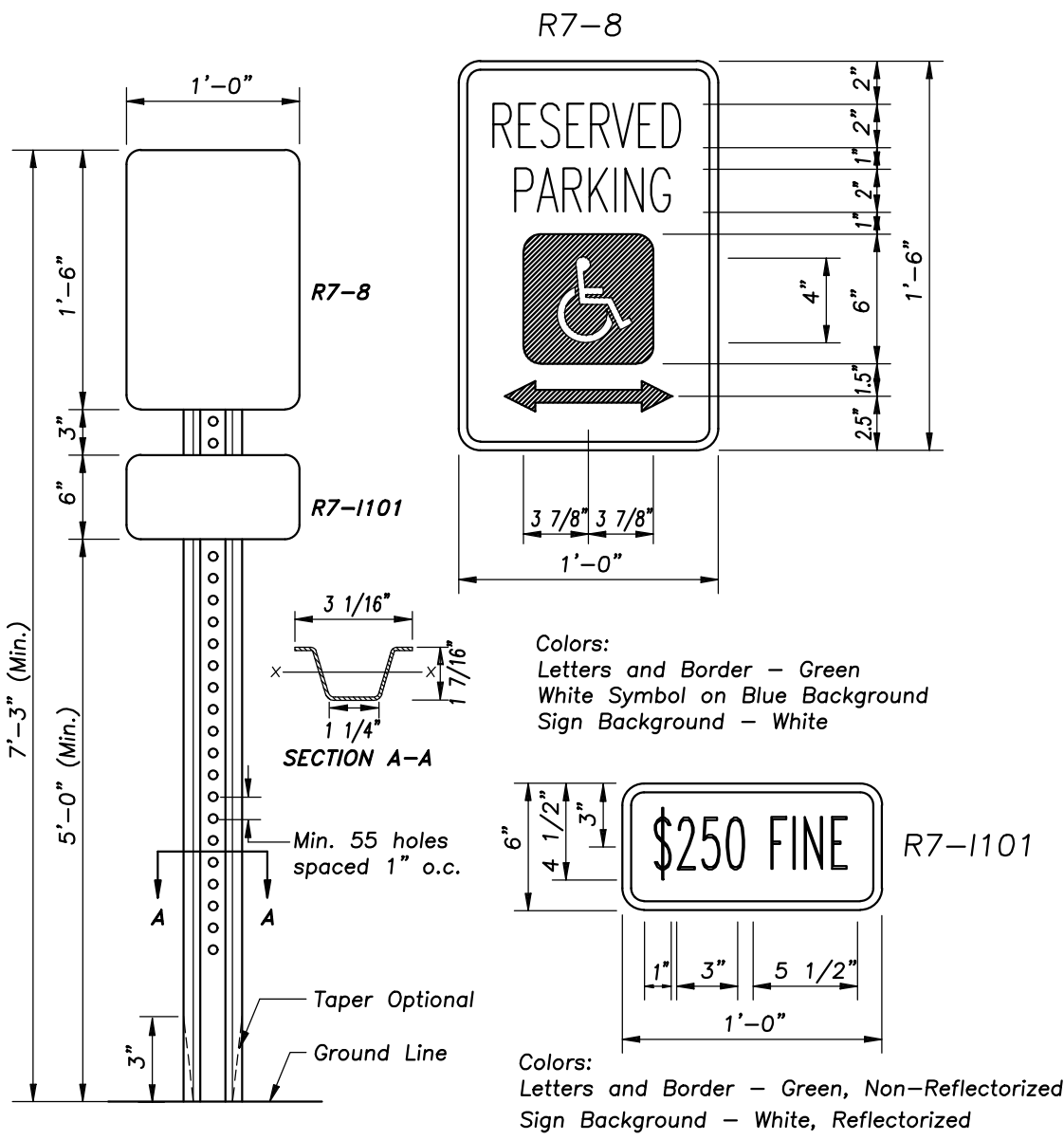


WALK ADJACENT TO BUILDING



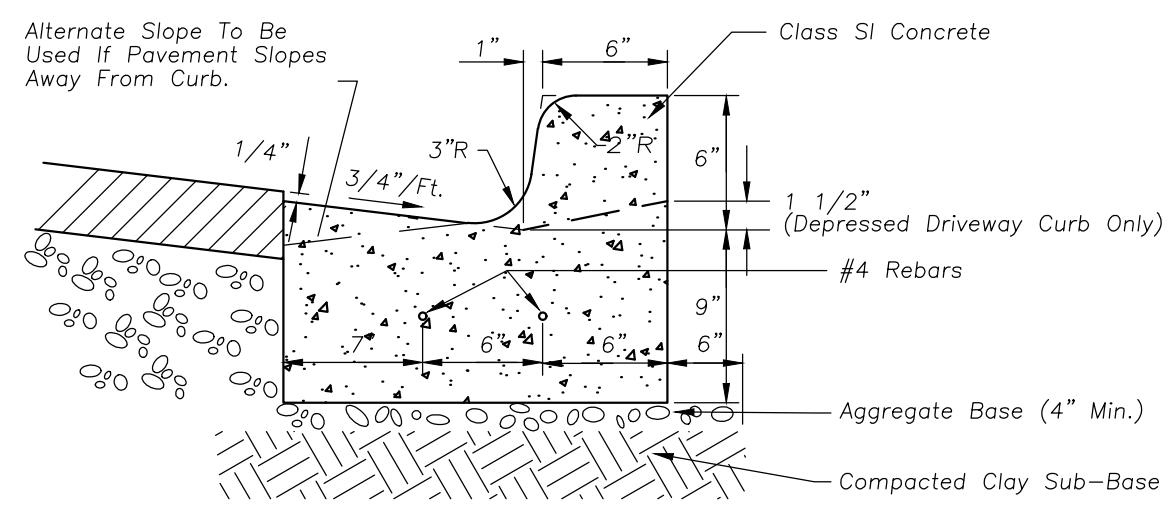
Note: All Paint Shall Be 4" Wide Yellow Lines (Typ.)

ACCESSIBLE PARKING STALL PAVEMENT MARKING



Notes: Dimensions shown for cross sections are minimum. All holes are 3/8" ϕ . Minimum section modulus about the x-x axis of the post shall be 0.225 in.
For posts in which holes are punched or drilled for more than half their length, the section modulus shall be computed for the net section.
3'-6" Post Bury Depth.
Post shall weigh 2.00 lb/ft length.
One in Six Accessible Parking Spaces Must be Van Accessible, Minimum of One, Van Accessible Spaces Have the Same Requirement Except They Must Also Have 96" of Clear Vertical Space.

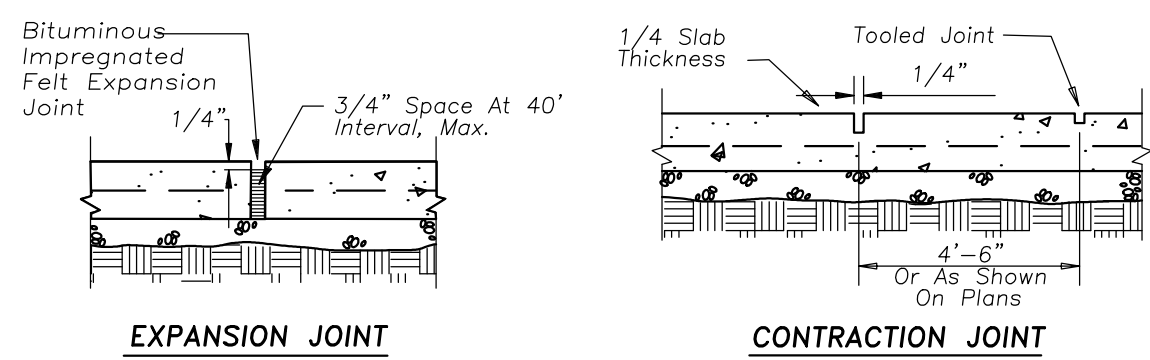
ACCESSIBLE PARKING SIGN



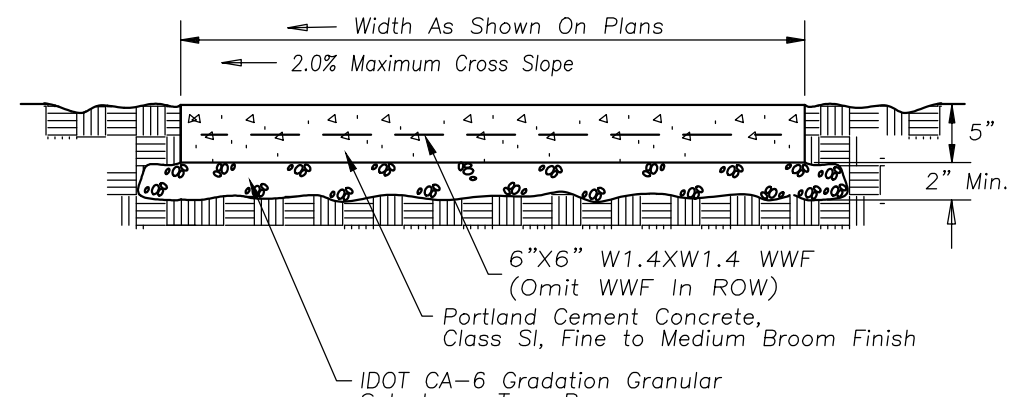
Notes:

- A 1" Expansion Joint Shall Be Installed At All Points of Curvature For Short Radius (Under 25 ft.) Curves. Maximum Expansion Joint Spacing is 50'. Expansion Joints Shall Be Constructed With 1" Thick Preformed Expansion Joint Filler Conform To The Curb And Gutter Cross Section And Shall Be Provided With One, 1/4" ϕ , 18" Long, Coated Smooth Dowel Bar. The Dowel Bar Shall Be Fitted With A Cap With A Finched Stop Which Provides A Minimum Of 1" Of Expansion.
- Maximum Contraction (Control) Joint Spacing Shall Be 20'.

B-6.12 CURB & GUTTER



EXPANSION JOINT CONTRACTION JOINT



PORTLAND CEMENT CONC. SIDEWALK

GENERAL NOTES

Description:
This work shall consist of constructing sidewalk curb ramps with detectable warnings in compliance with the Americans with Disabilities Act, Accessibility Guidelines (ADAAG).
The detectable warnings shall consist of an area of truncated domes that provide both visual and tactile cues to pedestrians who are about to enter into traffic.

The detectable warnings shall present a contrast in color from the adjacent sidewalk.
Construction Requirements:
1. Ramps Shall Be Located As Shown On Plans In Alignment With Normal Sidewalk And/or Crosswalk And Shall Have Sufficient Curb Length At Corner Radius To Prevent Vehicular Encroachment.

2. Curb Ramps At Marked Crossings Shall Be Wholly Contained Within The Markings Excluding Paved Surfaces.
3. In No Case Shall Expansion Joints That Are Constructed In Curbs And Gutters At Or Near Corner Radiuses Be Located Within The Accessible Ramp Areas.

4. Where Preformed Joint Filler (p.j.f) Is Installed Against A Curved Surface, The Contractor Shall Use A Flexible Filler In Accordance With The Illinois Department Of Transportation (IDOT) Standard Specifications.

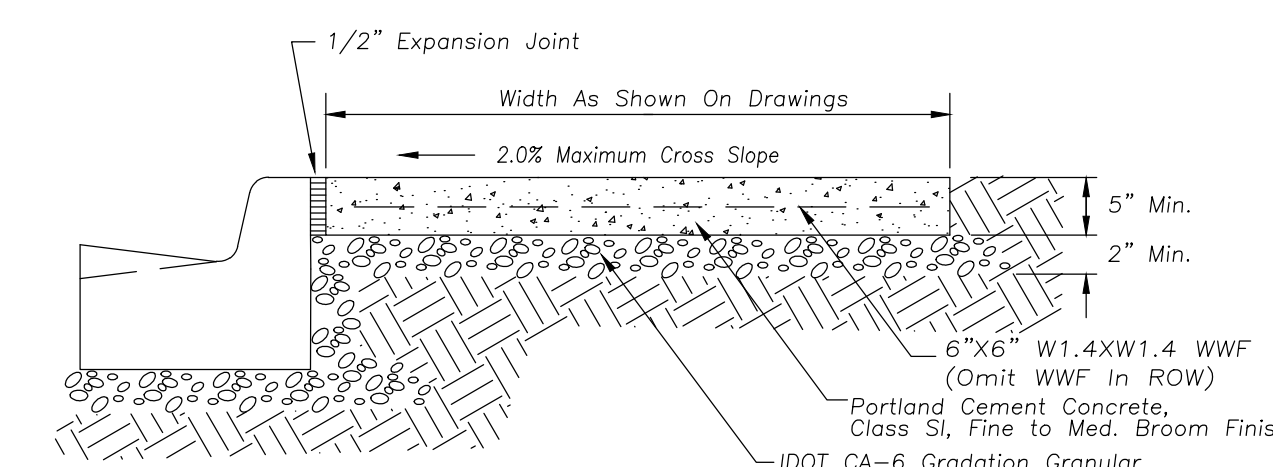
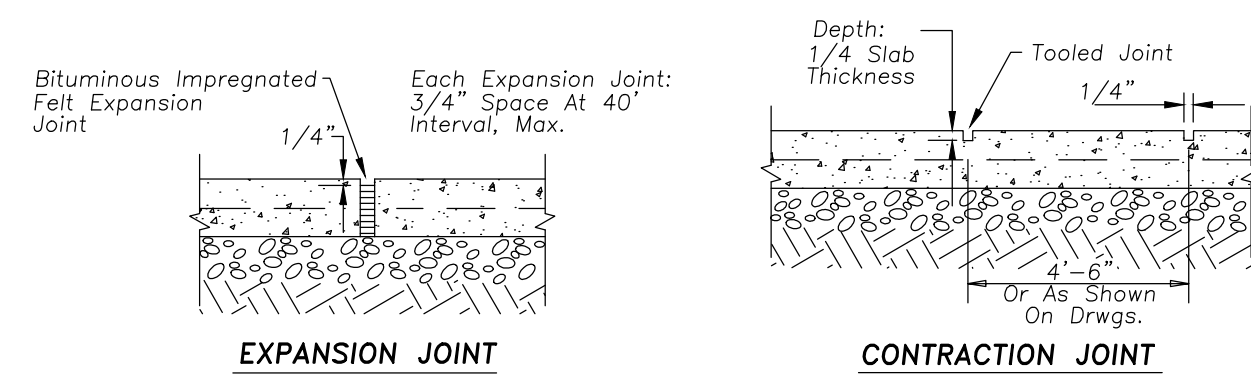
Equipment: Equipment for the detectable warning area of the curb ramps shall meet the requirements of the Authorities having Jurisdiction.

DETECTABLE WARNING SURFACE TILES
Provide Surface Applied Detectable/Tactile Warning Surface Tiles which comply with the detectable warnings on walking surfaces section of the Americans with Disabilities Act (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2 (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2).

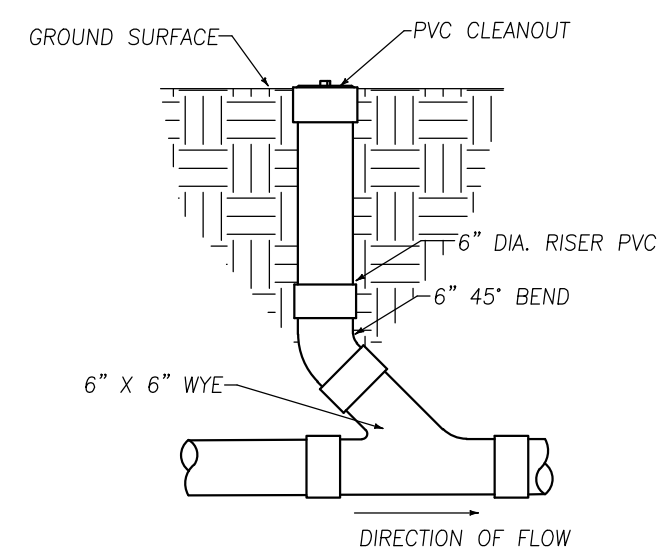
Dimensions: Cast in Place Detectable/Tactile Warning Surface Tiles shall be held within the following dimensions and tolerances:
Length and Width in One of the Following as Necessary for the Dimensions of the Surface in Which the Detectable Warning is Proposed: 12x12 24x24 24x36 24x48 24x60 36x48 36x60 nominal. No Cutting of Tiles is Allowed.

Installation of Detectable/Tactile Warning Surface Tiles Per Manufacturer's Instructions.
Verify With The Local Authorities Having Jurisdiction that Detectable/Tactile Warning Surface Tiles are an Acceptable Method of Providing for the Detectable Warning Surface.

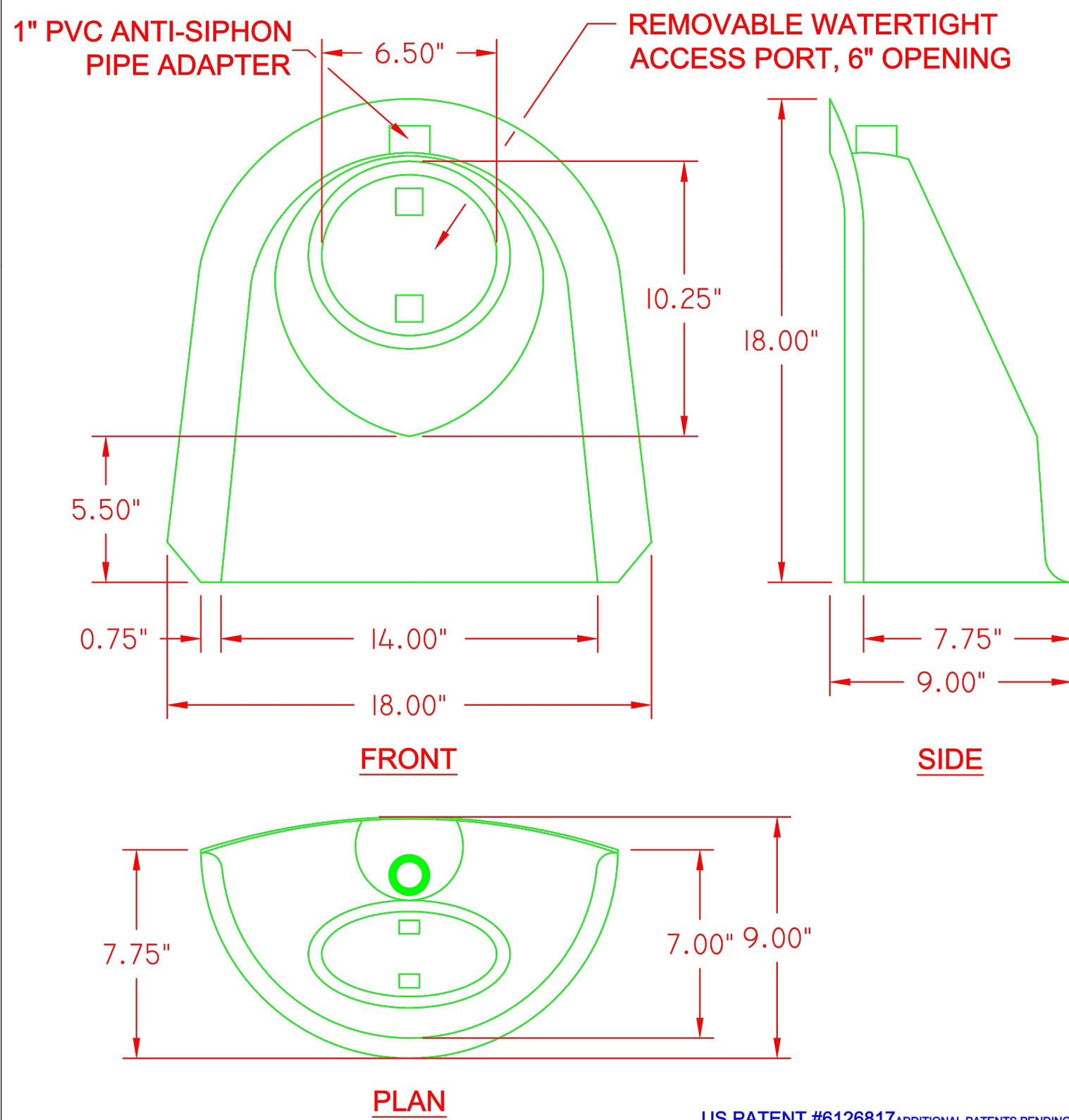
Verify With The Local Authorities Having Jurisdiction that the Manufacturer's Products are Acceptable for the Detectable Warning Surface.



PORTLAND CEMENT CONC. SIDEWALK



PVC CLEANOUT



DESIGNED TO FIT 36" DIA. STRUCTURES

US PATENT #6126817 ADDITIONAL PATENTS PENDING

BMP, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(800) 504-8008 FAX: (860)434-3195

DESCRIPTION	DATE	SCALE
12R SNOOT OIL & DEBRIS STOP	09/09/99	NONE
DRAWING NUMBER		
12R		

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Plotted: 2/20/18 @ 4:00pm By: cfontana

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145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
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FAX: (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
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2 STORY RESIDENTIAL BUILDING
120 & 122 W Boeger Drive
Arlington Heights, Illinois

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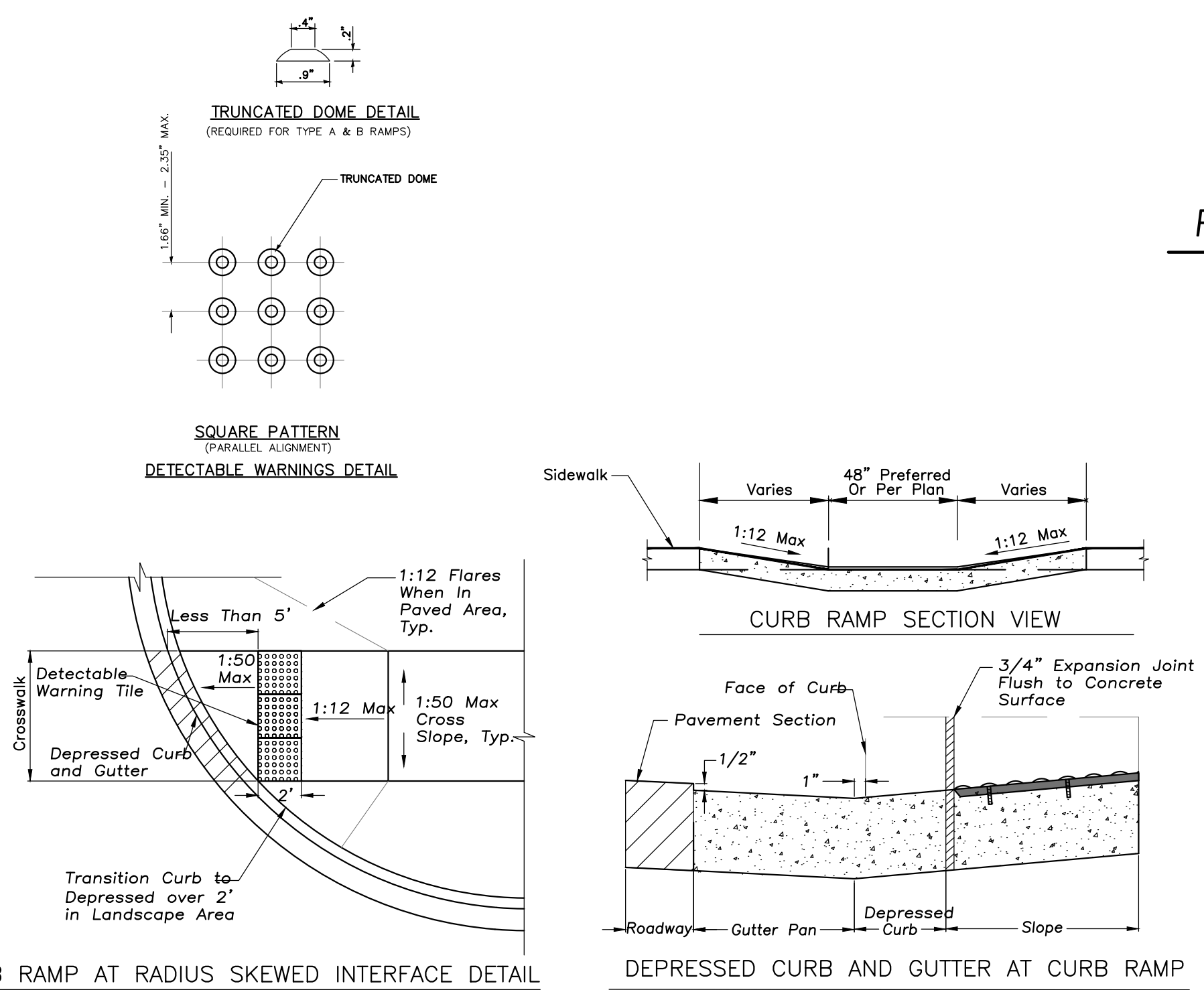
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3	4/07/17	PUD REVIEW COMMENTS 2
4	12/28/17	FINAL PUD SUBMITTAL
△	02/20/18	FINAL PUD R1 & MW RD SUBMITTAL

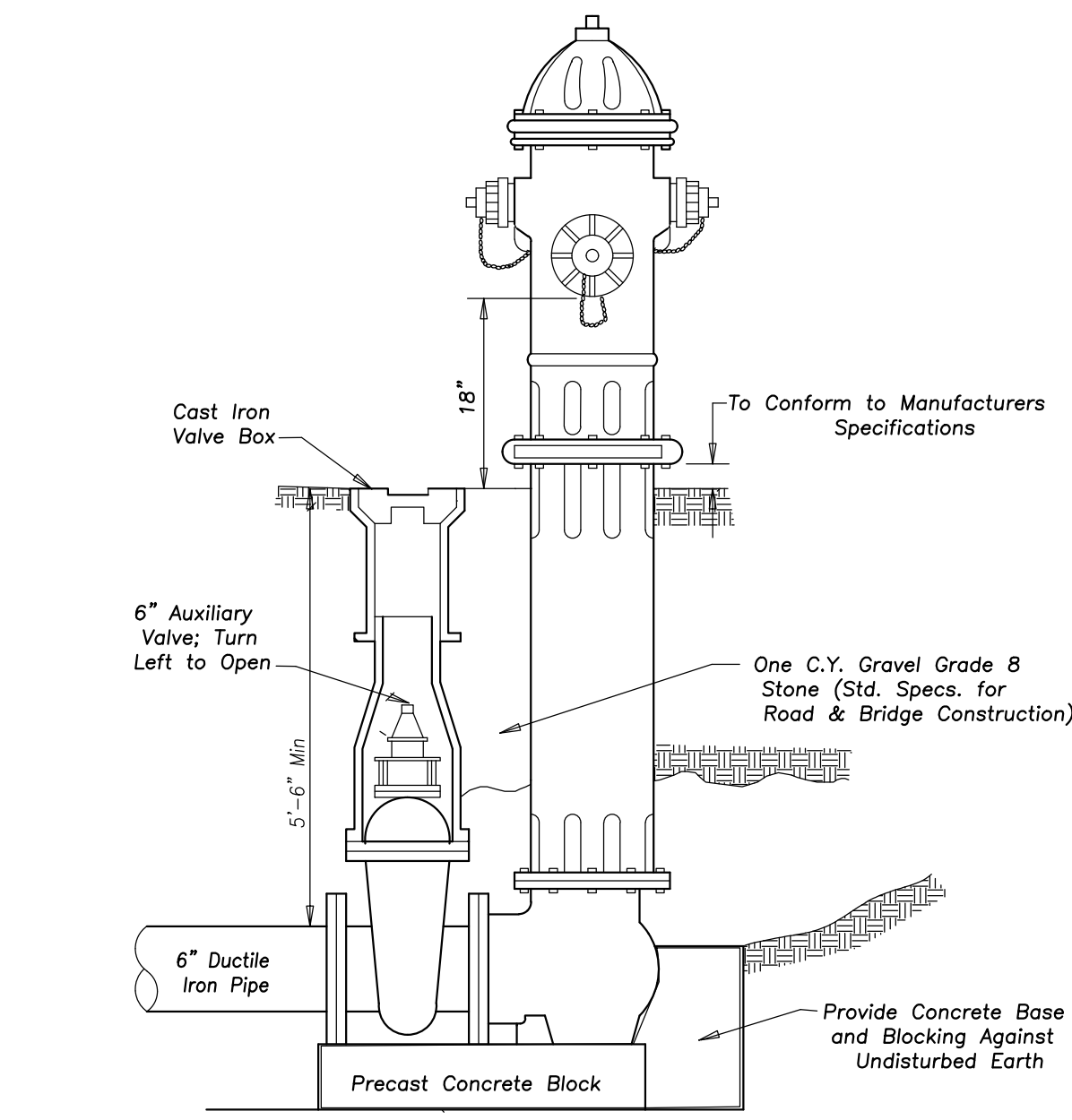
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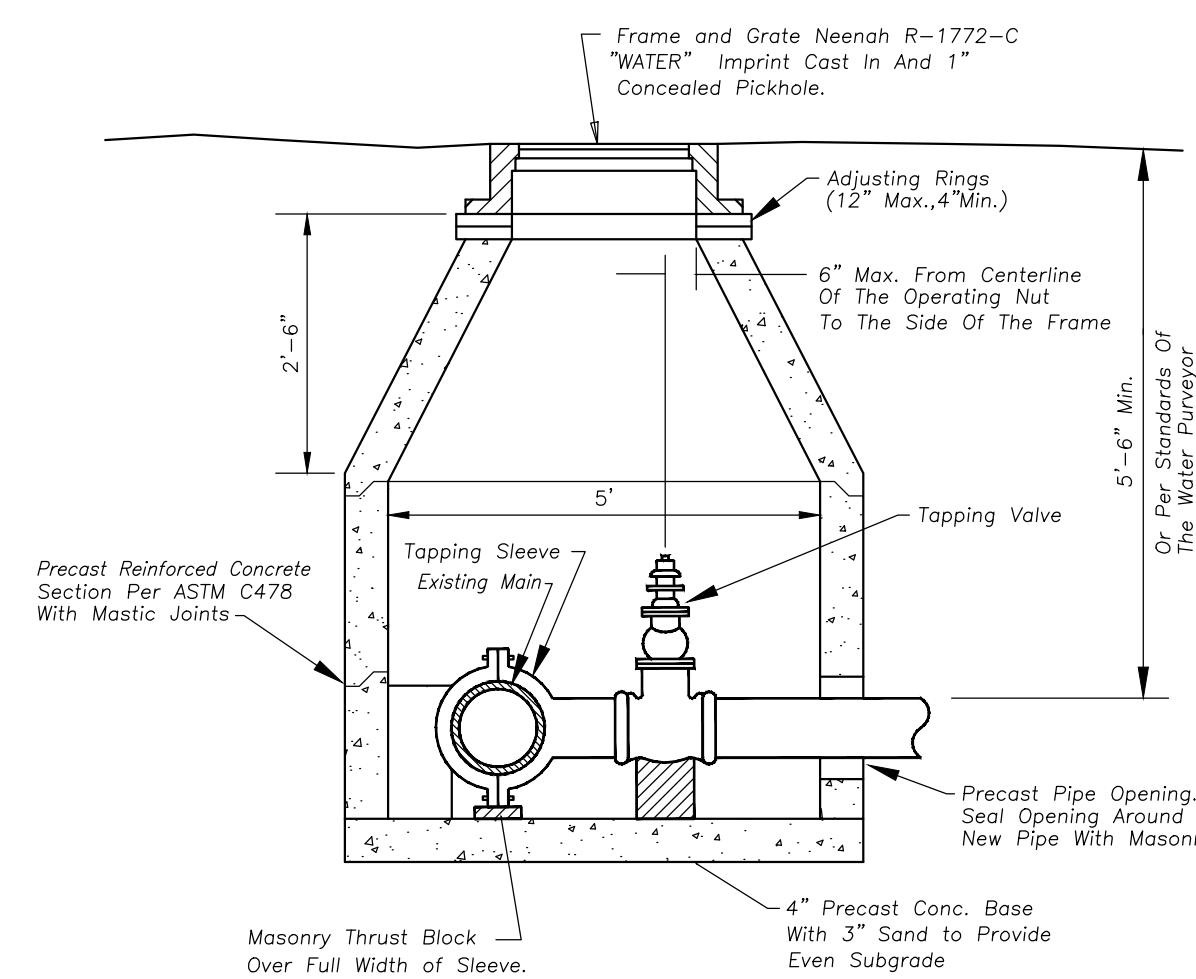
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ACCESSIBLE RAMPS FOR SIDEWALKS

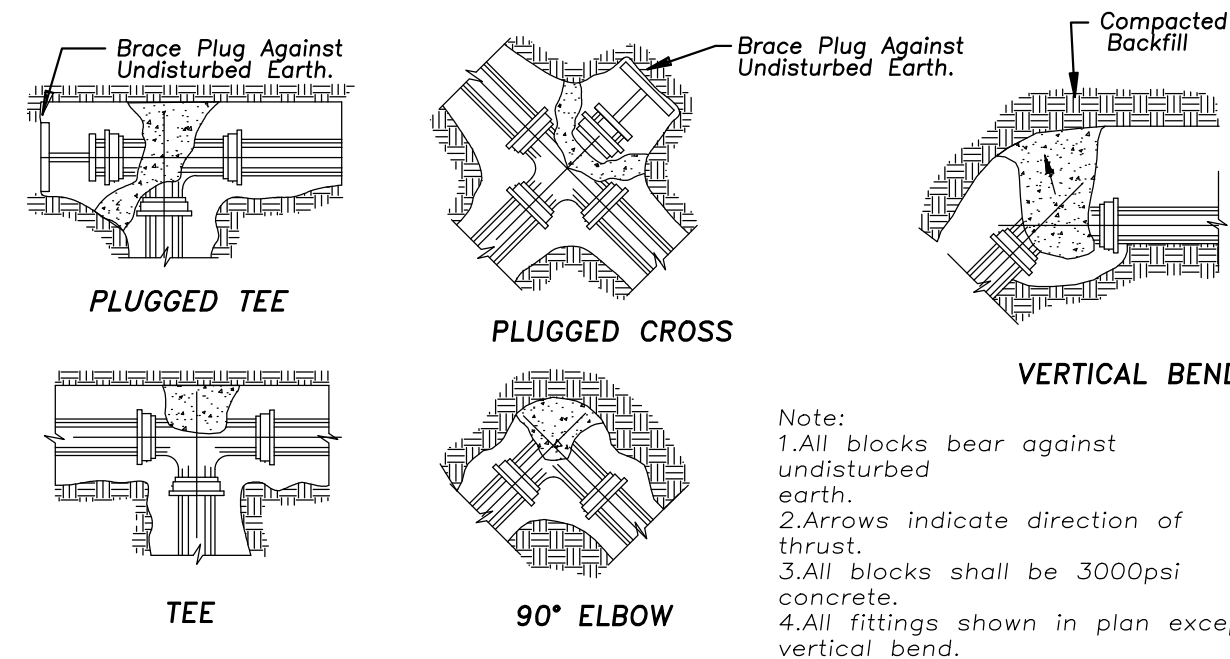




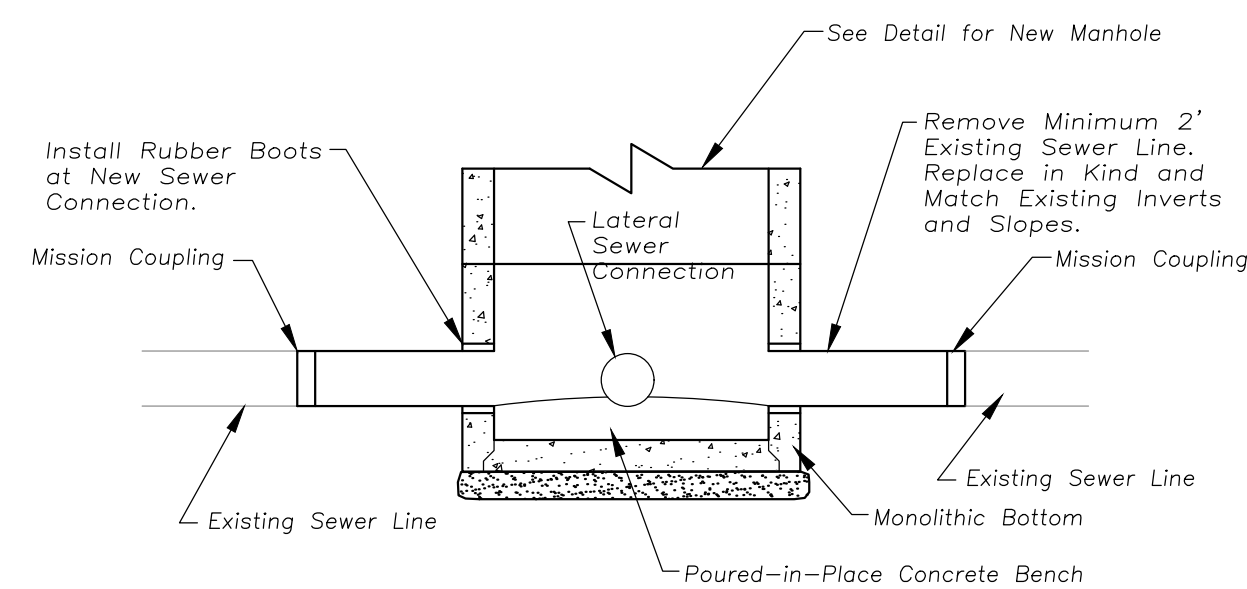
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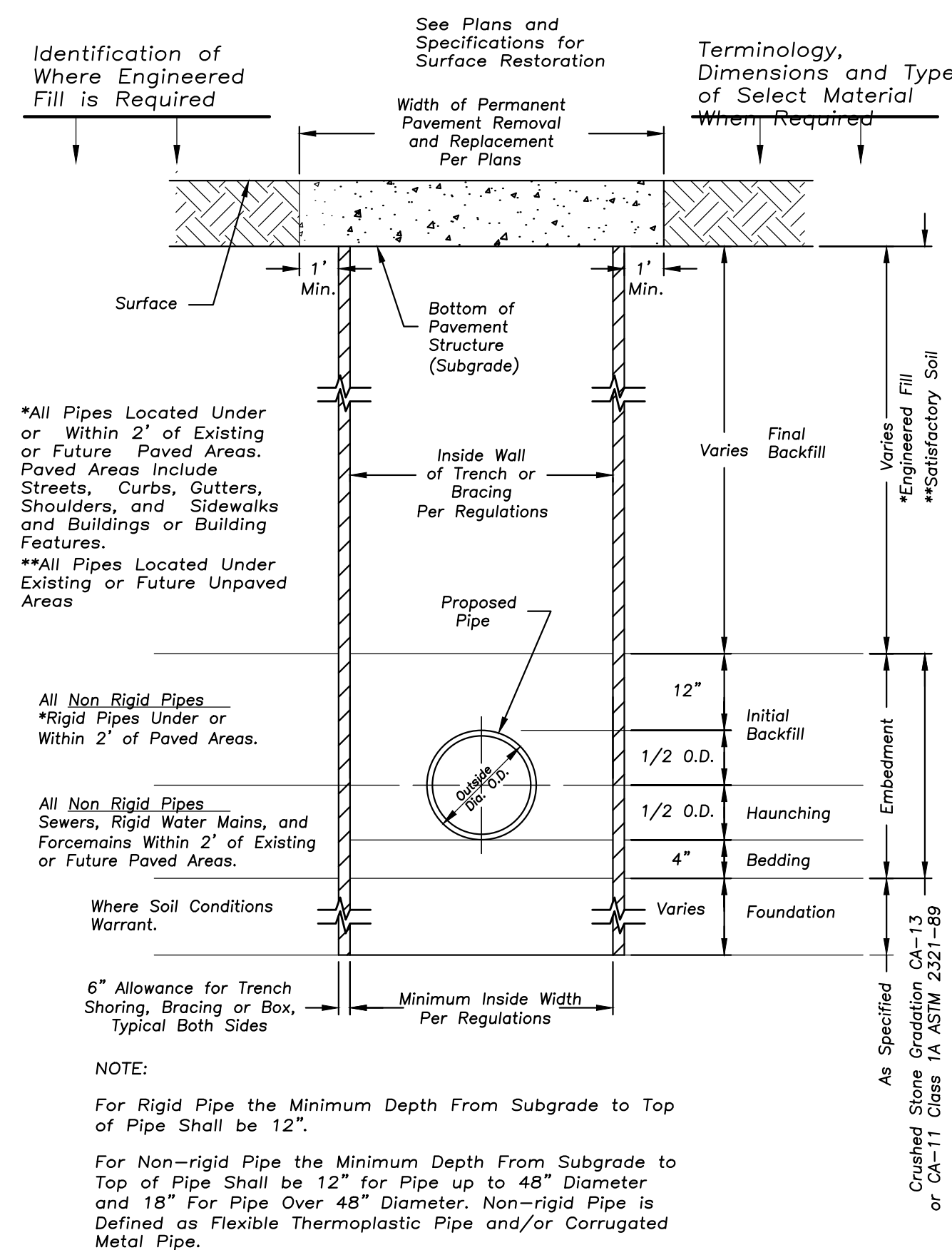
PRESSURE CONNECTION VAULT



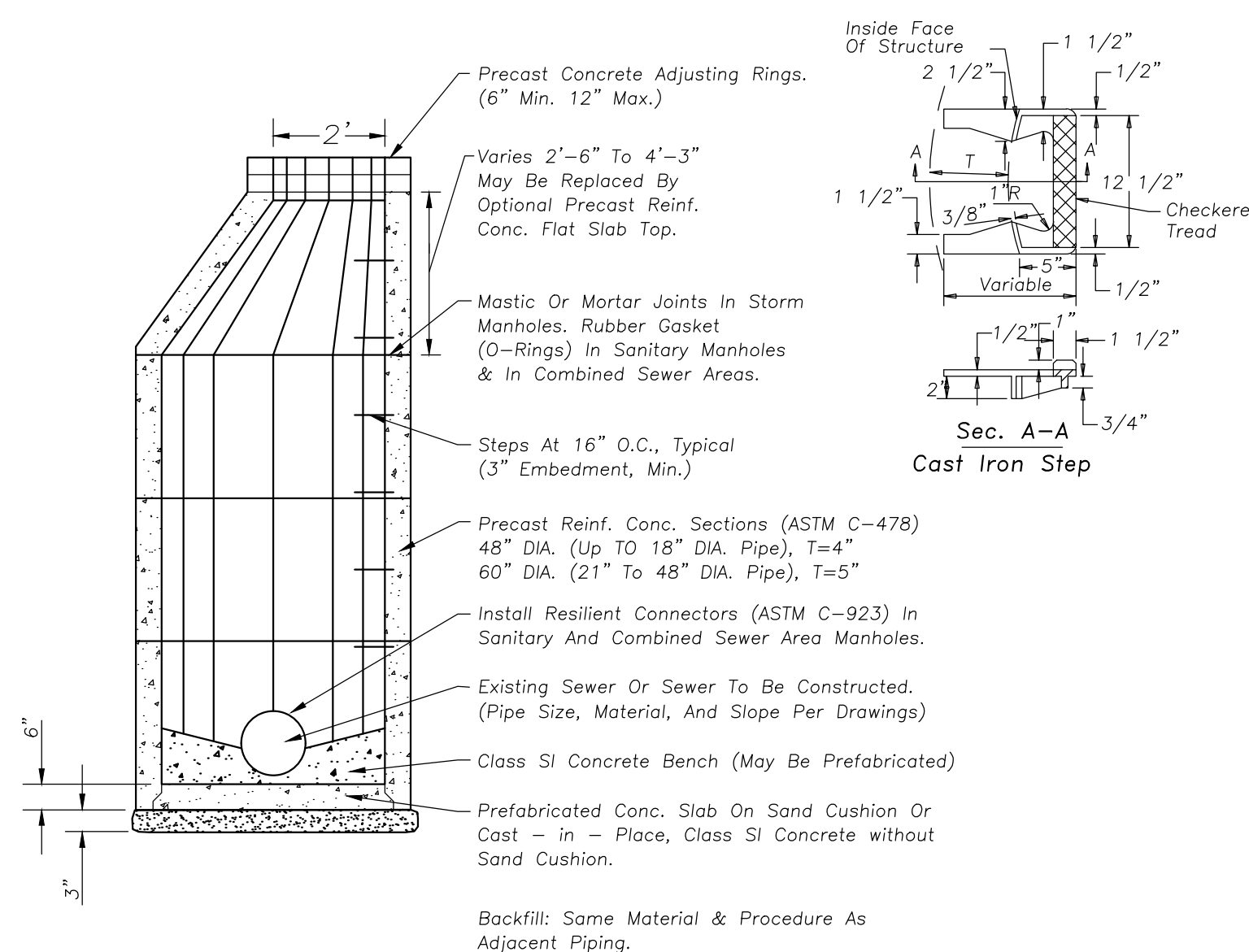
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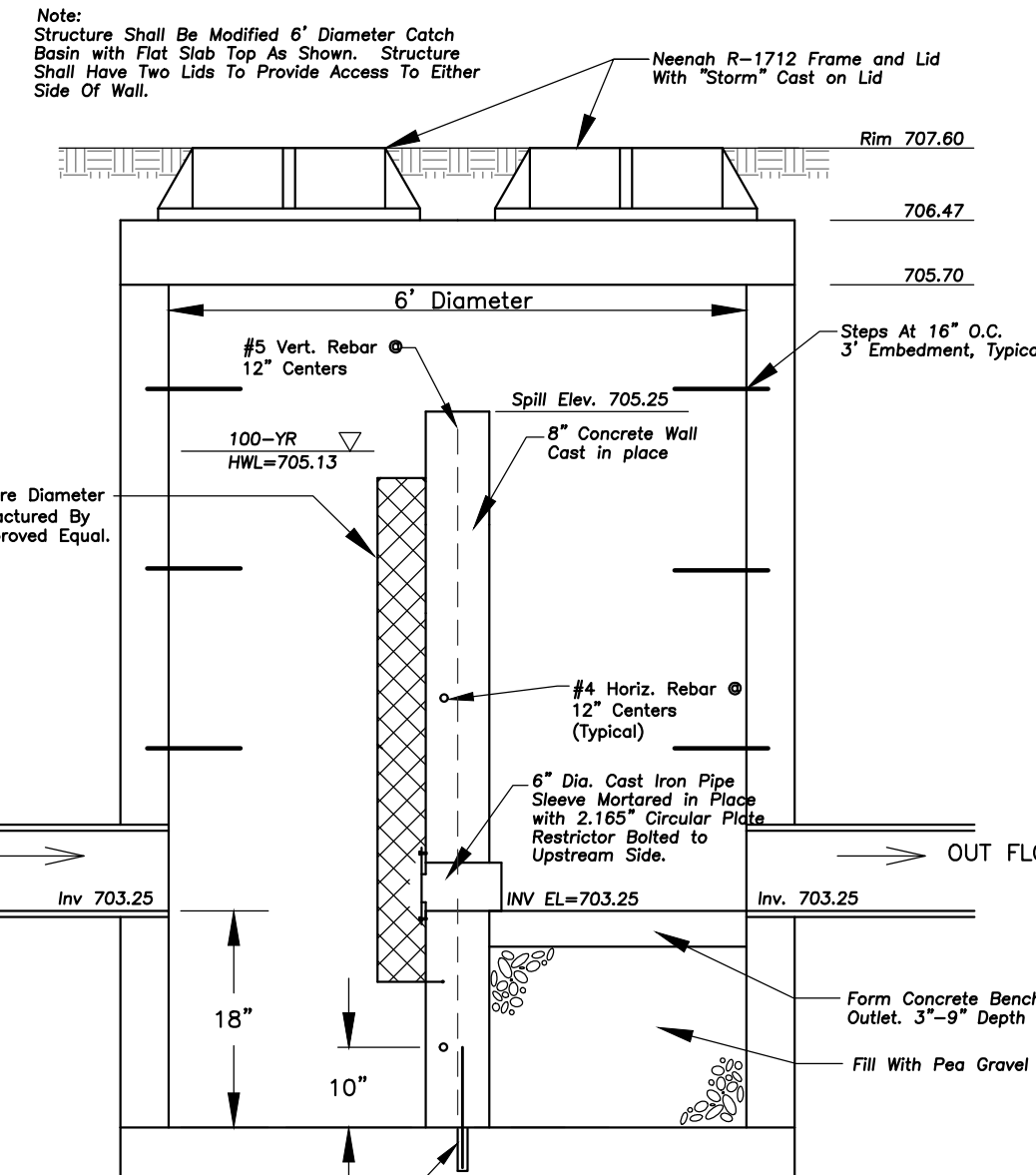
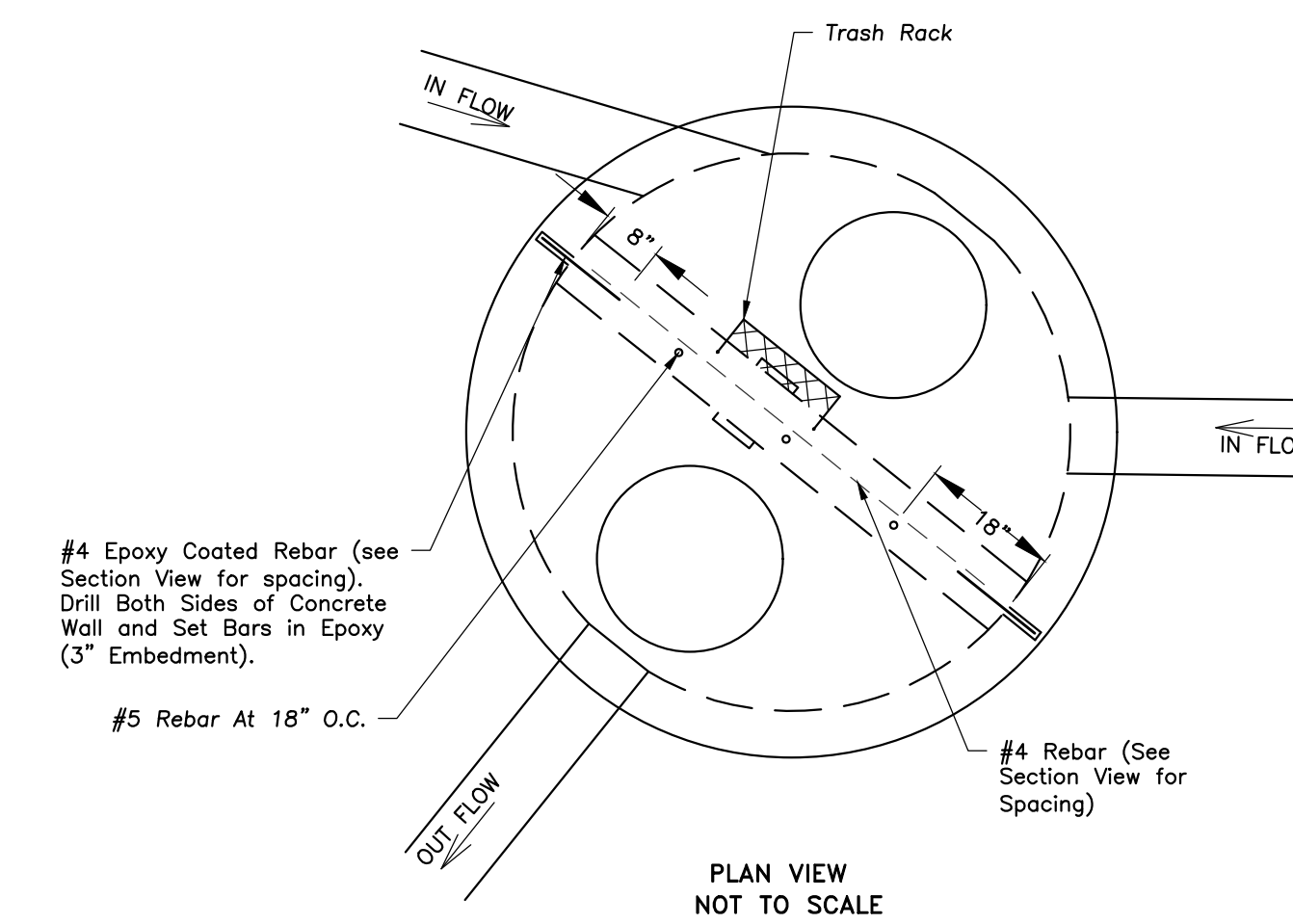
NEW MANHOLE ON EXISTING SEWER LINE



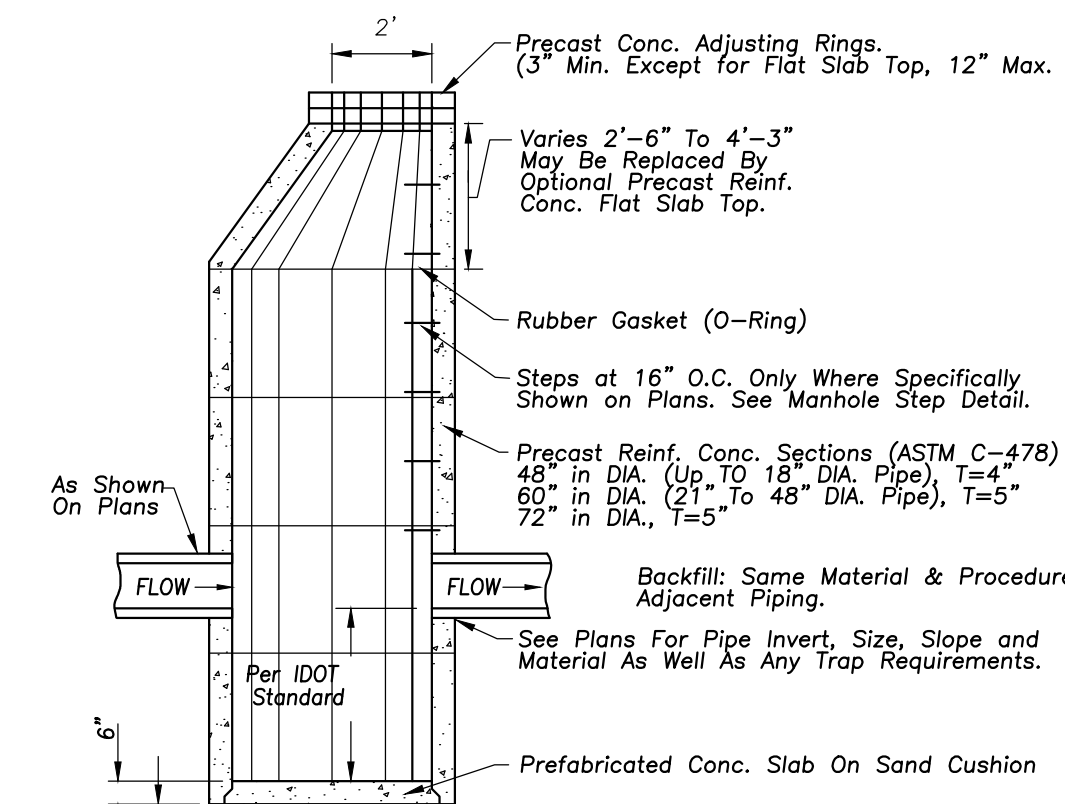
STANDARD SEWER AND WATER TRENCH SECTION



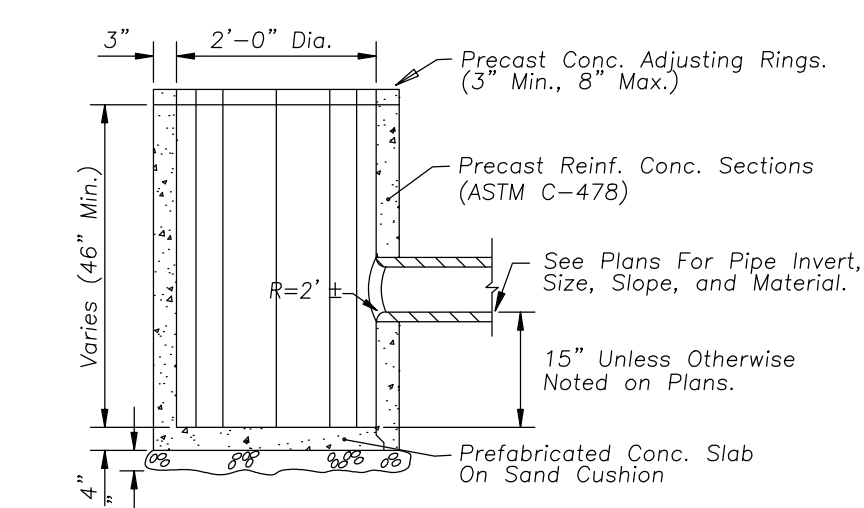
MANHOLE - 48"-60" DIA.



RESTRICTOR STRUCTURE



CATCH BASIN



CATCH BASIN - 2' DIA.



145 COMMERCE DRIVE, SUITE A
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 PHONE (847) 223-4804
 FAX (847) 223-4864
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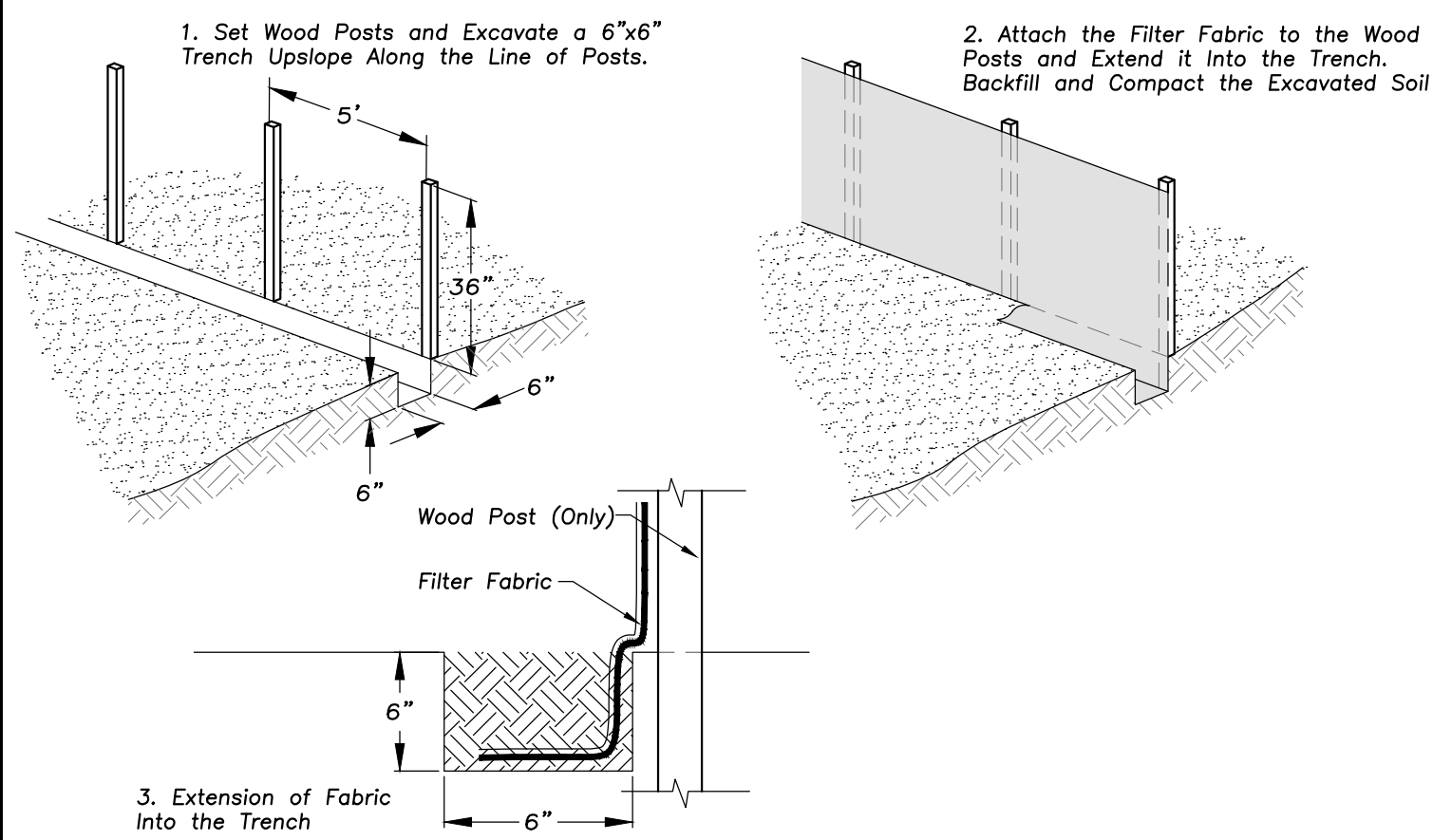
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2	3/23/17	PUD REVIEW COMMENTS
3	4/07/17	PUD REVIEW COMMENTS 2
4	12/28/17	FINAL PUD SUBMITTAL
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Sheet Title:
**SITE WORK
 DETAILS**

Sheet No:
C6.1

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SILT FENCE CONSTRUCTION (AASHTO 288-00)

GENERAL NOTES

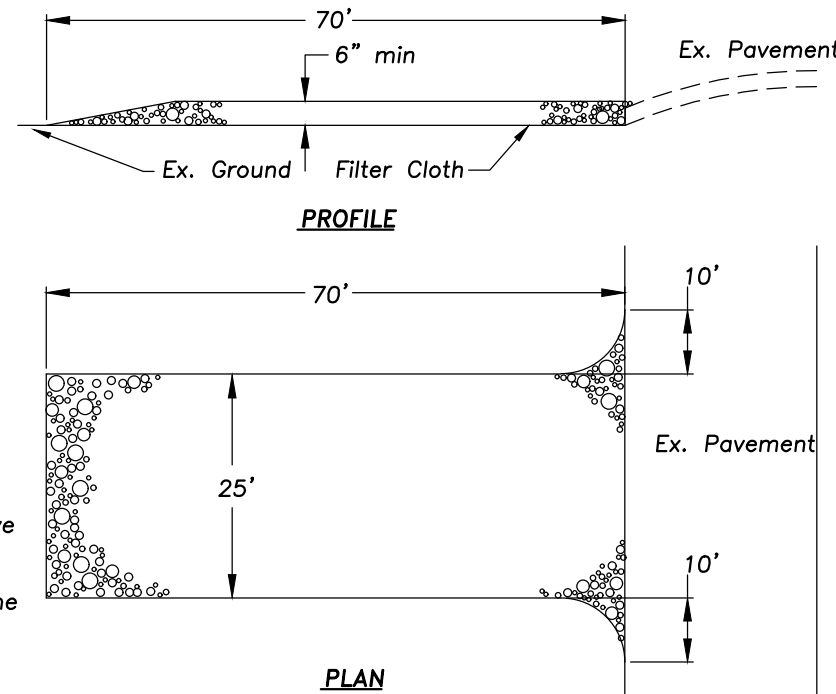
STONE SIZE - Use IDOT gradation CA-1 aggregate stone.

MAINTENANCE - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or clean-out of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.

FILTER CLOTH - Will be placed over the entire area prior to placing stone. Conform to Illinois Urban Manual Section 592, Type I, II, or IV.

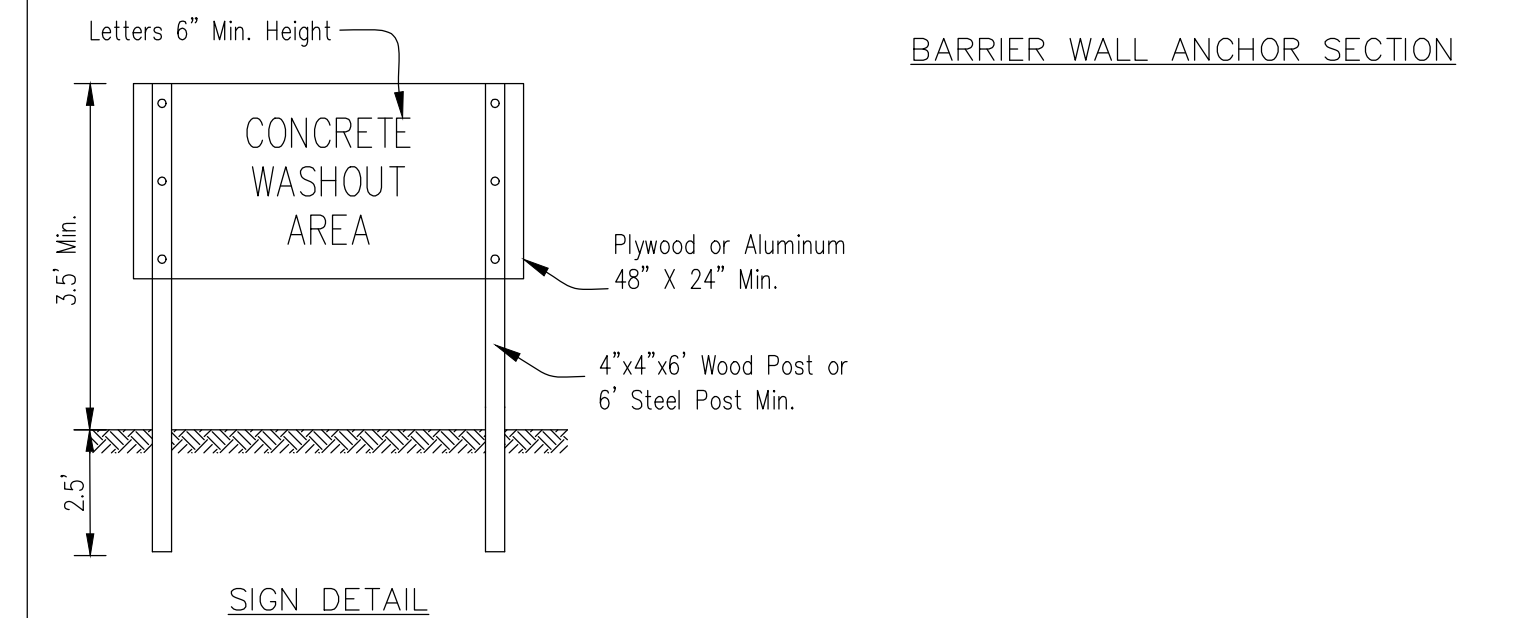
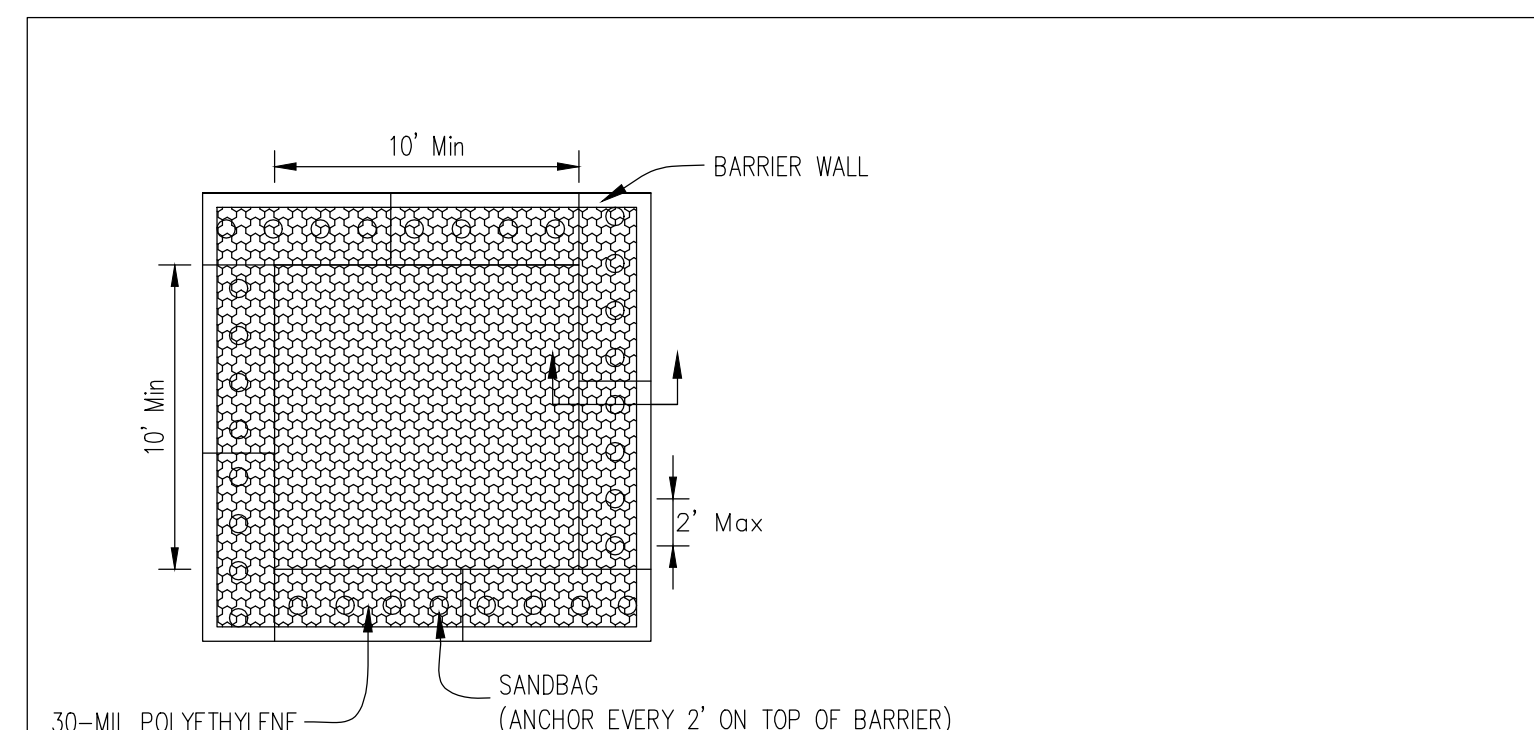
WASHING - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.

Periodic inspection and needed maintenance shall be provided after each rain.



STABILIZED CONSTRUCTION ENTRANCE

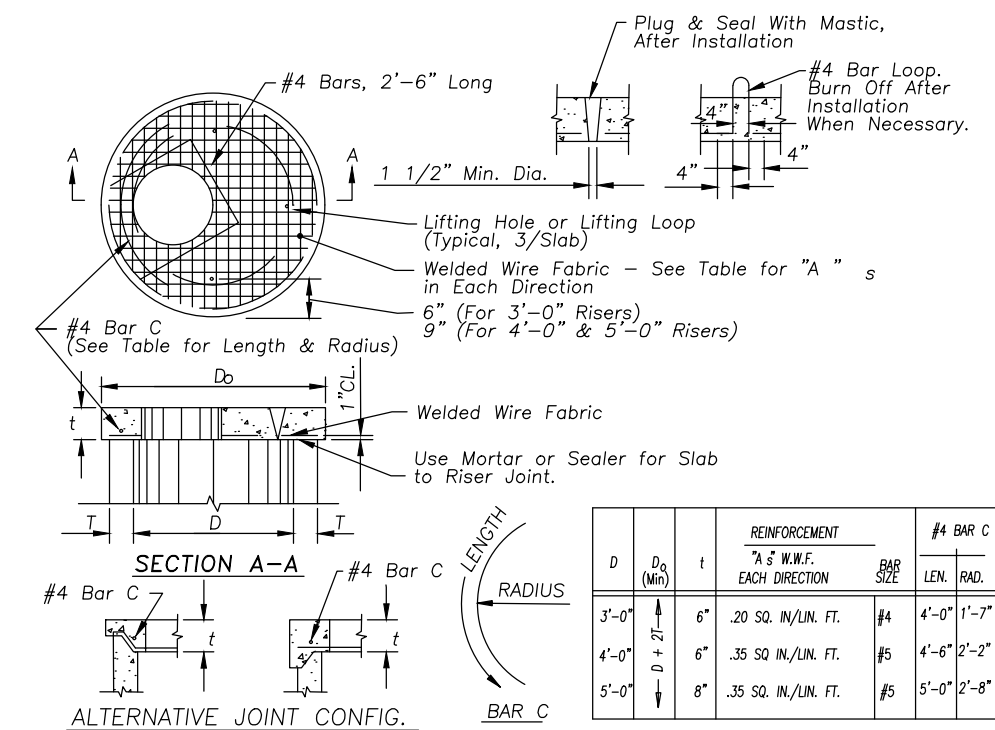
NOT TO SCALE



- NOTES:
- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
 - Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

NO.	REVISION	DATE
1	AS SHOWN	01/13/17

TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL



PRECAST JOINT REINF. CONC. FLAT SLAB TOP

General Notes:

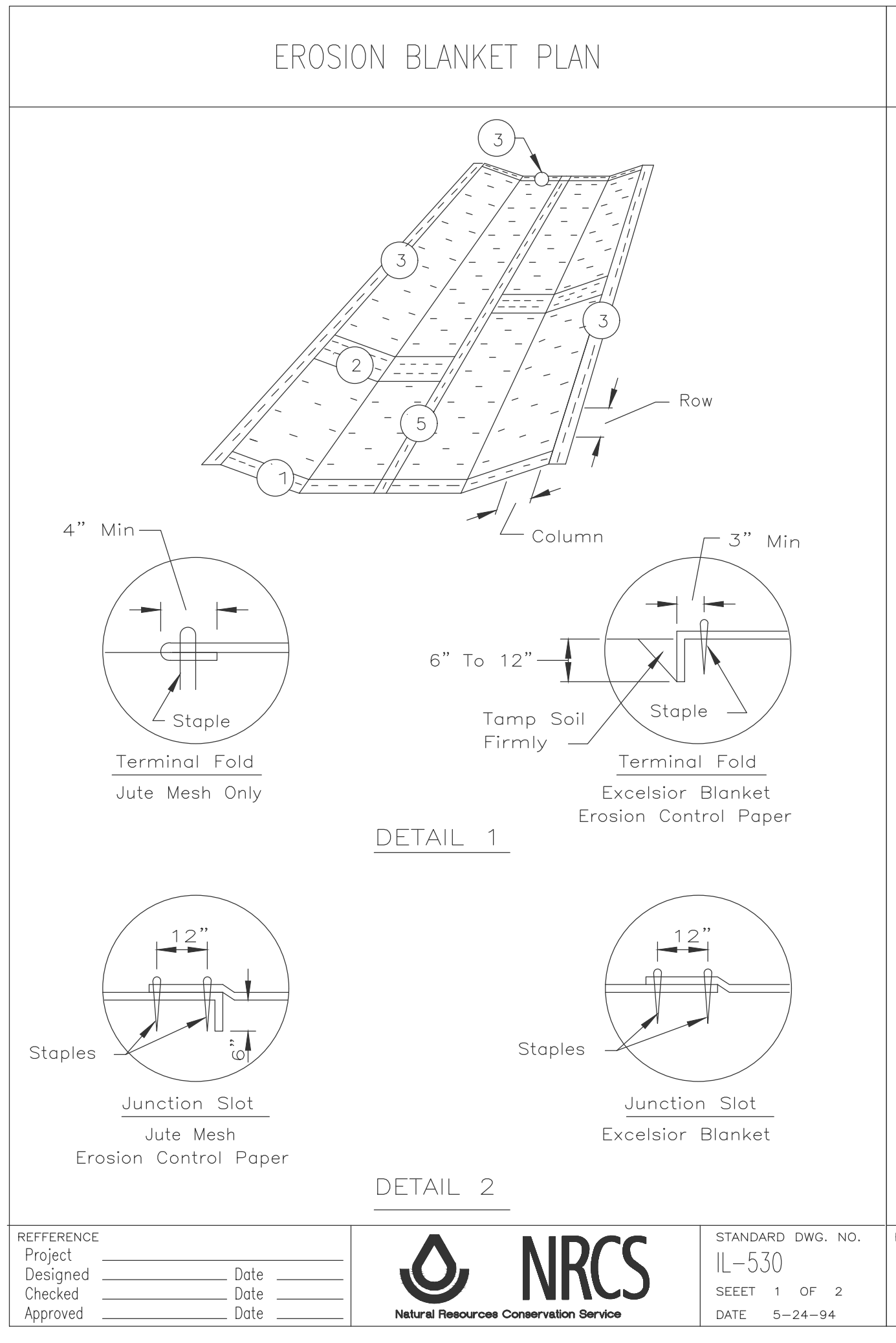
Use Marathon Materials, Inc., "Catch-All" Inlet Protectors Or Approved Equal. Inlet Protector Types Shall Be Selected to Fit Frame and Grate of Open Lid Structures to Be Protected. See www.marathonmaterials.com

Frames: Top Flange Fabricated From 1/2" x 1/4" x 3/8" Angle. Base Rim Fabricated From 1/2" x 3/4" Channel. Handles And Suspension Brackets Fabricated From 1/2" x 1/4" Flat Stock. All Domestic Steel Conforming To ASTM-A36.

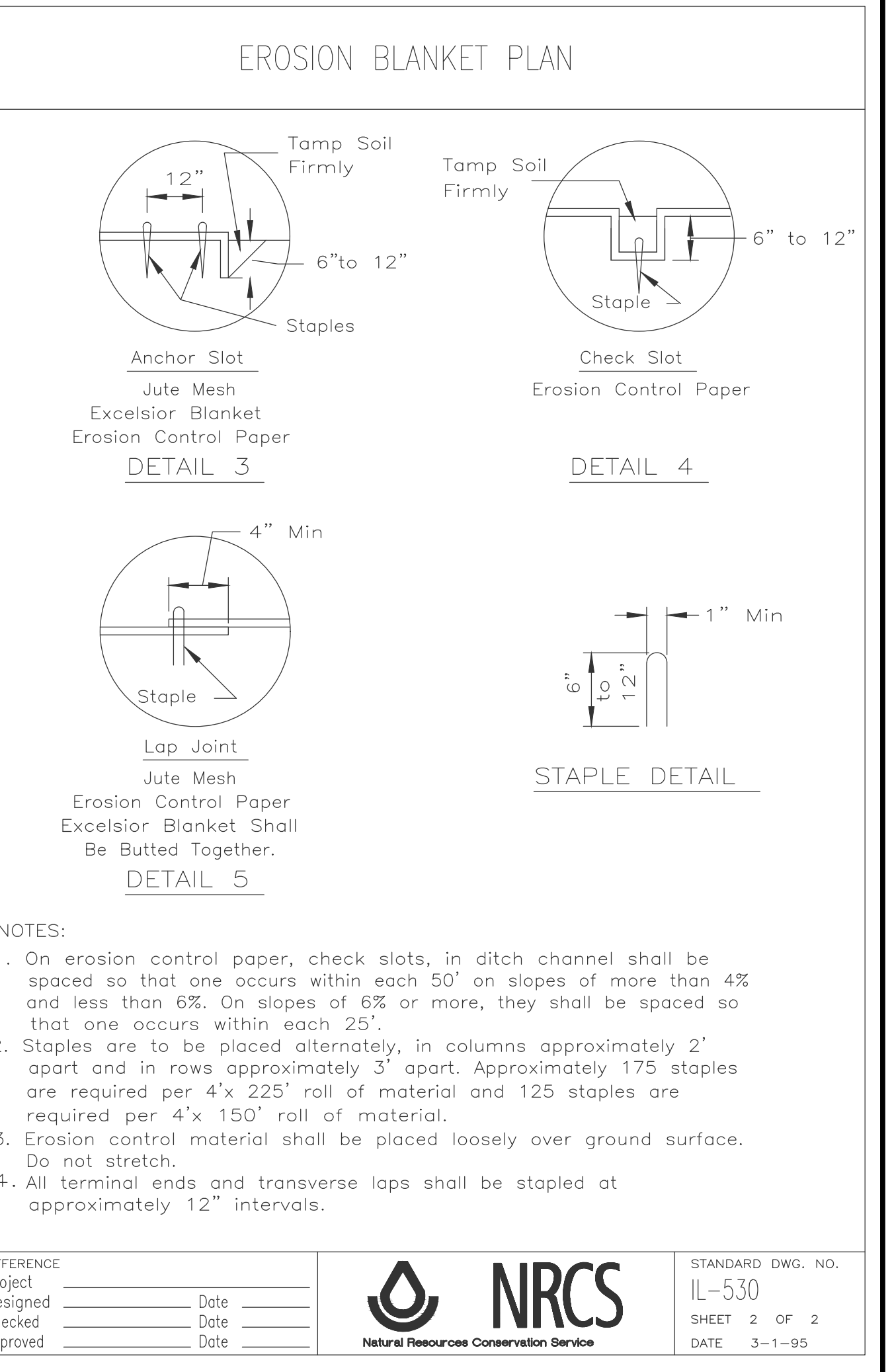
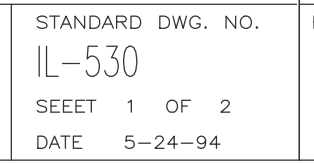
Sediment Bag: Bag Fabricated From 4 Oz./sq.yd. Non-woven Polypropylene Geotextile Reinforced With Polyester Mesh. Bag Secured To Base Rim With A Stainless Steel Strap And Lock.

Install Baskets In All Existing Storm Inlets Prior to Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

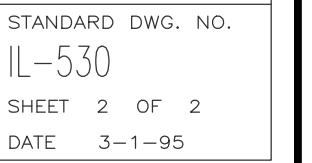
INLET PROTECTORS - SEDIMENT BAG



REFERENCE	DATE	STANDARD DWG. NO.	DATE
Project		IL-530	
Designed		SECT 1 OF 2	
Checked		DATE 5-24-94	
Approved			



REFERENCE	DATE	STANDARD DWG. NO.	DATE
Project		IL-530	
Designed		SECT 2 OF 2	
Checked		DATE 3-1-95	
Approved			



- NOTES:
- On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
 - Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4' x 225' roll of material and 125 staples are required per 4' x 150' roll of material.
 - Erosion control material shall be placed loosely over ground surface. Do not stretch.
 - All terminal ends and transverse laps shall be stapled at approximately 12" intervals.



Heart's Place
120&122 Boeger Drive

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD INTERFERE WITH FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.86 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
 - CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONEHOPPER LOCATED OFF THE CHAMBER BED.
 - BACKFILLS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXISTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TYRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



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GRAYSLAKE, ILLINOIS 60030
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FAX (847) 223-4864
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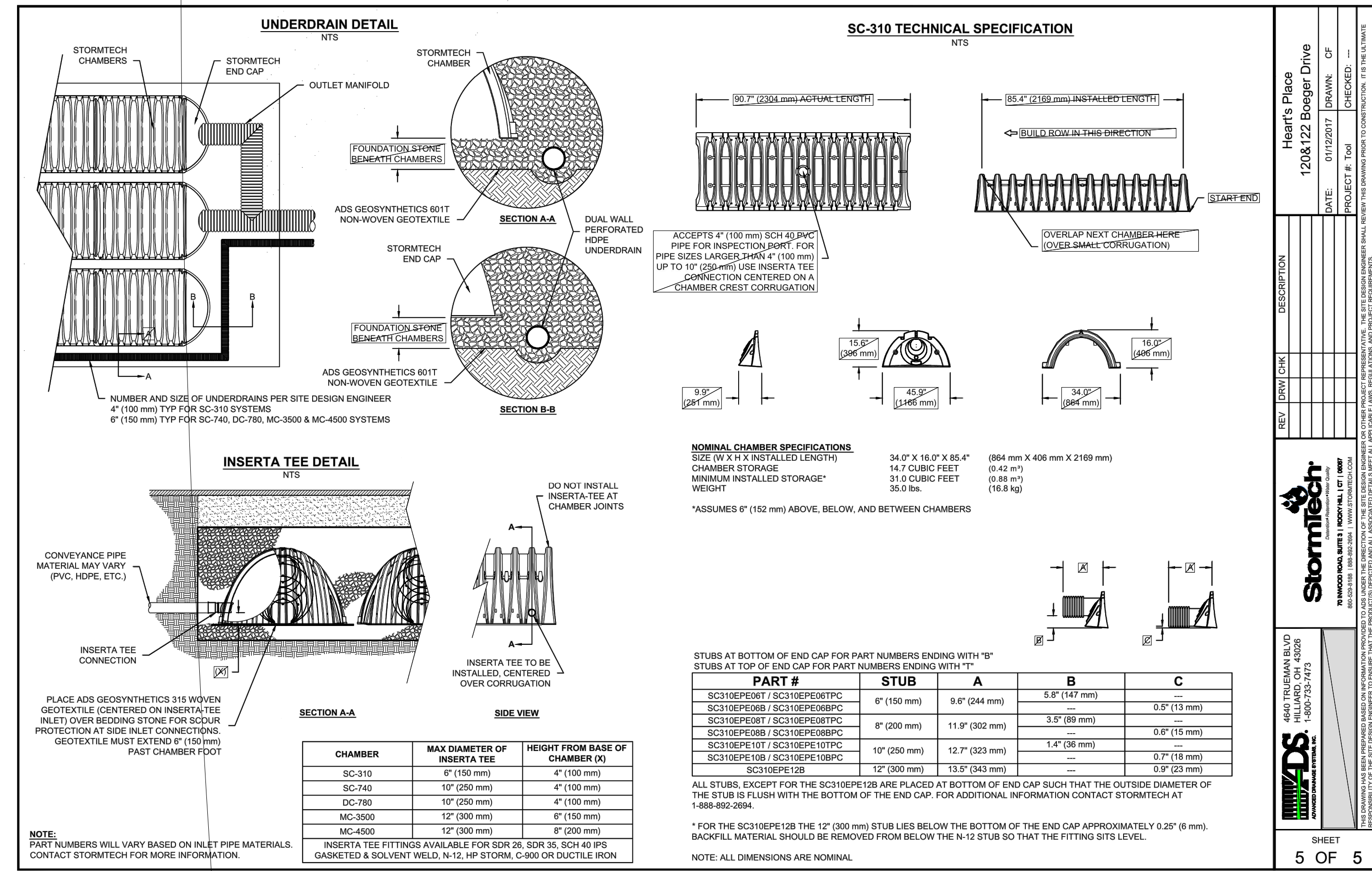
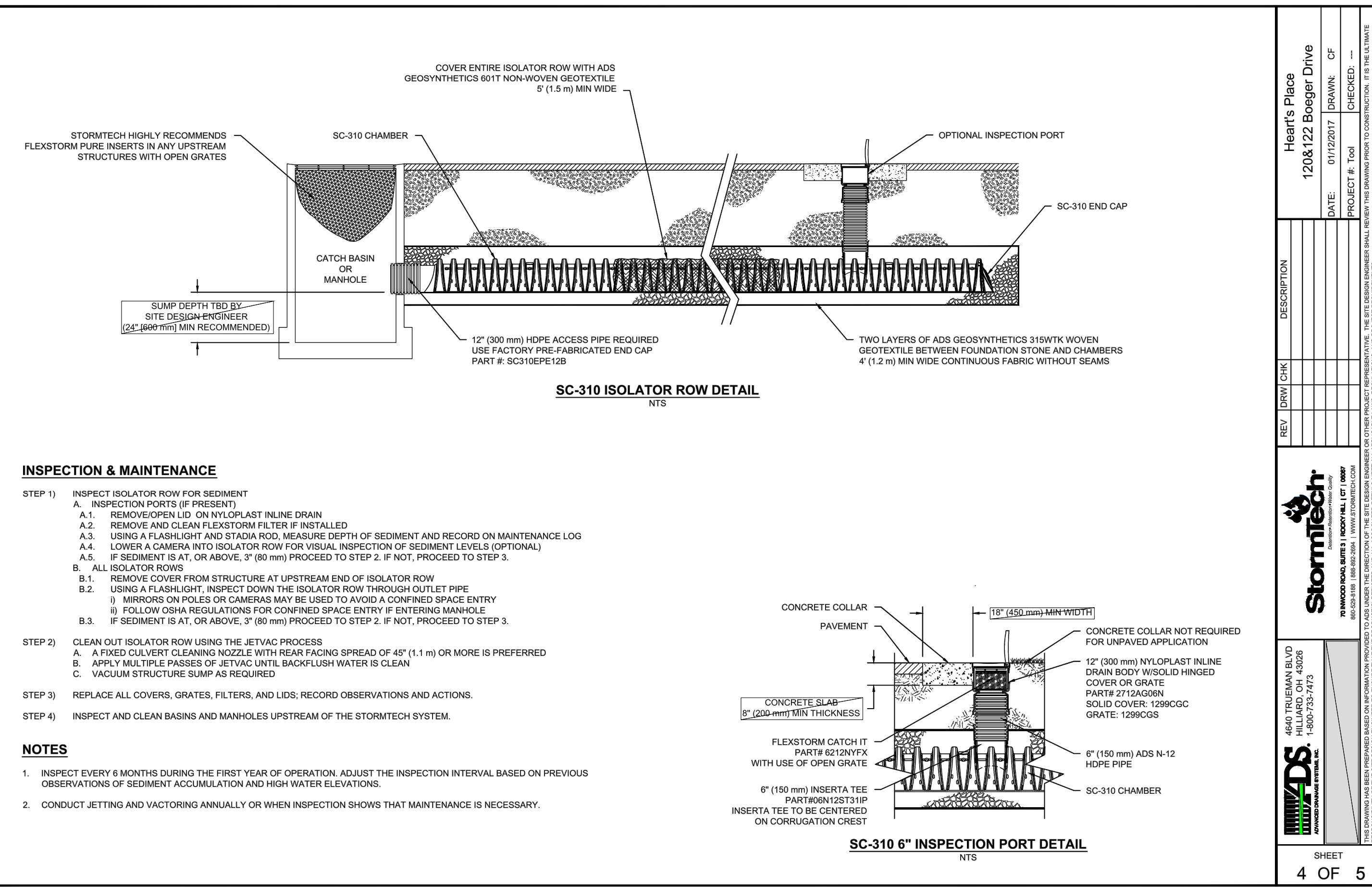
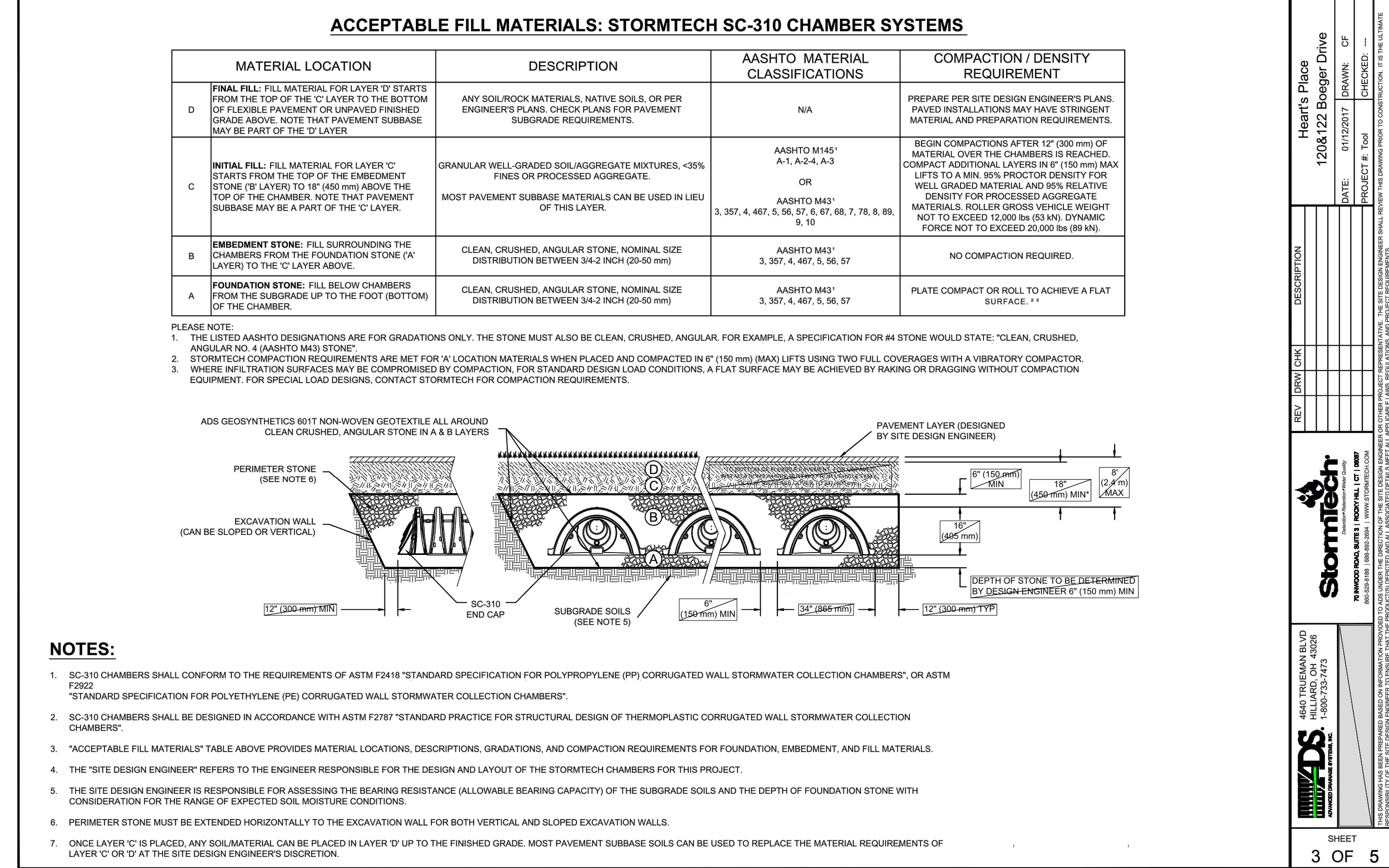
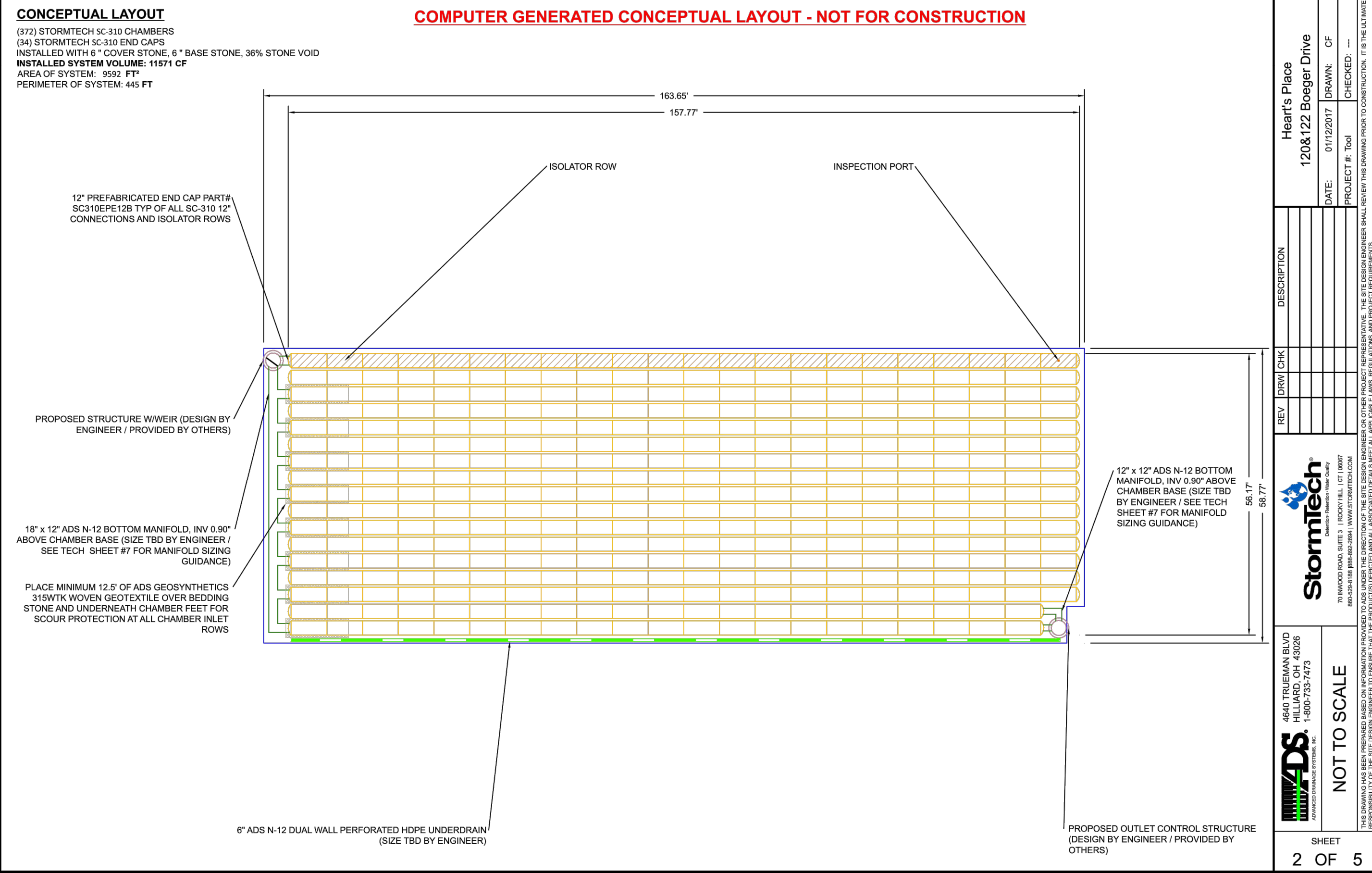
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4	12/28/17	FINAL PUD SUBMITTAL
Δ	02/20/18	FINAL PUD R1 & MWRD SUBMITTAL

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Sheet No: **C6.2**



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 GRAYSLAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
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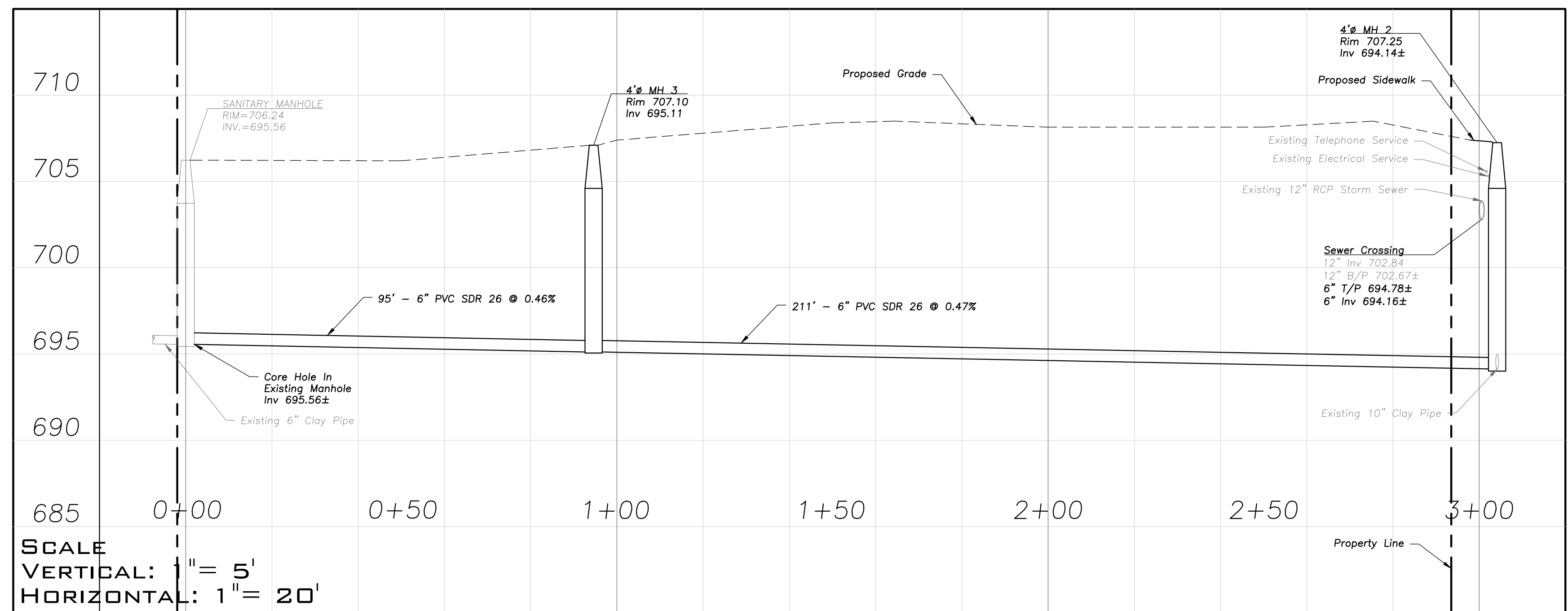
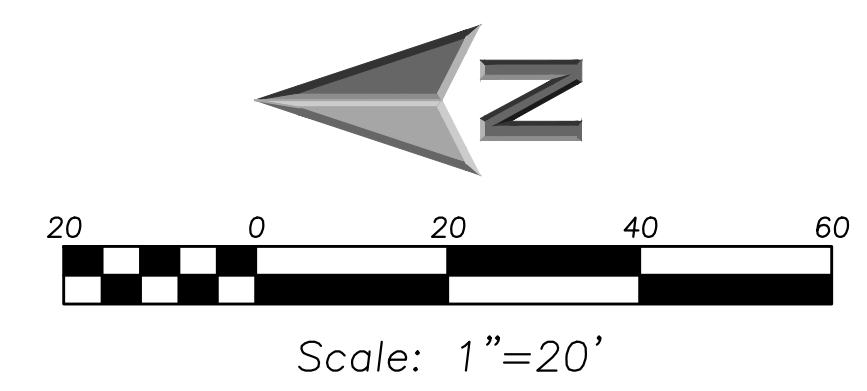
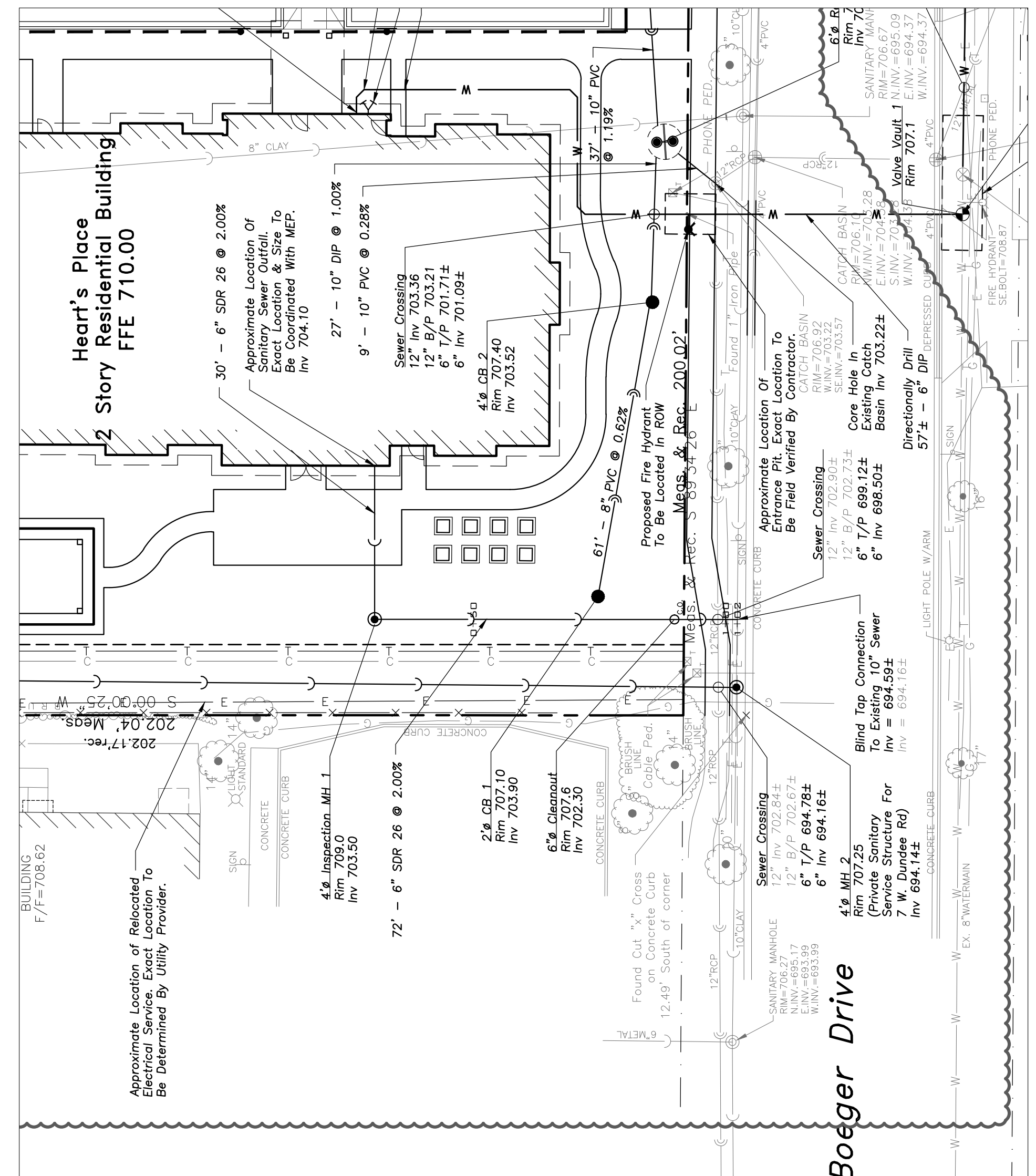
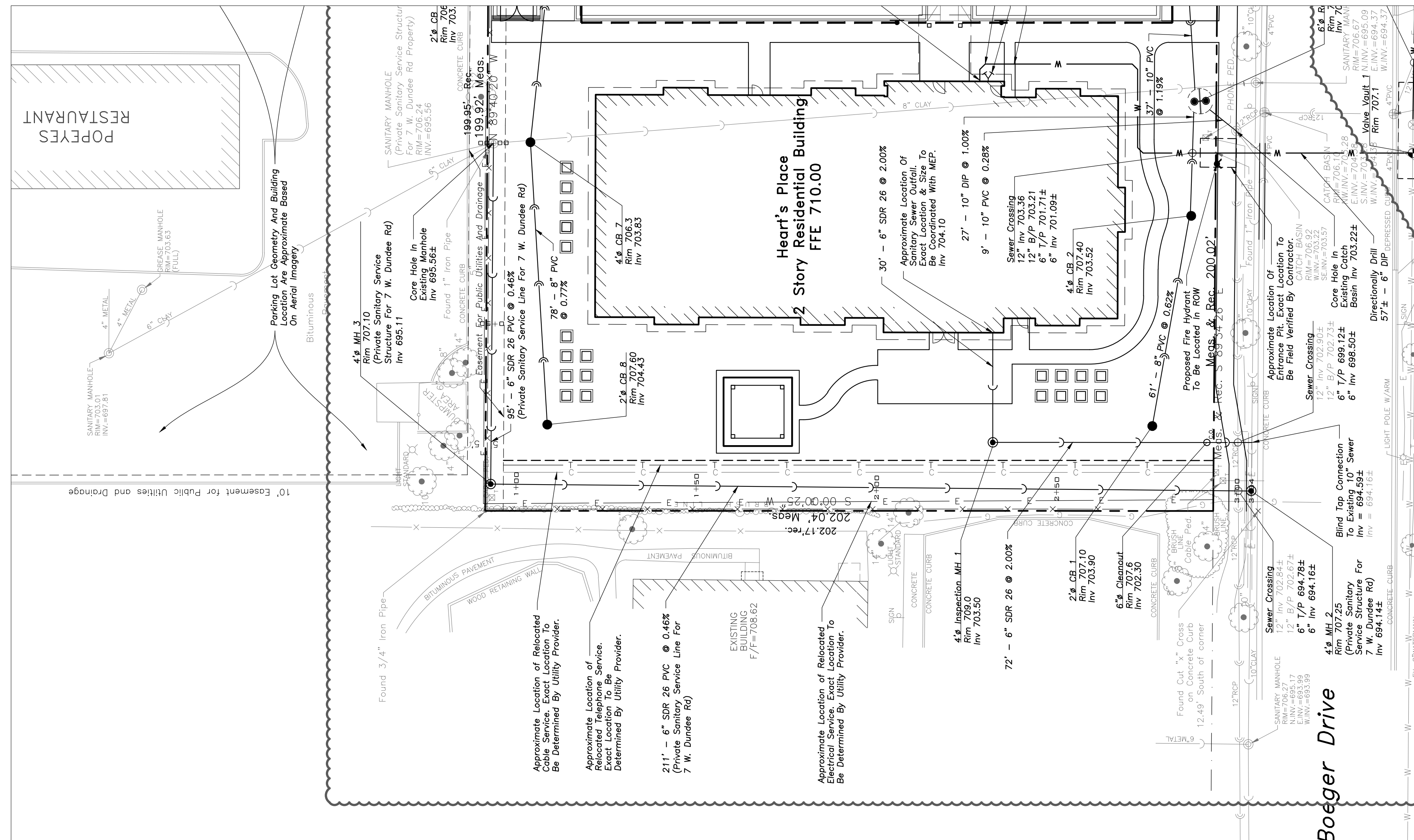
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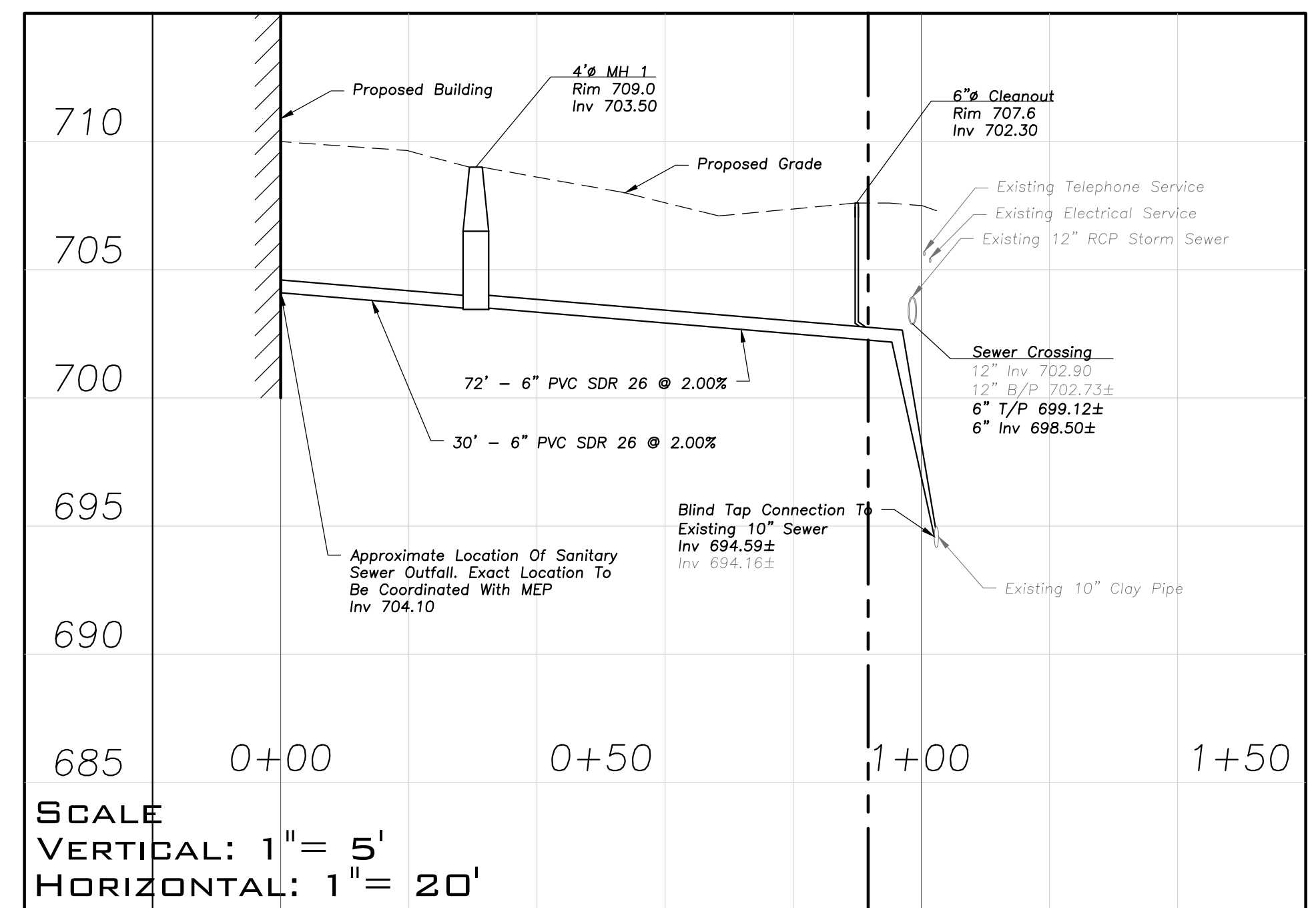
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 Plotted: 2/20/18 @ 4:02pm By: clontano

These Details Are Shown For Informational And Bidding Purposes Only And Do Not Represent An Element Designed By Eriksson Engineering And Associates, Ltd. Contractor Shall Coordinate Construction, Installation And Testing With The Manufacturer And Their Representatives.



NOTE:
 PLAN & PROFILE IS FOR THE RELOCATION OF EXISTING PRIVATE SANITARY SERVICE FOR 7 W. DUNDEE ROAD



NOTE:
 PLAN & PROFILE IS FOR THE PROPOSED BUILDING PRIVATE SANITARY SERVICE FOR 120 W. BOEGER DRIVE

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2019

**HEART'S PLACE
 2 STORY RESIDENTIAL BUILDING**
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

Reserved for Seal:
 Expiration Date: _____

No.	Date	Description
1	1/30/17	PUD SUBMITTAL
2	3/23/17	PUD REVIEW COMMENTS
3	4/07/17	PUD REVIEW COMMENTS 2
4	12/28/17	FINAL PUD SUBMITTAL
Δ	02/20/18	FINAL PUD RI & MWRD SUBMITTAL

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 Design By: CDF Date: 01/13/17
 Approved By: MR Project No.:

Sheet Title:
**SANITARY SEWER
 RELOCATION &
 BUILDING SERVICE
 PLAN & PROFILE**

Sheet No:
CX1.0

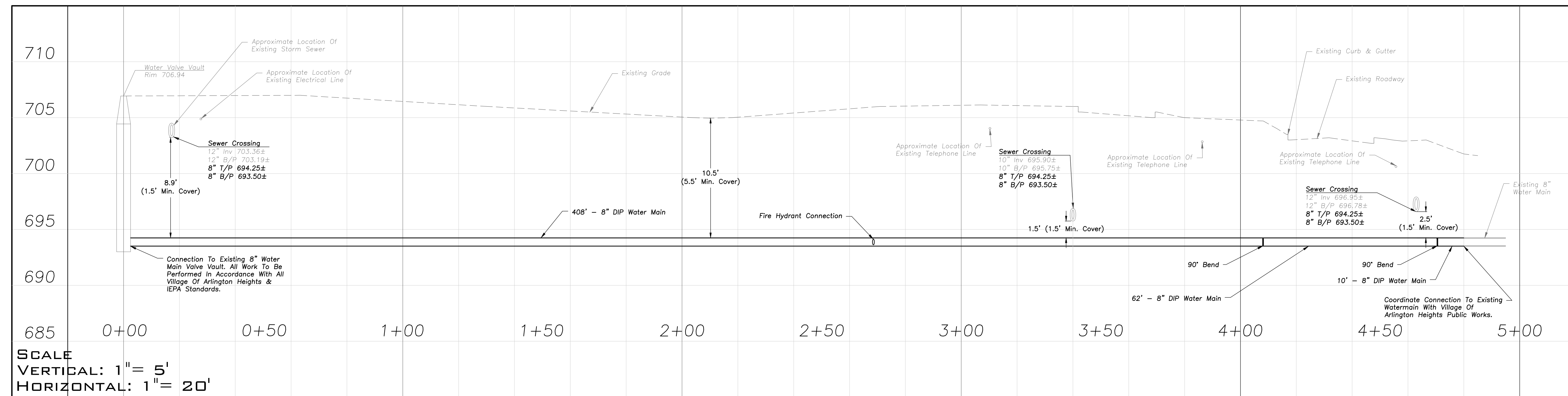
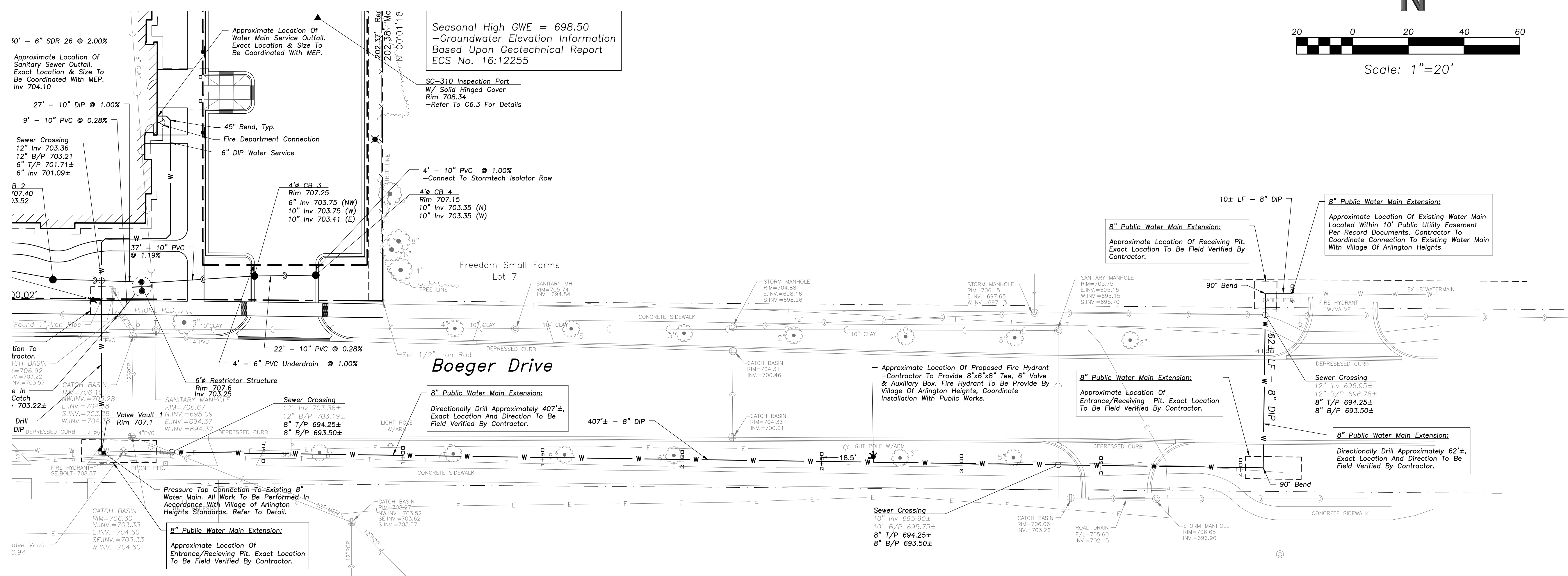
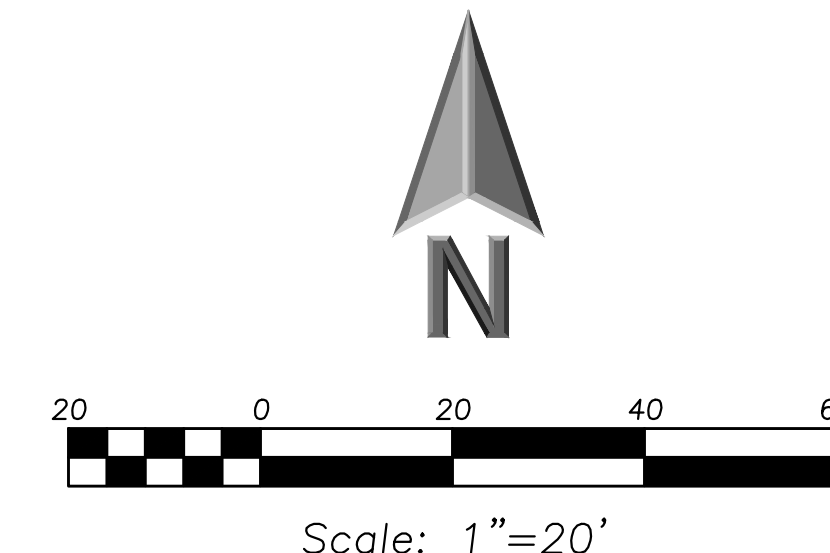


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**HEART'S PLACE
2 STORY RESIDENTIAL BUILDING**

120 & 122 W Boeger Drive
Arlington Heights, Illinois



NOTE:
CONTRACTOR TO NOTIFY VILLAGE OF ARLINGTON HEIGHTS PUBLIC WORKS DEPARTMENT A MINIMUM OF 2 WEEKS PRIOR TO WATER MAIN INSTALLATION. COORDINATE INSTALLATION OF WATER MAIN EXTENSION, PROPOSED CONNECTIONS, AND ASSOCIATED APPURTENANCES PRIOR TO CONSTRUCTION.

Reserved for Seal:

Expiration Date: _____

No.	Date	Description
1	1/30/17	PUD SUBMITTAL
2	3/23/17	PUD REVIEW COMMENTS
3	4/07/17	PUD REVIEW COMMENTS 2
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5	02/20/18	FINAL PUD R1 & MWPD SUBMITTAL

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Design By: CDF Date: 01/13/17
Approved By: MR Project No.:

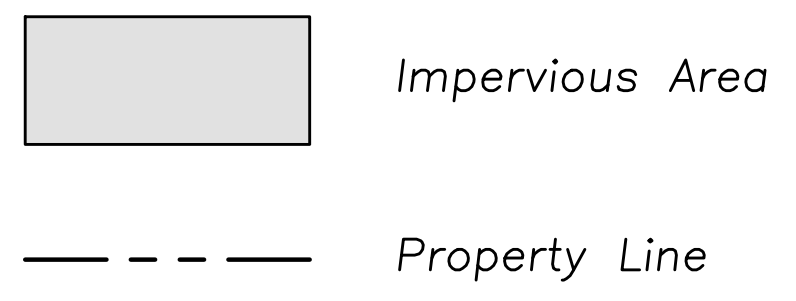
Sheet Title:
**WATERMAIN PLAN
& PROFILE**

Sheet No:
CX1.1

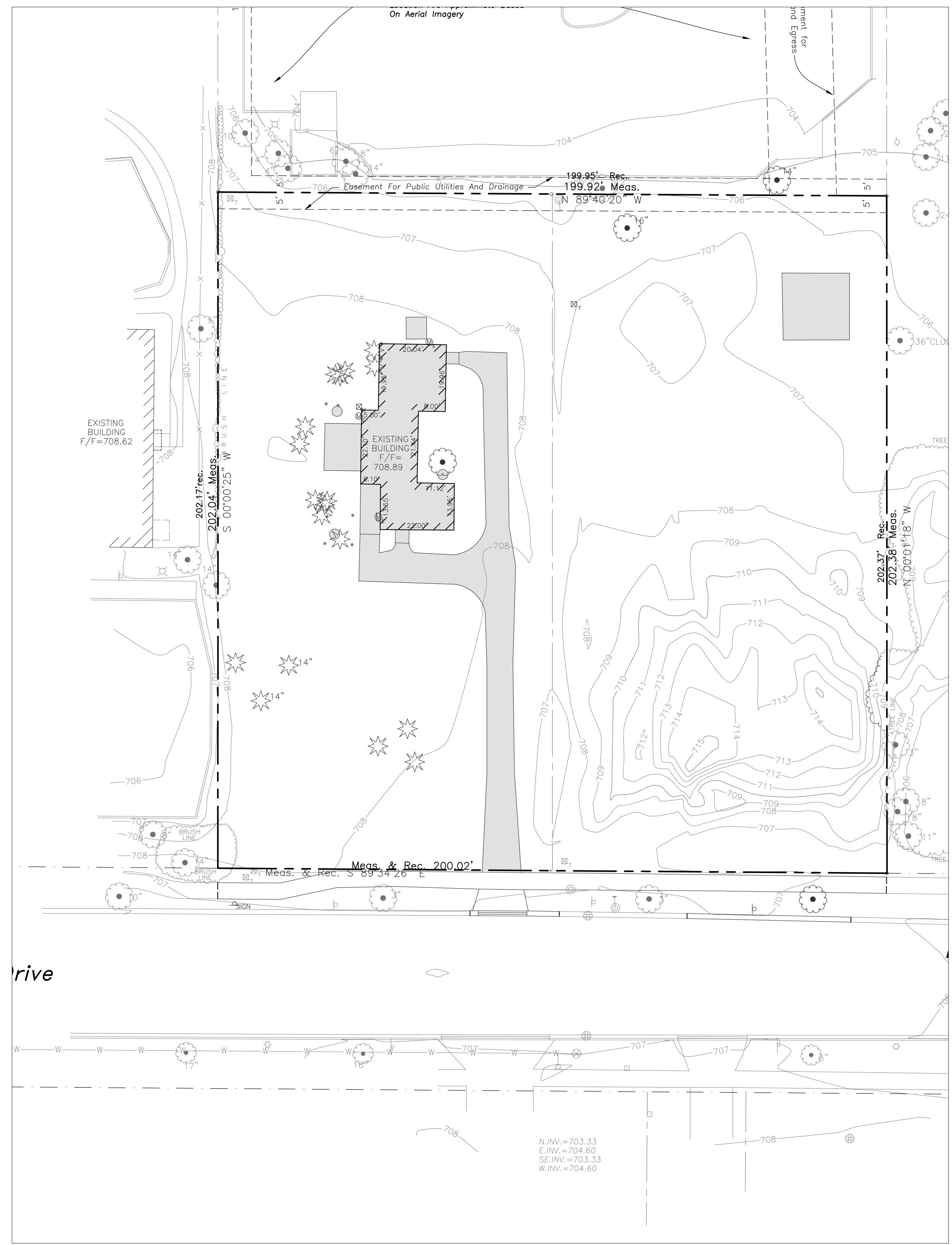
EEA - P:\Code\UP Development - Hearts Place\Drawings\Hearts Place Siteplan.dwg
Plotted: 2/20/18 @ 4:06pm By: cfontana

Property Area Summary:
 Total Impervious Area: 0.08 Acres
 Total Pervious Area: 0.85 Acres
 Total Property Area: 0.93 Acres

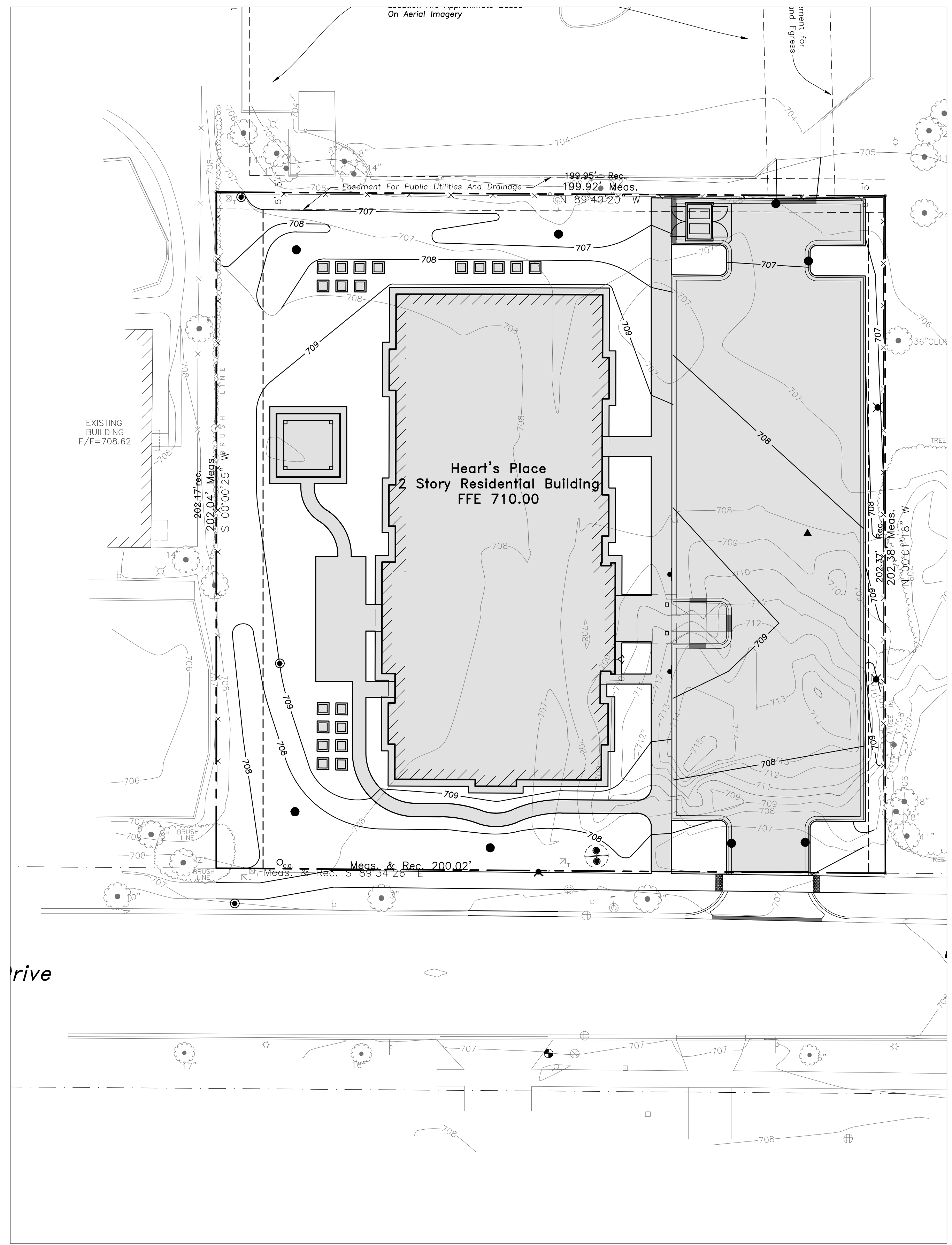
SURFACE AREA LEGEND



Property Area Summary:
 Total Impervious Area: 0.57 Acres
 Total Pervious Area: 0.36 Acres
 Total Property Area: 0.93 Acres



EXISTING CONDITIONS
 SCALE 1" = 20'



PROPOSED CONDITIONS
 SCALE 1" = 20'



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 EXPIRES: 04/30/2015

HEART'S PLACE
2 STORY RESIDENTIAL BUILDING
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

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Expiration Date: _____

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4	12/28/17	FINAL PUD SUBMITTAL
Δ	02/20/18	FINAL PUD R1 & MWRD SUBMITTAL

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Design By: CDF Date: 01/13/17
 Approved By: MR Project No.:

Sheet Title:
**DETENTION
 EXHIBIT**

Sheet No:
CX2.0



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ENGINEERING
ASSOCIATES, LTD.**

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PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2015

**HEART'S PLACE
2 STORY RESIDENTIAL BUILDING**
120 & 122 W Boeger Drive
Arlington Heights, Illinois

Reserved for Seal:

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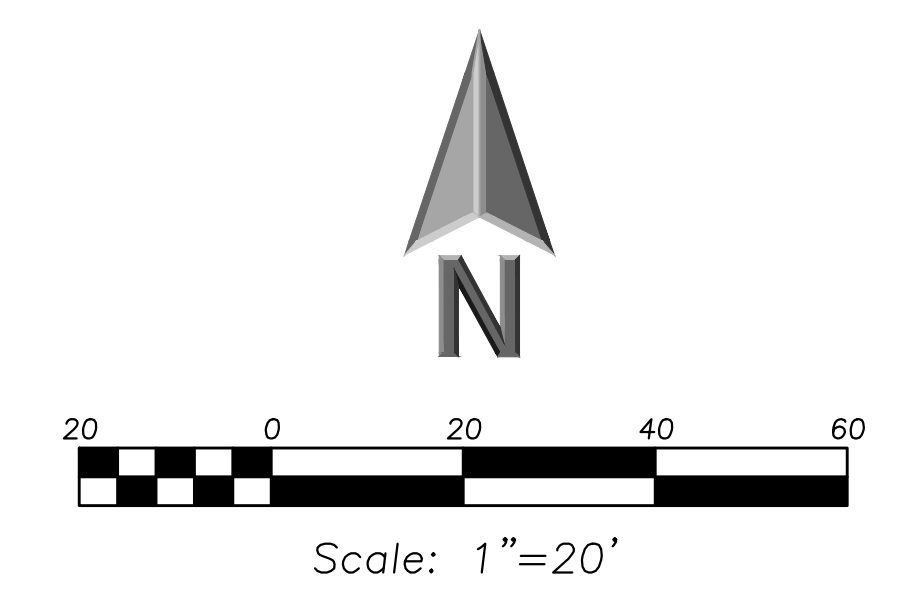
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Design By: CDF Date: 01/13/17
Approved By: MR Project No:

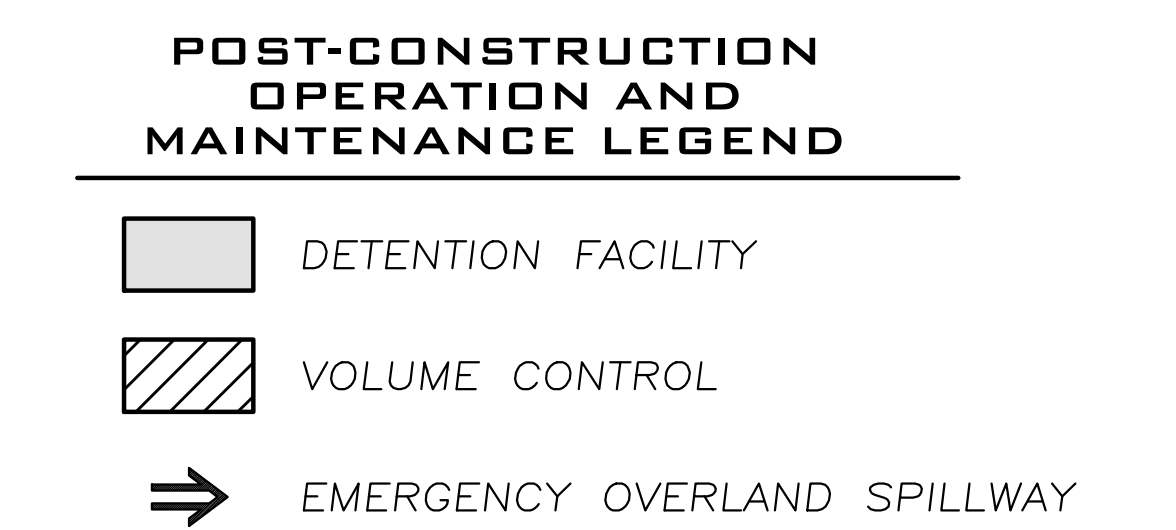
Sheet Title:

EXHIBIT R

Sheet No:
CX2.1



LEGAL DESCRIPTION
LOT 2 AND 3 IN HARDEE'S DUNDEE ROAD RESUBDIVISION; BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 26, 1986 AS DOCUMENT 86439262, IN COOK COUNTY, ILLINOIS.



PROJECT SITE SUMMARY
Property Legal Description: Section 8, Township 42N, Range 11E
Property Address: 120&122 W Boeger Drive, Arlington Heights, IL 60004
Property Index Number: 03-08-100-054-0000 & 03-08-100-053-0000
Total Contiguous Ownership: 0.93 Acres
Project Disturbed Area: 0.93 Acres

STORMWATER SUMMARY

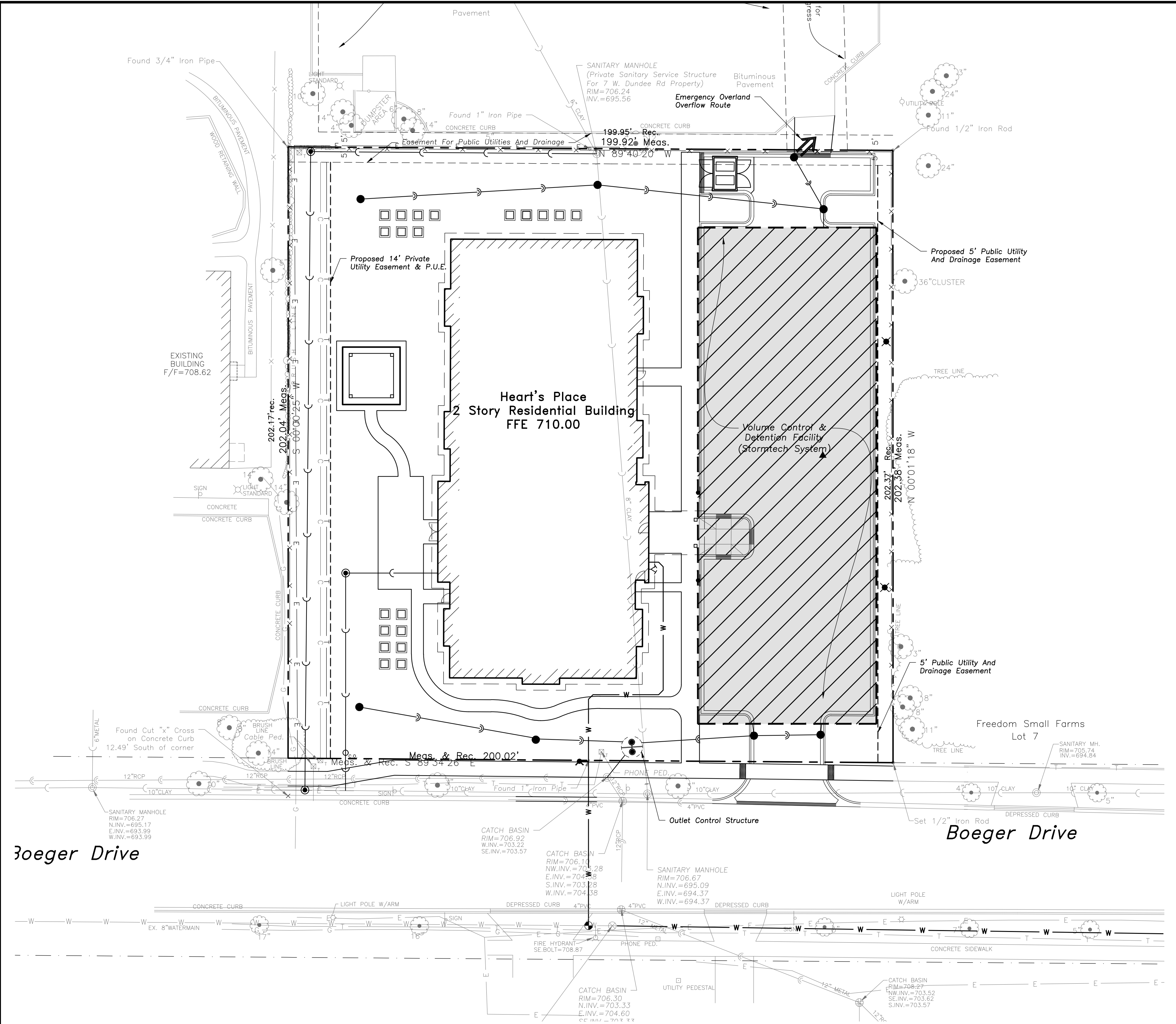
Req. Volume Control Depth	= 1 inch / 0.083 ft
Prop. Impervious Area	= 0.57 Acre / 24,829 SF
Req. Volume Control Storage	= 0.047 Ac-ft / 2,069 CF
Prop. Volume Control Storage	= 0.200 Ac-ft / 8517 CF
Allowable Release Rate	= 0.18 CFS/acre
	= 0.17 CFS
Req. Detention Storage	= 0.255 Ac-ft (Per Village Requirements)
Actual Release Rate	= 0.167 CFS
Prop. Detention Storage	= 0.267 Ac-ft

SURVEY PROVIDED BY:
Plat of Survey and Topography Provided by R.E. Allen And Associates, LTD. For UP Development, LLC. on 12-27-16.
Order Number 16-910

PROJECT BENCHMARKS

- BENCHMARK: MONUMENT RECOVERY SHEET VILLAGE OF ARLINGTON HEIGHTS, ILL #3436 KENNICOTT, ARLINGTON HEIGHTS, IL MONUMENT 6
1" DISC ON THE NORTH OF A CONCRETE BASE FOR A TRAFFIC SIGNAL MAST ARM, 52'+/- SOUTH OF THE CENTERLINE OF DUNDEE ROAD AND 32'+/- WEST OF THE CENTERLINE OF KENNICOTT, NAVD 1988 ELEVATION = 742.25

J.U.L.I.E.
Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



MWRDGC RECORDING & MAINTENANCE NOTES

The Owner of This Development, With Facilities As Shown On This Exhibit (Exhibit R), Shall Assume Responsibility For The Following Perpetual Maintenance Activities:

- General**
 - Regular Inspections And Routine Maintenance Of General Areas Shall Be Performed On A Monthly Or As-Needed Basis. Specific Items Of Concern Include:
 - Litter And Debris Shall Be Controlled
 - Landscape Areas Shall Be Maintained With Regular Mowing And Restored With Appropriate Seeding / Vegetation As Necessary
 - Accumulated Sediment Shall Be Disposed Of Properly, Along With Any Wastes Generated During Maintenance Operations
 - Riprap Areas Shall Be Repaired With The Addition Of New Riprap, As Necessary, Of Similar Size And Shape
 - Roads Shall Be Swept, Vacuumed And/Or Washed On A Regular Basis
- Stormwater Management Facilities**
 - All Components Of The Stormwater Management Facilities Shall Be Checked Monthly Between March And November And Maintenance As Necessary To Ensure Proper Performance. It Is Critical That All Inflows And Outflows To The Detention Facility Are Clean And Performing As Designed. In Addition, The Design Volume Of The Detention Facility Shall Also Be Maintained. Inspections For The Following Specific Items Should Be Conducted Monthly Between March And November:
 - Structure**
 - Inspect Embankments For Settlement And Erosion
 - Remove Woody Growth From The Embankment
 - Any Breaks, Hire Registered Professional Engineer For Design Resolution
 - Signs Of Piping (Leakage) Or Seepage, Repair
 - Stabilize Emergency Overflow Structure If Erosion Observed
 - Remove Obstructions Blocking Emergency Overflow Spillway
 - Vegetated Areas**
 - Regular Mowing To Control Vegetation, No Cutting Of Native Vegetation
 - Need For Planting, Reseeding, Or Sodding, Supplement Alternative Native Vegetation If A Significant Portion Has Not Been Established (50% Of The Surface Area), Reseed With Alternative Grass Species If Original Grass Cover Has Not Been Successfully Established
 - Evidence Of Grazing, Motorbikes Or Other Vehicles, Repair
 - Check For Invasive Vegetation, Remove Where Possible
 - All Vegetation Must Be Maintained Per The Approved Planting Plan
 - Outlet Control Structure**
 - Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
 - Remove Accumulated Sediment At Outlet
 - Scour And Erosion At Outlet, Repair And Reseed
 - Any Ice Damage To Outlet Of Pipe, Repair If Necessary
- Condition Of Trash Racks, Remove Debris**
- Outlet Pipe Conditions Downstream**
- Remove Woody Growth From The Embankment**
- Remove Any Obstructions Placed In Maintenance Easements**
- Safety Features**
 - Access Controls To Hazardous Areas
 - Fences
 - Loose Or Damaged Posts
 - Loose Or Broken Wires
 - Condition Of Gates
 - Signs
- Detention Volume**
 - Inspect All Stormwater Detention Facilities To Ensure That The Constructed Volume For Detention Is Maintained. No Sediment, Topsoil, Or Other Dumping Into The Facility Shall Be Allowed. Specific Locations In The Stormwater Management System, Design To Accumulate Sediment, Shall Be Dredged As Necessary To Prevent Sediment From Reaching The Invert Of Any Gravity Outlet Pipe.
- Volume Control Facility**
 - Routing Inspections And Maintenance Of Volume Control Facilities Shall Be Performed By The Owner On A Yearly Or As-Needed Basis. Specific Items Of Concern Include:
 - Facility Shall Be Inspected Yearly Using The Monitoring Well To Verify The System Is Functioning Properly.
 - Surface Of Permeable Pavement Shall Be Cleaned With Low-Pressure Power Washer.
 - Accumulated Sediment From The Surface Shall Be Vacuumed Out And Disposed Of Properly.
 - Appropriate Signage Shall Be Repaired If Damaged Or Illegible.
- Stormwater Collection System**
 - The Owner Shall Perform Monthly Inspections Of All Components Of The Stormwater Collection System. The Monthly Inspection Shall Occur Between March And November And Include The Following Specific Areas Of Concern:
 - Storm Inlets/Manholes**
 - Remove Accumulated Leaves And Other Debris From Grates
 - Reset Covers/Lids On As-Needed Basis
 - Remove Accumulated Sediment From Manhole Bottom When 50% Of Sump Is Filled
 - Storm Sewers/Culverts**
 - Visually Inspect Pipes By Removing Manhole Lids, Make Repairs As Necessary
 - Storm Sewers And Culverts Shall Be Checked For Situation Deposits At Inlets, Outlets, And Within The Conduit, Clean Out As Necessary
 - Restore Riprap At Outfalls If Erosion Observed
 - Replant And Reseed Any Eroded Areas
 - Overland Flow Routes (Ditches/Swales)**
 - Annual Visual Inspections Shall Be Performed That Verify The Design Capacity Of The Overland Flow Routes Is Maintained. The Slope And Cross-Sectional Area Of The Ditch/Swale Shall Be Verified During This Inspection.
 - Remove Any Obstructions That Have Been Placed In The Drainage Path
- Seed And Sod Any Eroded Areas**
- Restore Riprap As Necessary**
- Regrade To Provide Positive Drainage As Necessary**
- Regular Mowing To Control Vegetation**
- Vegetated Areas**
 - Need For Planting, Seeding, Or Sodding, Supplement Alternative Native Vegetation If A Significant Portion Has Not Established (50% Of The Surface Area After Second Growing Season), Reseed With Alternative Native Grass Species If Original Grass Cover Has Not Successfully Established
 - Evidence Of Grazing, Motorbikes, Or Other Vehicles, Repair
 - Check For Invasive Vegetation, Remove When Possible
 - Regular Mowing To Control Vegetation; It Is Recommended That Native Vegetation Remain Uncut
 - Dead Or Damaged Non-Native Grass Areas, Repair With Seeding With Fertilization Or Seeding With Mulch
 - Compensatory Storage Area Shall Be Reseeded With Appropriate Vegetation According To The Approved Planting Plan.
- Qualified Sewer Construction**
 - Perform Manhole Inspections Once Every Five Years, Make Repairs As Necessary.
 - Perform Sewer Inspections Once Every Five Years, Make Repairs As Necessary.
 - Perform Regular Cleaning So That Each Sewer Segment Is Cleaned Once Every 5 Years.
 - Remove Any Obstructions Placed In Maintenance Easements That May Impede Maintenance Equipment Access.

EEA - P:\Code\UP Development - Hearts Place\Drawings\Hearts Place Siteplan.dwg
Plotted: 2/20/18 @ 4:12pm By: cfantano

STATE OF ILLINOIS
 COUNTY OF LAKE

BERNARD J. LEE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFIES THAT HE HAS EXAMINED AND STAKED THE LAND AS DESCRIBED IN THE ABOVE CAPTION, ANY STRUCTURES SHOWN HEREON WERE LOCATED HEREON IN ACCORDANCE WITH THE CORRECT REPRESENTATION OF SAID SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS WITH THE MINIMUM STANDARDS FOR A BOUNDARY SURVEY IN ILLINOIS. THIS SURVEY WAS PERFORMED ON FEBRUARY 12, 2016.
 DATED AT GRAYS LAKE, ILLINOIS THIS 12th DAY OF February, A.D. 2016.

UPDATED SURVEY 12-29-2016 B.J.L.
 ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616
 MY LICENSE EXPIRES 11-30-18
 PROFESSIONAL DESIGN FIRM NO. 184-002732

BENCHMARK:
 MONUMENT RECOVERY SHEET
 VILLAGE OF ARLINGTON HEIGHTS, ILL.
 #5456 KENNEDY MONUMENT 6

1" DISC ON THE NORTH OF A CONCRETE BASE FOR A TRAFFIC SIGNAL MAST ARM, 32 1/4" SOUTH OF THE CENTERLINE OF DUNDEE ROAD, NAVD 1986 WEST OF THE CENTERLINE OF KENNICOTT. ELEVATION = 742.25

PLAT OF SURVEY

LOT 2 AND 3 IN HARDEE'S DUNDEE ROAD RESUBDIVISION; BEING A SUBDIVISION OF THE PROPORTIONATE PARTS OF THE PROPORTIONATE PARTS OF THE NORTH HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 47 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, AS SHOWN ON A PLAT RECORDED AS DOCUMENT 86439262, IN COOK COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
 120-122 BOEGER DRIVE, ARLINGTON HEIGHTS, IL 60004
 PARCEL AREA = 40,435 S.F.
 PIN: 03-08-100-053

FIELDWORK COMPLETED: 12-27-16
 CLIENT NAME: UP Development, LLC.
 ADDRESS: 900 W Jackson Blvd., Suite 2W
 Chicago, IL 60607

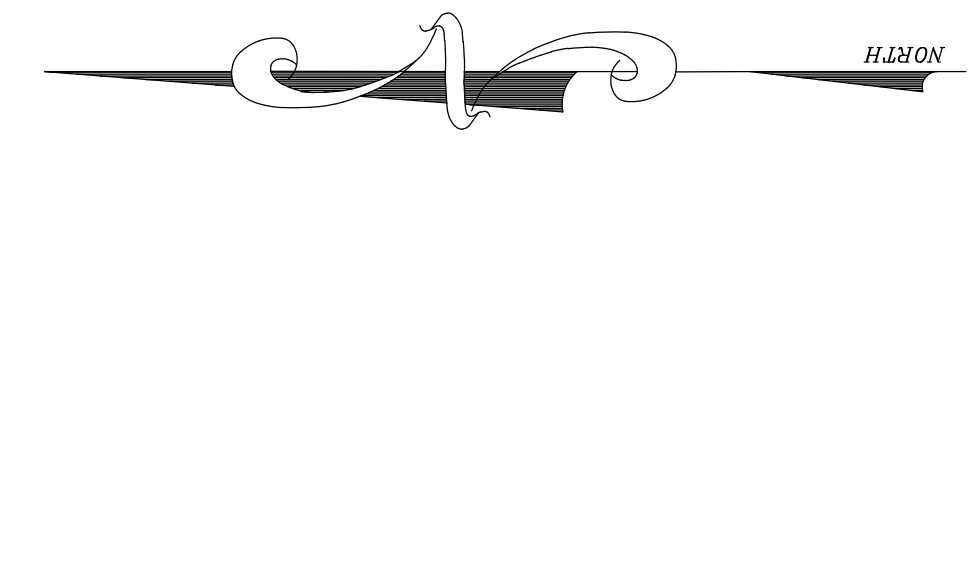
NOTES:
 PLAT IS VOID IF THE IMPROVED SURVEYOR'S SEAL DOES NOT APPEAR.
 ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON A RECORDED SUBDIVISION PLAT OR FROM A RECORDED DOCUMENT ARE SHOWN HEREON. CHECK LOCAL ORDINANCES BEFORE BUILDING.
 COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

R.E. ALLEN AND ASSOCIATES, LTD.
 PROFESSIONAL LAND SURVEYORS
 1015 GRAYS LAKE, ILLINOIS 60030
 PHONE: 847-223-0914 FAX: 847-223-0980

UNDERGROUND UTILITY LEGEND:
 --- = CABLE
 --- = ELECTRIC
 --- = GAS
 --- = TELEPHONE

Dundee Road

Boeger Drive



GRAPHIC SCALE



145 COMMERCE DRIVE, SUITE A
 GRAYS LAKE, ILLINOIS 60030
 PHONE: (847) 223-4804
 FAX: (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2019

HEART'S PLACE 2 STORY RESIDENTIAL BUILDING

120 & 122 W Boeger Drive
 Arlington Heights, Illinois

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1	1/30/17	PUD SUBMITTAL
2	3/23/17	PUD REVIEW COMMENTS
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5	02/20/18	FINAL PUD R1 & MWRD SUBMITTAL

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 Design By: CDF Date: 01/13/17
 Approved By: MR Project No:

Sheet Title:
EXHIBIT A

Sheet No:
CX2.2



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PROFESSIONAL DESIGN FIRM
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EXPIRES: 04/30/2015

**HEART'S PLACE
2 STORY RESIDENTIAL BUILDING**
120 & 122 W Boeger Drive
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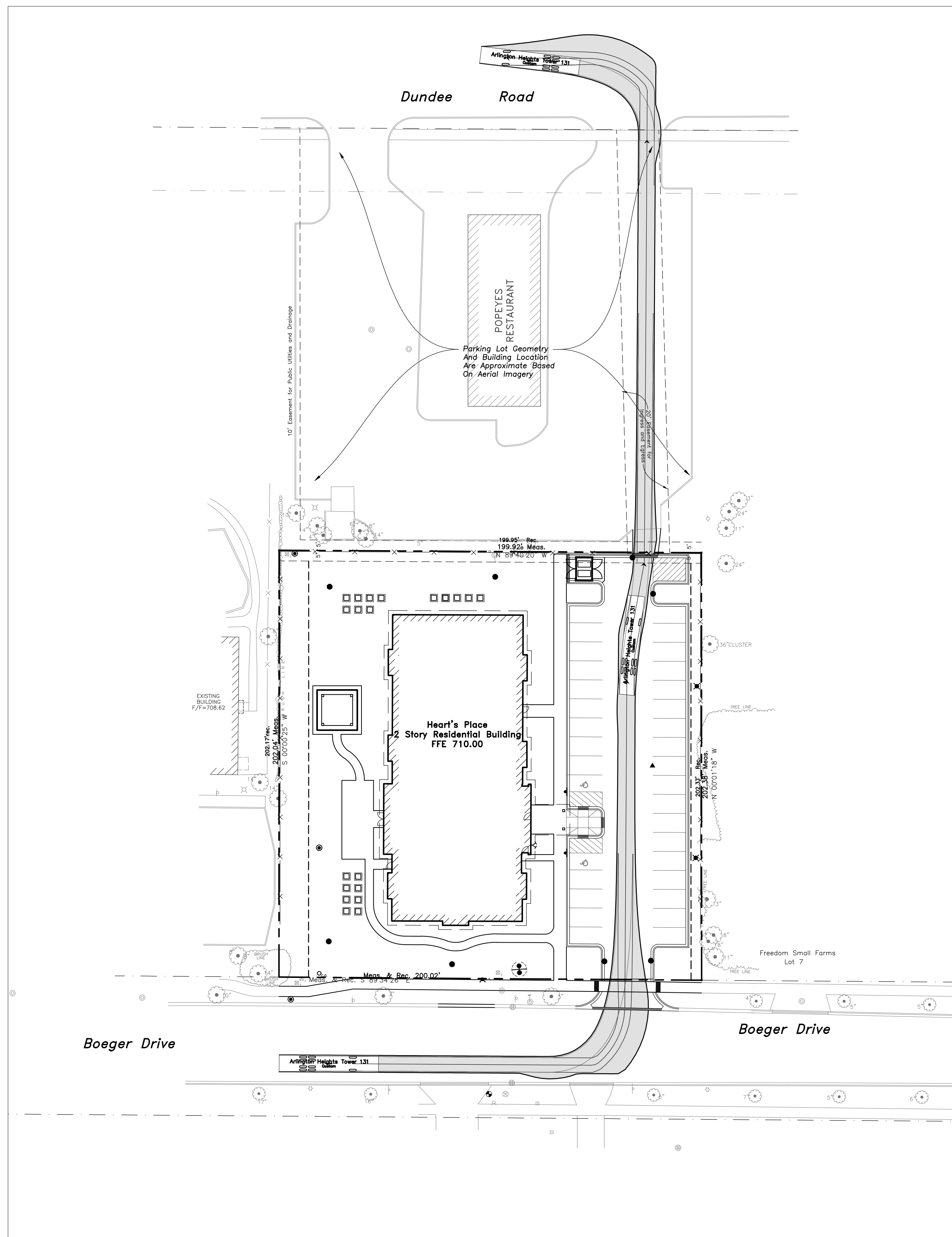
Design By:	CDF	Date:	01/13/17
Approved By:	MR	Project No.:	

Sheet Title:

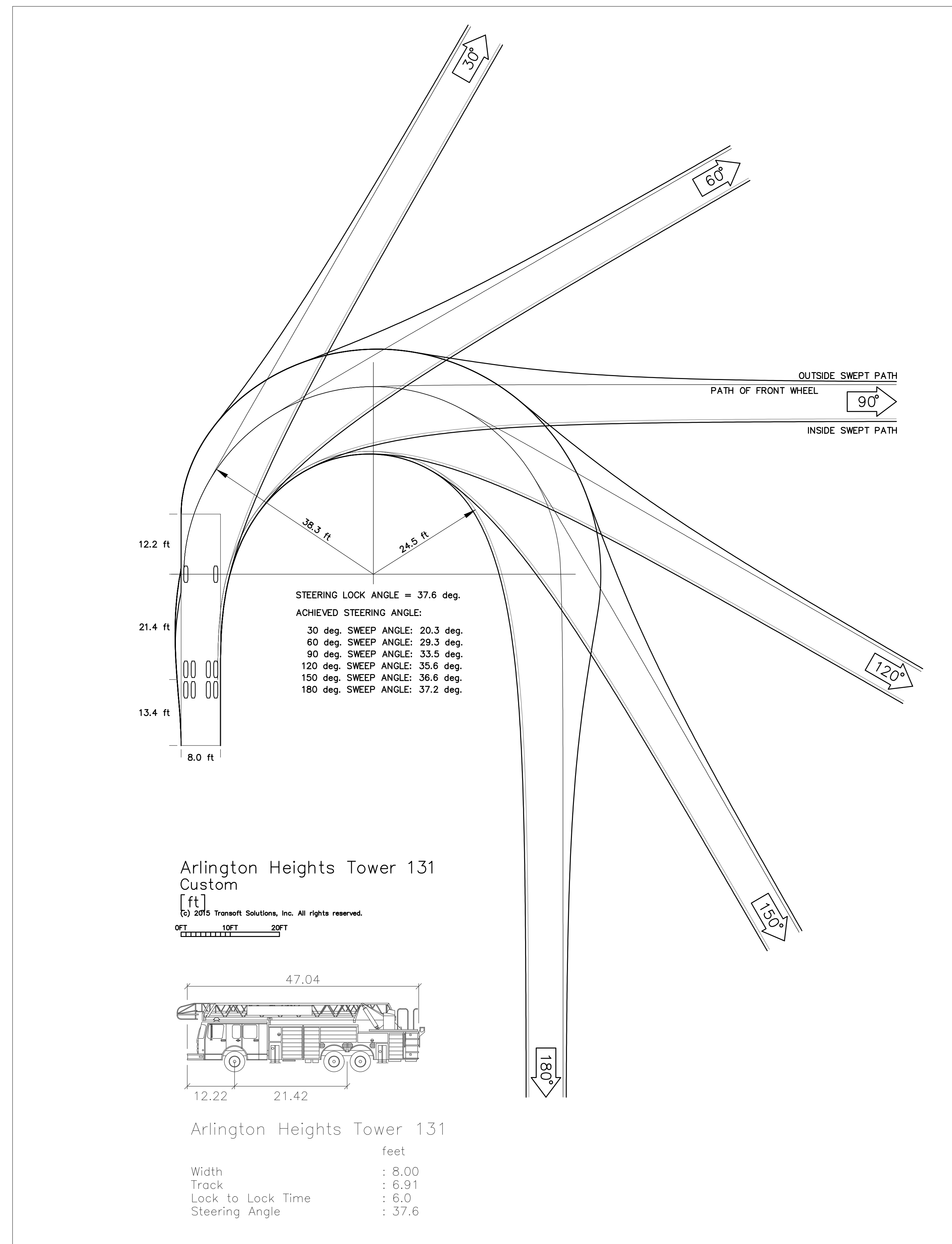
**FIRE TRUCK
EXHIBIT**

Sheet No.:

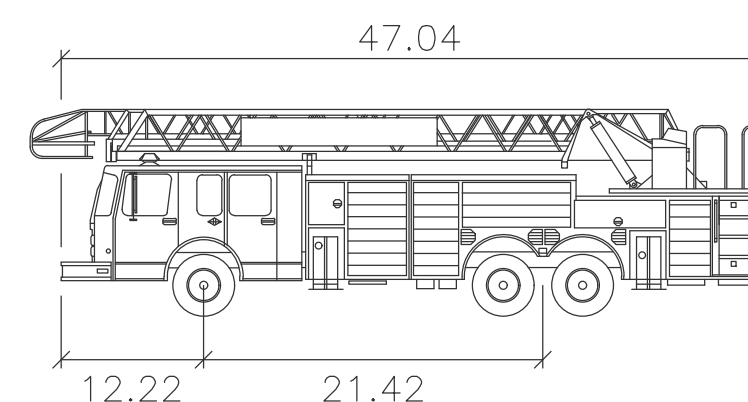
CX3.0



FIRE TRUCK INGRESS/EGRESS
SCALE: 1"=30'



Arlington Heights Tower 131
Custom
[ft]
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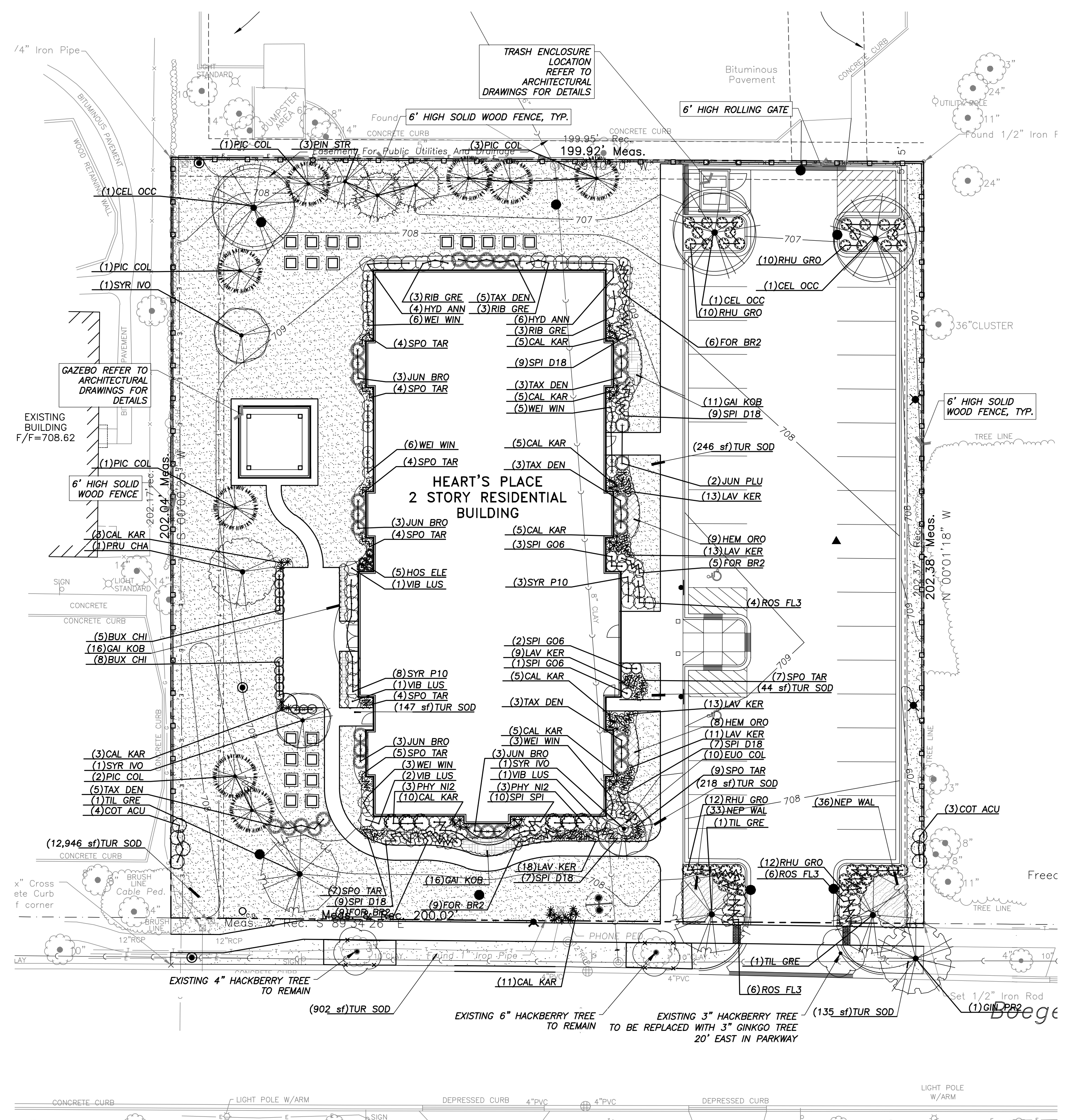


Arlington Heights Tower 131

	feet
Width	: 8.00
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 37.6

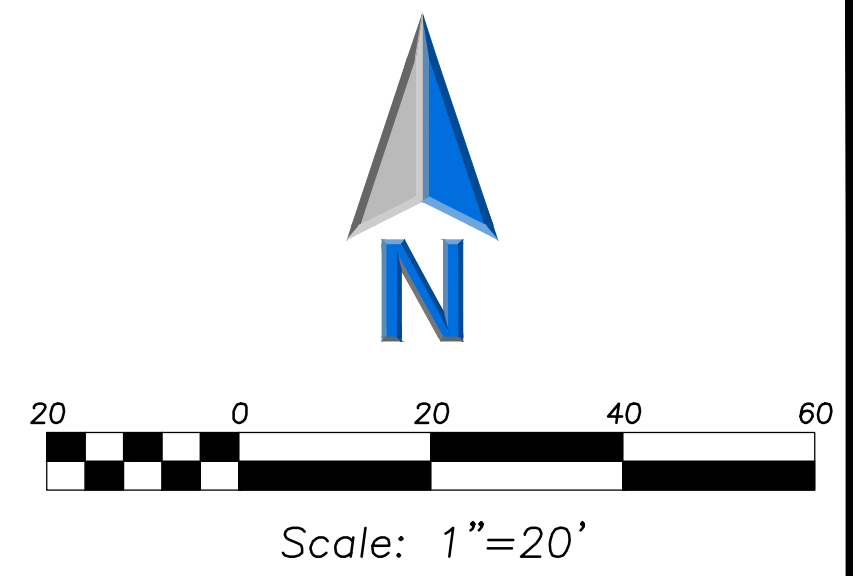
TURNING TEMPLATES (N.T.S)

EEA - P:\Code\UP_Development - Heart's Place\Drawings\Heart's Place Lplan.dwg
 Plotted: 2/20/18 @ 3:48pm By: sgregory



PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
CEL OCC	CELTS OCCIDENTALIS / COMMON HACKBERRY	B & B	4" CAL	3
GIN PR2	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY GINKGO	B & B	3" CAL	1
PRU CHA	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR	B & B	4" CAL	1
TIL GRE	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	4" CAL	3
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
PIC COL	PICEA PUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B & B	6' - 8' HT.	8
PIN STR	PINUS STROBUS / WHITE PINE	B & B	6' - 8' HT.	3
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
SYR IVO	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	2" CAL	3
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B & B	36" HT.	7
FOR BR2	FORSYTHIA VIRIDISSIMA 'BRONXENSIS' / BRONX FORSYTHIA	CONT.	5 GAL.	29
HYD ANN	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	B & B	36" HT.	10
PHY N12	PHYSOCARPUS OPULIFOLIUS / NINEBARK	B & B	36" HT.	6
RHU GRO	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	B & B	24" HT.	44
RIB GRE	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	B & B	30" HT.	9
ROS FL3	ROSA X 'FLOWER CARPET CORAL' / ROSE	#5	24" SPREAD	16
SPI D18	SPIRAEA JAPONICA 'DOUBLE PLAY RED' / SPIREA 'DOUBLE PLAY RED'	CONT.	5 GAL.	41
SPI G06	SPIRAEA JAPONICA 'GOLDFLAME' / SPIREA	B & B	24" HT.	6
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	10
SYR P10	SYRINGA X 'PENDA' / BOOMERANG LILAC	B & B	30" HT.	11
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B & B	36" HT.	5
WEI WIN	WEIGELA FLORIDA 'WINE TM' / WEIGELA	B & B	30" HT.	23
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
BUX CHI	BUXUS X 'CHICAGO LANDING GREEN' TM / GLENCOE BOXWOOD	B & B	18" HT.	13
JUN PLU	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA' / CREEPING JUNIPER	CONT.	24" SPREAD	2
JUN BRO	JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	B & B	24" SPREAD	12
TAX DEN	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	B & B	24" HT.	19
GRASSES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	1 GAL.	57
SPO TAR	SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED	CONT.	1 GAL.	48
PERENNIALS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
HOS ELE	HOSTA X 'ELEGANS' / PLANTAIN LILY	CONT.	1 GAL.	5
LAV KER	LAVANDULA ANGUSTIFOLIA 'KERLANGEM' / SWEET ROMANCE LAVENDER	CONT.	#1	77
GROUND COVERS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
EVO COL	EAUONYMUS FORTUNEI 'COLORATA' / PURPLE-LEAF WINTER CREEPER	3" POT	6"-12" HT.	10
GAI KOB	GAILLARDIA X GRANDIFLORA 'KOBOLD' / BLANKETFLOWER	CONT.	#1	43
HEM ORO	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	17
NEP WAL	NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	#1	69
TUR SOD	TURF SOD / BLUEGRASS SOD	SOD	S.F.	14,609 SF



LANDSCAPE NOTES

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISPIGURED LEADERS, BARK ABRASION, UNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND CUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.

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 FAX (847) 223-4864
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2 STORY RESIDENTIAL BUILDING**
 120 & 122 W Boeger Drive
 Arlington Heights, Illinois

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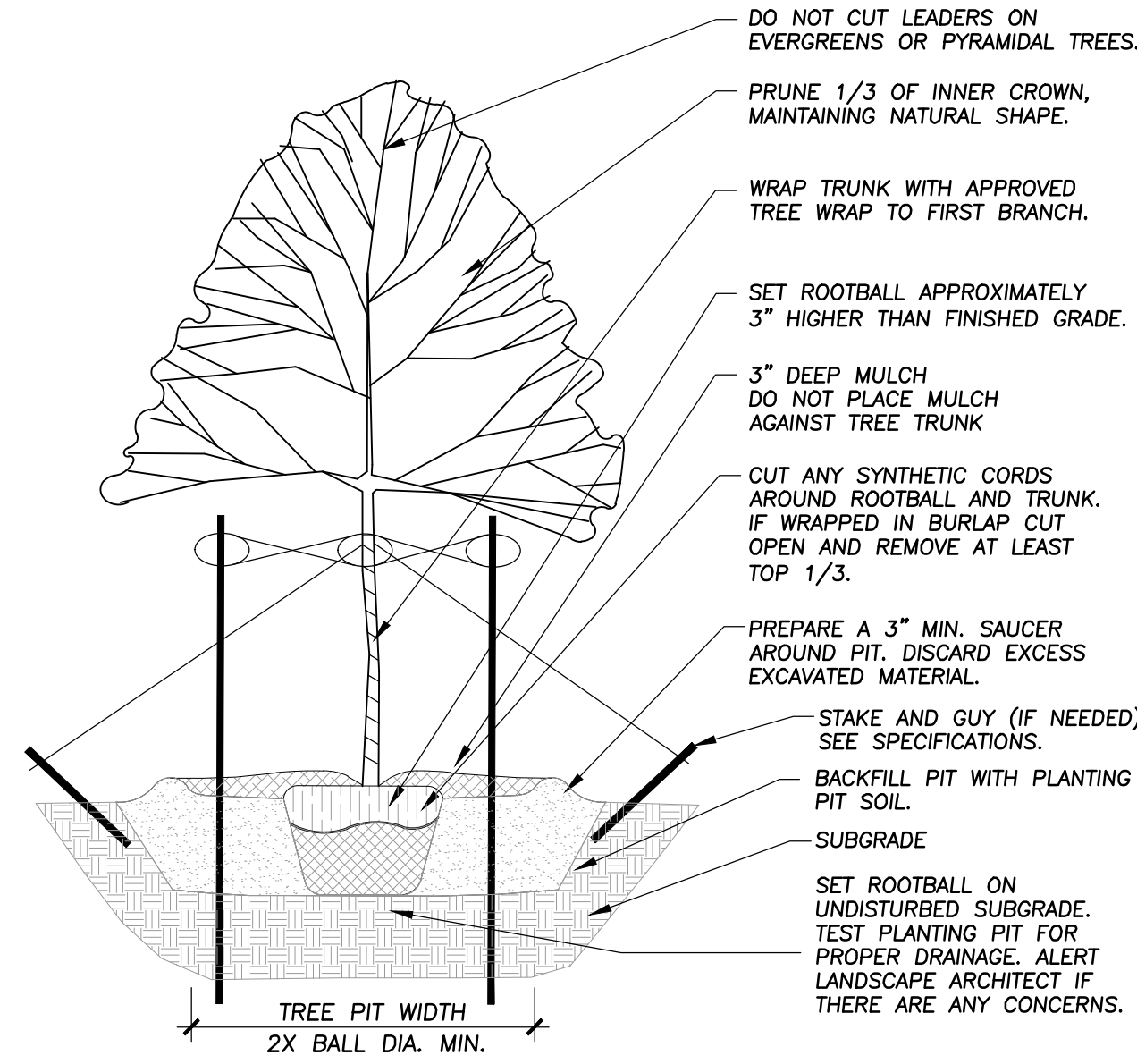
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	03/23/17	P.U.D. Review Comments
	04/07/17	P.U.D. Review Comments #2
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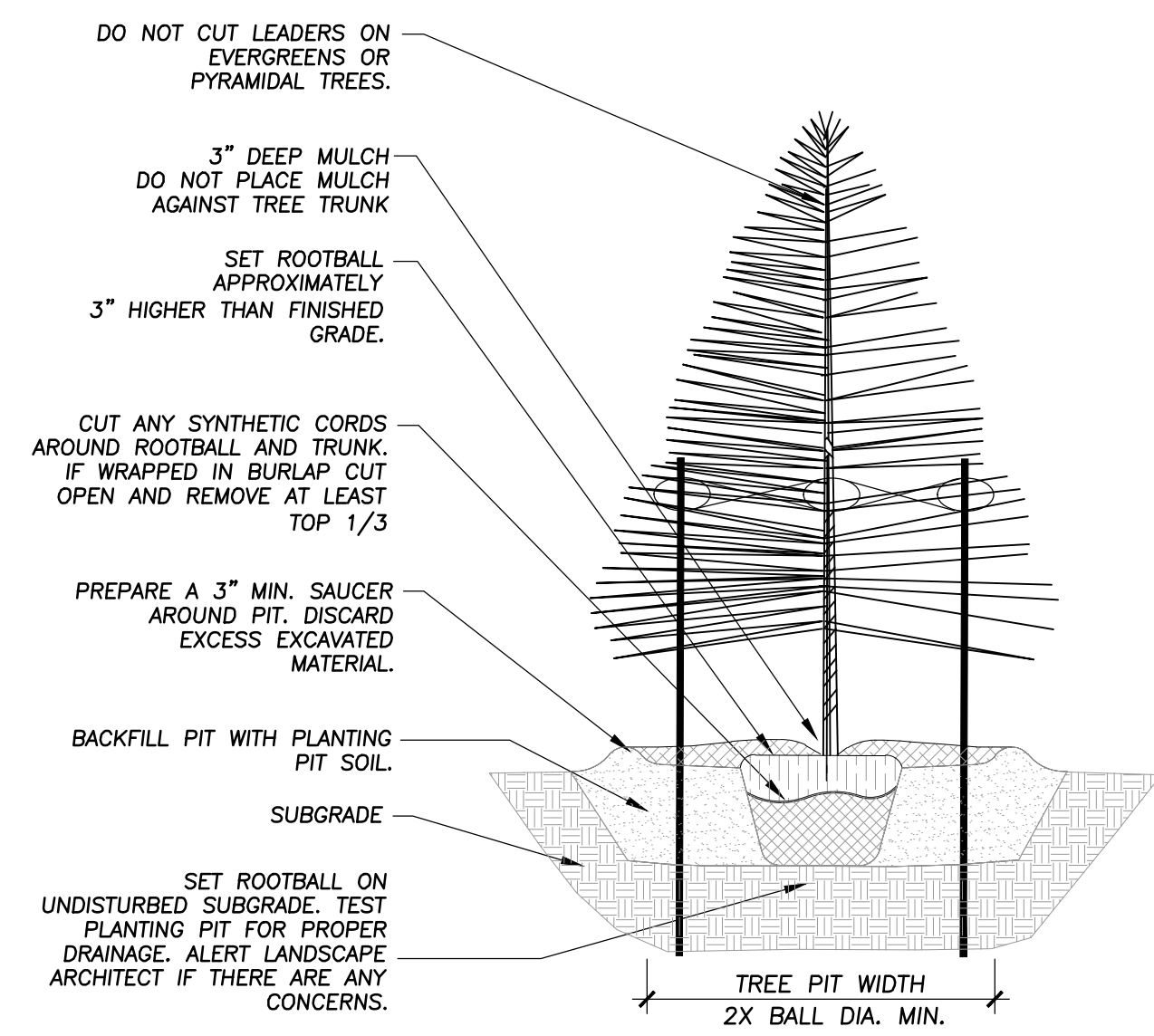
Design By: CDF Date: 01/13/17
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Sheet Title:
**LANDSCAPE
PLAN**

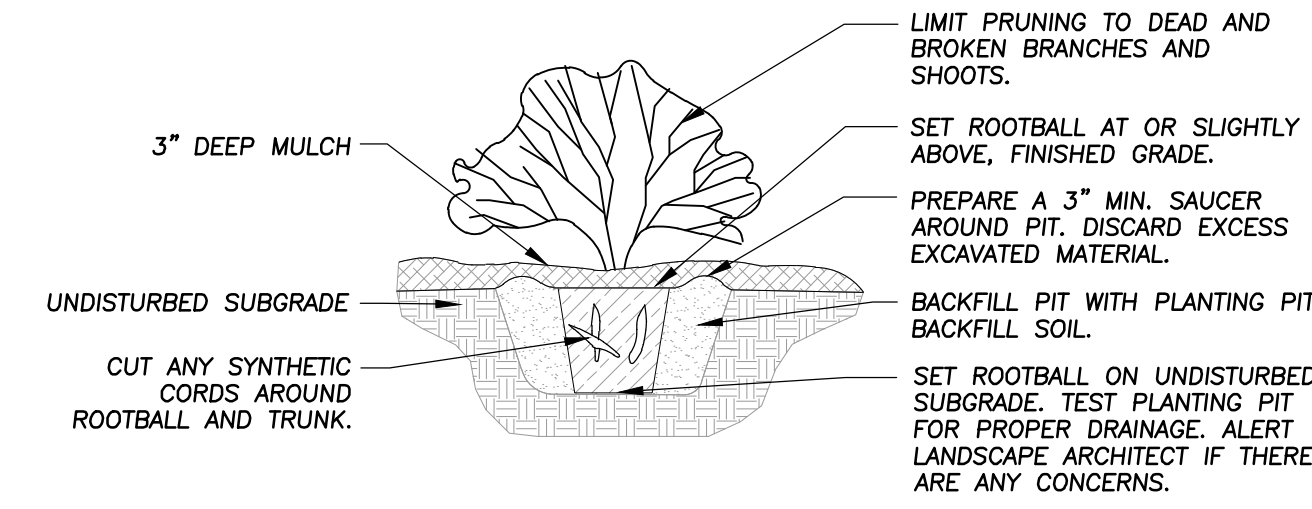
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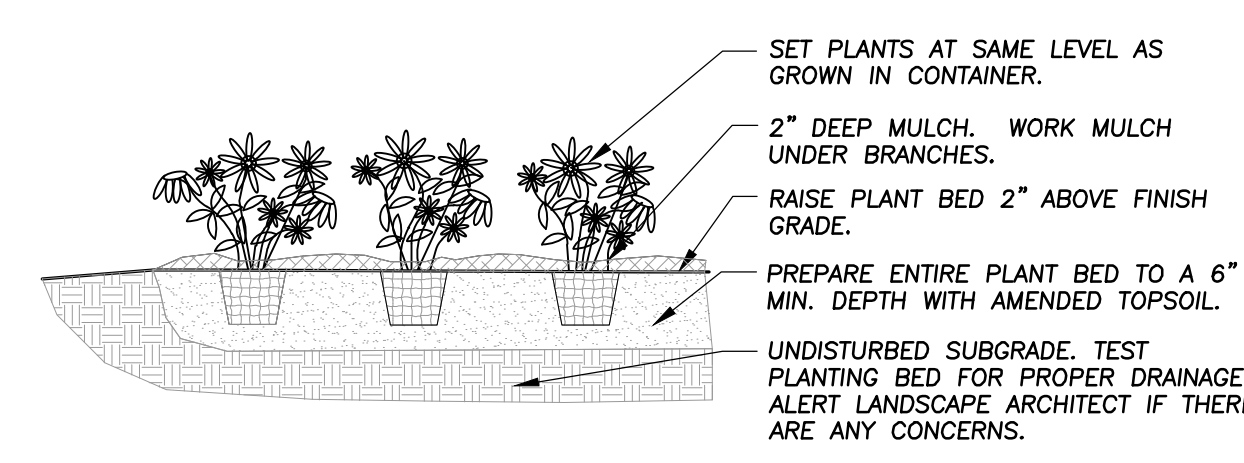
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Not To Scale 329343-01



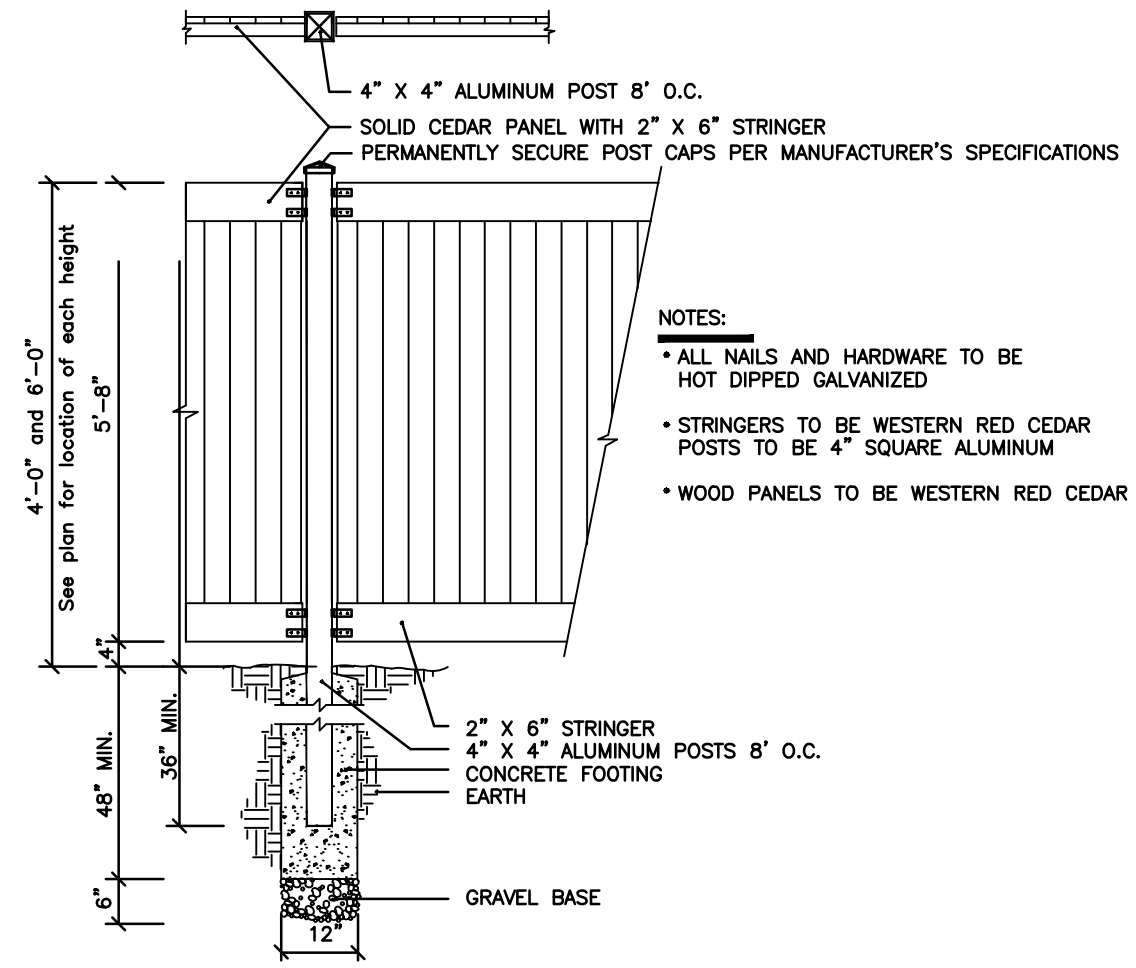
2 EVERGREEN TREE PLANTING DETAIL
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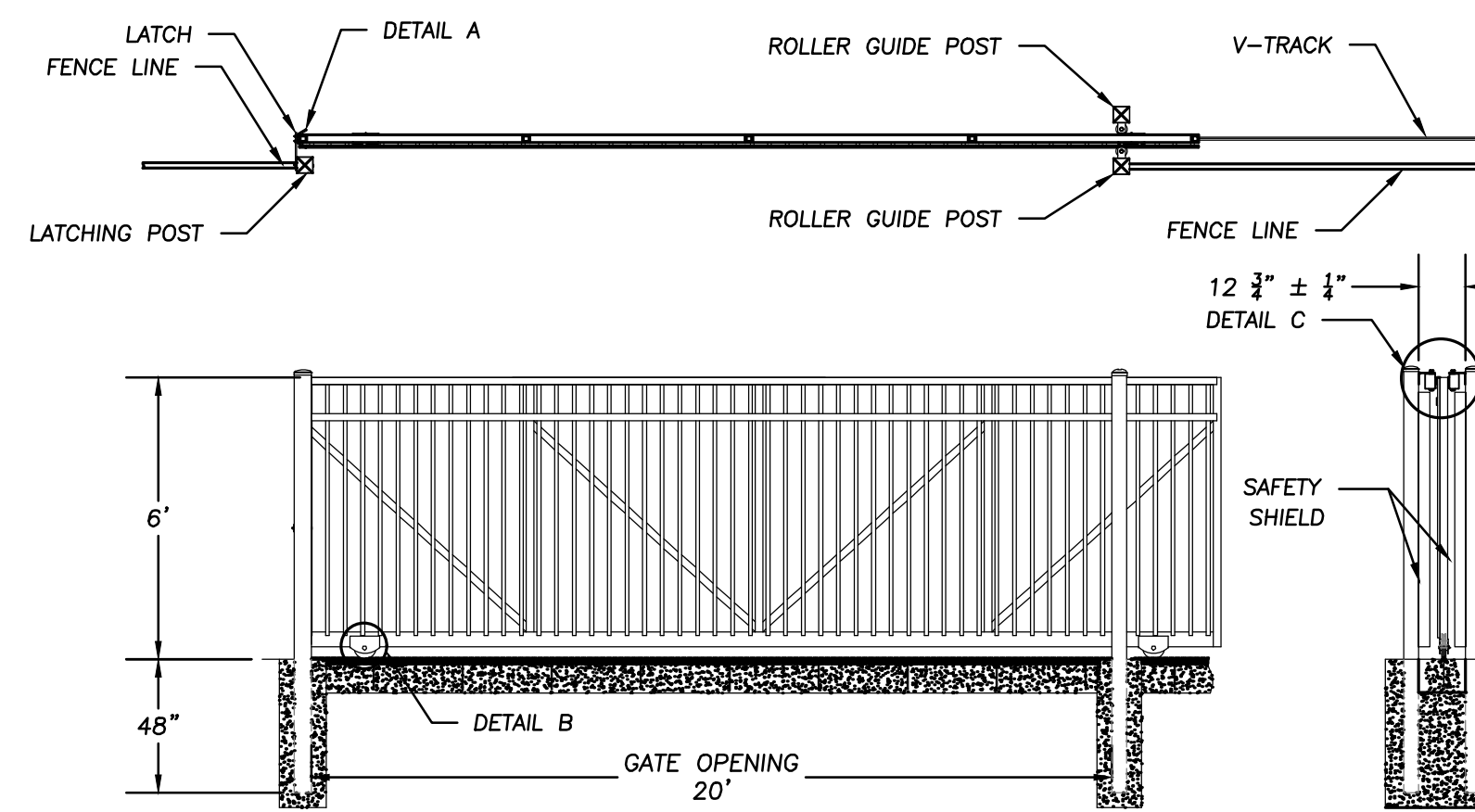
3 SHRUB PLANTING DETAIL
Not To Scale 329333-01



4 ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL
Not To Scale 329301-03



5 SOLID WOOD PANEL FENCE WITH ALUMINUM POSTS
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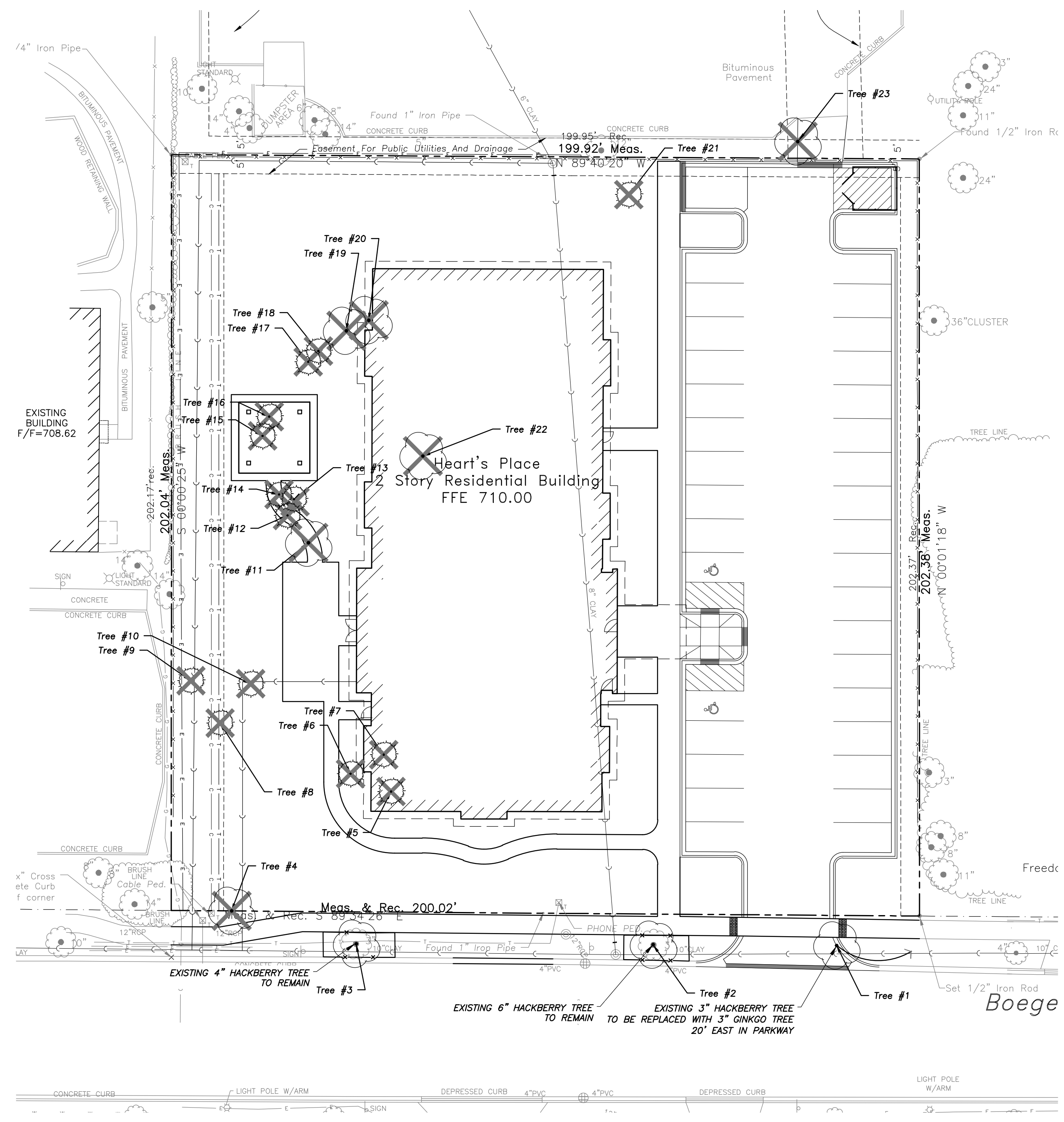
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Sheet Title:
**LANDSCAPE
DETAILS**

Sheet No:
L1.1

EEA - P:\Code\UP_Development - Heart's Place\Drawings\Heart's Place Lplan.dwg
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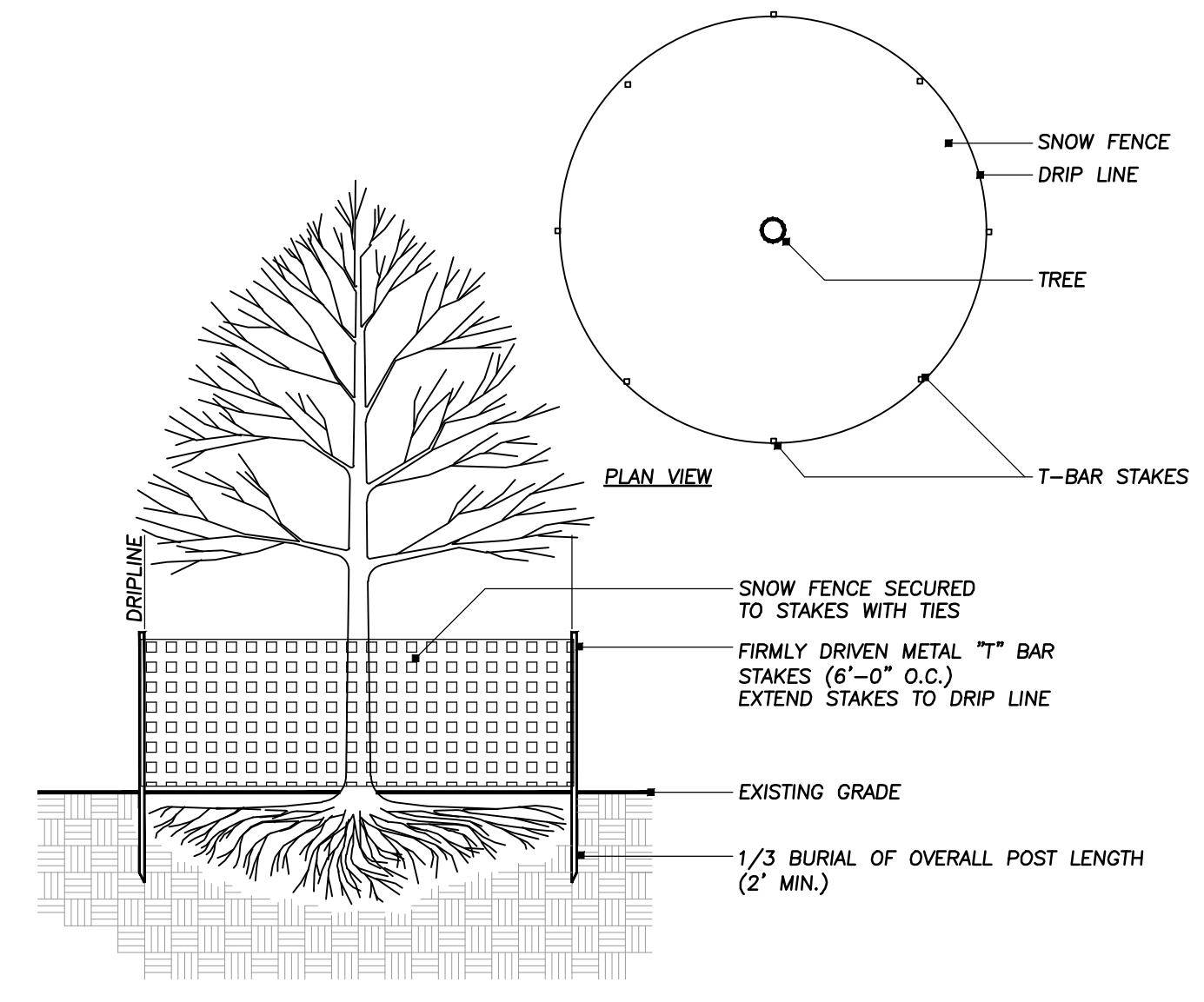


EXISTING TREE INVENTORY

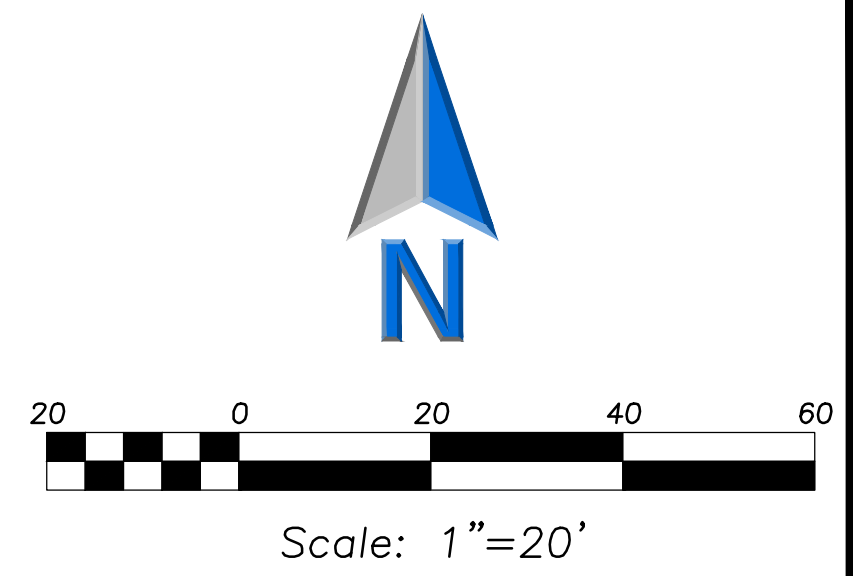
Tree #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	Celtis occidentalis	Common Hackberry	3" Cal.	Good	Parkway Tree (Relocate 20' to the East)
2	Celtis occidentalis	Common Hackberry	6" Cal.	Good	Parkway Tree
3	Celtis occidentalis	Common Hackberry	4" Cal.	Good	Parkway Tree
4	Robinia pseudoacacia	Black Locust	6" Cal.	Good	Invasive weed species with thorns
5	Picea pungens glauca	Colorado Blue Spruce	14" Cal.	Fair	Grown together with other Spruce trees have become one sided
6	Picea pungens glauca	Colorado Blue Spruce	12" Cal.	Fair	Grown together with other Spruce trees have become one sided
7	Picea pungens glauca	Colorado Blue Spruce	16" Cal.	Fair	Grown together with other Spruce trees have become one sided
8	Picea pungens glauca	Colorado Blue Spruce	16" Cal.	Fair	Grown together with other Spruce trees have become one sided
9	Picea pungens glauca	Colorado Blue Spruce	12" Cal.	Fair	Grown together with other Spruce trees have become one sided
10	Picea pungens glauca	Colorado Blue Spruce	14" Cal.	Fair	Grown together with other Spruce trees have become one sided
11	Acer negundo	Boxelder	10" Cal.	Fair	Growing right next to concrete structure
12	Thuja occidentalis	Arborvitae	12" Cal.	Fair	Grown together with other Arborvitae trees have become one sided
13	Thuja occidentalis	Arborvitae	6" & 8" Trunks	Fair	Grown together with other Arborvitae trees have become one sided
14	Thuja occidentalis	Arborvitae	8" & 2" Trunks	Fair	Grown together with other Arborvitae trees have become one sided
15	Thuja occidentalis	Arborvitae	3 @ 8" Cal.	Fair	Grown together with other Arborvitae trees have become one sided
16	Thuja occidentalis	Arborvitae	10" & 3" Cal.	Fair	Grown together with other Arborvitae trees have become one sided
17	Thuja occidentalis	Arborvitae	12" & 10" Cal.	Fair	Grown together with other Arborvitae trees have become one sided
18	Thuja occidentalis	Arborvitae	12" Cal.	Fair	Grown together with other Arborvitae trees have become one sided
19	Acer negundo	Boxelder	10" Cal.	Poor	Growing right next to concrete building foundation
20	Acer negundo	Boxelder	8" Cal.	Poor	Growing right next to concrete building foundation
21	Juniperus virginiana	Eastern Red Cedar	16" Cal.	Fair	Some scarring on trunk
22	Acer negundo	Boxelder	8 @ 2" - 8" Cal.	Poor	Cluster of suckering growth near concrete structure and foundation
23	Fraxinus americana	White Ash	14" Cal.	Dead	

TREE PRESERVATION NOTES

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- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.



SECTION VIEW
 1 TREE PROTECTION DETAIL
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Sheet Title:
**TREE
 PRESERVATION
 PLAN**

Sheet No:
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